

Columbia County Building Permit Application

For Office Use Only Application # 0712-23 Date Received 12/7/07 By GF Permit # 26551
 Zoning Official BLK Date 12.12.07 Flood Zone X FEMA Map # N/A Zoning A-3
 Land Use A-3 Elevation N/A MFE N/A River N/A Plans Examiner DKJH Date 12-10-07
 Comments _____
☒ NOC ☒ VEH ☐ Deed or PA ☒ Site Plan N/A State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Authorization from Contractor Existing Well
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. _____ Fax _____

Name Authorized Person Signing Permit MICHAEL STONEPANTEN Phone 248-767-6860

Address _____

Owners Name MICHAEL STONEPANTEN Phone 248-767-6860

911 Address 2650 SW Pinemount Rd, Lake City, FL 32024

Contractors Name Owner Builder Phone _____

Address _____

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address J. L. SMITH P.E. 2221 LEE RD, WINTER PARK, FL 32789

Architect/Engineer Name & Address BOB MADDOX 1250 MT. HOMER RD #8 EUSTIS, FL 32726

Mortgage Lenders Name & Address NONE

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 05-45-16-02780-001 Estimated Cost of Construction 44,000

Subdivision Name NONE Lot _____ Block _____ Unit _____ Phase _____

Driving Directions SW PINEMOUNT RD, W of BIRLEY, TURN NORTH INTO DRIVEWAY AFTER 8 HOUSES

Number of Existing Dwellings on Property 1

Construction of SINGLE FAMILY HOME Total Acreage 10 Lot Size 10

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 478 Side 30 Side 756 Rear 460

Number of Stories 1 Heated Floor Area 832 Total Floor Area 832 Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 5 day of 12 2008
Personally known _____ or Produced Identification Mich D.L.



State of Florida Notary Signature (For the Contractor)

SEAL:



0712-23

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 05-45-16-02780-001

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): _____

a) Street (job) Address: _____

2. General description of improvements: SINGLE FAMILY HOME

3. Owner Information

a) Name and address: MICHAEL STONEPAINTER

b) Name and address of fee simple titleholder (if other than owner) 575 E LINCOLN #2 BIRMINGHAM MI 48009

c) Interest in property _____

4. Contractor Information

a) Name and address: SAME

b) Telephone No.: 248-767-6860 Fax No. (Opt.) _____

5. Surety Information

a) Name and address: _____

b) Amount of Bond: _____

c) Telephone No.: _____

Inst: 200712026955 Date: 12/7/2007 Time: 2:15 PM

17 DC, P. DeWitt Cason, Columbia County Page 1 of 1

6 Lender

a) Name and address: _____

b) Phone No.: _____

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address: _____

b) Telephone No.: _____ Fax No. (Opt.) _____

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b).

Florida Statutes:

a) Name and address: _____

b) Telephone No.: _____ Fax No. (Opt.) _____

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. _____
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

M W STONEPAINTER
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 5 day of 12, 2007, by:

Michael Stonepainter as Owner Builder (type of authority, e.g. officer, trustee, attorney fact) for Same (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification ☒ Type Mich. P.L.

Notary Signature L. H. H. Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)



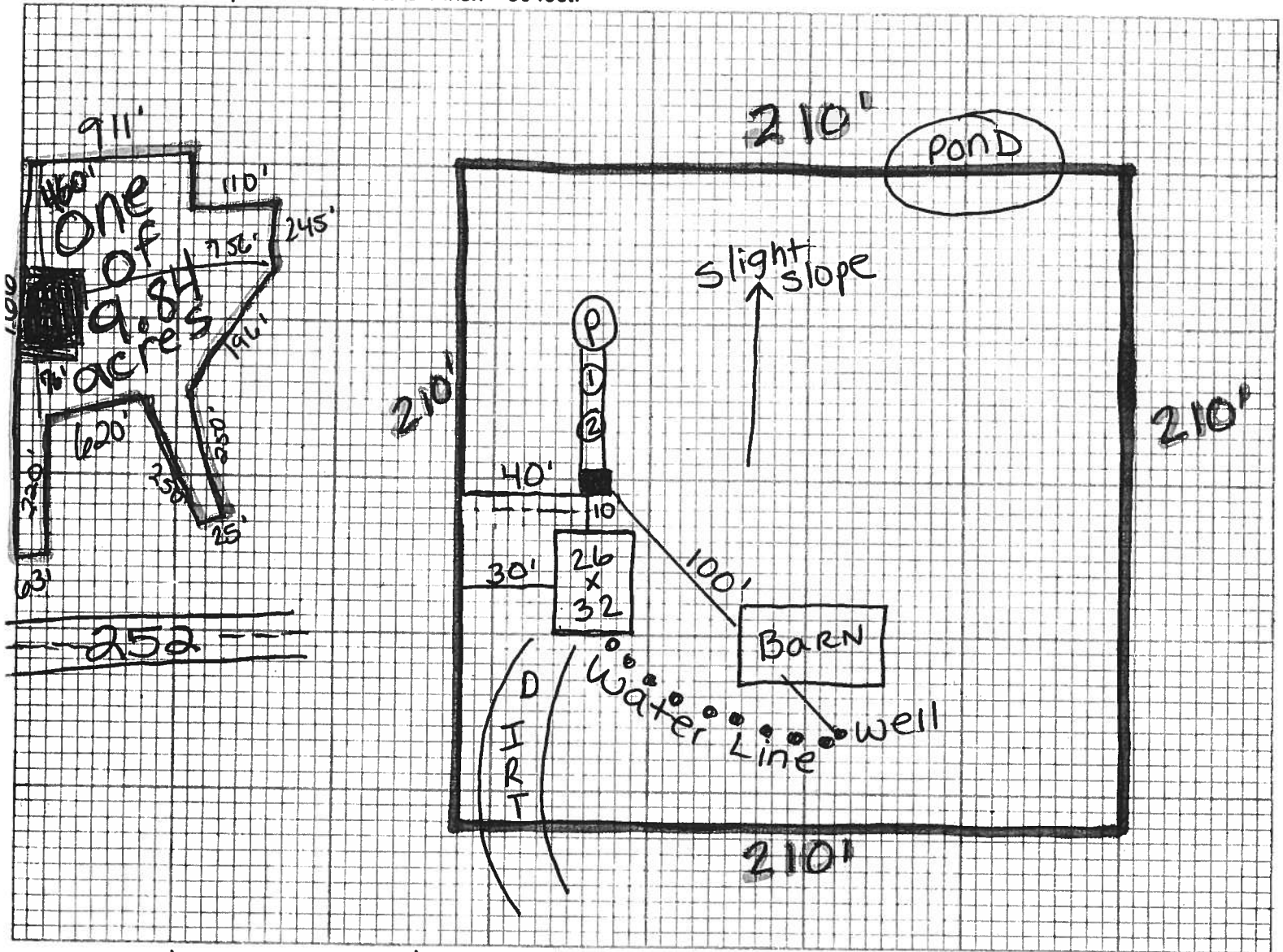
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 07-0968

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Michael Stonepainter -

Site Plan submitted by: Ford's Septic

Signature

MASTER

Title

Plan Approved ☒

Not Approved ☐

Date 12-27-07

By [Signature]

[Signature]

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Columbia County Property Appraiser

DB Last Updated: 11/15/2007

2008 Proposed Values

Parcel: 05-4S-16-02780-001

Tax Record

Property Card

Interactive GIS Map

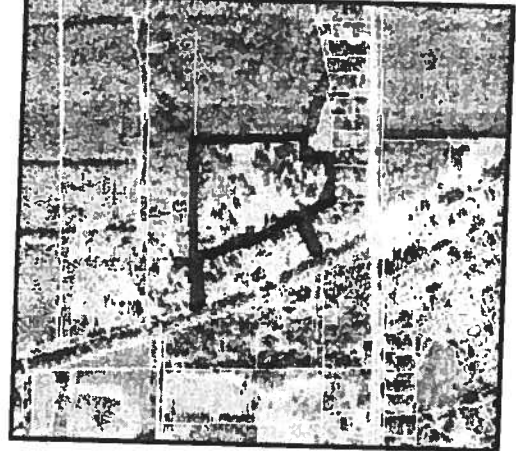
Print

Owner & Property Info

Owner's Name	STONEPAINTER MICHAEL W &		
Site Address	MH NOTE		
Mailing Address	PAMELA K 12156 CHERRYLANE SOUTH LYON, MI 48178		
Use Desc. (code)	AC/XFOB (009901)		
Neighborhood	5416.03	Tax District	2
UD Codes	MKTA01	Market Area	01
Total Land Area	9.840 ACRES		
Description	COMM AT NW COR OF SE1/4 OF SW 1/4, RUN E 250.90 FT. FOR POB CONT E 661.25 FT, S 110 FT, E 155.23 FT, S 244.22 FT, SW 196.93 FT, SE 249.49 FT TO N R/W CR-252, SW ALONG R/W 25 FT NW 249.57 FT, SW 320.57 FT, CONT SW 299.38 FT, S 219.01 FT TO N R/W OF CR-252, SW ALONG R/W 62.64 FT, N 966.01 FT TO POB. ORB 1011-169,170, QCD 1025-1270		

Search Result: 1 of 1

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (4)	\$72,340.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (2)	\$15,076.00
Total Appraised Value		\$87,416.00

Just Value	\$87,416.00
Class Value	\$0.00
Assessed Value	\$87,416.00
Exempt Value	\$0.00
Total Taxable Value	\$87,416.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
3/15/2004	1011/169	WD	I	Q		\$72,000.00
5/9/1996	821/2114	WD	I	Q		\$79,500.00

Building Characteristics

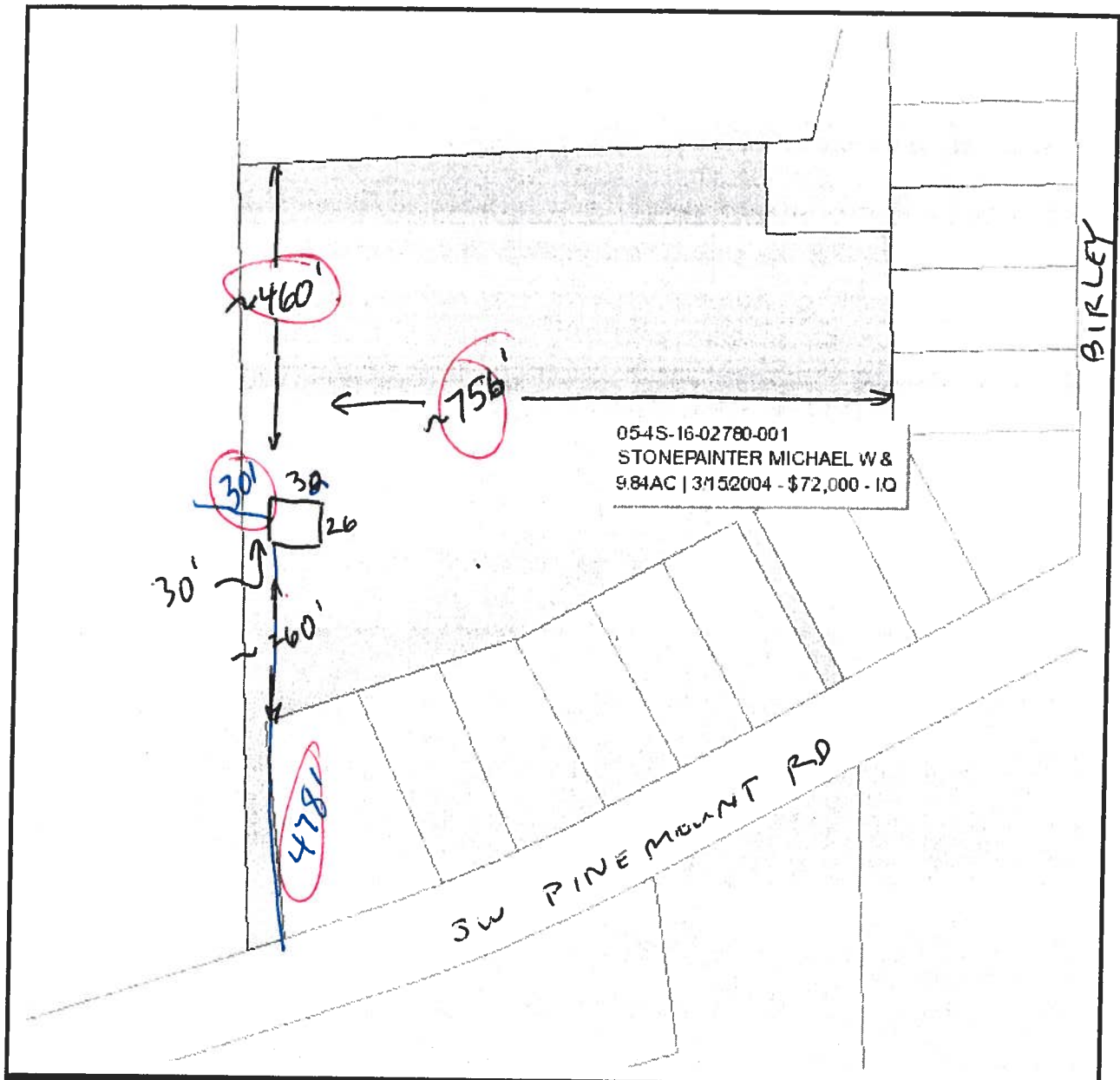
Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Interior Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0255	MBL HOME S	0	\$460.00	460.000	10 x 46 x 0	(.00)
0010	BARN,BLK	1996	\$14,616.00	2030.000	70 x 29 x 0	AP (20.00)

Land & Improvements

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
009900	AC NON-AG (MKT)	1.000 UT - (.140AC)	1.00/1.00/1.00/1.00	\$500.00	\$500.00



Columbia County Property Appraiser

J. Doyle Crews CFA - Lake City, Florida - 386-758-1083

PARCEL: 05-4S-16-02780-001 - AC/XFOB (009901)

Name: STONEPAINTER MICHAEL W &	LandVal	\$72,340.00
Site: MH NOTE	BldgVal	\$0.00
PAMELA K	ApprVal	\$87,416.00
Mail: 12156 CHERRYLANE	JustVal	\$87,416.00
SOUTH LYON, MI 48178	Assd	\$87,416.00
Sales 3/15/2004 \$72,000.001 / Q	Exmpt	\$0.00
Info 5/9/1996 \$79,500.001 / Q	Taxable	\$87,416.00

0 80 160 240 ft



This information, GIS Map Updated: 11/15/2007, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

NOTARIZED DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$75,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved for yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that if I am not physically doing the work or physically supervising free labor from friends or relatives, that I must hire licensed contractors, i.e. electrician, plumber, mechanical (heating & air conditioning), etc. I further understand that the violation of not physically doing the work, and the use of unlicensed contractors at the construction site, will cause the project to be shut down by the inspection staff of the Columbia County Building Department. Additionally, state statutes allows for additional penalties. I also understand that if this violation does occur, that in order for the job to proceed, I will have a licensed contractor come in and obtain a new permit as taking the job over. I understand that if I hire subcontractors under a contract price, that they must be licensed to work in Columbia County, i.e. masonry, drywall, carpentry. Contractors licensed by the Columbia County Contractor Licensing Section or the State of Florida are required to have worker's compensation and liability coverage.

TYPE OF CONSTRUCTION

- ☒ Single Family Dwelling ☐ Two-Family Residence ☐ Farm Outbuilding
☐ Other _____ ☐ Addition, Alteration, Modification or other Improvement

I Michael Stonepainter, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

Owner Builder Signature

Date

12-05-07

FLORIDA NOTARY

The above signer is personally known to me or produced identification Mich. D. L.

Notary Signature Laurie Hodson Date 12-5-07



FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7). Date 12-5-07 Building Official/Representative [Signature]

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	STONEPAINTER	Builder:	Glenn I. Jones, Inc.
Address:		Permitting Office:	
City, State:	Lake City, FL	Permit Number:	
Owner:	Mickey Stonepainter	Jurisdiction Number:	
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 22.6 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	2	b. N/A	
5. Is this a worst case?	No	c. N/A	
6. Conditioned floor area (ft ²)	840 ft ²		
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		13. Heating systems	
a. U-factor:	Description Area	a. Electric Heat Pump	Cap: 24.0 kBtu/hr
(or Single or Double DEFAULT) 7a. (Dble, U=0.6)	36.0 ft ²		HSPF: 8.20
b. SHGC:		b. N/A	
(or Clear or Tint DEFAULT) 7b. (Clear)	129.0 ft ²	c. N/A	
8. Floor types		14. Hot water systems	
a. Raised Wood, Adjacent	R=19.0, 840.0 ft ²	a. Electric Resistance	Cap: 40.0 gallons
b. N/A			EF: 0.92
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=13.0, 771.0 ft ²	(HR-Heat recovery, Solar	
b. N/A		DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat.	
a. Under Attic	R=30.0, 840.0 ft ²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Con. AH(Sealed):Interior	Sup. R=6.0, 60.0 ft		
b. N/A			

Glass/Floor Area: 0.15

Total as-built points: 13274

Total base points: 14441

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *David C. Wilk*
DATE: 12-7-07

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____
DATE: _____



¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	840.0	20.04	3030.0	Double,U=0.57,Clear	S	0.0	0.0	32.0	37.22	1.00	1191.0
				Double,U=0.57,Clear	W	0.0	0.0	36.0	39.90	1.00	1436.5
				Double,U=0.57,Clear	E	0.0	0.0	15.0	43.40	1.00	651.1
				Single,U=0.60,Clear	E	0.0	0.0	16.0	49.88	1.00	798.1
				Double,U=0.57,Clear	N	0.0	0.0	30.0	20.69	1.00	620.7
				As-Built Total:		129.0			4697.4		
WALL TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Exterior	771.0	1.70	1310.7	Frame, Wood, Exterior	13.0		771.0	1.50		1156.5	
Adjacent	0.0	0.00	0.0								
Base Total: 771.0 1310.7				As-Built Total:		771.0			1156.5		
DOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Exterior	28.0	4.10	114.8	Exterior Wood			28.0	6.10		170.8	
Adjacent	0.0	0.00	0.0								
Base Total: 28.0 114.8				As-Built Total:		28.0			170.8		
CEILING TYPES Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points				
Under Attic	840.0	1.73	1453.2	Under Attic	30.0		840.0	1.73 X 1.00		1453.2	
Base Total: 840.0 1453.2				As-Built Total:		840.0			1453.2		
FLOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Slab	0.0(p)	0.0	0.0	Raised Wood, Adjacent	19.0		840.0	0.40		336.0	
Raised	840.0	-3.99	-3351.6								
Base Total: -3351.6				As-Built Total:		840.0			336.0		
INFILTRATION Area X BSPM = Points				Area X SPM = Points							
840.0 10.21 8576.4				840.0 10.21 8576.4							

SUMMER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT						
Summer Base Points: 11133.5				Summer As-Built Points: 16390.3						
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component (System - Points)	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	=	Cooling Points
11133.5	0.4266		4749.6	(sys 1: Central Unit 22600 btuh ,SEER/EFF(13.0) Ducts:Unc(S),Con(R),Int(AH),R6.0(INS) 16390 1.00 (1.08 x 1.147 x 0.86) 0.263 1.000 4612.5 16390.3 1.00 1.072 0.263 1.000 4612.5						

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	840.0	12.74	1926.3	Double,U=0.57,Clear	S	0.0	0.0	32.0	5.06	1.00	162.0
				Double,U=0.57,Clear	W	0.0	0.0	36.0	12.33	1.00	444.1
				Double,U=0.57,Clear	E	0.0	0.0	15.0	10.52	1.00	157.7
				Single,U=0.60,Clear	E	0.0	0.0	16.0	10.04	1.00	160.6
				Double,U=0.57,Clear	N	0.0	0.0	30.0	16.16	1.00	484.7
				As-Built Total:				129.0	1409.1		
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Exterior	771.0	3.70	2852.7	Frame, Wood, Exterior	13.0		771.0	3.40	2621.4		
Adjacent	0.0	0.00	0.0								
Base Total: 771.0 2852.7				As-Built Total:				771.0	2621.4		
DOOR TYPES Area X BWPM = Points				Type	Area X WPM = Points						
Exterior	28.0	8.40	235.2	Exterior Wood			28.0	12.30	344.4		
Adjacent	0.0	0.00	0.0								
Base Total: 28.0 235.2				As-Built Total:				28.0	344.4		
CEILING TYPES Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	840.0	2.05	1722.0	Under Attic	30.0		840.0	2.05 X 1.00	1722.0		
Base Total: 840.0 1722.0				As-Built Total:				840.0	1722.0		
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	0.0(p)	0.0	0.0	Raised Wood, Adjacent	19.0		840.0	2.20	1848.0		
Raised	840.0	0.96	806.4								
Base Total: 806.4				As-Built Total:				840.0	1848.0		
INFILTRATION Area X BWPM = Points				Area X WPM = Points							
840.0 -0.59 -495.6				840.0 -0.59 -495.6							

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT									
Winter Base Points: 7047.0				Winter As-Built Points: 7449.3									
Total Winter Points	X	System Multiplier	= Heating Points	Total Component (System - Points)	X	Cap Ratio (DM x DSM x AHU)	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	= Heating Points
7047.0		0.6274	4421.3	(sys 1: Electric Heat Pump 24000 btuh ,EFF(8.2) Ducts:Unc(S),Con(R),Int(AH),R6.0 7449.3		1.000 (1.060 x 1.169 x 0.88)		0.416		1.000		3391.4	
				7449.3		1.00		1.095		0.416		1.000	3391.4

WATER HEATING & CODE COMPLIANCE STATUS**Residential Whole Building Performance Method A - Details**

ADDRESS: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT						
WATER HEATING				Tank	EF	Number of	X	Tank	X	Credit
Number of	X	Multiplier	=	Total	Volume	Bedrooms		Ratio	Multiplier	=
Bedrooms										Total
2		2635.00		5270.0	40.0	0.92	2	1.00	2635.00	1.00
					As-Built Total:					5270.0

CODE COMPLIANCE STATUS									
BASE					AS-BUILT				
Cooling	+	Heating	+	Hot Water	=	Total	Cooling	+	Heating
Points		Points		Points		Points	Points		Points
4750		4421		5270		14441	4612		3391
									5270
									13274

PASS

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 84.9

The higher the score, the more efficient the home.

Mickey Stonepainter, , Lake City, FL

1. New construction or existing	New	___	12. Cooling systems	
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 22.6 kBtu/hr
3. Number of units, if multi-family	1	___		SEER: 13.00
4. Number of Bedrooms	2	___	b. N/A	___
5. Is this a worst case?	No	___	c. N/A	___
6. Conditioned floor area (ft²)	840 ft²	___		___
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		___		___
a. U-factor:	Description Area		13. Heating systems	
(or Single or Double DEFAULT)	7a. (Dble, U=0.6)	36.0 ft²	a. Electric Heat Pump	Cap: 24.0 kBtu/hr
b. SHGC:		___		HSPF: 8.20
(or Clear or Tint DEFAULT)	7b. (Clear)	129.0 ft²	b. N/A	___
8. Floor types		___	c. N/A	___
a. Raised Wood, Adjacent	R=19.0, 840.0ft²	___		___
b. N/A	___	___	14. Hot water systems	
c. N/A	___	___	a. Electric Resistance	Cap: 40.0 gallons
9. Wall types		___		EF: 0.92
a. Frame, Wood, Exterior	R=13.0, 771.0 ft²	___	b. N/A	___
b. N/A	___	___	c. Conservation credits	___
c. N/A	___	___	(HR-Heat recovery, Solar	
d. N/A	___	___	DHP-Dedicated heat pump)	
e. N/A	___	___	15. HVAC credits	___
10. Ceiling types		___	(CF-Ceiling fan, CV-Cross ventilation,	
a. Under Attic	R=30.0, 840.0 ft²	___	HF-Whole house fan,	
b. N/A	___	___	PT-Programmable Thermostat,	
c. N/A	___	___	MZ-C-Multizone cooling,	
11. Ducts		___	MZ-H-Multizone heating)	
a. Sup: Unc. Ret: Con. AH(Sealed):Interior	Sup. R=6.0, 60.0 ft	___		
b. N/A	___	___		

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLRCSB v4.21)

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 12/5/2007 DATE ISSUED: 12/7/2007

ENHANCED 9-1-1 ADDRESS:

2650 SW PINEMOUNT RD
LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

05-4S-16-02780-001

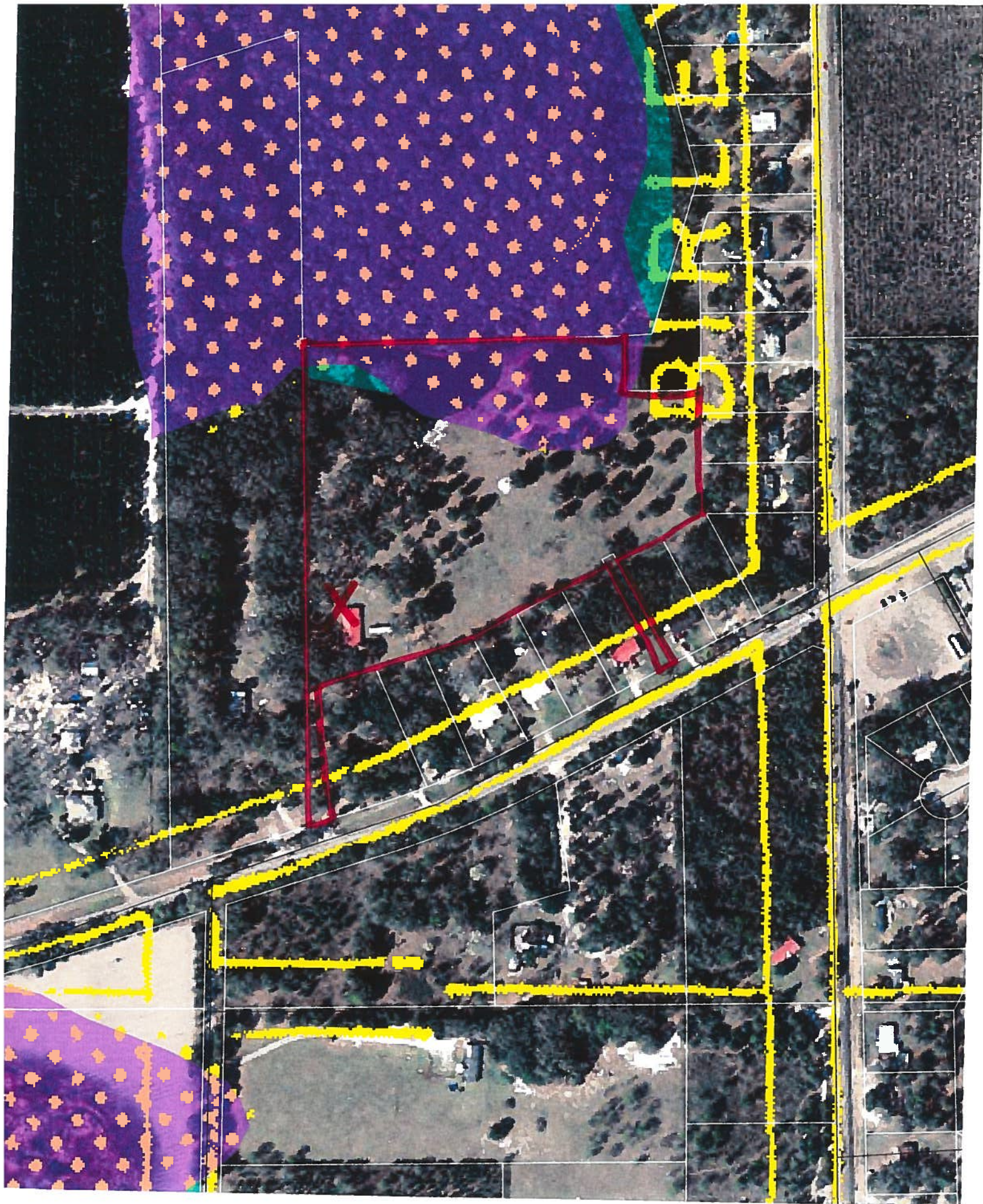
Remarks:

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.



0712-23



Load Short Form
Entire House
Glenn I. Jones, Inc.

Job:
Date: Dec 06, 2007
By:

Project Information

For: Mickey Stonepainter
Lake City, FL
Phone: 248-767-6860

Design Information

	Htg	Clg	Infiltration	
Outside db (°F)	33	92	Method	Simplified
Inside db (°F)	70	75	Construction quality	Average
Design TD (°F)	37	17	Fireplaces	0
Daily range	-	M		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	11	52		

HEATING EQUIPMENT

Make Carrier
Trade
Model

Efficiency 7.5 HSPF
Heating input
Heating output 17400 Btuh @ 47°F
Temperature rise 22 °F
Actual air flow 708 cfm
Air flow factor 0.056 cfm/Btuh
Static pressure 0.00 in H2O
Space thermostat

COOLING EQUIPMENT

Make
Trade
Cond
Coil

Efficiency 12 EER
Sensible cooling 12040 Btuh
Latent cooling 5160 Btuh
Total cooling 17200 Btuh
Actual air flow 708 cfm
Air flow factor 0.043 cfm/Btuh
Static pressure 0.00 in H2O
Load sensible heat ratio 0.83

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
BR 1	135	2200	1296	122	55
BR2	135	2200	1296	122	55
AH CL	28	65	64	4	3
BATH	93	1308	1864	73	80
KITCHEN	132	2399	5110	133	218
LIVING ROOM	317	4583	6962	254	297
Entire House	d 840	12754	16592	708	708
Other equip loads		978	449		
Equip. @ 0.97 RSM			16531		
Latent cooling			3468		
TOTALS	840	13732	19999	708	708

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

Project Summary

Entire House

Glenn I. Jones, Inc.

Job:
 Date: Dec 06, 2007
 By:

Project Information

For: Mickey Stonepainter
 Lake City, FL
 Phone: 248-767-6860

Notes:

Design Information

Weather: Gainesville, FL, US

Winter Design Conditions

Outside db	33 °F
Inside db	70 °F
Design TD	37 °F

Summer Design Conditions

Outside db	92 °F
Inside db	75 °F
Design TD	17 °F
Daily range	M
Relative humidity	50 %
Moisture difference	52 gr/lb

Heating Summary

Structure	10026 Btuh
Ducts	2728 Btuh
Central vent (24 cfm)	978 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	13732 Btuh

Sensible Cooling Equipment Load Sizing

Structure	13142 Btuh
Ducts	3450 Btuh
Central vent (24 cfm)	449 Btuh
Blower	0 Btuh

Infiltration

Method	Simplified
Construction quality	Average
Fireplaces	0

	Heating	Cooling
Area (ft²)	840	840
Volume (ft³)	6720	6720
Air changes/hour	0.61	0.32
Equiv. AVF (cfm)	68	36

Use manufacturer's data	n
Rate/swing multiplier	0.97
Equipment sensible load	16531 Btuh

Latent Cooling Equipment Load Sizing

Structure	1860 Btuh
Ducts	759 Btuh
Central vent (24 cfm)	849 Btuh
Equipment latent load	3468 Btuh

Equipment total load	19999 Btuh
Req. total capacity at 0.70 SHR	2.0 ton

Heating Equipment Summary

Make Carrier
 Trade
 Model

Efficiency	7.5 HSPF
Heating input	
Heating output	17400 Btuh @ 47°F
Temperature rise	22 °F
Actual air flow	708 cfm
Air flow factor	0.056 cfm/Btuh
Static pressure	0.00 in H2O
Space thermostat	

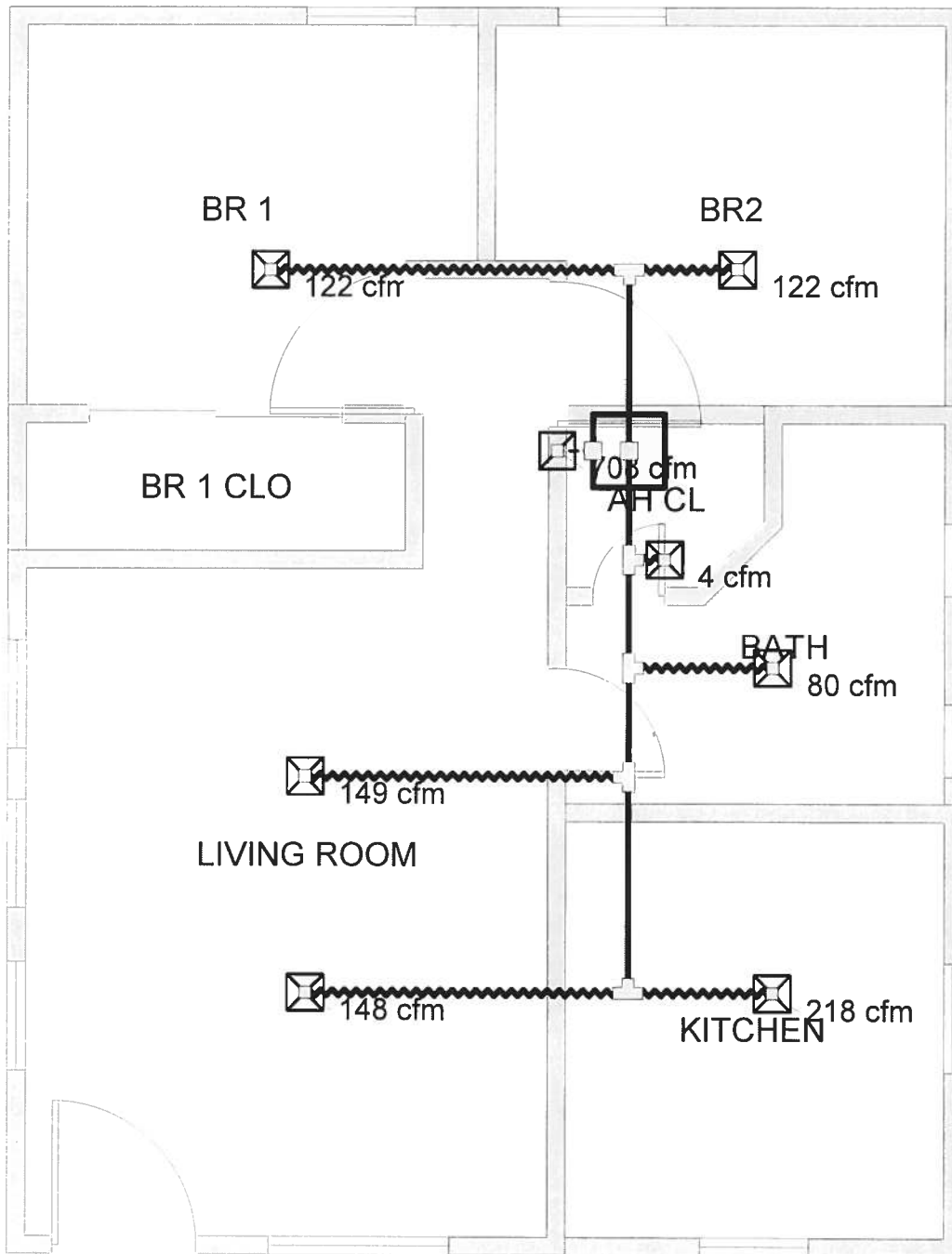
Cooling Equipment Summary

Make Carrier
 Trade
 Cond
 Coil

Efficiency	12 EER
Sensible cooling	12040 Btuh
Latent cooling	5160 Btuh
Total cooling	17200 Btuh
Actual air flow	708 cfm
Air flow factor	0.043 cfm/Btuh
Static pressure	0.00 in H2O
Load sensible heat ratio	0.83

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

Level 2



Job #:
Performed for:
 Mickey Stonepainter
 Lake City, Fl
 Phone: 248-767-6860

Glenn I. Jones, Inc.
 552 NW Hilton Ave
 Lake City, Fl 32055
 Phone: 386-752-5389 Fax: 386-755-3401
 www.glennijonesinc.com byron@glijinc.com

Scale: 1 : 60
 Page 1
 Comfort Builder by Wrightsoft
 6.0.115 RSRCAR45593
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26551

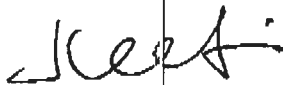
ENGINEERING SERVICES GROUP, INC.
1950 LEE ROAD, SUITE 123
WINTER PARK, FL 32789 CA# 8886
(407) 740-7111

To: Columbia County Building Dept.
Subject: Finished floor elevation
Project: Mick Stonepainter Residence
2650 S.W. Pinemount, Lake City, FL 32024

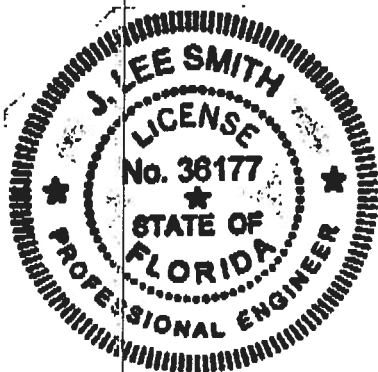
Dear Sirs:

In my opinion, the proposed building, being set back 400' from the road, may have a finished floor elevation 12" above grade and be acceptable for this site, based on information provided to me.

If there are questions or concerns, please call our office. Thank you.



J. Lee Smith, P.E. #36177
January 9, 2008





From: The Columbia County Building & Zoning Department
Plan Review
135 NE Hernando Av.
P.O. Box 1529
Lake City Florida 32056-1529

Reference to a building permit application Number: **0712-23**

Applicant: Michael Stonepainter
Owner: Michael Stonepainter
Contractor: Michael Stonepainter Owner/Builder
Property Identification # 5-4s-1602780-001

On the date of December 10, 2007 application 0712-23 and plans for construction of a single family dwelling were reviewed. The following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

Please include application number 0712-23 and when making reference to this application.

This is a plan review for compliance with the Florida Residential Codes 2004 only and doesn't make any consideration toward the land use and zoning requirement

1. The main electrical panel box is shown on the plans to be located in the mechanical room. Please provide the required overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground.
2. Please indicate that all bedroom circuits will be arc-fault protected.

Thank You:

A handwritten signature in red ink, appearing to read "Joe Haltiwanger".

Joe Haltiwanger
Plan Examiner
Columbia County Building Department

26551

ENGINEERING SERVICES GROUP, INC.

1950 LEE ROAD, SUITE 123

WINTER PARK, FL 32789

CA# 8886

(407) 740-7111

To: Columbia County Building Dept.

Subject: Finished floor elevation

Project: Mick Stonepainter Residence

2650 S.W. Pinemount, Lake City, FL 32024

Dear Sirs:

In my opinion, the proposed building, being set back 400' from the road, may have a finished floor elevation 12" above grade and be acceptable for this site, based on information provided to me.

If there are questions or concerns, please call our office. Thank you.



J. Lee Smith, P.E. #36177

January 9, 2008

New Construction Subterranean Termite Soil Treatment Record

OMB Approval No. 2502-0525

This form is completed by the licensed Pest Control Company.

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

26551

Section 1: General Information (Treating Company Information)

Company Name: Aspen Pest Control, Inc.
Company Address: P.O. Box 1795 City Lake City State FL Zip 32055
Company Business License No. JB109476 Company Phone No. 386-755-3511 • 352-494-6761
FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name: Michael Stoneminter Company Phone No. 248-7107-6860

Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) 71650 SW Pinemount Rd.
Lake City, FL 32024
Type of Construction (More than one box may be checked) ☒ Slab ☐ Basement ☐ Crawl ☐ Other _____
Approximate Depth of Footing: Outside 1' Inside 2' Type of Fill Sand

Section 4: Treatment Information

Date(s) of Treatment(s) 2/13/08
Brand Name of Product(s) Used Termidor
EPA Registration No. 7969-710
Approximate Final Mix Solution % 0.06%
Approximate Size of Treatment Area: Sq. ft. 832 Linear ft. 124 Linear ft. of Masonry Voids 124
Approximate Total Gallons of Solution Applied 185 gals.
Was treatment completed on exterior? ☐ Yes ☒ No
Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____

Comments _____

Name of Applicator(s) S. Gregory Certification No. (if required by State law) JB109476

The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations.

Authorized Signature Shannon Gregory Date 2/13/08

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Form NPCA-99-B may still be used

form HUD-NPCA-99-B (04/2003)

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID: ITD28228Z0206115414

Truss Fabricator: Anderson Truss Company
Job Identification: 7-363--OWNER BUILDER Mickey Sonepainter -- 248-767-6860 c , **
Truss Count: 2
Model Code: Florida Building Code 2004 and 2006 Supplement
Truss Criteria: ANSI/TPI-2002(STD)/FBC
Engineering Software: Alpine Software, Version 7.36.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
Address: the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-02 -Closed



Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

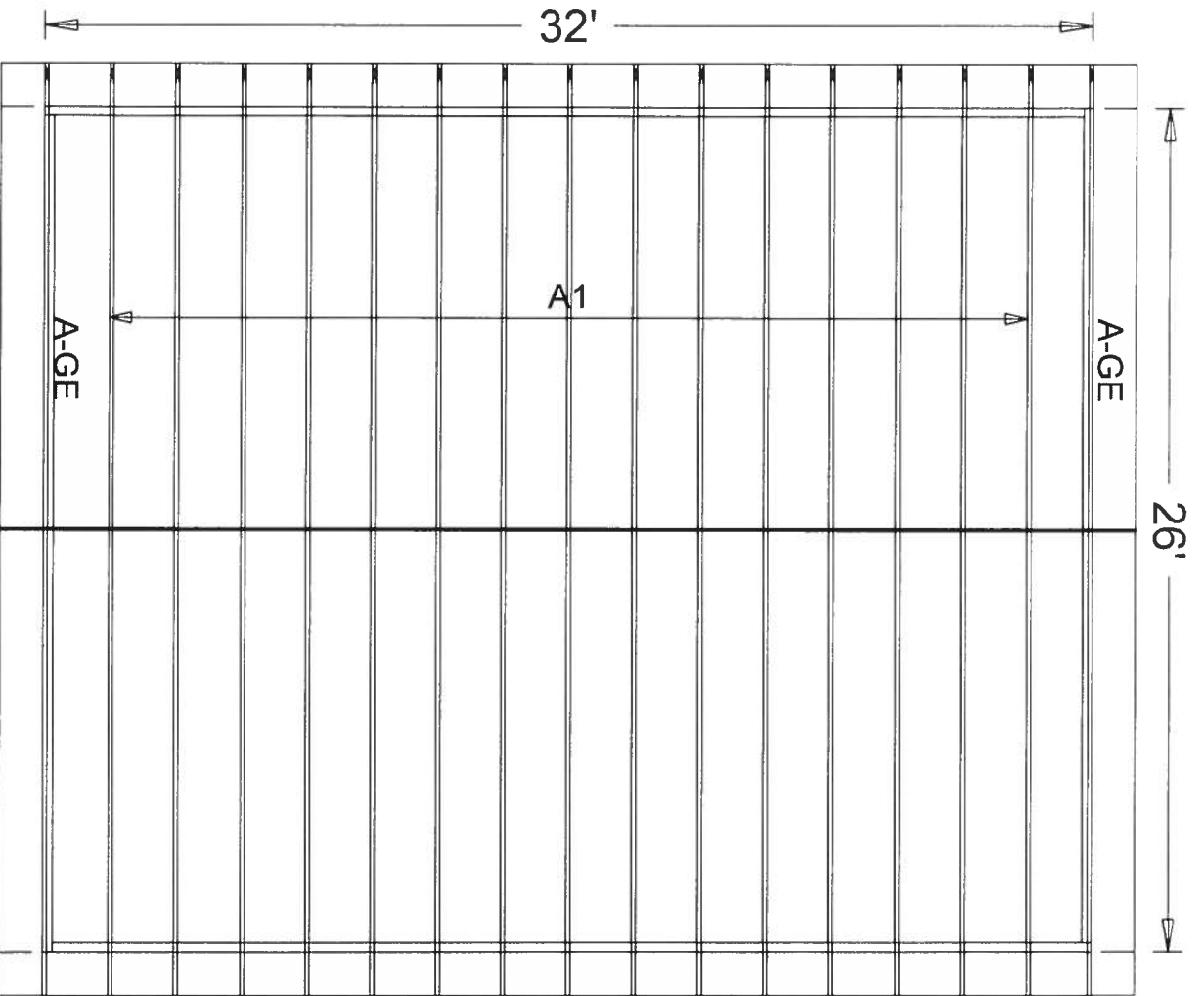
Seal Date: 12/06/2007

-Truss Design Engineer-
James F. Collins Jr.
Florida License Number: 52212
1950 Marley Drive
Haines City, FL 33844

Details: A11015EE-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	46286--A1		07340004	12/06/07
2	46287--A-GE		07340005	12/06/07





#7-363
MICKEY STONEPAINTER

Roof Plane Sheathing Area = 1048 sq. ft.
Gable Sheathing Area = 130 sq. ft.
Total Sheathing Area = 1177 sq. ft.
Fascia Material = 130 linear ft.
Ridge Cap Material = 35 linear ft.

JOB DESCRIPTION:: OWNER BUILDER
/: Mickey Sonepainter

JOB NO:
7-363

PAGE NO:
1 OF 1

Top	chord	2x4	SP	#2	Dense
Bot	chord	2x4	SP <td>#2</td> <td>Dense</td>	#2	Dense

```
:Stack Chord SC1 2x4 SP //2 Dense:
:Stack Chord SC2 2x4 SP //2 Dense:
```

Truss spaced at 24.0" OC designed to support 1-4-0 top chord outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must not be cut or notched.

Stacked top chord must NOT be notched or cut in area (NML).
Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 the plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

The building designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the building designer.

(**) 2 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

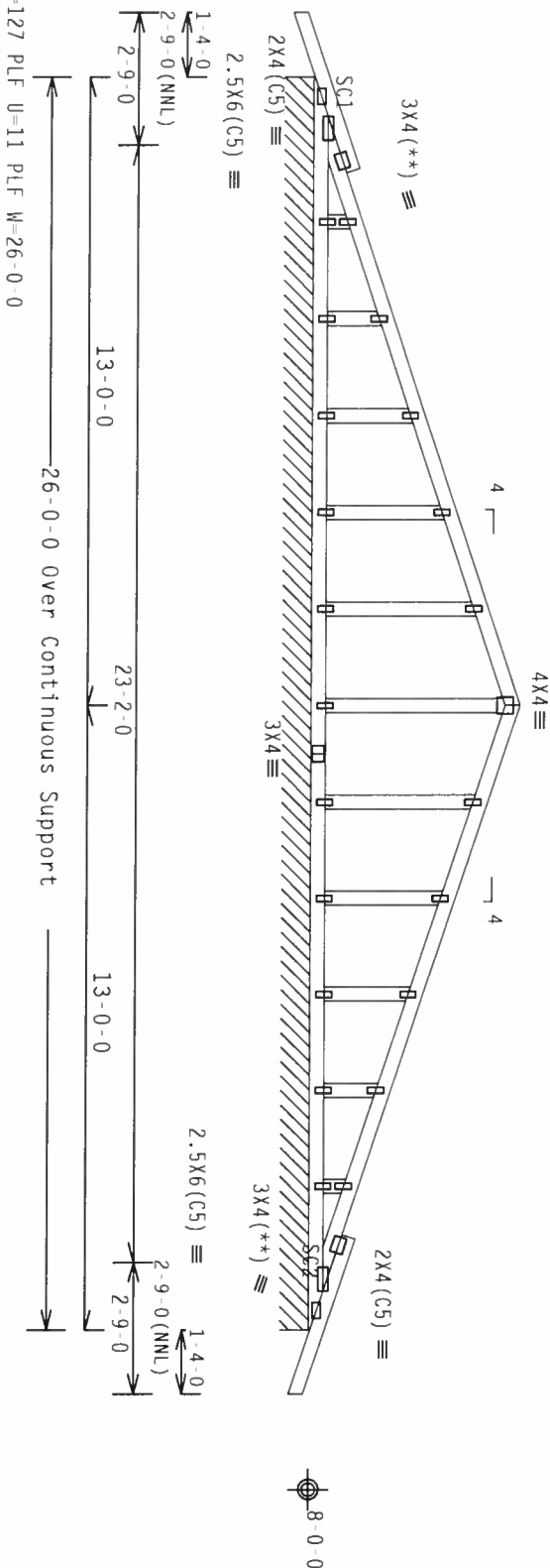
110 mph wind, 15.00 ft mean hgt., ASCE 7-02, CLOSED bldg, located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ $G_{CPI}(+/-)=0.18$

Wind reactions based on MAFRS pressures.

See DWGS A11015EE0207 & GBLETTIN0207 for more requirements.

In lieu of structural panels use purlins to brace TC @ 24" OC.

Deflection meets $L/240$ live and $L/180$ total load. Creep increase factor for dead load is 1.50.



Note: All Plates Are 1.5X4 Except As Shown.

PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC
Cq/RT=1.00(1.25)

 $Cq/RT=1.00(1.25)/0(0)$

7.36.0424

QTY:1

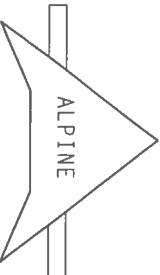
FL/-/4/-/E/-/-

Scale = .25"/Ft.

WARNING: FIRE'S RIGID EXISTING CASE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING REFER TO NC1 (BUILDING COMPONENT SAFETY INFORMATION). PUBLISHED BY IP1 (TRUSS PAPER INSTITUTE), 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314 AND NRC (NATIONAL RESEARCH COUNCIL OF AERONAUTICS), 6500 RESEARCH PARK, FARMINGTON, CT, 06031. ENTERPRISE LAM, MAHAN, MA, 01519 FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED RIGID CEILING.

*** IMPORTANT *** RETURN A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR, THE BCG, INC. SHALL NOT BE RESPONSIBLE FOR DEVIATION FROM THIS DESIGN: ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THE ORIGINATOR'S DRAWING, INCLUDING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS T60A-2
ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TP11 2002 SEC.3. A SEAL ON THIS
DRAWING INDICATE'S ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOCIETY FOR THE TRUSS COMPONENTS
DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE
BUILDING DESIGNED OR THE ARCHITECT AS REFERRED TO.



ITW Building Components Group, Inc.
Haines City, FL 33844
FL Certificate of Authorization # 0070

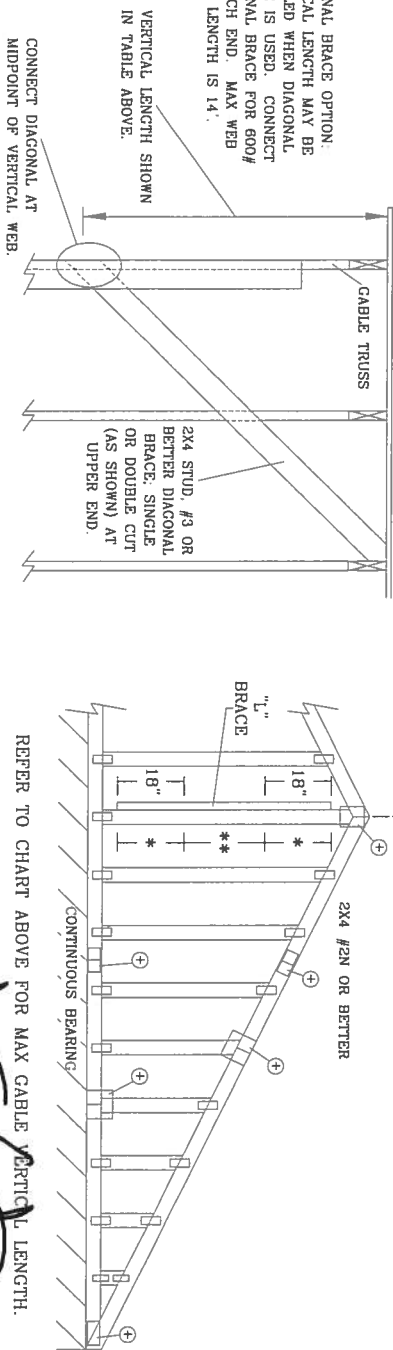


Dec 06 '07

TC LL	20.0 PSF	REF	R8228- 46287
TC DL	10.0 PSF	DATE	12/06/07
BC DL	10.0 PSF	DRW	HCUSR8228 07340005
BC LL	0.0 PSF	HC-ENG	JB/AP
TOT.LD.	40.0 PSF	SEQN-	65083
DUR.FAC.	1.25	FROM	AH
SPACING	24.0"	JREF	1TD28228Z02

2x4		BRACE		(1) 1x4 "L" BRACE *		(1) 2x4 "L" BRACE *		(2) 2x4 "L" BRACE **		(1) 2x6 "L" BRACE *		(2) 2x6 "L" BRACE **	
GABLE VERTICAL SPACING	SPECIES	GRADE	NO BRACES	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
12" O.C.	SPF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
		#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
		STUD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"
		STANDARD	3' 9"	6' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"
16" O.C.	SPF	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
		STUD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"
24" O.C.	SPF	#1 / #2	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
		#3	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"

MAX GABLE VERTICAL LENGTH



DIAGONAL BRACE OPTION:
VERTICAL LENGTH MAY BE
DOUBLED WHEN DIAGONAL
BRACE IS USED. CONNECT
DIAGONAL BRACE FOR 600#
AT EACH END. MAX WEB
TOTAL LENGTH IS 14'.

VERTICAL LENGTH SHOWN
IN TABLE ABOVE.

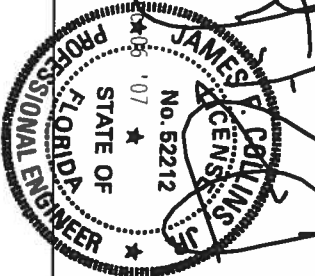
CONNECT DIAGONAL AT
MIDPOINT OF VERTICAL WEB.

REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

ALPINE

ITW BUILDING COMPONENTS GROUP, INC.
POMPAHO BEACH, FLORIDA

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO THE FOLLOWING INSTRUCTIONS FOR PROPER TRUSS BRACING AND INSTALLATION. THESE INSTRUCTIONS ARE BASED ON THE ASSUMPTION THAT THE TRUSSES WILL BE USED IN A RESIDENTIAL APPLICATION. THE TRUSSES ARE NOT TO BE USED IN ANY OTHER APPLICATION WITHOUT THE WRITTEN APPROVAL OF ITW BCG. CONNECTOR PLATES ARE MADE OF 2017B16GA (ALUMINUM) WITH AN 6063 GRADE ALUMINUM ANGLE. GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED BY CD SHALL BE PER ANNEK A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLICIT FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND ENGINEERING RESPONSIBILITY FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER. PER ANSI/TPI 1 SEC. 6



MAX. TOT. LD. 60 PSF
MAX. SPACING 24.0"

REF ASCE7-02-CAB11015
DATE 2/23/07
DRWG A11015E0207
-ENG

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2X4
GREATER THAN 11' 6"	2.5X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES

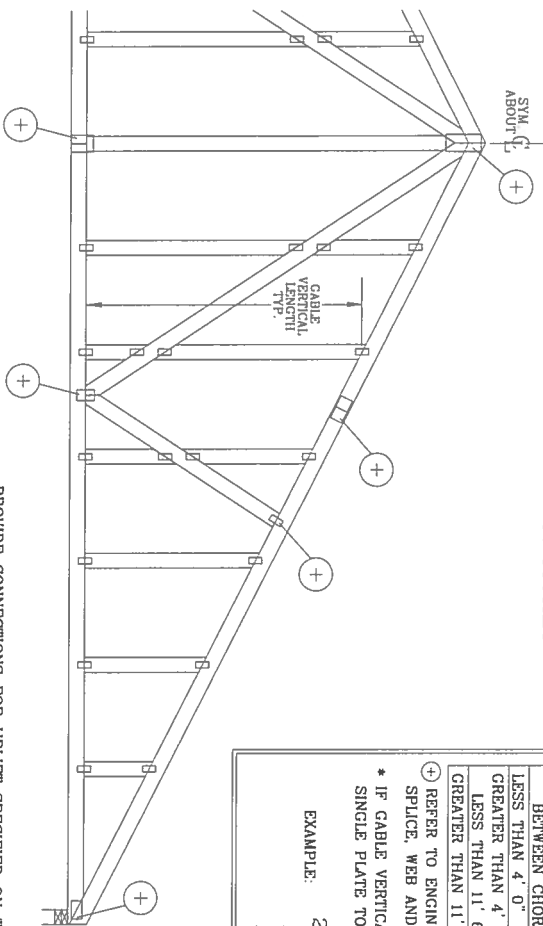
ATTACH EACH "L" BRACE WITH 10d NAILS.
* FOR (1) "L" BRACE: SPACE NAILS AT 2' O.C. IN 18" END ZONES AND 4' O.C. BETWEEN ZONES.
** FOR (2) "L" BRACES: SPACE NAILS AT 3' O.C. IN 18" END ZONES AND 6' O.C. BETWEEN ZONES.
"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

LIVE LOAD DEFLECTION CRITERIA IS L/240.
PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

CABLE TRUSS DETAIL NOTES:

BRACING GROUP SPECIES AND GRADES:			
GROUP A:		GROUP B:	
SPRUCE-PINE-FIR	HEM-FIR	SPRUCE-PINE-FIR	HEM-FIR
#1 / #2	#2	#1 / #2	#2
STUD	STUD	STUD	STUD
STANDARD	STANDARD	STANDARD	STANDARD
DOUGLAS FIR-LARCH		DOUGLAS FIR-LARCH	
#3	#3	#3	#3
STUD	STUD	STUD	STUD
STANDARD	STANDARD	STANDARD	STANDARD

CABLE DETAIL FOR LET-IN VERTICALS



CABLE VERTICAL PLATE SIZES			
VERTICAL LENGTH BETWEEN CHORDS	PLATE SIZE	IF PLATES OVERLAP*	
LESS THAN 4' 0"	1X4 OR 2X3	2X8	
GREATER THAN 4' 0" BUT LESS THAN 11' 6"	2X4	2X8	
GREATER THAN 11' 6"	2.5X4	2.5X8	

* IF CABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE TO SPAN THE WEB.

EXAMPLE: 2X4 2X4 2X8

⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

HAND DRIVEN NAILS:

- 10d COMMON (0.148" X 3" MIN) TOENAILS AT 4" O.C. PLUS
- (4) 16d COMMON (0.162" X 3.5" MIN) TOENAILS IN TOP AND BOTTOM CHORD.

GUN DRIVEN NAILS:

- 8d COMMON (0.131" X 2.5" MIN) TOENAILS AT 4" O.C. PLUS
- (4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ALPINE CABLE DETAIL FOR ASCE OR SBCCI WIND LOAD.

ASCE 7-93 CABLE DETAIL DRAWINGS

A11015EN0207, A10015EN0207, A09015EN0207, A08015EN0207, A07015EN0207, A11030EN0207, A10030EN0207, A09030EN0207, A08030EN0207, A07030EN0207

ASCE 7-98 CABLE DETAIL DRAWINGS

A13015EC0207, A12015EC0207, A11015EC0207, A10015EC0207, A09015EC0207, A13030EC0207, A12030EC0207, A11030EC0207, A10030EC0207, A09030EC0207

ASCE 7-02 CABLE DETAIL DRAWINGS

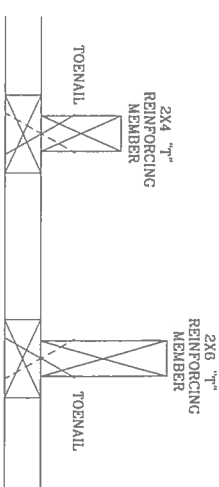
A13015EB0207, A12015EB0207, A11015EB0207, A10015EB0207, A09015EB0207, A13030EB0207, A12030EB0207, A11030EB0207, A10030EB0207, A09030EB0207

ASCE 7-05 CABLE DETAIL DRAWINGS

A13015B50207, A12015B50207, A11015B50207, A10015B50207, A09015B50207, A13030B50207, A12030B50207, A11030B50207, A10030B50207, A09030B50207

SEE APPROPRIATE ALPINE CABLE DETAIL (ASCE OR SBCCI WIND LOAD) FOR MAXIMUM UNREINFORCED CABLE VERTICAL LENGTH.

THIS DRAWING REPLACES DRAWINGS GAB98117 876.719 & HC26294035



TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" FACTOR BY LENGTH (BASED ON CABLE VERTICAL SPECIES, GRADE AND SPACING) FOR (1) 2X4 "L" BRACE GROUP A, OBTAINED FROM THE APPROPRIATE ALPINE CABLE DETAIL FOR ASCE OR SBCCI WIND LOAD.

MAXIMUM ALLOWABLE "T" REINFORCED CABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED "T" REINF. AND MRH	MBR. SIZE	SBCCI	ASCE
110 MPH	2x4	10 %	10 %
15 FT	2x6	40 %	50 %
110 MPH	2x4	10 %	10 %
30 FT	2x6	50 %	50 %
100 MPH	2x4	10 %	10 %
15 FT	2x6	30 %	50 %
100 MPH	2x4	10 %	10 %
30 FT	2x6	40 %	40 %
90 MPH	2x4	20 %	10 %
15 FT	2x6	10 %	40 %
90 MPH	2x4	10 %	10 %
30 FT	2x6	30 %	50 %
80 MPH	2x4	10 %	20 %
15 FT	2x6	10 %	30 %
80 MPH	2x4	20 %	10 %
30 FT	2x6	20 %	40 %
70 MPH	2x4	0 %	20 %
15 FT	2x6	0 %	20 %
70 MPH	2x4	10 %	20 %
30 FT	2x6	10 %	30 %

EXAMPLE:

ASCE WIND SPEED = 100 MPH

MEAN ROOF HEIGHT = 30 FT

GABLE VERTICAL = 24" O.C. SP #3

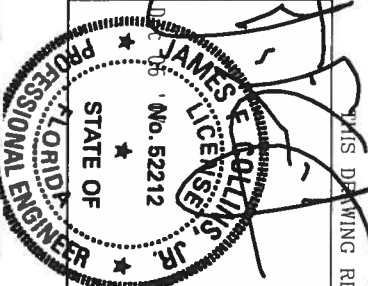
"T" REINFORCING MEMBER SIZE = 2X4

(1) 2X4 "L" BRACE LENGTH = 6' 7"

MAXIMUM "T" REINFORCED CABLE VERTICAL LENGTH 1.10 x 6' 7" = 7' 3"



ITW BUILDING COMPONENTS GROUP, INC.
POMPAHO BEACH, FLORIDA



MAX TOT. LD. 60 PSF	REF	LET-IN VERT
DUR. FAC. ANY	DATE	2/23/07
MAX SPACING 24.0"	DRWG	GBLETTIN0207
	ENG	DLJ/KAR

COLUMBIA COUNTY OFFICE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 05-4S-16-02780-001

Building permit No. 000026551

Use Classification SFD/UTILITY

Fire: 36.63

Permit Holder MICHAEL STONEPAINTER

Waste: 50.25

Owner of Building MICHAEL STONEPAINTER

Total: 86.88

Location: 2650 SW PINEMOUNT RD, LAKE CITY, FL

Date: 07/24/2008

Tanya Beebe

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)