

New Construction Subterranean Termite Service Record

OMB Approval No. 2502-0525
(exp. 02/29/2012)

This form is completed by the licensed Pest Control Company.

29722

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential, therefore, no assurance of confidentiality is provided.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Company and builder, unless stated otherwise.

Section 1: General Information (Pest Control Company Information)

Company Name Aspen Pest Control, Inc.
Company Address P.O. Box 1795 City Lake City State FL Zip 32056
Company Business License No. JB182948 Company Phone No. 386-755-3611
FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name Single Construction Phone No. 386-1693

Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) Young Wilson
245 Old Wilson Rd Lake City, FL 32054

Section 4: Service Information

Date(s) of Service(s) 11-2-2011
Type of Construction (More than one box may be checked) ☐ Slab ☐ Basement ☐ Crawl ☐ Other _____

Check all that apply:

- ☒ A. Soil Applied Liquid Termiticide
Brand Name of Termiticide: Termidor EPA Registration No. 54936
Approx. Dilution (%): 10 Approx. Total Gallons Mix Applied: 5 Treatment completed on exterior: ☐ Yes ☒ No
- ☐ B. Wood Applied Liquid Termiticide
Brand Name of Termiticide: _____ EPA Registration No. _____
Approx. Dilution (%): _____ Approx. Total Gallons Mix Applied: _____
- ☐ C. Bait System Installed
Name of System _____ EPA Registration No. _____ Number of Stations Installed _____
- ☐ D. Physical Barrier System Installed
Name of System _____ Attach installation information (required) _____

Service Agreement Available? ☐ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____

Comments _____

Name of Applicator(s) C. J. ... Certification No. (if required by State law) _____

The applicator has used a product in accordance with the product label and state requirements. All materials and methods used comply with state and federal regulations.

Authorized Signature C. J. ... Date 11-2-2011

will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

still be used

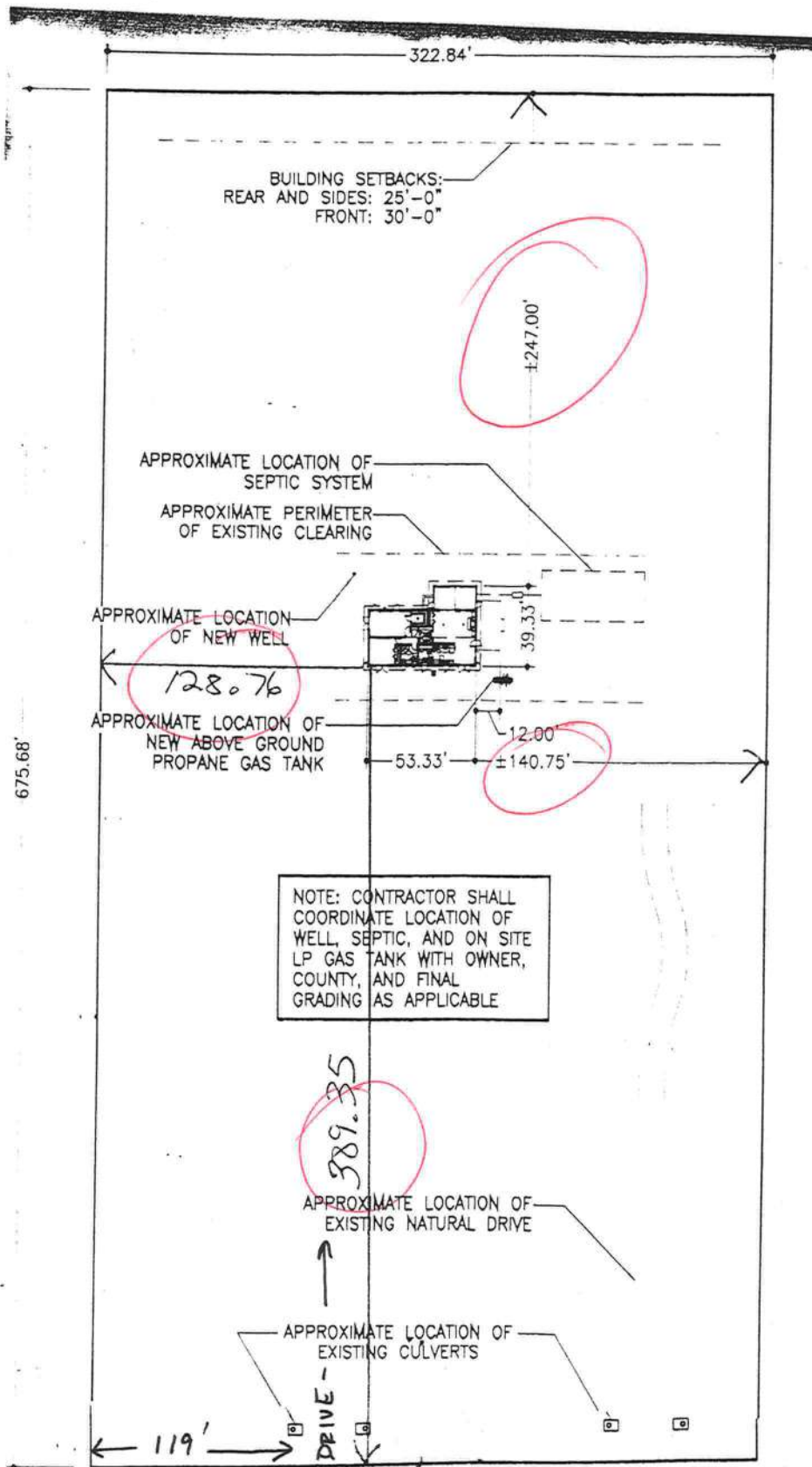
OWNMAX • 1-800-252-4011

form HUD-NPMA-89-B

29722

Doug Wilson Site Plan

Lot 2 Paradise south
24-5 S-16-03707-102



NOTE: CONTRACTOR SHALL
COORDINATE LOCATION OF
WELL, SEPTIC, AND ON SITE
LP GAS TANK WITH OWNER,
COUNTY, AND FINAL
GRADING AS APPLICABLE

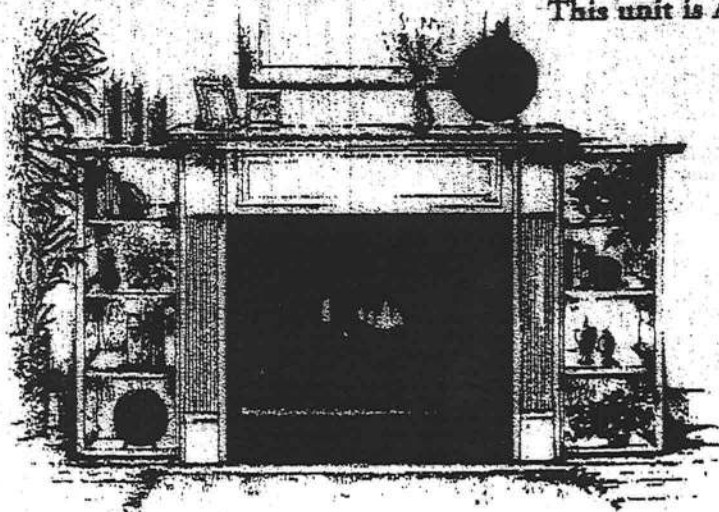
• • SW OLD WIRE ROAD

VENT-FREE

This unit is A.G.A. certified as a heater with 99% heat efficiency

No chimney or flue system required

Wide selection of factory installed options offered

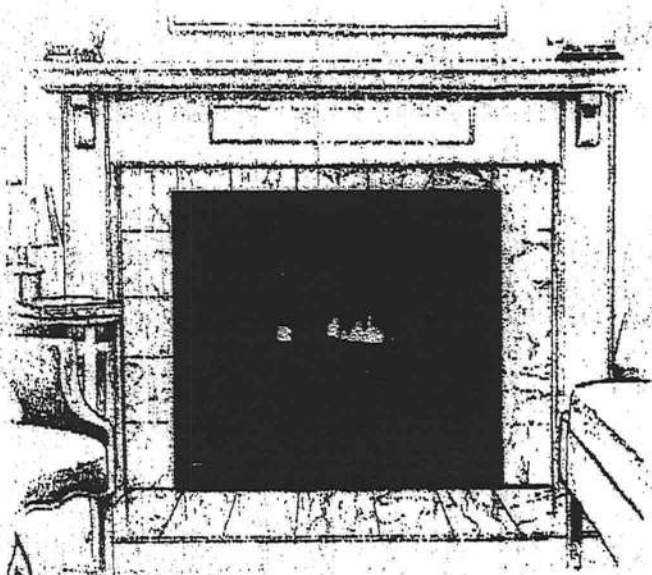
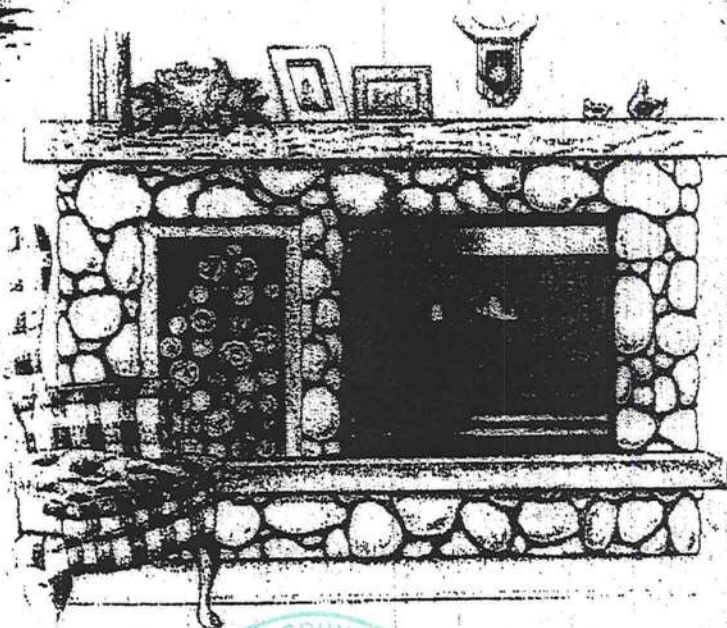


VF-4000

- 14,000 - 25,000 Btu/hr with manual control valve
- 19,500 - 25,000 Btu/hr with millivolt control valve
- Fully assembled and ready to install
- Attractive wood surrounds available
- 15" x 30" fixed or operable screen opening

VF-5000

- 25,000 Btu/hr millivolt variable heat output
- 15" X 30" glass or screen viewing area
- Clean burning, safe and easy to install
- Realistic charred oak logs with glowing embers



GAS

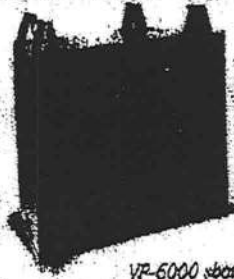
VF-6000

- 32,000 Btu/hr millivolt variable heat output
- Beautiful 20" X 34" glass or screen viewing area
- Will operate during a power failure
- Designed for large rooms



SUPERIOR

VF-4000/5000/6000



VF-6000 surround

Controls hidden in access compartment.



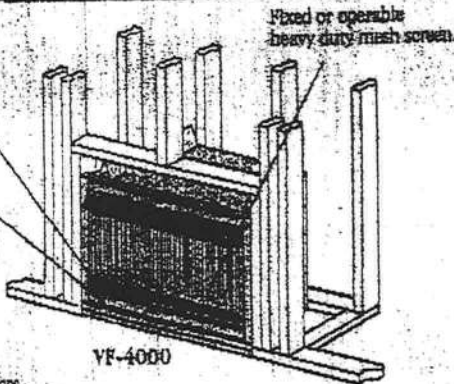
Optional FAB-1100 Blower.

Optional brass hoods, arches, glass panel and fine mesh screen.

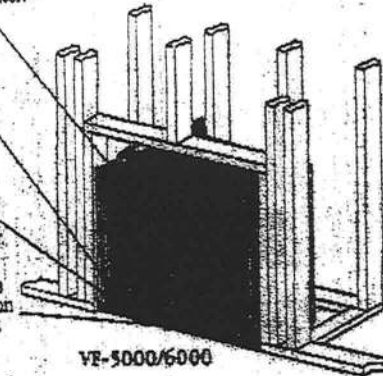


Optional FAB-1100 Blower.

Multivolt controls and piezo ignition operate during a power failure.



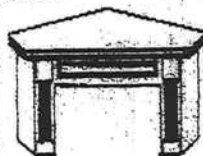
VF-4000



VF-5000/6000

SURROUNDS

The Charleston Poplar Surround is hand crafted using a combination of solid Poplar and Poplar veneer. Using the unique wood type of Poplar allows you the option to paint or stain this elegantly detailed surround. The surround is constructed using easy to assemble cam locks, and available in corner and wall units.



Distributed by:



Refractory tan brick panels



Gas flex liner kit



Square brass trim kit



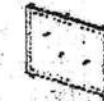
Brass Lower Kit (For VF-4 only)



Screen panel kit (For VF-5 & VF6 only)



Arch kit (For VF-5 & VF6 only)



Glass door kit (For VF-5 & VF6 only)



Brass hood (For VF-5 & VF6 only)

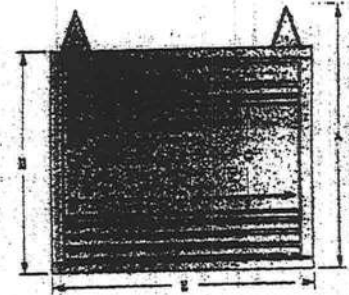


Wall switch or optional wireless remote available (For VF-4MV, VF-5 & VF-6)

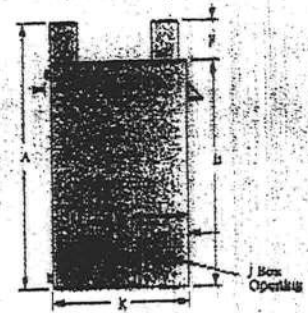


Wall thermostat (For VF-4MV, VF-5 & VF-6)

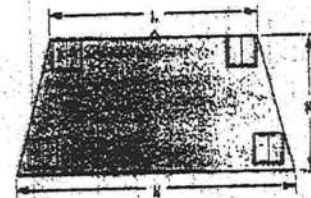
Front View



Left Side View



Top View



Vent-Free Product Dimensions

	VF-4000/5000C	VF-6000C
A	42-1/8"	42-1/8"
B	31-1/2"	36-5/8"
C	20"	20"
D	30"	34"
E	40"	40"
F	5-1/2"	5-1/2"
G	1-1/2"	1-1/2"
H	3-3/4"	3-3/4"
I	8-1/2"	8-1/2"
J	3"	3"
K	19-1/8"	19-1/8"
L	27"	28-1/2"

Btu Chart

Model	Natural	Propane
VF-4000 manual	14,000 - 25,000	14,000 - 25,000
VF-4000/5000 multivolt	19,500 - 25,000	19,500 - 25,000
VF-6000	25,000 - 32,000	25,000 - 32,000

Framing Dimension

Model	Width	Height	Depth
VF-4000/5000	37"	37-1/4"	15-1/2"
VF-6000	41"	42-3/8"	19-1/2"

NOTE: Diagrams and illustrations are not to scale. Product designs, materials, dimensions, specifications, colors and prices subject to change or discontinuation without notice. Built to ANSI Z21.11.2 standard and approved by A.G.A. (report # L2970017).

Consult your distributor for local fireplace code information.



SUPERIOR

www.LennoxHearthProducts.com

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Lennox Hearth Products Direct-Vent heater rated gas appliances include a 20-year limited warranty.

P/N 904444 REV. 2/00

May. 01 2003 07:51AM P2

FAX NO.: +386 758 4735

FROM: LAKE CITY INDUSTRIES

Douglas Wilson

Location:

Project Name:

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

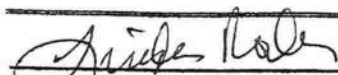
Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	Mayfair	entry door	FL 1311
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung	Danvid	Single hung	FL 2348
2. Horizontal Slider	Danvid	horizontal slider	FL 1368
3. Casement	Shwinco	Vinyl	FL 132-R1
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits	Ashley	Aluminum	FL 406
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles	Tamco	30-year shingles	FL 673
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			



13. Liquid Applied Roof Sys			
14. Cements-Adhesives - Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight	Solatube	Skylight	FL 11480
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection


Contractor or Contractor's Authorized Agent Signature

Linda Roda
Print Name Date

Location

Permit # (FOR STAFF USE ONLY)

STRUCTURAL ENGINEERING

FOR

WILSON RESIDENCE

2115 SW Old Wire Road Lake City, FL

w s e

WAYLAND

STRUCTURAL ENGINEERING

8200 SW 16th Place Gainesville, FL 32607

Phone/Fax 352-331-0727

FL COA #8236

Project No. 11068

August 26, 2011

For

Douglas Wilson

929 SW Old Wire Road Lake City, FL 32024



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GREGORY S. WAYLAND, PE

FL PE #54396

A handwritten signature in black ink, appearing to read "Gregory S. Wayland". Below the signature is the date "8/26/11".

WAYLAND STRUCTURAL ENGINEERING		Date: 8/26/2011
Gregory S. Wayland, PE	FL PE #54396	By: GSW
8200 SW 16th Place Gainesville, FL 32607	FL COA #8236	Page: 1
Project Name: WILSON RESIDENCE WSE Project Number: 11068 Project Location: Lake City, FL		For: Doug Wilson 929 SW Old Wire Road Lake City, FL 32024

STRUCTURAL SPECIFICATION

A. GENERAL

- This STRUCTURAL SPECIFICATION shall be considered part of the contract documents for this project and shall be attached to the drawings prepared by: **Warren E. Barry, Architect** Date: _____
- Roof truss layout, uplift loads and gravity loads relied upon for design of supporting walls, lintels, headers, footings, etc. prepared by: **Mayo Truss** Date: 8/12/2011
- Information and materials specified in this STRUCTURAL SPECIFICATION shall take precedence over that shown on the drawings.
- Signing and sealing this document and/or the construction drawings by Wayland Structural Engineering certifies only the structural systems for this building, and is not a certification of the site plan, architectural, electrical, mechanical, plumbing or other systems that may be shown on the same drawing. WSE is not responsible for changes made to this document by others without written consent.
- It is assumed that this building site is not located within a 100 year floodplain and is not designed for hydrostatic or moving water loads.

B. GOVERNING CODE

FLORIDA BUILDING CODE, 2007 + 2009 SUPPLEMENT

C. DESIGN LOADS

1. Dead Loads (Section 1606)			4. Wind Loads (Section 1609)		
Roof Top Chord	10	psf	Enclosure Classification	Enclosed	
Roof Bottom Chord	10	psf	Basic Wind Speed (3 sec. gust)	110	mph
Floor	10	psf	Wind Importance Factor, I_w	1.0	
2. Live Loads (Section 1607)			Exposure Category	B	
Floor Live Load	40	psf	Internal Pressure Coefficients:	+0.18, -0.18	
Balconies	60	psf	Design Wind Pressures for Doors and Windows:		
Attics w/o storage	10	psf			
Attics w storage	20	psf			
3. Roof Live Loads (Section 1607.11.2)					
12:12 pitch	12	psf	Opening Area (sf)	Inward Pressure (psf)	Outward Pressure (psf)
10:12 pitch	14	psf	0-10	21.8	-29.1
8:12 pitch	16	psf	11-20	20.8	-27.2
6:12 pitch	18	psf	21-50	19.5	-24.6
Flat to 4:12 pitch	20	psf	51-100	18.5	-22.6

D. EARTHWORK

1. General:

- GEOTECHNICAL REPORT: A geotechnical has been performed for this site by: Geo-Tech, Inc. 1016 SE 3rd Avenue Ocala, FL 34471 - David A. Cappa, PE #58334
Contractor shall obtain a copy of this report from the project Owner prior to bidding and it shall be considered part of the Contract for Work.
All recommendations outlined in the report shall be followed exactly. Listed below is a summary.
- Bearing soil encountered is fine sand to 2-2.5 feet deep, underlain by clayey sand to depths drilled.
- Groundwater table levels were not found at boring locations at the time of drilling.
- The allowable soil bearing pressure is assumed to be 2,500 pounds per square foot.

2. Site Preparation:

- Strip all trees, grasses, topsoil and other organics from building footprint. Use root rake or similar equipment to remove roots.

3. Excavation:

- Excavations are to be performed in accordance with current OSHA standards. Contractor is responsible for excavation safety.
- Excavate the clayey soils to create a minimum buffer of 4 feet between foundation and floor slab and the top of clayey soils.
- Excavation shall extend minimum 2 feet beyond each side of footing.
- Bottom of undercut should be graded to drain to a positive gravity outfall. Otherwise an underdrain shall be placed at the bottom of the excavation to drain stormwater that may accumulate.
- Install a sock drain around the perimeter footings.

4. Footing Bearing:

- All foundations are to bear on prepared compacted fill as described herein.
- Bottom of footings are to extend at least 12 inches below grade.

5. Ground/Surface Water Control:

- Excavation and backfill operations are to be maintained in a dry condition.
- Slope or crown building subgrades to promote run-off and prevent ponding.
- Surface and infiltrating water are to be removed by grading and pumping from sumps if required.

6. Backfill and Compaction:

- Use only clean, well graded sand with 3% to 12% passing #200 sieve for fill and backfill.
- Mechanically compact all backfill within building footprint in maximum 12" loose lifts to 95% of maximum dry density per Modified Proctor Test, ASTM D-1557.
- Use 6" loose lifts if hand held compaction equipment is used.

7. Pest Control:

- Treat all slab subgrades for termites in accordance with the Florida Building Code and local ordinances.

8. Exterior Grading:

- Exterior grade is to be kept at least 6 inches below wood siding and/or foam insulation.
- Slope exterior grade away from building to promote drainage.

9. Testing & Inspection:

- All earthwork operations shall be monitored and accepted by Geotechnical representative including excavation, backfill, compaction.

WAYLAND STRUCTURAL ENGINEERING		Date: 8/26/2011
Gregory S. Wayland, PE		By: GSW
8200 SW 16th Place Gainesville, FL 32607		Page: 2
FL PE #54396 FL COA #8236		
Ph/Fax 352-331-0727		
Project Name: WILSON RESIDENCE	For: Doug Wilson	
WSE Project Number: 11068	929 SW Old Wire Road	
Project Location: Lake City, FL	Lake City, FL 32024	

STRUCTURAL SPECIFICATION (Continued)

E. CONCRETE

1. General:

Comply with Florida Building Code, Chapter 19, and ACI 301-99 Specifications for Structural Concrete.

2. Concrete:

- a. Cement: ASTM C150, Type I Portland cement
b. Aggregate: ASTM C33, maximum aggregate size = 1 inch
c. Water/cement ratio: 0.50 maximum
d. Slump: 4 inches +/- 1 inch.
e. Air entraining: ASTM C 260, concrete is to be air entrained for mild exposure, 3 - 6%.

COMPRESSIVE STRENGTH, (psi) min. at 28 days	
Member	Strength
Footings, slabs-on-grade	2,500

3. Reinforcing:

ASTM A615, Grade 40.

LAPS, BENDS, HOOKS			
Bar Size	Lap Length	Bend Diameter	Hook Length
#3	15"	2 1/4"	6"
#4	20"	3"	8"
#5	25"	3 3/4"	10"
#6	30"	4 1/2"	12"

BAR COVER	
Condition	Minimum Cover
Cast against and exposed to earth	3"
Exposed to earth or weather	1 1/2"
Not exposed to weather or earth	
Slabs, walls, joists	3/4"
Beams, columns (stirrups, ties)	1 1/2"

4. Footings:

BEARING WALL FOOTINGS			
Type	Width	Depth	Reinforcing
Stem wall	20"	10"	(3) #5
Monolithic	16"	12"	(3) #5

Corner bars: Provide 90 degree bend at all footing corners.

5. Slabs-On-Grade:

- a. Thickness: 4 in.
b. Vapor retarder: 6 mil polyethylene, lap edges 6 inches.
c. Reinforcing: Welded Wire Reinforcing (WWR): ASTM A185, 6x6-W1.4xW1.4 (6x6-10/10) sheets, lap edges minimum 10 inches, support on chairs @ 3'-0" o.c. each way.
WWR need not be installed on chairs if used in conjunction with fiber reinforcement.
(Optional) Fibrous Reinforcing: ASTM C 1116, Fibermesh "Stealth" or "Inforce e3" polypropylene fibers by SI Concrete Systems or equivalent. Add to concrete mix at rate of 1.5 lb/cy.
d. Protection: Cure all slabs for 7 days using sprayed-on curing compound or continuous water sprinkling.
e. Slab joints: As concrete slabs cure and dry out, they will shrink causing cracks to form in surface of slab. Slab reinforcement is placed in slab to help limit width of cracks that do form. All slabs left exposed should be saw-cut in roughly 10'-0" squares.

F. MASONRY

1. General:

Comply with the Florida Building Code, Chapter 21 and ACI 530.1-02 Specifications for Masonry Structures.

2. Masonry:

ASTM C90, Type 1, two core, normal weight units, 1,900 psi net area compressive strength.

3. Mortar:

ASTM C270, Type M or S.

4. Grout:

ASTM C476, fine or coarse grout, minimum 3,000 psi compressive strength at 28 days, 8-9 inch slump.

5. Joint Reinf.:

(Optional) ASTM A951, truss type, hot-dip galvanized per ASTM A153, class B, 9 gauge wires spaced 16" o.c. vertically.

6. Reinforcing:

ASTM A615, Grade 40. Provide clean-out at base of wall for pours over 5 feet high, lap bars 48 bar diameters.

- a. Vertical: Provide #5 bars @ 4'-0" o.c. and at all corners and ends of walls.
Provide one vertical #5 bar in first cell at all window and door jambs.
b. Horizontal: Provide one #5 bar continuous in bond beam at top of wall.
c. Hooks: Provide standard 90 degree hook into footing at bottom and into bond beam at top of wall.
d. Corners: Provide 90 degree bend corner bars at all wall corners and intersections.
e. Lintels: Provide precast/pre-reinforced U-shaped concrete lintels over all openings sized for span and loading.

WAYLAND STRUCTURAL ENGINEERING		Date: 8/26/2011
Gregory S. Wayland, PE	FL PE #54396	FL COA #8236
8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727	By: GSW
Project Name: WILSON RESIDENCE		Page: 3
WSE Project Number: 11068	For: Doug Wilson	
Project Location: Lake City, FL	929 SW Old Wire Road	
	Lake City, FL 32024	

STRUCTURAL SPECIFICATION (Continued)

G. WOOD FRAMING

1. General:

Comply with the Florida Building Code, Chapter 23.

2. Studs:

Wall height	Member	Spacing	Grade	Species
Up to 10 ft.	2x4	16" o.c.	No. 2	Spruce-Pine-Fir (SPF)

3. Headers, Joists, Beams:

No. 2, Southern Pine (SP).

4. Posts:

No. 2, Southern Pine (SP).

5. Trusses:

- Wayland Structural Engineering is not responsible for design and detailing or installation of engineered wood roof trusses.
- Truss engineering drawings to be signed and sealed by Professional Engineer registered in State of Florida.
- Truss manufacturer to Engineer trusses to support dead, live and wind loads per Florida Building Code or ASCE 7-05.
- Engineer trusses to comply with ANSI/TPI 1 "National Design Standard for Metal Plate Connected Wood Truss Construction."
- Comply with TPI HIB "Commentary and Recommendations for Handling, Installing and Bracing of Metal Plate Connected Wood Trusses."
- Comply with TPI DSB "Recommended Design Specification for Temporary Bracing of Metal Plate Connected Wood Trusses."
- Truss spacing = 2'-0" o.c. maximum.

6. Fascia Board:

No. 2, Spruce-Pine-Fir (SPF).

7. Sheathing:

- Roof Sheathing: 7/16" thick, Oriented Strand Board (OSB), Sheathing Grade, Exposure 1.
Fasten with 8d ring-shank nails.
(0.113 in. nominal shank dia., ring dia. 0.012 in. over shank dia., 16-20 rings/inch, 0.280 in. head dia., 2 1/2 in. length)
Fasten @ 6" o.c. at panel edges, 12" o.c. at panel interior, and 6" o.c. (edge & interior) within 5 ft. of gable ends.
Lay panels perpendicular to supports, stagger joints one-half panel length. Provide "H" panel clips between panel supports.
Nail panel edges to fascia board.
- Wall Sheathing: 7/16" thick, Oriented Strand Board (OSB), Sheathing Grade, Exposure 1.
Fasten with 8d nails @ 6" o.c. at panel edges, 12" o.c. along intermediate supports.
Install panels vertically. Nail top edge to top plate. Provide solid blocking at all panel edges.

8. Fasteners:

- Nails: Comply with Florida Building Code, 2006 Supplement, Table 2304.9.1, "Fastening Schedule."
- Epoxy: Simpson "SET" or Hilti "HIT HY150" Epoxy Adhesive. Follow manufacturer's installation instructions exactly.
- Bolts: ASTM A307, hot-dip galvanized, see plan for size and quantity.
- Uplift Anchors & Ties: Simpson Strong-Tie.
- Corrosion Protection: All fasteners exposed to weather or in contact with preservative treated wood shall be hot-dip galvanized to G185. For Simpson connectors, provide "Z-Max" coating.

H. WINDOWS, DOORS, SKYLIGHTS

1. Design:

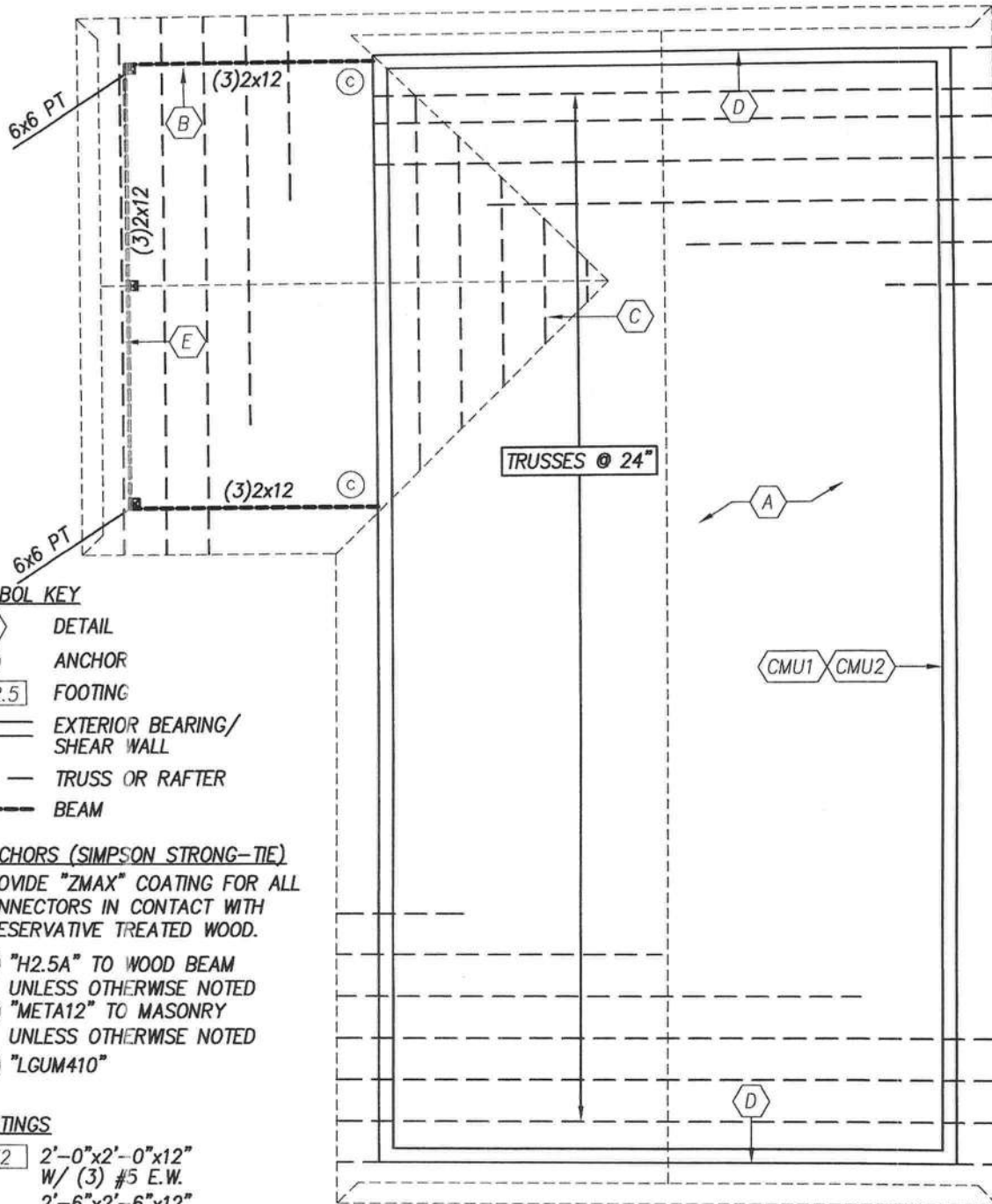
Wayland Structural Engineering is not responsible for the design, construction, or attachment of windows, doors or skylights. The building envelope is designed assuming a fully enclosed condition, therefore windows, doors and skylights must be designed to support the same wind pressures that walls and roofs are designed for.

2. Certification:




Window, door and skylight manufacturer shall submit certification indicating that window or door units can adequately support design wind pressures for the specified wind zone as shown in section C.4. above.

3. Fastenings:

Window, door and skylight manufacturer is to provide fastening information for attachment to supporting construction.



SYMBOL KEY

- | | |
|---|---------------------------------|
|  | DETAIL |
|  | ANCHOR |
|  | FOOTING |
|  | EXTERIOR BEARING/
SHEAR WALL |
|  | TRUSS OR RAFTER |
|  | BEAM |

ANCHORS (SIMPSON STRONG-TIE)

PROVIDE "ZMAX" COATING FOR ALL CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED WOOD.

- (A) "H2.5A" TO WOOD BEAM
UNLESS OTHERWISE NOTED
- (B) "META12" TO MASONRY
UNLESS OTHERWISE NOTED
- (C) "LGUM410"

FOOTINGS

- F2 2'-0"x2'-0"x12"
W/ (3) #5 E.W.
2'-6"x2'-6"x12"

WAYLAND STRUCTURAL ENGINEERING

W S e

GREGORY S. WAYLAND, PE
8200 SW 16TH PLACE GAINESVILLE, FL 32607
PHONE/FAX: (352) 331-0727
FLORIDA PE #54396 COA #8236

PROJECT NAME: WILSON RESIDENCE

LOCATION: LAKE CITY, FLORIDA

DWG. NAME: STRUCTURAL PLAN

SCALE: $1/8" = 1'-0"$

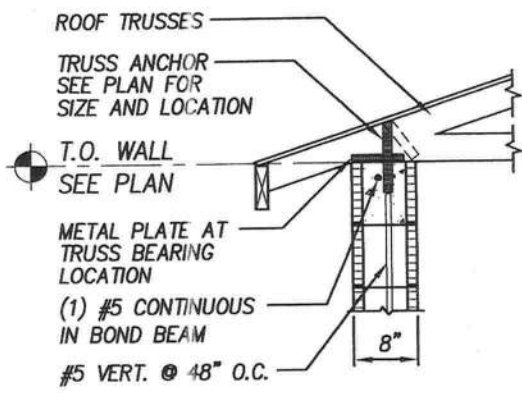
BY: GSW

DWG NO.

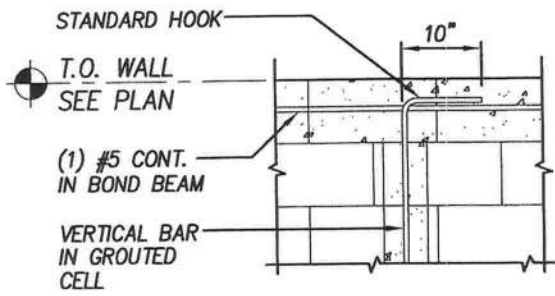
PROJECT NO: 11068

DATE: 08/26/2011

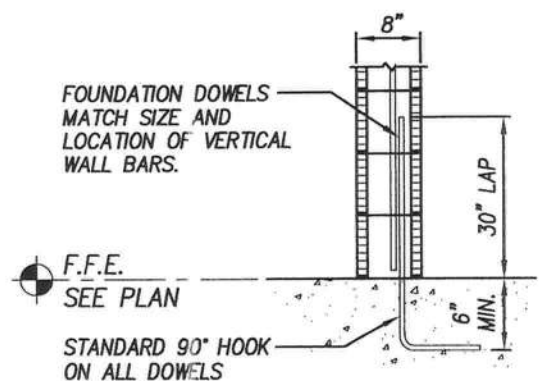
S1



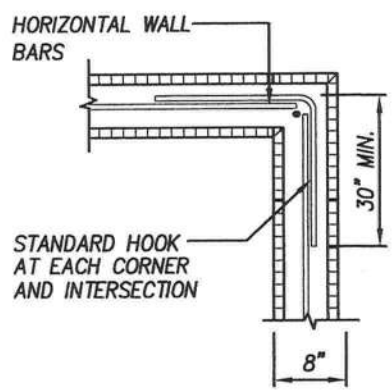
1 EXTERIOR TRUSS BEARING
1/2" = 1'-0"



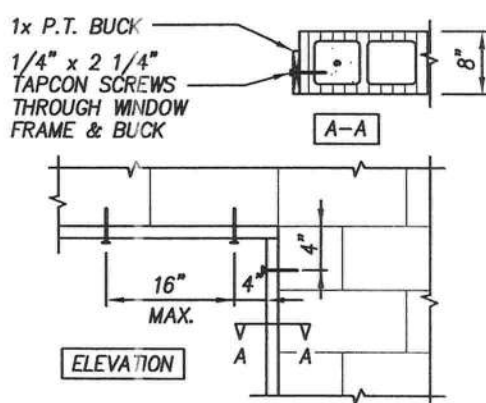
2 HOOK TO BOND BEAM
1/2" = 1'-0"



3 WALL BASE
1/2" = 1'-0"



4 WALL CORNER REINFORCING
1/2" = 1'-0"



5 DOOR/WINDOW BUCK
1/2" = 1'-0"

WAYLAND STRUCTURAL ENGINEERING

W S E

GREGORY S. WAYLAND, PE
3200 SW 16TH PLACE GAINESVILLE, FL 32607
PHONE/FAX: (352) 331-0727
FLORIDA PE #54396 COA #8236

PROJECT NAME: WILSON RESIDENCE		
LOCATION: LAKE CITY, FLORIDA		
DWG. NAME: TYPICAL CMU WALL DETAILS		
SCALE: VARIES	BY: GSW	DWG NO. CMU1
PROJECT NO: 11068	DATE: 08/26/2011	

LINTEL DESIGNATION

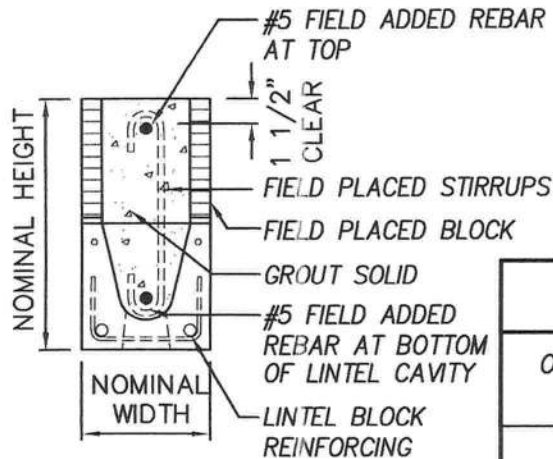
F = FILLED WITH GROUT/ U = UNFILLED

QUANTITY OF #5 FIELD ADDED REBAR AT BOTTOM OF LINTEL CAVITY

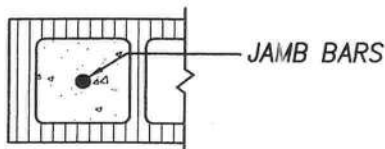
8F16-1B/1T

NOMINAL HEIGHT
NOMINAL WIDTH

QUANTITY OF #5 FIELD ADDED REBAR AT TOP



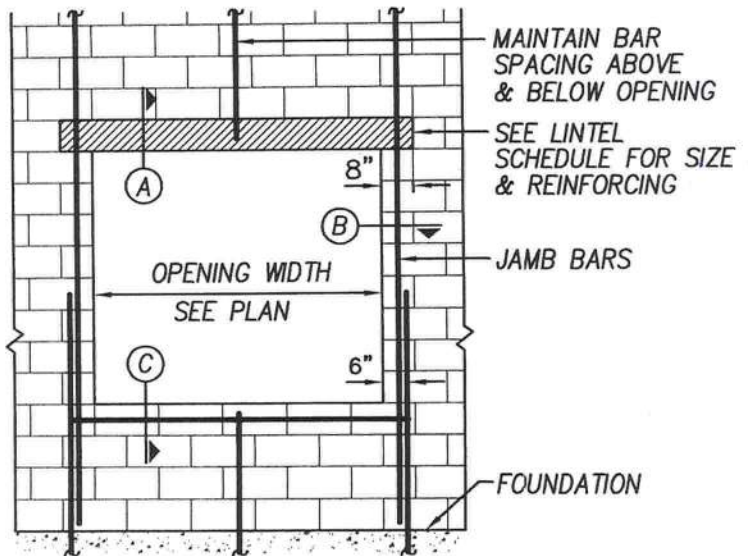
HEAD SECTION A



JAMB SECTION B



SILL SECTION C



OPENING ELEVATION

LINTEL SCHEDULE

OPENING WIDTH	LINTEL DESIGNATION	STIRRUPS	JAMB BARS	LOADS (PLF)	
				GRAVITY	UPLIFT
8" WIDE PRECAST U-LINTEL					
UP TO 5'-2"	8F16-1B/1T	NONE	(1) #5	4360	2093
5'-3" THRU 6'-10"	8F16-1B/1T	NONE	(1) #5	2661	1634
6'-11" THRU 9'-10"	8F16-1B/1T	NONE	(2) #5	1533	914
9'-11" THRU 13'-4"	8F16-1B/1T	NONE	(2) #5	1002	559

1. PRECAST U-BLOCK BY CAST-CRETE OR EQUAL.
2. BEAR ALL LINTELS MINIMUM 8 INCHES EACH END.
3. FILL LINTELS WITH 3,000 PSI GROUT.

WAYLAND STRUCTURAL ENGINEERING

w s e

GREGORY S. WAYLAND, PE
8200 SW 16TH PLACE GAINESVILLE, FL 32607
PHONE/FAX: (352) 331-0727
FLORIDA PE #54396 COA #8236

PROJECT NAME: WILSON RESIDENCE

LOCATION: LAKE CITY, FLORIDA

DWG. NAME: TYPICAL CMU WALL DETAILS

SCALE: VARIES

BY: GSW

DWG NO.

PROJECT NO: 11068

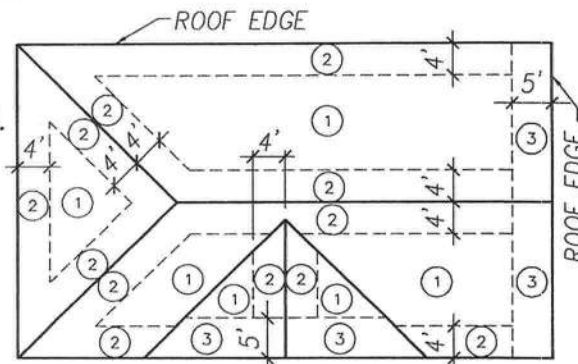
DATE: 08/26/2011

CMU2

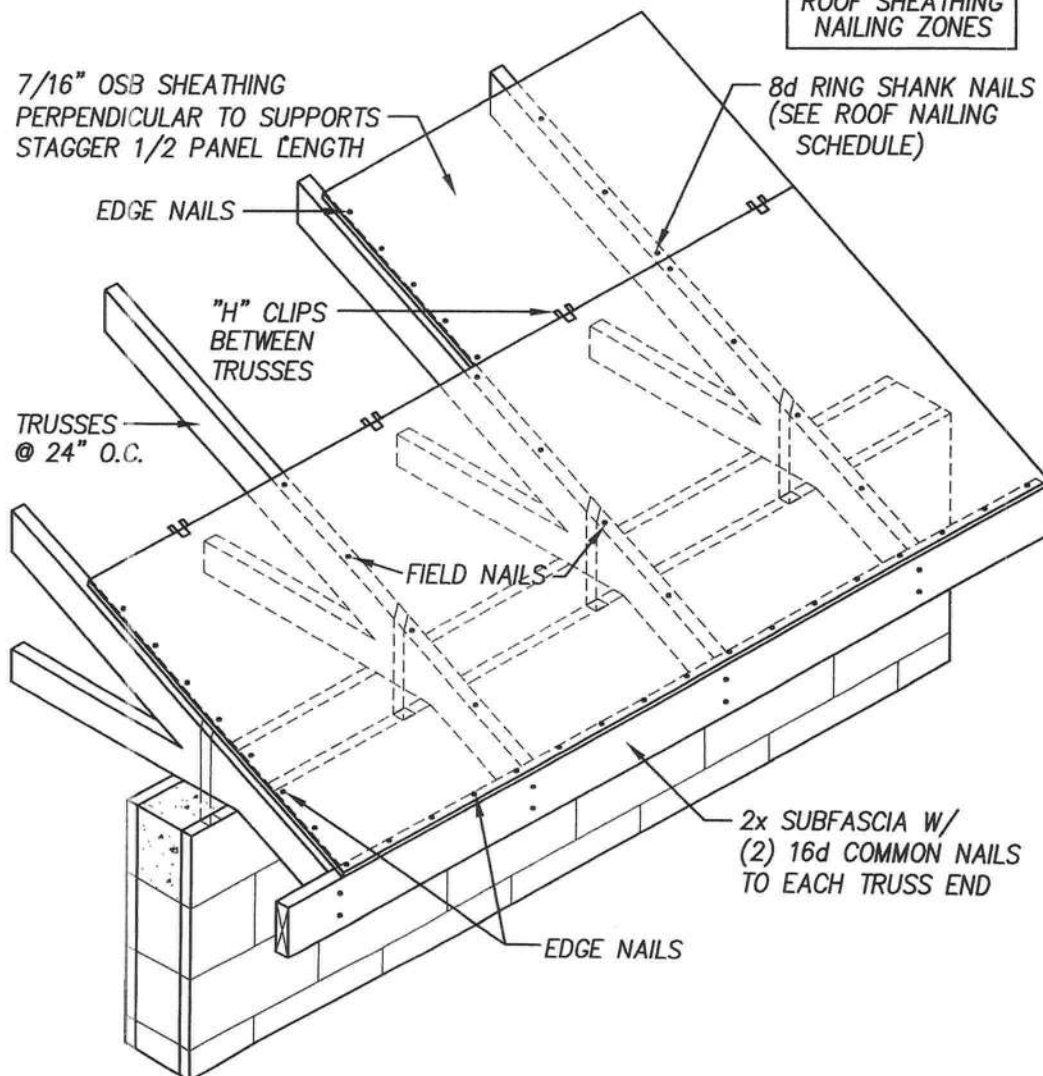
ROOF NAILING SCHEDULE								
ROOF SHEATHING NAILING ZONE	NAIL SPACING							
	100 MPH		110 MPH		120 MPH		130 MPH	
	EDGE	FIELD	EDGE	FIELD	EDGE	FIELD	EDGE	FIELD
①	6"	12"	6"	12"	6"	12"	6"	12"
②	6"	12"	6"	12"	6"	12"	6"	6"
③	6"	6"	6"	6"	6"	6"	4"	4"

8d RING SHANK NAILS:

1. 0.113" NOMINAL SHANK DIAMETER
2. RING DIA. 0.012" OVER SHANK DIA.
3. 16 TO 20 RINGS PER INCH
4. 0.280" HEAD DIAMETER
5. 2 1/2" NAIL LENGTH



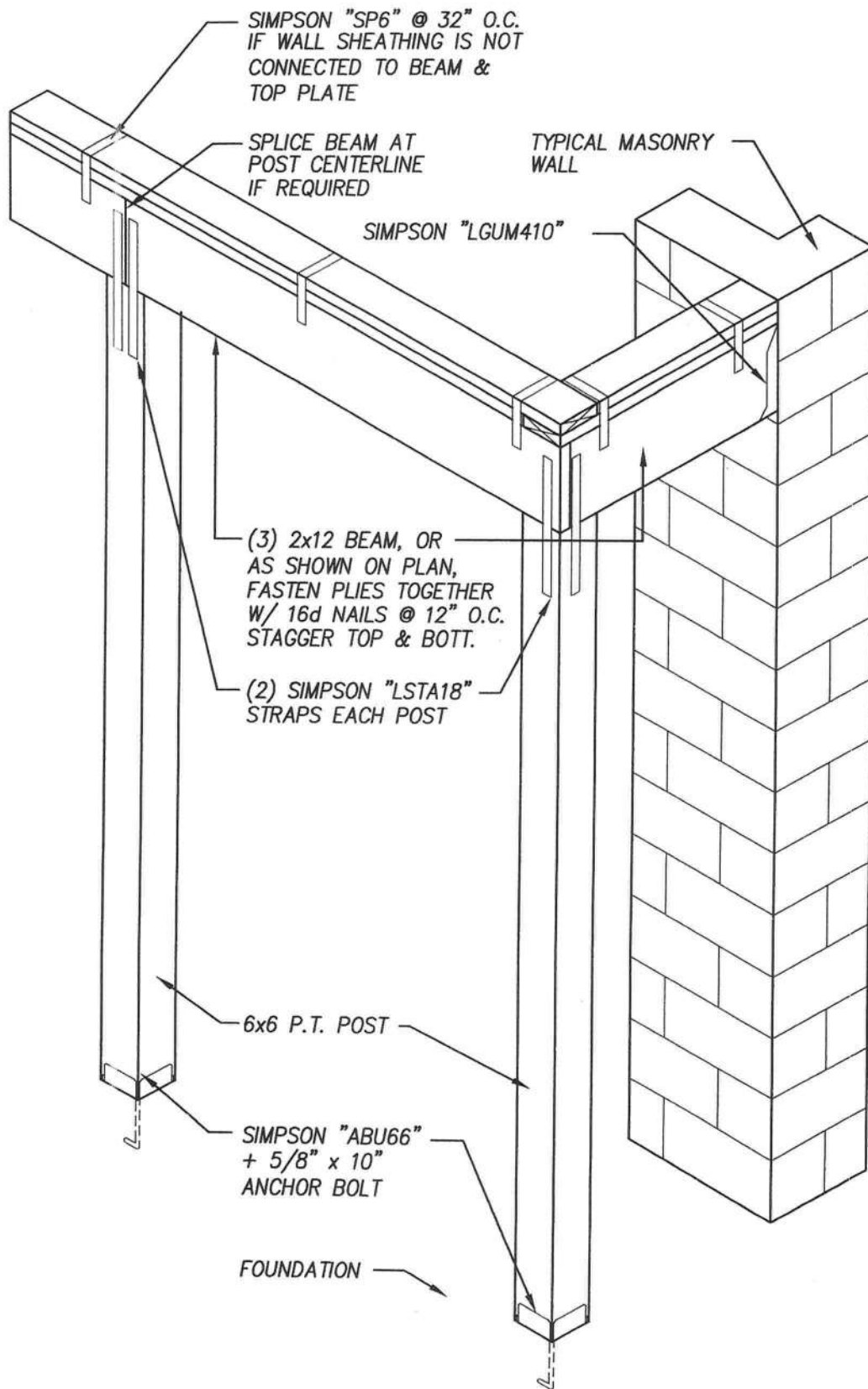
ROOF SHEATHING NAILING ZONES



A

Typical Roof Sheathing Detail

1/2" = 1'-0"

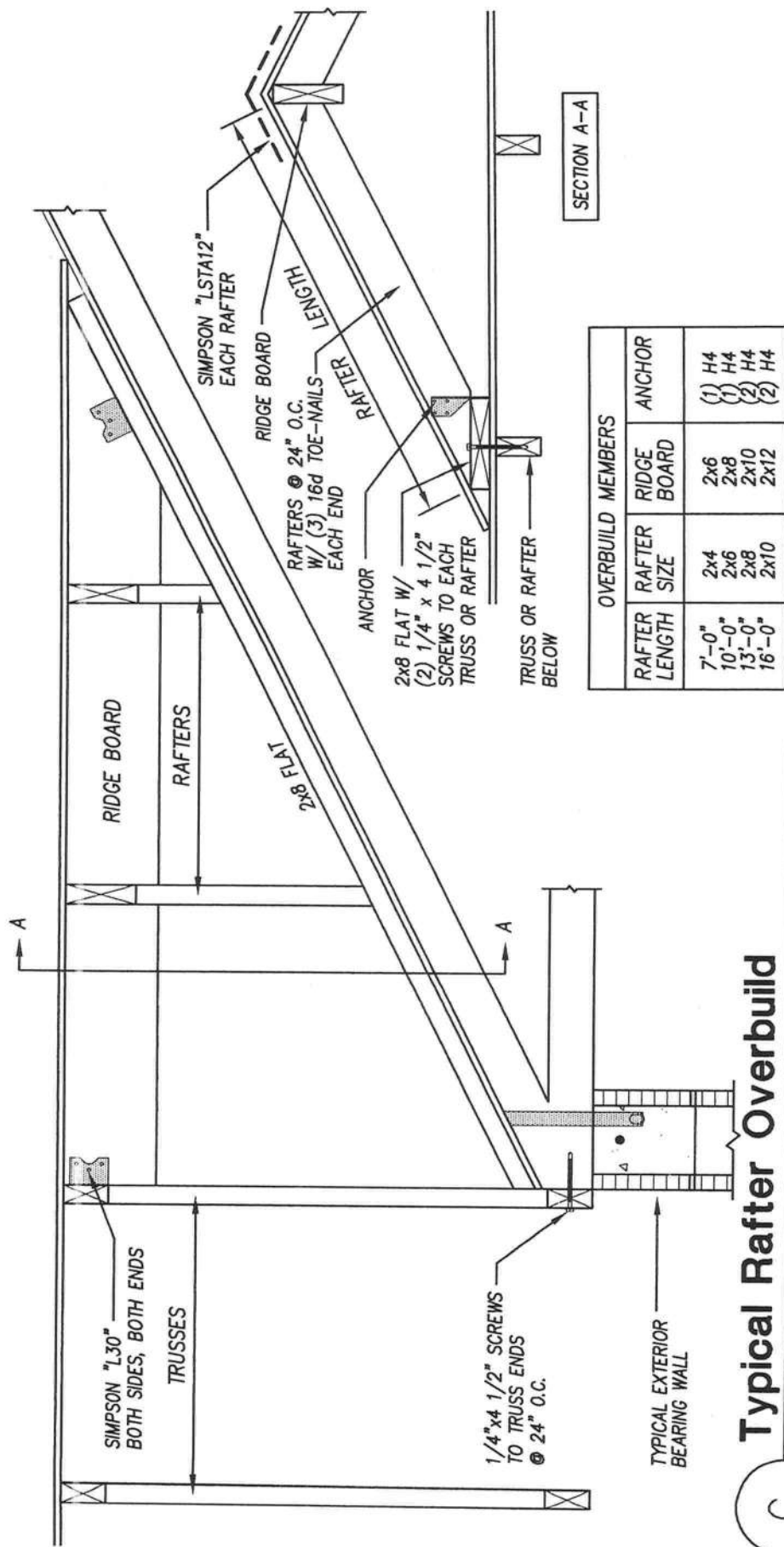


B

Typical Post & Beam

1/2" = 1'-0"

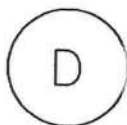
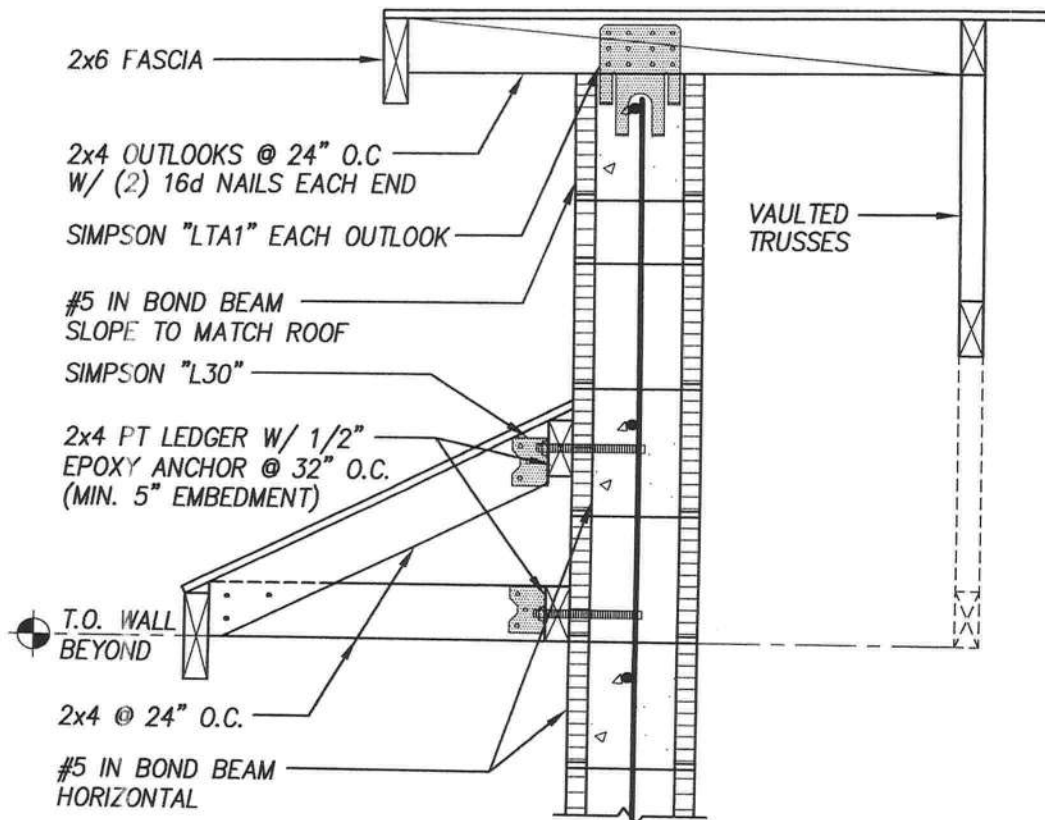
WOOD-W503



Typical Rafter Overbuild

1" = 1'-0"

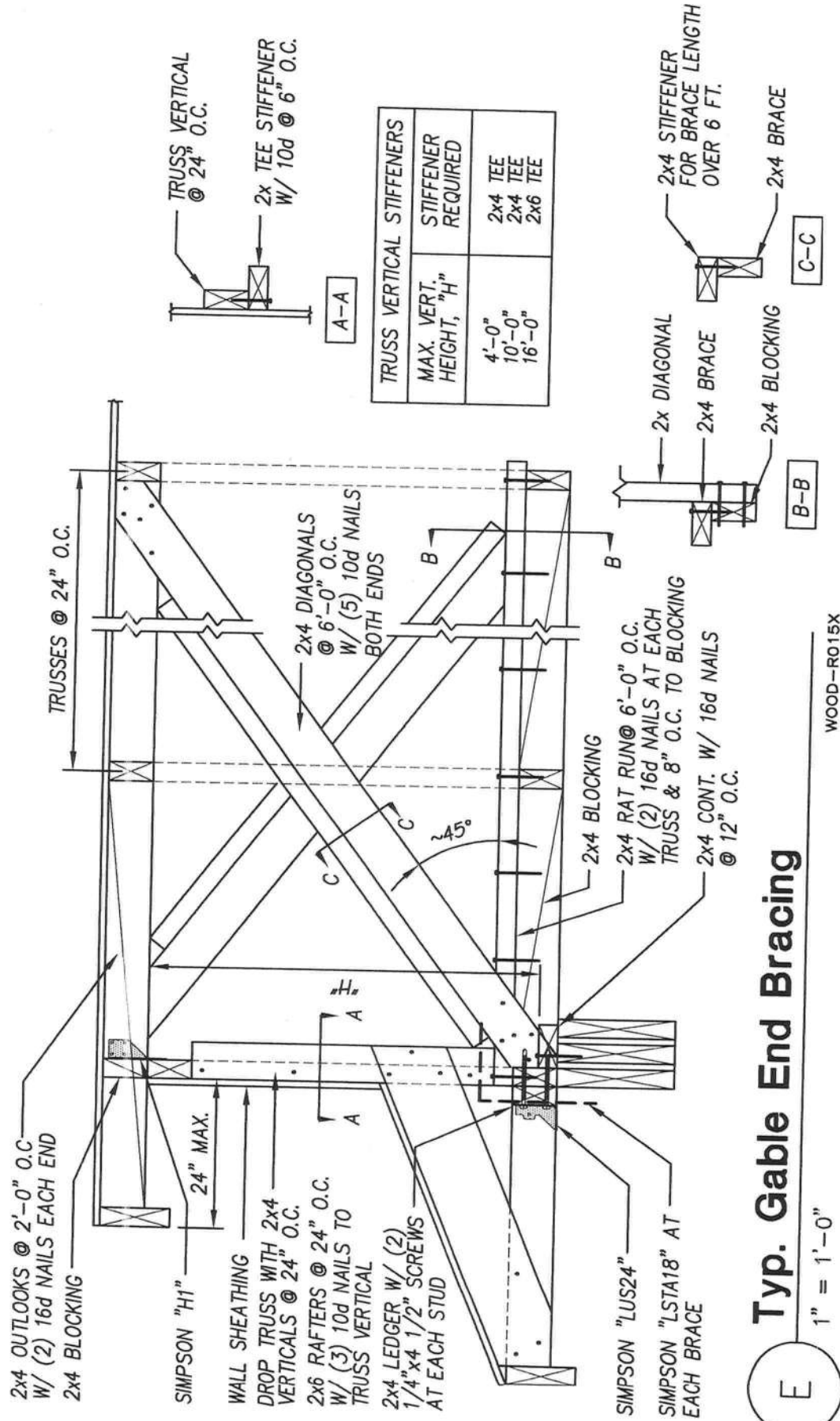
WOOD-R026T



Typ. Gable End w/ Vaulted Ceiling

1" = 1'-0"

WOOD-R307A



Typ. Gable End Bracing

1" = 1'-0"

WOOD-R015X

WAYLAND STRUCTURAL ENGINEERING			Date: 8/26/2011
Gregory S. Wayland, PE	FL PE #54396	FL COA #8236	By: GSW
8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727		Page: 12
Project Name: WILSON RESIDENCE		For: Doug Wilson	
WSE Project Number: 11068			
Project Location: Lake City, Florida			

A. UPLIFT CHECKS

1. BOND BEAM CHECK (upward bending)

Vertical bar spacing $s = 4.00$ ft
 Gross uniform uplift load $ug = -92$ plf (worst case from truss engineering)
 Bond beam weight $wd = 42$ plf (one course high x 8 inches wide)
 Calculated net uniform uplift load $un = -50$ plf

	Calc'd	Supplied	
Maximum net shear (kips) $U =$	0.10	2.16	OK
Maximum net moment (kip-in) $M =$	1.2	25.5	OK

*** USE ONE COURSE HIGH x 8 INCH WIDE MASONRY BOND BEAM WITH (1) #5 CONTINUOUS TOP**

2. VERTICAL BAR CHECK (upward tension)

Allowable reinforcing tension $F_s = 20,000$ psi
 Stress increase for wind $C_w = 1.33$

* Calc'd Uplift (kips)	Vertical Reinforcing Quantity	Size (#)	**Supplied Uplift (kips)	
0.200	1	5	8.161	OK

For typical common trusses,

* uplift values taken from truss engineering.

** includes stress increase for wind.

USE (1) #5 VERTICAL BAR @ 4'-0" O.C. MAX

3A. WALL + FOOTING + SOIL WEIGHT CHECK (uplift at common trusses)

Wall height	hw = 9.33 ft	Resisting Weight Supplied
Wall thickness	tw = 8 in	
Wall unit weight	ww = 52 psf	Bond beam
Bond beam height	hbb = 8 in	58
Bond beam unit weight	wbb = 130 psf	Wall
Footing thickness	tf = 10 in	450
Footing width	bf = 20 in	Footing
Footing depth below slab	df1 = 26 in	208
Footing depth below grade	df2 = 18 in	Soil (inside)
Soil unit weight	ws = 100 psf	33
		Soil (outside)
		33
		Wr = 817 plf

Safety Factor Against Uplift $SF = 1.00$
 Gross uniform uplift load $ug = 92$ plf
 Required Resisting Weight, $W_r = SF \cdot ug = 92$ plf **OK**

USE MINIMUM 8" THICK MASONRY WALL WITH 10"X20" FOOTING WITH (3) #5 BARS CONTINUOUS.

3B. WALL + FOOTING + SOIL WEIGHT CHECK (uplift at girder truss bearing points and columns)

Girder Truss or Column	Downward Load (lb)	Uplift Load (lb)	Adjacent Uplift Load (plf)	*Required Uplift Load (lb)	**Resisting Weight (lb)	Rqd Footing ***Weight (lb)	Rqd Concrete Volume (cf)	Footing Thickness (in)	Min. Square Footing (ft)
na									

** Resisting weight equals weight of wall, footing, soil for 4 feet each side of load point.

*** Required footing weight equals weight required in addition to 10" x 20" footing.

WAYLAND STRUCTURAL ENGINEERING			
Gregory S. Wayland, PE 8200 SW 16th Place Gainesville, FL 32607	FL PE #54396 Ph/Fax 352-331-0727	FL COA #8236	Date: 8/26/2011
Project Name: WILSON RESIDENCE			By: GSW
WSE Project Number: 11068			Page: 13
Project Location: Lake City, Florida			For: Doug Wilson

B. LINTELS

1. TYPICAL LINTELS (with uniform load only)

	Unit Load (psf)	Trib. Width (ft)	Uniform Load (kips/ft)	Load Factor	Factored Uniform Load (kips/ft)	
Roof Dead Load	20	15.66	0.313	1.40	0.438	
Wall Dead Load	87	1.33	0.116	1.40	0.162	
Roof Live Load	20	15.66	0.313	1.70	0.532	
Roof Attic Load	10	0.00	0.000	1.70	0.000	
		w =	0.742	wu =	1.133	
*Uplift Load			0.200	1.60	0.320	(*from truss engineering)

Lintel Span	L =	4.67	6.33	8.00			ft
Unfactored Reaction	R =	1.73	2.35	2.97			kips
Unfactored Net Uplift Reaction	Unet =	0.30	0.41	0.52			kips
Factored Uplift Moment	Munet =	0.36	0.65	1.04			kip-ft
Factored Shear	Vu =	2.65	3.59	4.53			kips
Factored Design Shear	Vud =	1.32	2.26	3.21			kips
Factored Moment	Mu =	3.09	5.67	9.06			kip-ft
Select Lintel		8F16-1B/1T	8F16-1B/1T	8F16-1B/1T			

WAYLAND STRUCTURAL ENGINEERING			Date: 8/26/2011
Gregory S. Wayland, PE	FL PE #54396	FL COA #8236	By: GSW
8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727		Page: 14
Project Name: WILSON RESIDENCE		For: Doug Wilson	
WSE Project Number: 11066		-	
Project Location: Lake City, Florida		-	

C. HORIZONTAL FORCES ON WALLS & TRUSSES

1. TYPICAL WALL

Wall height	8.00	ft	
Wind pressure	22.6	psf	(Zone 5)
Uniform lateral load	90	plf	(Top & Bottom of Wall)
Lateral force on Truss	181	lb/truss	(Based on 2 ft. spacing, perpendicular to wall)

WAYLAND STRUCTURAL ENGINEERING

Gregory S. Wayland, PE
8200 SW 16th Place Gainesville, FL 32607

FL PE #54396
Ph/Fax 352-331-0727

FL COA #8236

Date: 8/26/2011

By: GSW

Page: 15

Project Name: **WILSON RESIDENCE**

WSE Project Number: 11068

Project Location: Lake City, Florida

For: Doug Wilson

D. LATERAL ANALYSIS**1. Building Data**

Building Length L = 53.33 ft
Building Width B = 27.33 ft
Eave Height he = 8.00 ft
Peak ht above eave hp = 7.97 ft
Roof Slope 7 /12

2. Edge Zone

a = 0.10*B 2.73 ft
a = 0.40*h 3.20 ft
a = 2.73 ft
a = 0.04*B 1.09 ft
a = 3.00 ft
a = 3.00 ft

3. End Zone

z = 2*a = 6.00 ft

4. LONGITUDINAL DIRECTION

Exposure Category

Adjustment Coefficient

MWFRS Wind Pressures:

Wall Interior Zone 12.7 psf
Wall End Zone 19.2 psf
Roof Interior Zone 12.7 psf
Roof End Zone 19.2 psf

Wall Shear Force:

Interior 0.78 kips
End 0.92 kips
Total 1.70 kips

Roof Shear Force:

Interior 1.12 kips
End 0.40 kips
Total 1.52 kips
Use 1.52 kips

Total Shear Force:

V = 3.22 kips

Roof Truss Lateral Load: (perpendicular to truss)

Load per truss v = 60 lb/truss

Roof Diaphragm Check:

Diaphragm shear

Allowable shear

v = 30 plf
v = 240 plf
check OK

Shear Wall Check:

Shear wall length

Shear wall height

Shear wall effective thickness

Masonry strength

Actual Shear

Overturning moment

Actual shear stress

d = 32.33 ft
h = 8.00 ft
be = 2.50 in
fm = 1500 psi
V = 1.61 kips
M = 12.88 kip-ft
fv = 1.7 psi
check OK

Allowable shear stress

M/V*d

M/V*d >= 1.0

Allowable shear stress

0.25
NO
Fv1 = 48.45 psi
Fv2 = 68.86 psi
Fv = 48.45 psi

5. TRANSVERSE DIRECTION

MWFRS Wind Pressures:

Wall Interior Zone 17.7 psf
Wall End Zone 26.6 psf
Roof Interior Zone -3.9 psf
Roof End Zone -7.0 psf

Wall Shear Force:

Interior 2.93 kips
End 1.28 kips
Total 4.20 kips

Roof Shear Force:

Interior -0.92 kips
End -0.15 kips
Total -1.07 kips
Use 0.00 kips

Total Shear Force:

V = 4.20 kips

Roof Truss Lateral Load: (perpendicular to truss)

Load per truss v = 154 lb/truss

Roof Diaphragm Check:

Diaphragm shear

Allowable shear

v = 77 plf
v = 240 plf
check OK

USE 7/16" OSB SHEATHING GRADE W/ 8d NAILS @ 6" O.C. EDGE, 12" O.C. FIELD

Shear Wall Check:

Shear wall length

Shear wall height

Shear wall effective thickness

Masonry strength

Actual Shear

Overturning moment

Actual shear stress

d = 21.33 ft
h = 8.00 ft
be = 2.50 in
fm = 1500 psi
V = 2.10 kips
M = 16.81 kip-ft
fv = 3.3 psi
check OK

Allowable shear stress

M/V*d

M/V*d >= 1.0

Allowable shear stress

0.38
NO
Fv1 = 46.80 psi
Fv2 = 63.12 psi
Fv = 46.80 psi

USE 8" CMU W/ TYPE S MORTAR, FACE SHELL BEDDING, GROUT ONLY AT REINFORCED CELLS.

WAYLAND STRUCTURAL ENGINEERING			Date: 8/26/2011
Gregory S. Wayland, PE	FL PE #54396	FL COA #8236	By: GSW
8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727		Page: 16
Project Name: WILSON RESIDENCE		For: Doug Wilson	
WSE Project Number: 11068			
Project Location: Lake City, Florida			

PORCH BEAM $L = 12'$

$$W_d = 13(20) = 260$$

$$W_L = 13(20) = 260$$

$$W = 520 \text{ plf}$$

$$u = 71/2 = 36 \text{ plf}$$

$$U = 36(12/2) = 216 \text{ lb}$$

$$V = 520(12/2) = 3120 \text{ lb}$$

$$A = 3120 / (90 \times 1.25) = 27.7 \text{ in}^2$$

$$M = 1/8(520)12^2 \times 12 = 112320 \text{ in-lb}$$

$$S = 112320 / (975 \times 1.25) = 92.2 \text{ in}^3$$

$$\Delta = 144 / 240 = 0.6 \text{ in}$$

$$I = \frac{5(520/12)144^3}{384(1.6 \times 10^6)0.6} = 253 \text{ in}^4$$

∴ USE (3) 2X12 BEAM (NO. 2 SP)
W/ SIMPSON "LSTA15" X2 TO POST
W/ SIMPSON "LGUM410" TO MASONRY

PORCH POST $H = 8'$

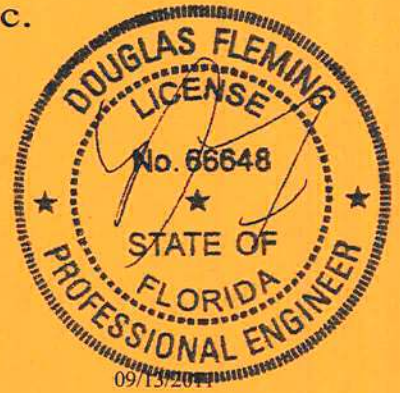
$$P = 3120 \text{ lb} \quad U = 216 \text{ lb}$$

∴ USE

6X6 P.T. POST (NO. 2 SP)
W/ SIMPSON "ABU66" BASE

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1UFB487-Z0213132559



Truss Fabricator: Anderson Truss Company
Job Identification: 11-184--Fill in later WILSON RESIDENCE -- , **
Truss Count: 3
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Version 10.03.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
the seal date per section 61G15-31.003(5a) of the FAC
Address:
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

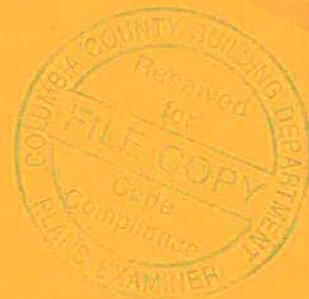
1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Douglas Fleming
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: -

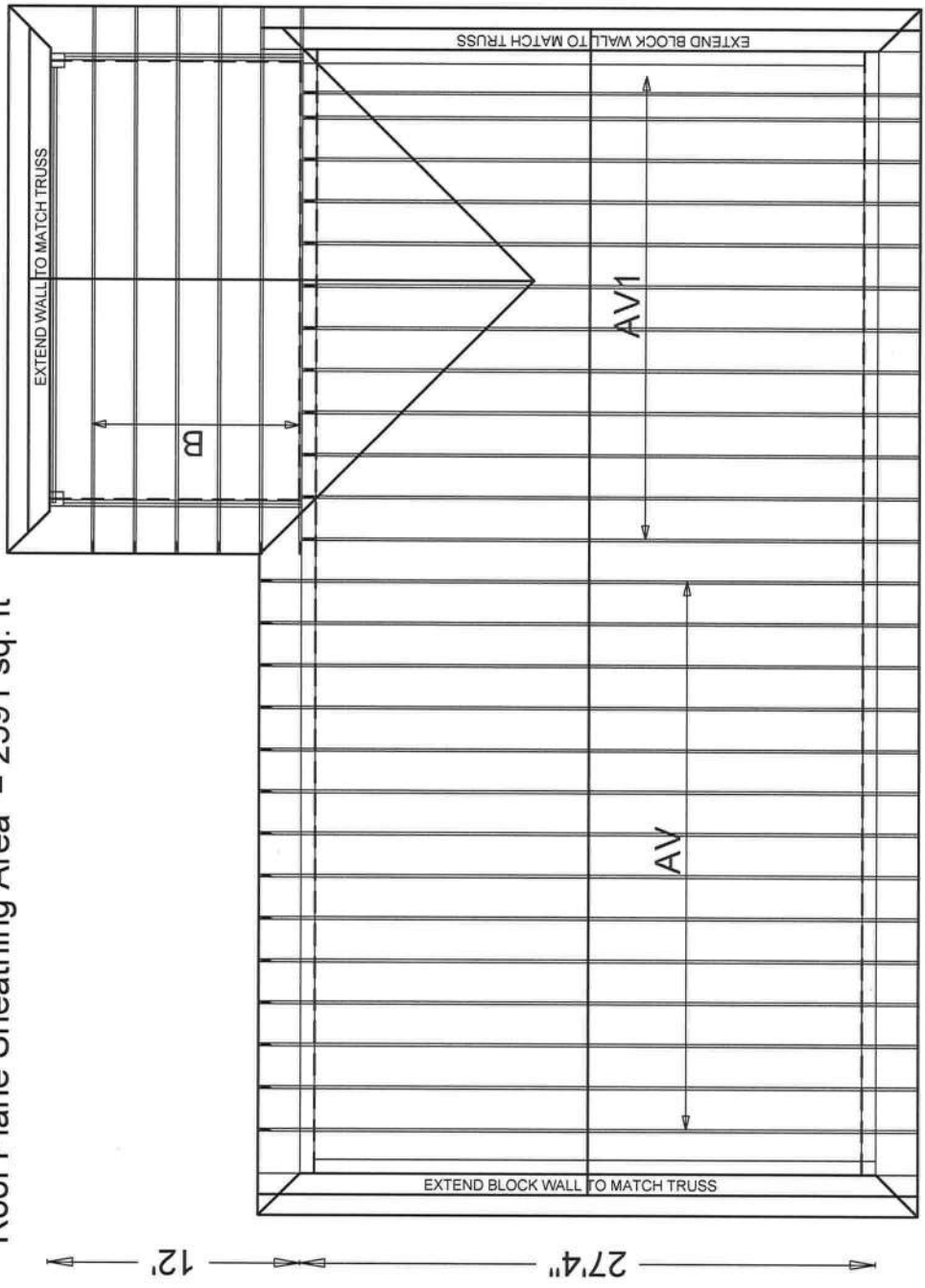
#	Ref	Description	Drawing#	Date
1	95810--AV		11256003	09/13/11
2	95811--AV1		11256004	09/13/11
3	95812--B		11256005	09/13/11



22' 3"

31'7" 21'6" 3"

Roof Plane Sheathing Area = 2591 sq. ft



WILSON RESIDENCE

JOB DESCRIPTION: Fill in later
/ : AARON SIMQUEWILSON RESID

JOB NO:
11-184
PAGE NO:
1 OF 1

(11-184--Fill in later WILSON RESIDENCE -- . ** - AV)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

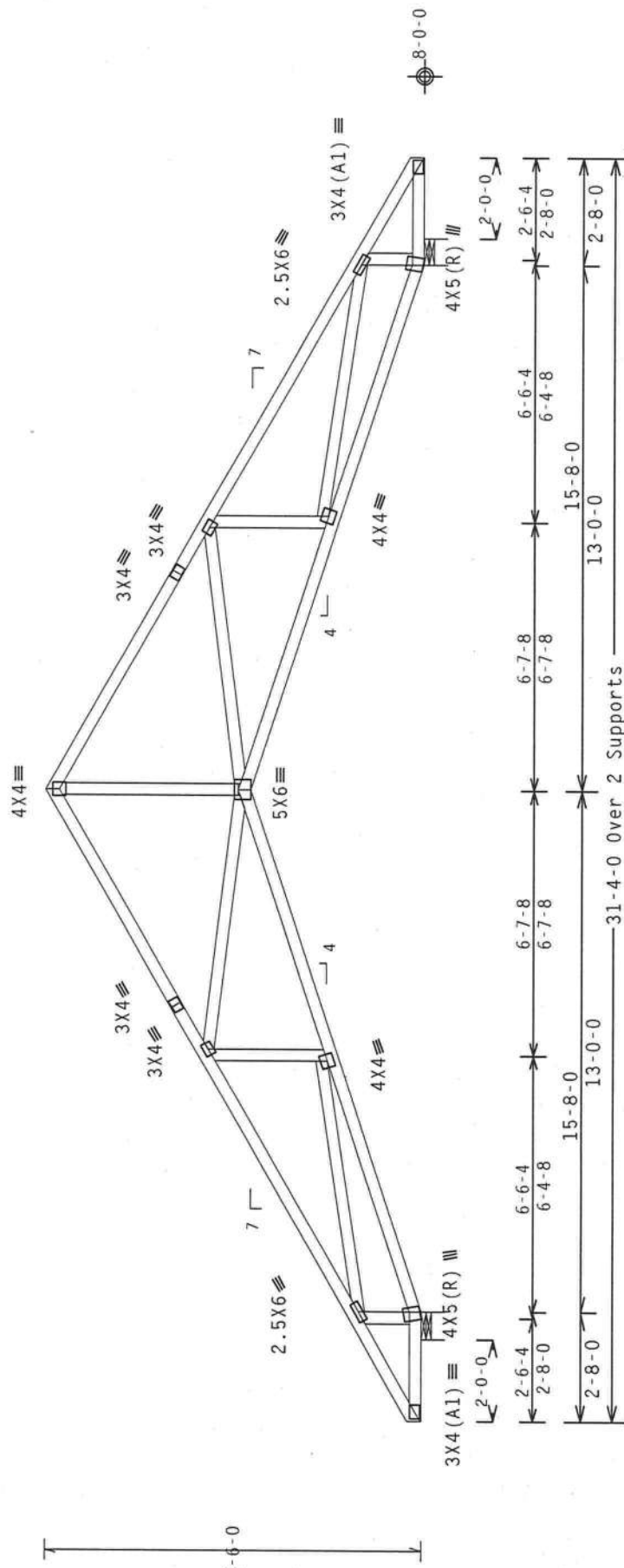
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg. Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 GCpf(+/-)=0.18

Left and right cantilevers are exposed to wind

Wind loads and reactions based on MWFRS with additional C&C member design.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.



R=1317 U=90 W=8"
RL=190/-190

R=1317 U=90 W=8"


PLT TYP. Wave

Design Crit: FBC2007Res/TPI-2002 (STD)

FT/RT=10%(0%)/0(0)

QTY 14 FL/-/4/-/4/-/R/-

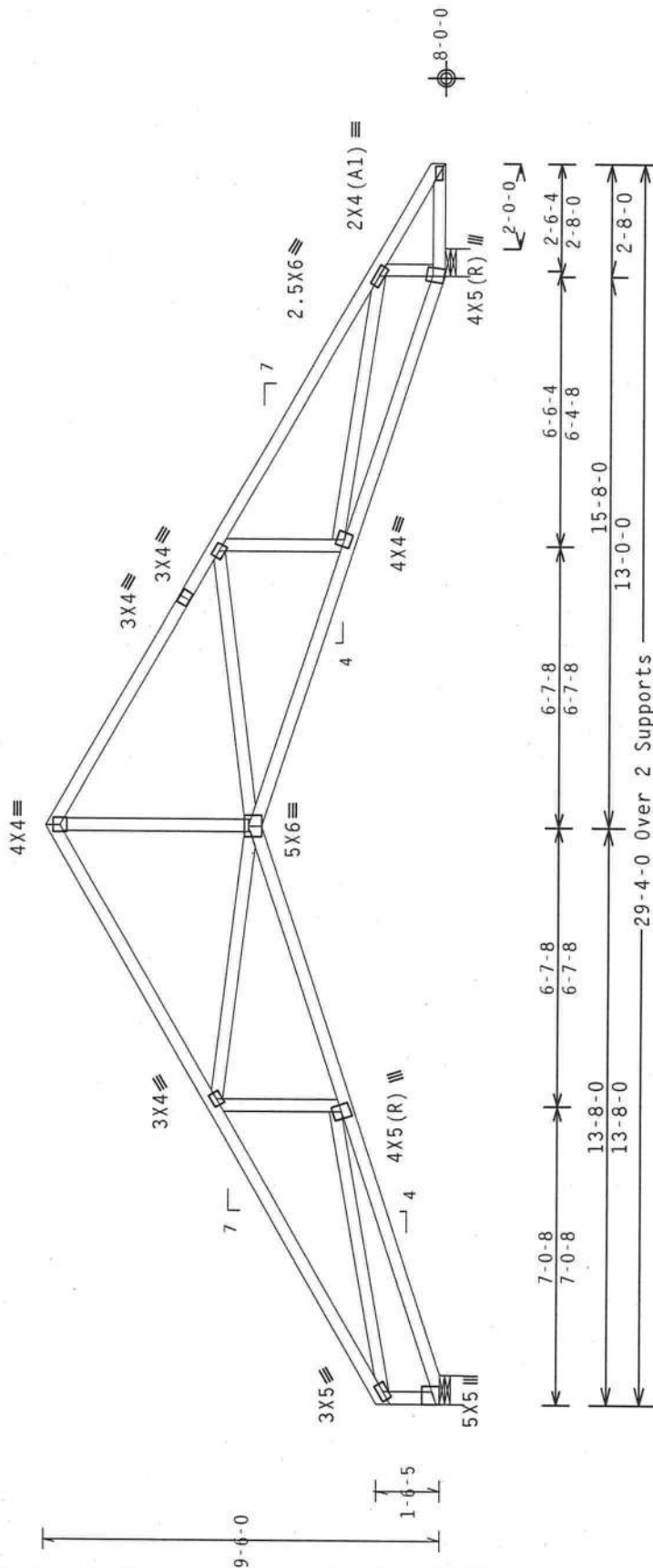
Scale =.25"/Ft.

 ALPINE iTW Building Components Group Inc. Haines City, FL 33844 FL COA #0278	**WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET. FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS. Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Safety Information, by IPI and NICA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraining webs shall have bracing installed per BCSI sections 83, 87 or 810, as applicable. ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from the design of trusses. Apply plates to each face of truss and position as shown above and on the Job. Bracing shall be installed in accordance with the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This Job's general notes page; ITW-BCG: www.itwbcg.com; IPI: www.tpinet.org; NICA: www.bcsiindustry.com; ICC: www.iccsafe.org			REF R487-- 95810
	IMPORTANT 10.03.04.0604.17 No. 66648 DOUGLAS FLEMING LICENSE STATE OF FLORIDA PROFESSIONAL ENGINEER 09/13/2011			DATE 09/13/11
	TC LL 20.0 PSF			DRW HCUSR487 11256003
	TC DL 10.0 PSF			HC-ENG DF/DF
	BC DL 10.0 PSF			SEQN- 231763
BC LL 0.0 PSF			DUR. FAC. 1.25	
TOT. LD. 40.0 PSF			SPACING 24.0"	
JREF- 1UFB487_Z02				

1110 mph wind, 15.00 ft mean htg, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi (+/-)=0.18

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load.



R=1112 U=89 W=8"
RL=170/-182

R=1356 U=92 W=8"

Design Crit: FBC2007Res/TPI-2002(STD)

FT/RT=10%(0%)/0(0)

Scale = .25"/Ft.

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS SHEET.


****IMPORTANT**** FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and NICA) practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint on webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (ITWBG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installing or bracing of trusses. Apply plates to each face of truss and position as shown above and on the Job. Truss drawings are not to be drawn to scale. Drawings 100-2 For standard plate positions. A seal on the drawing or cover page listing this drawing, the name of the drafter, and the date of the drawing is the responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2. For more information see: This job's general notes page; ITW-BG: www.itwbcg.com; TPI: www.tpinet.org; NICA: www.sbciindustry.com; ICC: www.iccsafe.org

REF	R487 --	95811	TC LL	20.0	PSF
DATE	09/13/11		TC DL	10.0	PSF
DRW	HCU5R487	11256004	BC DL	10.0	PSF
HC-ENG	DF/DF		BC LL	0.0	PSF
SEQN-	231768		TOT.LD.	40.0	PSF
DUR.FAC.	1.25				
SPACING	24.0"				

ALPINE



ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

Top	chord	2x4	SP	#2	Dense
Bot	chord	2x4	SP	#2	Dense
	webs	2x4	SP	#3	

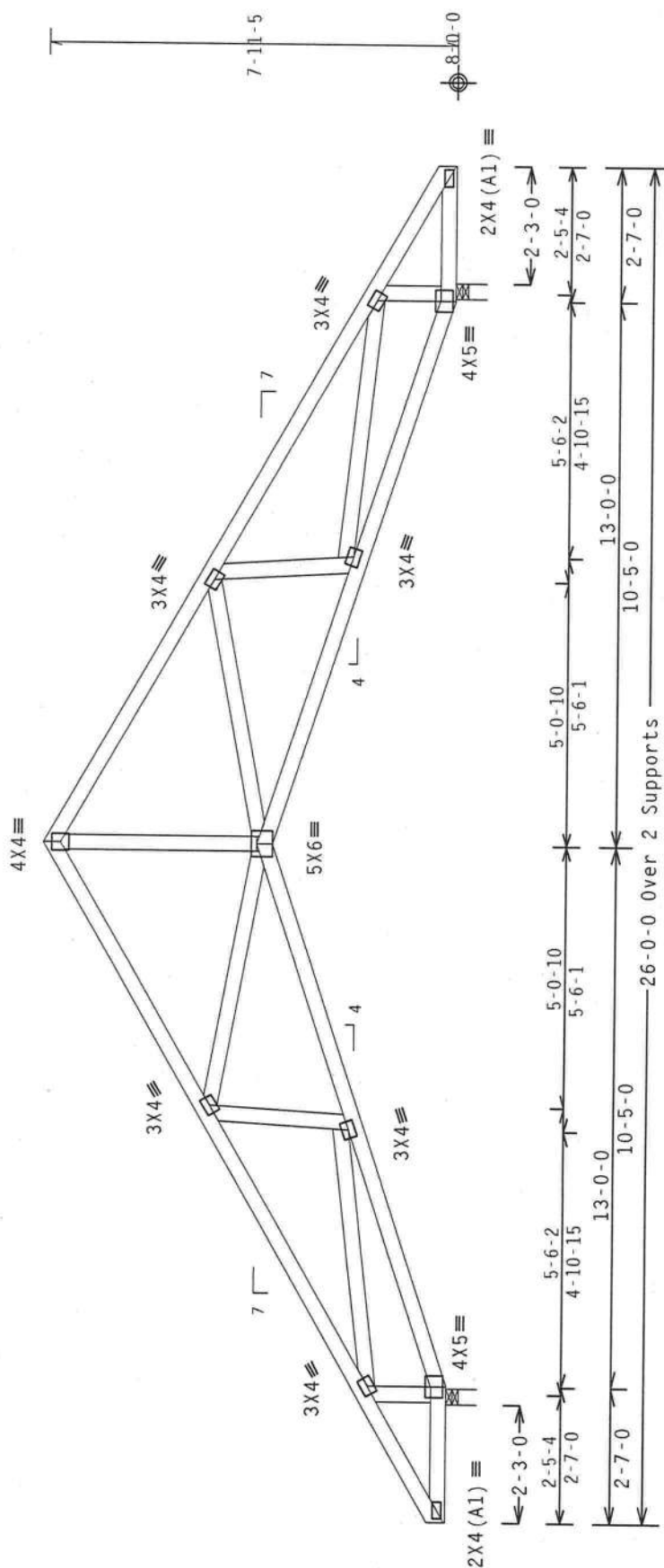
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpt (+/-)=0.18

Left and right cantilevers are exposed to wind

Bottom chord checked for 10.00 psf non-concurrent live load.

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load.



R-1092 U=71 W=3.5"
RL=156/-156

R-1092 U=71 W=3.5"

PLT TYP. Wave

Design Crit: FBC2007Res/TPI-2002(STD)

FT/RT=10%(0%)/0(0)

FL/-/4/-/-/R/-/
Scale = .3125"/Ft.

****IMPORTANT****
****WARNING**** READ AND FOLLOW ALL NOTES ON THIS SHEET!
 FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the following for the latest edition of BGSI Building Code, which contains the latest code provisions and practices prior to performing these functions. Installers shall provide the following information to the architect. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations for permanent lateral restraint or bracing shall have bracing installed per BGSI sections B3, B7 or B10, as applicable.

ALPINE

MTW Building Components Group Inc.

Haines City, FL 33844

FL COA #0 278



STATE OF
FLORIDA
PROFESSIONAL ENGINEER

09/13/2011

general notes page; ITH-BCu: www.ithbcg.com; IPI: www.ipinst.org; WICA: www.sbcindustry.com; ICC: www.iccsafe.org

WICA: www.sbcindustry.com;

e: IIV-BCG: www.iivbcg.com; TPI: www.tpi.com

general notes page: 1
ICC: www.iccsafe.org

FL COA #0278

1000

100

10

Residential System Sizing Calculation

Summary

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

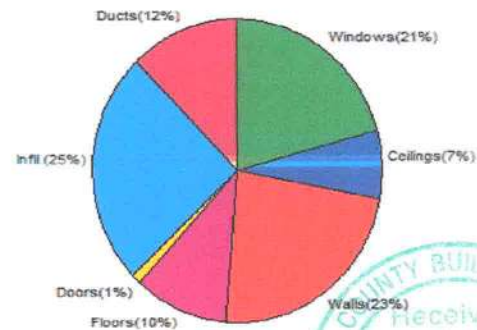
9/20/2011

Location for weather data: Gainesville - Defaults: Latitude(29) Altitude(152 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)			
Winter design temperature	33 F	Summer design temperature	92 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	37 F	Summer temperature difference	17 F
Total heating load calculation	25451 Btuh	Total cooling load calculation	25346 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	110.0 28000	Sensible (SHR = 0.75)	109.7 21000
Heat Pump + Auxiliary(0.0kW)	110.0 28000	Latent	112.8 7000
		Total (Electric Heat Pump)	110.5 28000

WINTER CALCULATIONS

Winter Heating Load (for 1458 sqft)

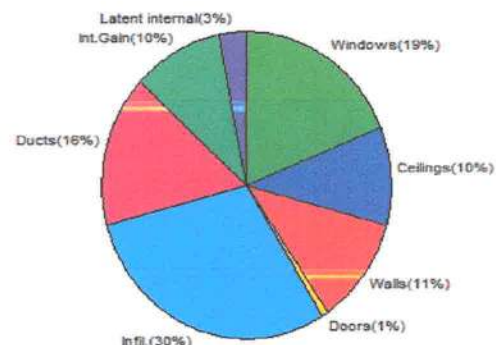
Load component		Load	
Window total	165 sqft	5303	Btuh
Wall total	1184 sqft	5968	Btuh
Door total	20 sqft	259	Btuh
Ceiling total	1604 sqft	1890	Btuh
Floor total	161 sqft	2633	Btuh
Infiltration	156 cfm	6300	Btuh
Duct loss		3099	Btuh
Subtotal		25451	Btuh
Ventilation	0 cfm	0	Btuh
TOTAL HEAT LOSS		25451	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 1458 sqft)

Load component		Load	
Window total	165 sqft	4771	Btuh
Wall total	1184 sqft	2790	Btuh
Door total	20 sqft	196	Btuh
Ceiling total	1604 sqft	2656	Btuh
Floor total		0	Btuh
Infiltration	136 cfm	2533	Btuh
Internal gain		2520	Btuh
Duct gain		3676	Btuh
Sens. Ventilation	0 cfm	0	Btuh
Total sensible gain		19142	Btuh
Latent gain(ducts)		430	Btuh
Latent gain(infiltration)		4973	Btuh
Latent gain(ventilation)		0	Btuh
Latent gain(internal/occupants/other)		800	Btuh
Total latent gain		6203	Btuh
TOTAL HEAT GAIN		25346	Btuh



Version 8
For Florida residences only

EnergyGauge® System Sizing

PREPARED BY: _____

DATE: _____

Manual J Winter Calculations

Residential Load - Component Details (continued)

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

9/20/2011

EQUIPMENT

1. Electric Heat Pump	#	28000 Btuh
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Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



Version 8
For Florida residences only

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

9/20/2011

Component Loads for Whole House					
Window	Panes/SHGC/Frame/U	Orientation	Area(sqft)	X	HTM=
1	2, Clear, Metal, 0.87	W	42.0		32.2
2	2, Clear, Metal, 0.87	W	6.0		32.2
3	2, Clear, Metal, 0.87	W	18.0		32.2
4	2, Clear, Metal, 0.87	S	9.0		32.2
5	2, Clear, Metal, 0.87	E	27.0		32.2
6	2, Clear, Metal, 0.87	E	40.0		32.2
7	2, Clear, Metal, 0.87	N	22.8		32.2
	Window Total		165(sqft)		
					Load
1352 Btuh					
193 Btuh					
579 Btuh					
290 Btuh					
869 Btuh					
1288 Btuh					
732 Btuh					
5303 Btuh					
Walls	Type	R-Value	Area	X	HTM=
1	Concrete Blk,Hollow - Ext(0.14)	5.0	1184		5.0
	Wall Total		1184		
					Load
5968 Btuh					
5968 Btuh					
Doors	Type		Area	X	HTM=
1	Insulated - Exterior		20		12.9
	Door Total		20		
					Load
259 Btuh					
259Btuh					
Ceilings	Type/Color/Surface	R-Value	Area	X	HTM=
1	Vented Attic/D/Shin	30.0	1604		1.2
	Ceiling Total		1604		
					Load
1890 Btuh					
1890Btuh					
Floors	Type	R-Value	Size	X	HTM=
1	Slab On Grade	5	161.0 ft(p)		16.4
	Floor Total		161		
					Load
2633 Btuh					
2633 Btuh					
Envelope Subtotal:					16053 Btuh
Infiltration	Type	ACH	X	Volume(cuft)	walls(sqft)
	Natural	0.80		11664	1184
					CFM=
					155.5
					6300 Btuh
Ductload	(DLM of 0.139)				3099 Btuh
All Zones	Sensible Subtotal All Zones				25451 Btuh

WHOLE HOUSE TOTALS

	Subtotal Sensible	25451 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	25451 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

9/20/2011

EQUIPMENT

1. Electric Heat Pump	#	28000 Btuh
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Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



Version 8
For Florida residences only

System Sizing Calculations - Winter

Residential Load - Room by Room Component Details

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

9/20/2011

Component Loads for Zone #1: Main

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft)	X	HTM=	Load
1	2, Clear, Metal, 0.87	W	42.0		32.2	1352 Btuh
2	2, Clear, Metal, 0.87	W	6.0		32.2	193 Btuh
3	2, Clear, Metal, 0.87	W	18.0		32.2	579 Btuh
4	2, Clear, Metal, 0.87	S	9.0		32.2	290 Btuh
5	2, Clear, Metal, 0.87	E	27.0		32.2	869 Btuh
6	2, Clear, Metal, 0.87	E	40.0		32.2	1288 Btuh
7	2, Clear, Metal, 0.87	N	22.8		32.2	732 Btuh
	Window Total		165(sqft)			5303 Btuh
Walls	Type	R-Value	Area	X	HTM=	Load
1	Concrete Blk,Hollow - Ext(0.14)	5.0	1184		5.0	5968 Btuh
	Wall Total		1184			5968 Btuh
Doors	Type		Area	X	HTM=	Load
1	Insulated - Exterior		20		12.9	259 Btuh
	Door Total		20			259Btuh
Ceilings	Type/Color/Surface	R-Value	Area	X	HTM=	Load
1	Vented Attic/D/Shin	30.0	1604		1.2	1890 Btuh
	Ceiling Total		1604			1890Btuh
Floors	Type	R-Value	Size	X	HTM=	Load
1	Slab On Grade	5	161.0 ft(p)		16.4	2633 Btuh
	Floor Total		161			2633 Btuh
	Zone Envelope Subtotal:					16053 Btuh
Infiltration	Type	ACH X Volume(cuft)	walls(sqft)	CFM=		
	Natural	0.80	11664	1184	155.5	6300 Btuh
Ductload	Pro. leak free, Supply(R6.0-Attic), Return(R6.0-Attic) (DLM of 0.139)					3099 Btuh
Zone #1	Sensible Zone Subtotal					25451 Btuh

WHOLE HOUSE TOTALS

	Subtotal Sensible	25451 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	25451 Btuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

9/20/2011

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	15466 Btuh
	Sensible Duct Load	3676 Btuh
	Total Sensible Zone Loads	19142 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	19142 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	4973 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	430 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	Latent total gain	6203 Btuh
	TOTAL GAIN	25346 Btuh

EQUIPMENT

1. Central Unit	#	28000 Btuh
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*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(U - Window U-Factor or 'DEF' for default)

(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))

(ExSh - Exterior shading device: none(N) or numerical value)

(BS - Insect screen: none(N), Full(F) or Half(H))

(Ornt - compass orientation)



Version 8
For Florida residences only

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

Reference City: Gainesville (Defaults)

Summer Temperature Difference: 17.0 F

9/20/2011

Component Loads for Whole House

Window	Type*	Ornt	Overhang		Window Area(sqft)			HTM		Load
	Pn/SHGC/U/InSh/ExSh/IS		Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded	
1	2, Clear, 0.87, None,0.00,N	W	1.5ft.	1ft.	42.0	42.0	0.0	29	29	1216 Btuh
2	2, Clear, 0.87, None,0.00,N	W	1.5ft.	1ft.	6.0	6.0	0.0	29	29	174 Btuh
3	2, Clear, 0.87, None,0.00,N	W	1.5ft.	1ft.	18.0	18.0	0.0	29	29	521 Btuh
4	2, Clear, 0.87, None,0.00,N	S	1.5ft.	1ft.	9.0	9.0	0.0	29	29	261 Btuh
5	2, Clear, 0.87, None,0.00,N	E	1.5ft.	1ft.	27.0	27.0	0.0	29	29	782 Btuh
6	2, Clear, 0.87, None,0.00,N	E	1.5ft.	1ft.	40.0	40.0	0.0	29	29	1158 Btuh
7	2, Clear, 0.87, None,0.00,N	N	1.5ft.	1ft.	22.8	0.0	22.8	29	29	659 Btuh
Window Total					165 (sqft)					4771 Btuh
Walls	Type	R-Value/U-Value		Area(sqft)		HTM		Load		
1	Concrete Blk,Hollow - Ext	5.0/0.14		1183.7		2.4		2790 Btuh		
Wall Total				1184 (sqft)				2790 Btuh		
Doors	Type			Area (sqft)		HTM		Load		
1	Insulated - Exterior			20.0		9.8		196 Btuh		
Door Total				20 (sqft)				196 Btuh		
Ceilings	Type/Color/Surface	R-Value		Area(sqft)		HTM		Load		
1	Vented Attic/DarkShingle	30.0		1603.8		1.7		2656 Btuh		
Ceiling Total				1604 (sqft)				2656 Btuh		
Floors	Type	R-Value		Size		HTM		Load		
1	Slab On Grade	5.0		161 (ft(p))		0.0		0 Btuh		
Floor Total				161.0 (sqft)				0 Btuh		
Envelope Subtotal:									10414 Btuh	
Infiltration	Type	ACH		Volume(cuft)		wall area(sqft)		CFM=		
	SensibleNatural	0.70		11664		1184		155.5		
Internal gain	Occupants		Btuh/occupant		Appliance		Load			
	4		X 230		+		1600			
Sensible Envelope Load:									15466 Btuh	
Duct load	(DGM of 0.238)								3676 Btuh	
Sensible Load All Zones									19142 Btuh	

Manual J Summer Calculations

Residential Load - Component Details (continued)

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

9/20/2011

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	15466 Btuh
	Sensible Duct Load	3676 Btuh
	Total Sensible Zone Loads	19142 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	19142 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	4973 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	430 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	Latent total gain	6203 Btuh
	TOTAL GAIN	25346 Btuh

EQUIPMENT

1. Central Unit	#	28000 Btuh
-----------------	---	------------

*Key: Window types (Pn - Number of panes of glass)
(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(U - Window U-Factor or 'DEF' for default)
(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))
(ExSh - Exterior shading device: none(N) or numerical value)
(BS - Insect screen: none(N), Full(F) or Half(H))
(Ornt - compass orientation)



Version 8
For Florida residences only

System Sizing Calculations - Summer

Residential Load - Room by Room Component Details

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

Code Only
Professional Version
Climate: North

Reference City: Gainesville (Defaults)

Summer Temperature Difference: 17.0 F

9/20/2011

Component Loads for Zone #1: Main

Window	Type*	Ornt	Overhang		Window Area(sqft)			HTM		Load
	Pr/SHGC/U/InSh/ExSh/IS		Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded	
1	2, Clear, 0.87, None,0.00,N	W	1.5ft.	1ft.	42.0	42.0	0.0	29	29	1216 Btuh
2	2, Clear, 0.87, None,0.00,N	W	1.5ft.	1ft.	6.0	6.0	0.0	29	29	174 Btuh
3	2, Clear, 0.87, None,0.00,N	W	1.5ft.	1ft.	18.0	18.0	0.0	29	29	521 Btuh
4	2, Clear, 0.87, None,0.00,N	S	1.5ft.	1ft.	9.0	9.0	0.0	29	29	261 Btuh
5	2, Clear, 0.87, None,0.00,N	E	1.5ft.	1ft.	27.0	27.0	0.0	29	29	782 Btuh
6	2, Clear, 0.87, None,0.00,N	E	1.5ft.	1ft.	40.0	40.0	0.0	29	29	1158 Btuh
7	2, Clear, 0.87, None,0.00,N	N	1.5ft.	1ft.	22.8	0.0	22.8	29	29	659 Btuh
Window Total					165 (sqft)					4771 Btuh
Walls	Type	R-Value/U-Value		Area(sqft)		HTM		Load		
1	Concrete Blk,Hollow - Ext	5.0/0.14		1183.7		2.4		2790 Btuh		
Wall Total					1184 (sqft)				2790 Btuh	
Doors	Type			Area (sqft)		HTM		Load		
1	Insulated - Exterior			20.0		9.8		196 Btuh		
Door Total					20 (sqft)				196 Btuh	
Ceilings	Type/Color/Surface	R-Value		Area(sqft)		HTM		Load		
1	Vented Attic/DarkShingle	30.0		1603.8		1.7		2656 Btuh		
Ceiling Total					1604 (sqft)				2656 Btuh	
Floors	Type	R-Value		Size		HTM		Load		
1	Slab On Grade	5.0		161 (ft(p))		0.0		0 Btuh		
Floor Total					161.0 (sqft)				0 Btuh	
Zone Envelope Subtotal:									10414 Btuh	
Infiltration	Type	ACH		Volume(cuft)		wall area(sqft)		CFM=	Load	
	SensibleNatural	0.70		11664		1184		136.1	2533 Btuh	
Internal gain		Occupants		Btuh/occupant		Appliance		Load		
		4		X 230		+		1600	2520 Btuh	
Sensible Envelope Load:									15466 Btuh	
Duct load	Prop. leak free, Supply(R6.0-Attic), Return(R6.0-Attic)							(DGM of 0.238)		3676 Btuh
Sensible Zone Load									19142 Btuh	

Residential Window Diversity

MidSummer

Wilson
2115 SW Old Wire Road
Lake City, FL 32024-

Project Title:
Wilson Residence

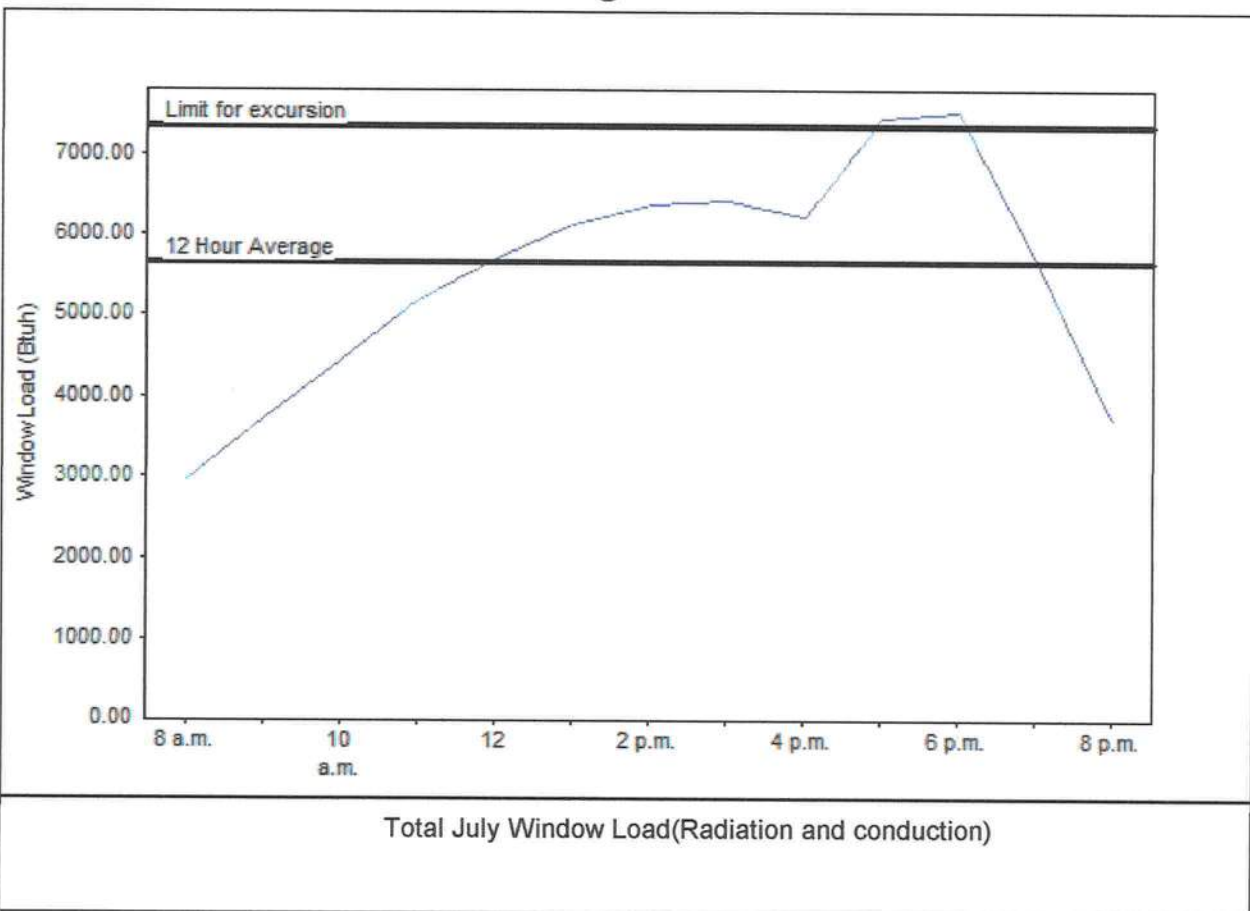
Code Only
Professional Version
Climate: North

9/20/2011

Weather data for: Gainesville - Defaults

Summer design temperature	92 F	Average window load for July	5650 Btuh
Summer setpoint	75 F	Peak window load for July	7505 Btuh
Summer temperature difference	17 F	Excursion limit(130% of Ave.)	7345 Btuh
Latitude	29 North	Window excursion (July)	160 Btuh

WINDOW Average and Peak Loads



Warning: This application has glass areas that produce relatively large heat gains for part of the day. Variable air volume devices may be required to overcome spikes in solar gain for one or more rooms. A zoned system may be required or some rooms may require zone control.

EnergyGauge® System Sizing for Florida residences only

PREPARED BY: _____

DATE: 9/20/11

EnergyGauge® FLRCPB v4.5.2



FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name: Wilson Residence
 Street: 2115 SW Old Wire Road
 City, State, Zip: Lake City, FL, 32024
 Owner: Wilson
 Design Location: FL, Gainesville

Builder Name: Simque
 Permit Office: Columbia County
 Permit Number:
 Jurisdiction:

1. New construction or existing New (From Plans)
 2. Single family or multiple family Single-family
 3. Number of units, if multiple family 1
 4. Number of Bedrooms 3
 5. Is this a worst case? No
 6. Conditioned floor area (ft²) 1458

7. Windows (164.8 sqft.)	Description	Area
a. U-Factor:	Dbl, U=0.30	164.75 ft ²
SHGC:	SHGC=0.50	
b. U-Factor:	N/A	ft ²
SHGC:		
c. U-Factor:	N/A	ft ²
SHGC:		
d. U-Factor:	N/A	ft ²
SHGC:		
e. U-Factor:	N/A	ft ²
SHGC:		

8. Floor Types (1458.0 sqft.)	Insulation	Area
a. Slab-On-Grade Edge Insulation	R=5.0	1458.00 ft ²
b. N/A	R=	ft ²
c. N/A	R=	ft ²

9. Wall Types (1368.5 sqft.)	Insulation	Area
a. Concrete Block - Int Insul, Exterior	R=5.0	1368.50 ft ²
b. N/A	R=	ft ²
c. N/A	R=	ft ²
d. N/A	R=	ft ²

10. Ceiling Types (1603.8 sqft.)	Insulation	Area
a. Under Attic (Vented)	R=30.0	1603.80 ft ²
b. N/A	R=	ft ²
c. N/A	R=	ft ²

11. Ducts
 a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 364.5 ft²

12. Cooling systems
 a. Central Unit Cap: 28.0 kBtu/hr
 SEER: 15

13. Heating systems
 a. Electric Heat Pump Cap: 28.0 kBtu/hr
 HSPF: 7.7

14. Hot water systems
 a. Electric Cap: 50 gallons
 EF: 0.92

b. Conservation features
 None

15. Credits CV, Pstat

Glass/Floor Area: 0.113

Total As-Built Modified Loads: 29.56

Total Baseline Loads: 34.69

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____

DATE: _____

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

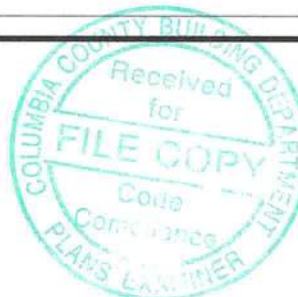
OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____

DATE: _____



PROJECT

Title:	Wilson Residence	Bedrooms:	3	Address Type:	
Building Type:	FLAsBuilt	Conditioned Area:	1458	Lot #	
Owner:	Wilson	Total Stories:	1	Block/SubDivision:	
# of Units:	1	Worst Case:	No	PlatBook:	
Builder Name:	Simque	Rotate Angle:	0	Street:	2115 SW Old Wire Road
Permit Office:	Columbia County	Cross Ventilation:	Yes	County:	Columbia
Jurisdiction:		Whole House Fan:	No	City, State, Zip:	Lake City , FL , 32024-
Family Type:	Single-family				
New/Existing:	New (From Plans)				
Comment:					

CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

FLOORS

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
_____	1	Slab-On-Grade Edge Insulation	161 ft	5	1458 ft²	0	0	1

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Gable or shed	Composition shingles	1794 ft²	402 ft²	Dark	0.96	No	0	26.6 deg

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	303	1603.8 ft²	N	N

CEILING

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	30	1603.8 ft²	0.11	Wood

WALLS

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	E	Exterior	Concrete Block - Int Insul	5	1368.5 ft²		0.23	0.75

DOORS

✓	#	Ornt	Door Type	Storms	U-Value	Area
_____	1	E	Insulated	None	0.460000	20 ft²

WINDOWS

Orientation shown is the entered, asBuilt orientation.

✓	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang		Int Shade	Screening
										Depth	Separation		
✓	1	E	Metal	Double (Clear)	Yes	0.3	0.5	N	42 ft²	1 ft 0 in	1.5 ft 0 in	HERS 2006	None
✓	2	E	Metal	Double (Clear)	Yes	0.3	0.5	N	6 ft²	1 ft 0 in	1.5 ft 0 in	HERS 2006	None
✓	3	E	Metal	Double (Clear)	Yes	0.3	0.5	N	18 ft²	1 ft 0 in	1.5 ft 0 in	HERS 2006	None
✓	4	E	Metal	Double (Clear)	Yes	0.3	0.5	N	9 ft²	1 ft 0 in	1.5 ft 0 in	HERS 2006	None
✓	5	E	Metal	Double (Clear)	Yes	0.3	0.5	N	27 ft²	1 ft 0 in	1.5 ft 0 in	HERS 2006	None
✓	6	E	Metal	Double (Clear)	Yes	0.3	0.5	N	40 ft²	1 ft 0 in	1.5 ft 0 in	HERS 2006	None
✓	7	E	Metal	Double (Clear)	Yes	0.3	0.5	N	22.75 ft²	1 ft 0 in	1.5 ft 0 in	HERS 2006	None

INFILTRATION & VENTING

✓	Method	SLA	CFM 50	ACH 50	ELA	EqlA	--- Forced Ventilation ---		Run Time	Fan
							Supply CFM	Exhaust CFM	Fraction	Watts
✓	Default	0.00036	1377	7.08	75.6	142.1	0 cfm	0 cfm	0	0

COOLING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ducts
✓	1	Central Unit	None	SEER: 15	28 kBtu/hr	cfm	0.75	sys#1

HEATING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Ducts
✓	1	Electric Heat Pump	None	HSPF: 7.7	28 kBtu/hr	sys#1

HOT WATER SYSTEM

✓	#	System Type	EF	Cap	Use	SetPnt	Conservation
✓	1	Electric	0.92	50 gal	60 gal	120 deg	None

SOLAR HOT WATER SYSTEM

✓	FSEC	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
	Cert #						
✓	None	None			ft²		

DUCTS

✓	#	--- Supply ---			--- Return ---		Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
		Location	R-Value	Area	Location	Area						
✓	1	Attic	6	364.5 ft²	Attic	72.9 ft²	Default Leakage	Interior	(Default) c	(Default) %		

TEMPERATURES

Programable Thermostat: Y

Ceiling Fans:

Cooling	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec	<input checked="" type="checkbox"/>
Heating	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec	<input checked="" type="checkbox"/>
Venting	<input checked="" type="checkbox"/>	Jan	<input checked="" type="checkbox"/>	Feb	<input checked="" type="checkbox"/>	Mar	<input checked="" type="checkbox"/>	Apr	<input checked="" type="checkbox"/>	May	<input checked="" type="checkbox"/>	Jun	<input checked="" type="checkbox"/>	Jul	<input checked="" type="checkbox"/>	Aug	<input checked="" type="checkbox"/>	Sep	<input checked="" type="checkbox"/>	Oct	<input checked="" type="checkbox"/>	Nov	<input checked="" type="checkbox"/>	Dec	<input checked="" type="checkbox"/>

Thermostat Schedule: HERS 2006 Reference

Hours

Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	80	80	80	80
	PM	80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: 2115 SW Old Wire Road
Lake City, FL, 32024-

PERMIT #:

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N1112.ABC.3 Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 85

The lower the EnergyPerformance Index, the more efficient the home.

2115 SW Old Wire Road, Lake City, FL, 32024-

1. New construction or existing	New (From Plans)		9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family		a. Concrete Block - Int Insul, Exterior	R=5.0	1368.50 ft ²
3. Number of units, if multiple family	1		b. N/A	R=	ft ²
4. Number of Bedrooms	3		c. N/A	R=	ft ²
5. Is this a worst case?	No		d. N/A	R=	ft ²
6. Conditioned floor area (ft ²)	1458		10. Ceiling Types	Insulation	Area
7. Windows**	Description	Area	a. Under Attic (Vented)	R=30.0	1603.80 ft ²
a. U-Factor:	Dbl, U=0.30	164.75 ft ²	b. N/A	R=	ft ²
SHGC:	SHGC=0.50		c. N/A	R=	ft ²
b. U-Factor:	N/A	ft ²	11. Ducts		
SHGC:			a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6,	364.5 ft ²	
c. U-Factor:	N/A	ft ²	12. Cooling systems		
SHGC:			a. Central Unit	Cap: 28.0 kBtu/hr	
d. U-Factor:	N/A	ft ²		SEER: 15	
SHGC:			13. Heating systems		
e. U-Factor:	N/A	ft ²	a. Electric Heat Pump	Cap: 28.0 kBtu/hr	
SHGC:				HSPF: 7.7	
8. Floor Types	Insulation	Area	14. Hot water systems		
a. Slab-On-Grade Edge Insulation	R=5.0	1458.00 ft ²	a. Electric	Cap: 50 gallons	
b. N/A	R=	ft ²		EF: 0.92	
c. N/A	R=	ft ²	b. Conservation features		
			None		
			15. Credits		
				CV, Pstat	

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: [Signature]

Date: 9-28-11

Address of New Home: 2115 SW Old Wire RD

City/FL Zip: LAKE CITY FL.

32024



Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

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ESTIMATED ENERGY PERFORMANCE INDEX* = 85

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2115 SW Old Wire Road, Lake City, FL, 32024-

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4. Number of Bedrooms	3		c. N/A	R=	ft ²
5. Is this a worst case?	No		d. N/A	R=	ft ²
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SHGC:	SHGC=0.50		c. N/A	R=	ft ²
b. U-Factor:	N/A	ft ²	11. Ducts		
SHGC:			a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6,	364.5 ft ²	
c. U-Factor:	N/A	ft ²	12. Cooling systems		
SHGC:			a. Central Unit	Cap: 28.0 kBtu/hr	
d. U-Factor:	N/A	ft ²		SEER: 15	
SHGC:			13. Heating systems		
e. U-Factor:	N/A	ft ²	a. Electric Heat Pump	Cap: 28.0 kBtu/hr	
SHGC:				HSPF: 7.7	
8. Floor Types	Insulation	Area	14. Hot water systems		
a. Slab-On-Grade Edge Insulation	R=5.0	1458.00 ft ²	a. Electric	Cap: 50 gallons	
b. N/A	R=	ft ²		EF: 0.92	
c. N/A	R=	ft ²	b. Conservation features		
			None		
			15. Credits		
				CV, Pstat	

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature:

[Signature]

Date:

9-28-11

Address of New Home:

2115 SW Old Wire RD

City/FL Zip:

LAKE CITY FL.
32024



*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

Clerk's Office Stamp

Inst: 201112014797 Date: 9/29/2011 Time: 8:24 AM
DC P DeWitt Cason, Columbia County Page 1 of 1 B: 1221 P: 2784

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 24-55-16-03707-102
a) Street (job) Address: 2115 SW Old Wire Rd Lake City FL 32024
2. General description of improvements: Single family dwelling
3. Owner Information
a) Name and address: Doug Wilson P.O. Box 1310 Tifton, GA 31798
b) Name and address of fee simple titleholder (if other than owner) NA
c) Interest in property home site
4. Contractor Information
a) Name and address: David Simgue Lake City Florida
b) Telephone No.: 867-0294 Fax No. (Opt.) _____
5. Surety Information
a) Name and address: NA
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
a) Name and address: NA
b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: NA
b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
a) Name and address: NA
b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

X Doug Wilson
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Doug Wilson
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 20 day of Sept, 2011 by:

_____ as _____ (type of authority, e.g. officer, trustee, attorney fact) for Doug Wilson (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification _____ Type _____

Notary Signature Linda Roder Notary Stamp or Seal:

NOTARY PUBLIC-STATE OF FLORIDA
Linda R. Roder
Commission #DD755608
Expires: MAR. 24, 2012
BONDED THRU ATLANTIC BONDING CO., INC.

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

X Doug Wilson
Signature of Natural Person Signing (in line #10 above.)
Doug Wilson

WARRANTY DEED
INDIVID TO INDIVID

This Warranty Deed Made the 3rd day of March A. D. 19 98 by
SUBRANDY LIMITED PARTNERSHIP

hereinafter called the grantor, to DOUGLAS PAUL WILSON

whose postoffice address is P. O. Box 825 Forest Park, GA 30298
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

LOT 2 PARADISE SOUTH, a subdivision as recorded in Plat Book 6, Pages 67-67A, Columbia County Florida, subject to Restrictions recorded in O. R. Book 0784, Pages 1698-1699, Columbia County, Florida, and subject to Power Line Easement.

K 0854 PG1004

OFFICIAL RECORDS

98-03266

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY FLA

1998 MAR -4 PM 11:12

COL. US. S. FLORIDA
BY: *MLK*

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1997.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Witness *Eva E. Timmons*

Witness *Andrew J. Hicks*

STATE OF Florida
COUNTY OF Columbia

SUBRANDY LIMITED PARTNERSHIP

Bradley N. Dicks
BRADLEY N. DICKS, GENERAL PARTNER
SAID BELOW FOR RECORDS USE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared BRADLEY N. DICKS, GENERAL PARTNER, personally known and who did not take an oath.

to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 3rd day of

March, A. D. 19 98

NOTARY PUBLIC

Eva E. Timmons

My Commission Expires

This instrument prepared by: Lenvil H. Dicks

Address: U. S. 90 West, Lake City, Florida 32055

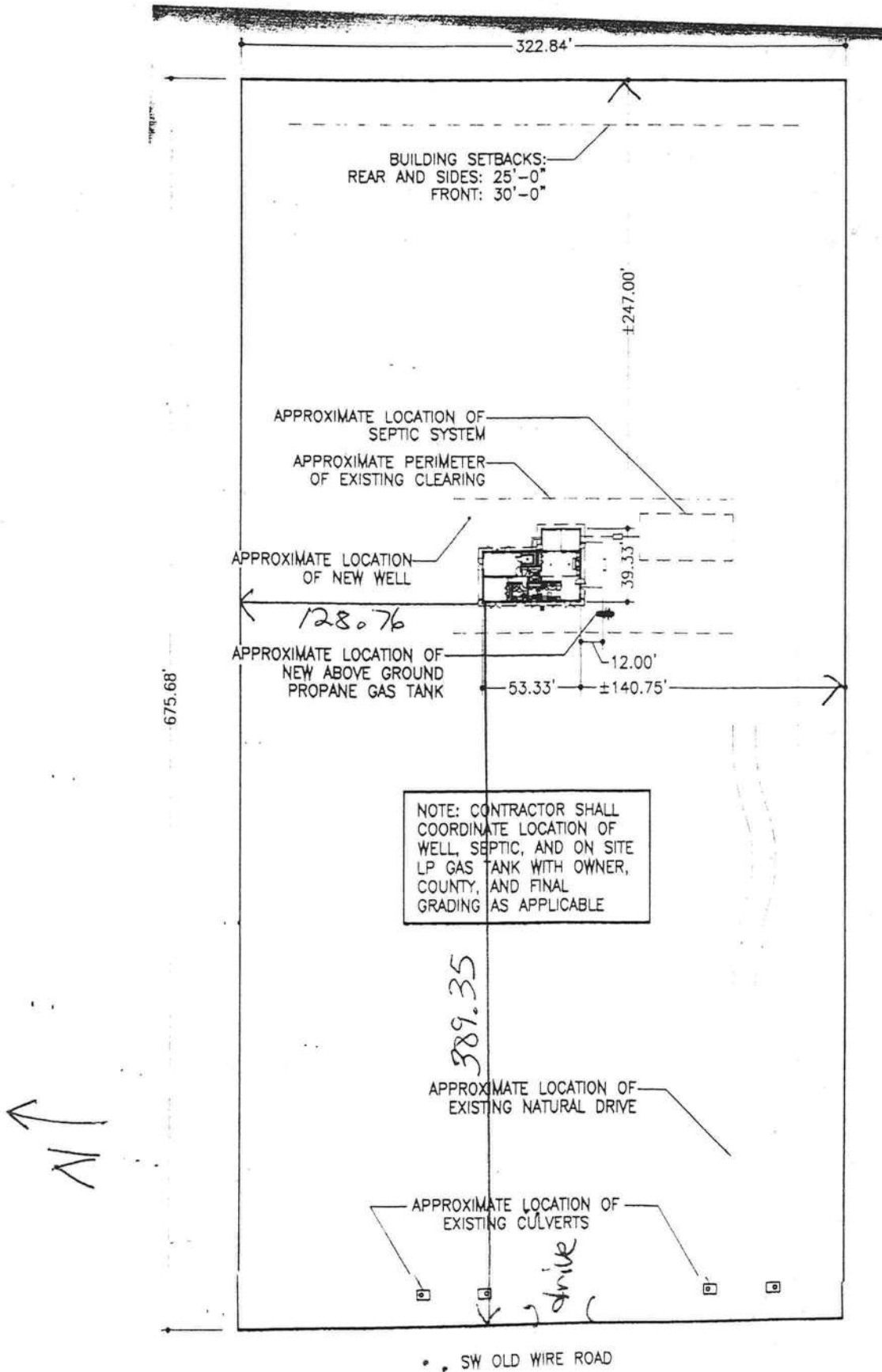
OFFICIAL NOTARY SEAL
EVA E. TIMMONS
NOT. PUBLIC STATE OF FLORIDA
MY COM. NO. CC662893
MY COMMISSION EXP. AUG. 2, 2001



#119.00

MLK D.C.

Doug Wilson Site Plan
Lot 2 Paradise South
24-5 S-16-03707-102



Notice of Authorization

I DAVID SIMQUE, do hereby authorize Linda Roder

to be my representative and act on my behalf in all aspects of applying for a

building permit to be located in Columbia county.

The name of the home owner is Doug Wilson.

Legal description 24-55-16-03707-102

X [Signature]

Contractor's signature

9-28-11

Date

Sworn and subscribed before me this 28th day of Sept., 2011.

[Signature]

Notary Public



My commission expires: 12-3-12

Commission No. DD 842804

Personally Known [Signature] David S. Simque

Produced ID (Type): _____

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

Clerk's Office Stamp

Inst: 201112014797 Date: 9/29/2011 Time: 8:24 AM
DC P DeWitt Cason, Columbia County Page 1 of 1 B 1221 P 2784

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b) Name and address of fee simple titleholder (if other than owner) NA
c) Interest in property home site
4. Contractor Information
a) Name and address: David Singue Lake City Florida
b) Telephone No.: 867-0294 Fax No. (Opt.) _____
5. Surety Information
a) Name and address: NA
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
a) Name and address: NA
b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: NA
b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
a) Name and address: NA
b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

X Doug Wilson
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Doug Wilson
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 20 day of Sept, 2011 by:

_____ as _____ (type of authority, e.g. officer, trustee, attorney fact) for Doug Wilson (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification _____ Type _____

Notary Signature Linda Roder Notary Stamp or Seal:

NOTARY PUBLIC-STATE OF FLORIDA
Linda R. Roder
Commission #DD755608
Expires: MAR. 24, 2012
BONDED THRU ATLANTIC BONDING CO., INC.

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

X Doug Wilson
Signature of Natural Person Signing (in line #10 above.)
Doug Wilson

8:59:15 AM 10/3/2011

Licensee Details

Licensee Information

Name: **WAYLAND, GREGORY STEPHEN** (Primary Name)
(DBA Name)
Main Address: **8200 SW 16TH PLACE**
GAINESVILLE Florida 32607
County: **ALACHUA**
License Mailing:
LicenseLocation:

License Information

License Type: **Professional Engineer**
Rank: **Prof Engineer**
License Number: **54396**
Status: **Current,Active**
Licensure Date: **06/09/1999**
Expires: **02/28/2013**

Special Qualifications **Qualification Effective**
Civil **06/09/1999**
Building Code Core
Course Credit

[View Related License Information](#)

[View License Complaint](#)

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 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8:46:06 AM 10/3/2011

Licensee Details**Licensee Information**

Name: **BARRY, WARREN EARL** (Primary Name)
(DBA Name)
Main Address: **4409 NW 186TH STREET
NEW BERRY Florida 32669**
County: **ALACHUA**
License Mailing:

LicenseLocation:

License Information

License Type: **Architect**
Rank: **Architect**
License Number: **AR93495**
Status: **Current,Active**
Licensure Date: **10/05/2006**
Expires: **02/28/2013**

Special Qualifications **Qualification Effective**

[View Related License Information](#)

[View License Complaint](#)

Contact Us :: [1940 North Monroe Street, Tallahassee FL 32399](#) :: Call.Center@dbpr.state.fl.us :: Customer Contact Center:
850.487.1395

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Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions regarding DBPR's ADA web accessibility, please contact our Web Master at webmaster@dbpr.state.fl.us.

WARRANTY DEED
INDIVID TO INDIVID

This Warranty Deed Made the 3rd day of March A. D. 19 98 by
SUBRANDY LIMITED PARTNERSHIP

hereinafter called the grantor, to DOUGLAS PAUL WILSON

whose postoffice address is P. O. Box 825 Forest Park, GA 30298
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and
the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other
valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, re-
leases, conveys and confirms unto the grantee, all that certain land situate in Columbia
County, Florida, viz:

LOT 2 PARADISE SOUTH, a subdivision as recorded in Plat Book 6, Pages
67-67A, Columbia County Florida, subject to Restrictions recorded in
O. R. Book 0784, Pages 1698-1699, Columbia County, Florida, and subject
to Power Line Easement.

8K 0854 PG1004

OFFICIAL RECORDS

98-03266

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FLORIDA

1998 MAR -4 AM 11:12

BY: *[Signature]*
COLUMBIA COUNTY, FLORIDA

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-
wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land
in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the
grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of
all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent
to December 31, 1997.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year
first above written.

Signed, sealed and delivered in our presence:

Witness *[Signature]*
Eva E. Timmons

Witness Andrew J. Dicks

STATE OF Florida
COUNTY OF Columbia

SUBRANDY LIMITED PARTNERSHIP

[Signature]
BRADLEY N. DICKS, GENERAL PARTNER

I HEREBY CERTIFY that on this day, before me, an officer duly
authorized in the State aforesaid and in the County aforesaid to take
acknowledgments, personally appeared BRADLEY N. DICKS,
GENERAL PARTNER, personally known and who did not
take an oath.

to me known to be the person described in and who executed the
foregoing instrument and he acknowledged before me that he
executed the same.

WITNESS my hand and official seal in the County and
State last aforesaid this 3rd day of
March, A. D. 19 98

NOTARY PUBLIC

Eva E. Timmons

My Commission Expires
19

This instrument prepared by: Lenvil H. Dicks

Address: U. S. 90 West, Lake City, Florida 32055

OFFICIAL NOTARY SEAL
EVA E. TIMMONS
NOT. PUBLIC STATE OF FLORIDA
MY COM. NO. CC662893
MY COMMISSION EXP. AUG. 22001

Resend10-06-11;09:50AM

LINDA RODER

;386 758-2187



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

CR # 10-5292
PERMIT NO. 1048277
DATE PAID: 10/3/11
FEE PAID: 310.00
RECEIPT #: 1261320

CONSTRUCTION PERMIT FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: DOUGLAS WILSONPROPERTY ADDRESS: 2115 SW OLD WIRE RD.

LOT: N/A2 BLOCK: N/A SUBDIVISION: PARADISE SOUTH
[SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
PROPERTY ID #: 24-58-16-03707-102 [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] GALLONS / GPD SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES []
A [] GALLONS / GPD CAPACITY MULTI-CHAMBERED/IN-SERIES []
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS & [] DOSES PER 24 HRS # PUMPS []

D [375] SQUARE FEET PRIMARY DRAINFIELD SYSTEM
R [] SQUARE FEET SYSTEM

A TYPE SYSTEM: ☒ STANDARD [] FILLED [] MOUND []
I CONFIGURATION: ☒ TRENCH [] SED []

F LOCATION OF BENCHMARK: NAIL IN 6" OAK TREE SOUTH OF SYSTEM SITE

I ELEVATION OF PROPOSED SYSTEM SITE [24] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [36] [INCHES] [BELOW] BENCHMARK/REFERENCE POINT

L
D FILL REQUIRED: [6.0] INCHES EXCAVATION REQUIRED: [0] INCHES

O
T
H
E
RSPECIFICATIONS BY: PAUL LLOYDTITLE: SOIL SCIENTISTAPPROVED BY: Salhi FordTITLE: Env Health DirectorCOLUMBIA CRDDATE ISSUED: 10.6.11EXPIRATION DATE: 4.6.13

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)
Incorporated: 64E-6.003, FAC

Page 1 of 3

1109-35

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 11-0414

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

1 inch = 50 feet

CR# 10-5292

OCCUPIED >75' TO WELL

NORTH

337'

210'

210'

WELL

WATER LINE

100'

NO SLOPE

SITE 1

SITE 2

OCCUPIE
>75' TO
WELL

75'

TBM

UNPAVED

DRIVE

310' TO SWALE

Site Plan Submitted By Paul L. Ford Date 9/19/11
 Plan Approved ☒ Not Approved ☐ Date _____

By Salhi Ford, Env Health Director. Columbia CHD CPHU

Notes: 1. A OF 5-15 shown

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1109-35 CONTRACTOR DAVID SIMQUE PHONE 386-867-0692

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<input checked="" type="checkbox"/> ELECTRICAL	Print Name <u>LYN RAINBOLT</u>	Signature <u>[Signature]</u>	Phone #: <u>386-867-1004</u>
	License #: <u>EC13001835</u>		
<input checked="" type="checkbox"/> MECHANICAL/ A/C	Print Name <u>Richard Mark Tachibana</u>	Signature <u>[Signature]</u>	Phone #: <u>386-867-0625</u>
	License #: <u>CAC058099</u>		
<input checked="" type="checkbox"/> PLUMBING/ GAS	Print Name <u>MARK GANSKOP</u>	Signature <u>[Signature]</u>	Phone #: <u>386-867-0264</u>
	License #: <u>CFC1428040 Express Plumbing</u>		
ROOFING	Print Name <u>DAVID SIMQUE</u>	Signature <u>[Signature]</u>	Phone #: <u>386-755-7787</u>
	License #: <u>CGC 151165</u>		
SHEET METAL	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
FIRE SYSTEM/ SPRINKLER	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
SOLAR	Print Name _____	Signature _____	Phone #: _____
	License #: _____		

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
<input checked="" type="checkbox"/> MASON	<u>00863</u>	<u>STEVEN CUMY</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> CONCRETE FINISHER	<u>000048</u>	<u>BEN LOFSTROM</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> FRAMING		<u>DAVID SIMQUE</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> INSULATION		<u>DAVID SIMQUE</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> STUCCO	<u>000926</u>	<u>Traci Rodriguez</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> DRYWALL	<u>700833</u>	<u>Jerome Ruzicka</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> PLASTER	<u>700833</u>	<u>Jerome Ruzicka</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> CABINET INSTALLER		<u>DAVID SIMQUE</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> PAINTING	<u>000207</u>	<u>BILL HART</u>	<u>[Signature]</u>
ACOUSTICAL CEILING			
GLASS	<u>VEE</u>	<u>THOMAS V. CREST</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> CERAMIC TILE	<u>000152</u>	<u>TREVOR BLANK</u>	<u>[Signature]</u>
FLOOR COVERING			
ALUM/VINYL SIDING		DAVID SIMQUE	[Signature]
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

SUBCONTRACTOR VERIFICATION FORM

 APPLICATION NUMBER 1109-35 CONTRACTOR DAVID SIMQUE PHONE 386-887-0692

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<input checked="" type="checkbox"/> ELECTRICAL 724	Print Name <u>LYN RAINBOLT</u> License #: <u>EC13001835</u>	Signature <u>[Signature]</u> Phone #: <u>386-867-1004</u>
<input checked="" type="checkbox"/> MECHANICAL/ A/C 747	Print Name <u>Richard Male Touchette</u> License #: <u>CAC058099</u>	Signature <u>[Signature]</u> Phone #: <u>386-887-0625</u>
<input checked="" type="checkbox"/> PLUMBING/ GAS 623	Print Name <u>MARK GANSKOP</u> License #: <u>CFC1428040 Express Plumbing</u>	Signature <u>[Signature]</u> Phone #: <u>386-867-0264</u>
ROOFING 529	Print Name <u>DAVE SIMQUE</u> License #: <u>CGC1516165 update!</u>	Signature <u>[Signature]</u> Phone #: <u>386-887-0294</u>
SHEET METAL	Print Name _____ License #: <u>N/A</u>	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: <u>N/A</u>	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: <u>N/A</u>	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
<input checked="" type="checkbox"/> MASON	<u>00863</u>	<u>STEVEN CUMY</u>	<u>[Signature]</u> 9/30/11
<input checked="" type="checkbox"/> CONCRETE FINISHER	<u>000048</u>	<u>Ben Lofstrom</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> FRAMING	<u>000804</u>	<u>Brian Popke</u>	<u>[Signature]</u>
INSULATION 529	<u>CGC1516165</u>	<u>DAVID SIMQUE</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> STUCCO	<u>000726</u>	<u>Troci Rodriguez</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> DRYWALL	<u>000838</u>	<u>Jerome Ryzicki</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> PLASTER	<u>000838</u>	<u>Jerome Ryzicki</u>	<u>[Signature]</u>
CABINET INSTALLER	<u>843</u>	<u>Craig Nicholson</u>	<u>[Signature]</u> 9/30/11
PAINTING	<u>000207</u>	<u>ISAAC HART</u>	<u>[Signature]</u> NL
ACOUSTICAL CEILING	<u>N/A</u>		
GLASS	<u>122</u>	<u>Kicky Bennett</u>	<u>[Signature]</u>
<input checked="" type="checkbox"/> CERAMIC TILE	<u>000152</u>	<u>TREVOR BLANK</u>	<u>[Signature]</u> 9/30/11
FLOOR COVERING	<u>N/A</u>		
<input checked="" type="checkbox"/> ALUM/VINYL SIDING	<u>000312</u>	<u>Paul Phinney</u>	<u>[Signature]</u> 9/30/11
GARAGE DOOR	<u>N/A</u>		
METAL BLDG ERECTOR	<u>N/A</u>		

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Laurie Hodson

From: Ron Croft
Sent: Thursday, October 06, 2011 4:57 PM
To: Laurie Hodson
Subject: RE: SITE PLAN

I can live with it (23 feet off, but should be OK as long as they post the address.)

Ronal N. Croft

Columbia County 911 Addressing / GIS Department
P.O. Box 1787
Lake City, FL 32056-1787
Phone: 386-758-1125
Fax: 386-758-1365
E-Mail: ron_croft@columbiacountyfla.com

From: Laurie Hodson
Sent: Thursday, October 06, 2011 4:35 PM
To: Ron Croft
Subject: SITE PLAN

RON,

HERE IS THE SITE PLAN WE TALKED ABOUT. PLEASE CONFIRM THIS ADDRESS 2115 SW OLD WIRE RD.

THANKS,
LAURIE

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Doug Wilson
Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature (Permittee)

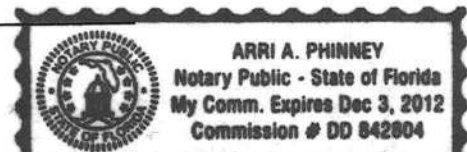
Contractor's License Number CGC 1316165
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 21st day of September 2011.

Personally known [Signature] or Produced Identification _____

Arri A. Phinney
State of Florida Notary Signature (For the Contractor)

SEAL:



PAID PERMIT RENEWED
☒ CEM'S MICKLESEN
☒ PAUL PHINNEY
☒ V4 over Cully

☒ BILL HART (VF: Nigro) NEED

☒ License
☒ Lias
David SIMQUE

Columbia County Building Permit Application

For Office Use Only Application # 1109-35 Date Received 9/29 By JW Permit # 29722
Zoning Official BLK Date 6 Oct 2011 Flood Zone X Land Use A-3 Zoning A-3
FEMA Map # N/A Elevation N/A MFE 1 above Rd River N/A Plans Examiner J.C. Date 10-3-11
Comments
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter
IMPACT FEES: EMS ☐ Fire ☐ Corr ☒ Sub VF Form
Road/Code ☐ School ☐ = TOTAL (Suspended) ☒ App Fee Paid

Septic Permit No. 11-0414 Fax 386-752-2282
Name Authorized Person Signing Permit Linda Roder Phone 386-752-2281
Address 387 S.W. Kemp Ct. Lake City, FL 32024
Owners Name Douglas Paul Wilson Phone 438-3818
911 Address 2115 SW Old Wire Rd Lake City FL 32024
Contractors Name David Simque Phone 386-867-0692
Address 518 SW Little Rd Lake City FL 32024

Fee Simple Owner Name & Address _____
Bonding Co. Name & Address NA
Architect/Engineer Name & Address Warren Barry
Mortgage Lenders Name & Address NA

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy
Property ID Number 24-55-16-03707-102 Estimated Cost of Construction 120,000
Subdivision Name Paradise South Lot 2 Block _____ Unit _____ Phase _____
Driving Directions 47S. L on 240, R on Old Wire Rd, past Washington Rd next Lot on left

Number of Existing Dwellings on Property 0
Construction of Single Family Dwelling Total Acreage _____ Lot Size _____
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 17'-11"
Actual Distance of Structure from Property Lines - Front 389.35 Side 128.76 Side 140.75 Rear 257'
Number of Stories 1 Heated Floor Area 1458 Total Floor Area 1722 Roof Pitch 4-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.

spoke to Linda 10/6/11

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 24-5S-16-03707-102

Building permit No. 000029722

Use Classification SFD, UTILITY

Fire: 38.52

Permit Holder DAVID SIMQUE

Waste: 100.50

Owner of Building DOUGLAS P. WILSON

Total: 139.02

Location: 2115 SW OLD WIRE RD, FORT WHITE, FL 32038

Date: 04/20/2012



Ray Lee

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

DATE 10/06/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000029722

APPLICANT LINDA RODER PHONE 752-2281
ADDRESS 387 SW KEMP CT LAKE CITY FL 32024
OWNER DOUGLAS P. WILSON PHONE 438-3818
ADDRESS 2115 SW OLD WIRE LAKE CITY FL 32024
CONTRACTOR DAVID SIMQUE PHONE 386-867-0692
LOCATION OF PROPERTY 47-S TO C-240, TL GO 1.2 MILES TO OLD WIRE RD, TR, GO 2.1 MILE
IT'S ON THE L.

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 86100.00
HEATED FLOOR AREA 1458.00 TOTAL AREA 1722.00 HEIGHT 18.00 STORIES 1
FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 4'12 FLOOR SLAB
LAND USE & ZONING AG-3 MAX. HEIGHT 35
Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 24-5S-16-03707-102 SUBDIVISION PARADISE SOUTH
LOT 2 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES _____

CGC1516165
Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number X Signature Applicant/Owner/Contractor
EXISTING 11-0414 BK TC N
Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

NOC ON FILE

Check # or Cash 1025

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
date/app. by _____ date/app. by _____ date/app. by _____
Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
date/app. by _____ date/app. by _____ date/app. by _____
Framing _____ Insulation _____
date/app. by _____ date/app. by _____
Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
date/app. by _____ date/app. by _____
Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
date/app. by _____ date/app. by _____ date/app. by _____
Permanent power _____ C.O. Final _____ Culvert _____
date/app. by _____ date/app. by _____ date/app. by _____
Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
date/app. by _____ date/app. by _____ date/app. by _____
Reconnection _____ RV _____ Re-roof _____
date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 435.00 CERTIFICATION FEE \$ 8.61 SURCHARGE FEE \$ 8.61
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
FLOOD DEVELOPMENT FEE \$ _____ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ _____ TOTAL FEE 527.22
INSPECTORS OFFICE Signature CLERKS OFFICE Signature

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.