

DATE 12/01/2004

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022544

APPLICANT ROBERT LITES PHONE 386-752-5707
ADDRESS 390 SW HALL AVE FT WHITE FL 32038
OWNER ROBERT LITES PHONE 386-752-5707
ADDRESS 392 SW HALL AVE FT WHITE FL 32038
CONTRACTOR RONNIE NORRIS PHONE 386-752-5871
LOCATION OF PROPERTY 441 S, R TOMMY LITES ST, L SW HALL AVE, 1/4 MILE ON THE
RIGHT
TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION .00
HEATED FLOOR AREA TOTAL AREA HEIGHT .00 STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 17-6S-17-09693-001 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 19.24

IH0000049
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 04-1094-N BK JK N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR 1 FOOT ABOVE THE ROAD
LETTER FROM FATHER GIVING PERMISSION TO DAUGHTER FOR PROPERTY
THIS IS 2ND UNIT ON PROPERTY Check # or Cash 1177

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by
Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 56.70 WASTE FEE \$ 122.50
FLOOD ZONE DEVELOPMENT FEE \$ CULVERT FEE \$ TOTAL FEE 429.20

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

Zoning Official BLK 30.11.04 Building Official JK

AP# 0411-73 Date Received _____ By JW Permit # 22544

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments 911 ADDRESS NEEDED
EX-100000 THE PLAN NEEDED
Letter & Authorization needed from Father for unit to be moved

FEMA Map # _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks shown ☐ Environmental Health Signed Site Plan ☒ Env. Health Release

☒ Well letter provided ☐ Existing Well

Revised 9-23-04

- 17-65-17
- Property ID 09693-001 Must have a copy of the property deed
 - New Mobile Home ☒ Used Mobile Home _____ Year 2004
 - Subdivision Information _____
 - Applicant ROBERT L. LITES Phone # 386-752-5707
 - Address 390 SW HALL AV., FT. WHITE, FL 32038
 - Name of Property Owner ROBERT L. LITES Phone # 386-752-5707
 - 911 Address 390 SW HALL AV., FT. WHITE, FL 32038
 - Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progressive Energy
 - Name of Owner of Mobile Home ROBERT L. LITES Phone # 386-752-5707
 - Address 392 SW Hall Ave, Ft. White fl 32038
 - Relationship to Property Owner SAME
 - Current Number of Dwellings on Property 1
 - Lot Size _____ Total Acreage 19.24
 - Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit
 - Driving Directions 441 S OF ELLISVILLE 2 MILES TO RIGHT ON SW TOMMY LITES ST. - GO 2 MILES AND TURN LEFT ON SW HALL AV AND GO 1/4 MILE (ON RT)
 - Is this Mobile Home Replacing an Existing Mobile Home NO
 - Name of Licensed Dealer/Installer Home Name Phone # 752 3871
 - Installers Address RT 11 Box 507 Lake City
 - License Number I H0000099 Installation Decal # 226053

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500

X 1200

X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 2000

X 1800

X 1200

TORQUE PROBE TEST

The results of the torque probe test is 295 inch pounds or check here if you are declaring 5" anchors without testing 4. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewalk locations. 1 understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Kevin Davis

Date Tested

11-10-04

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. _____

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. _____

Site Preparation

Debris and organic material removed ✓
Water drainage: Natural ✓ Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: LAG Length: 6" Spacing: 24"
Walls: Type Fastener: nae Length: 6" Spacing: 24"
Roof: Type Fastener: LAG Length: 6" Spacing: 24"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Installed:

Type gasket Pg. _____

RE

Between Floors Yes

Between Walls Yes

Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes N/A
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Kevin Davis

Date

11/10/04

PERMIT NUMBER

Installer

Rovine-Nicks License # TH000094

Address of home being installed

Plot 11 Box 504

Manufacturer

Skylux Length x width

NOTE:

If home is a single wide fill out one half of the blocking plan
If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

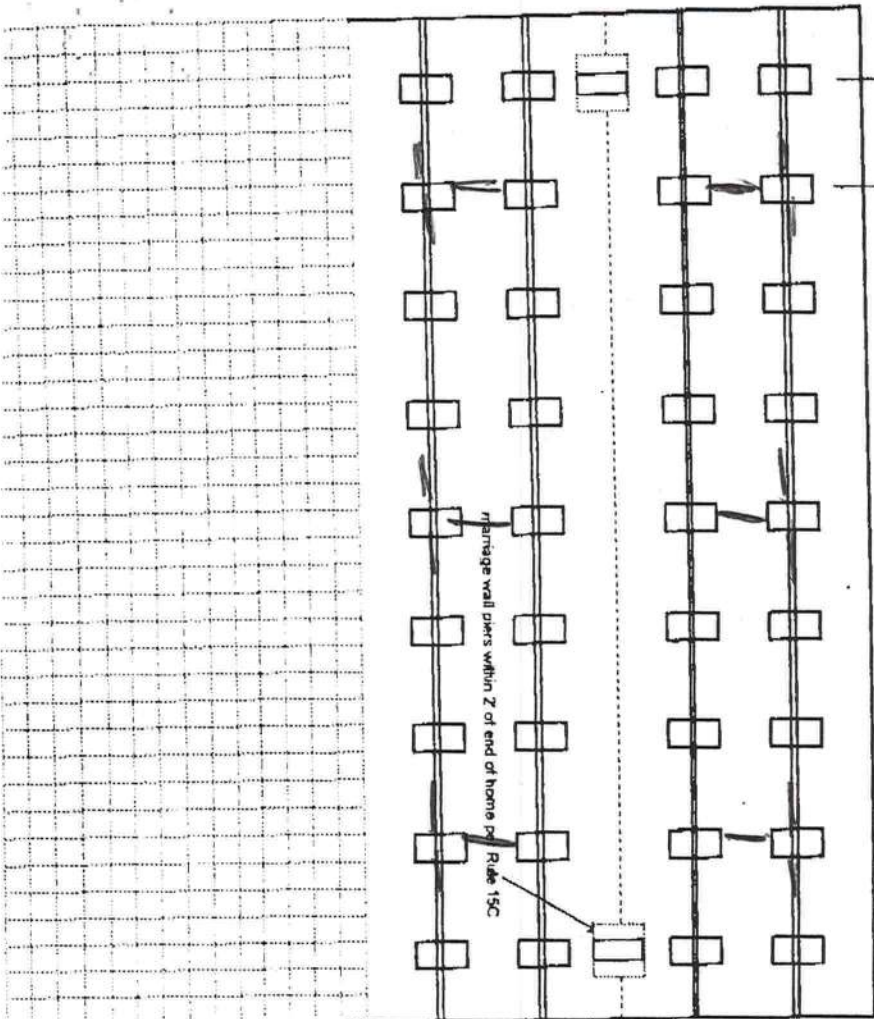
[Signature]

Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)

lateral
longitudinal

Typical pier spacing

2'



New Home



Used Home



Home installed to the Manufacturer's Installation Manual



Home is installed in accordance with Rule 15-C



Single wide



Wind Zone II



Wind Zone III



Double wide



Installation Decal #

226053

Triple/Quad



Serial #

05-61-0413-TA

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq ft)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'		4'	5'	6'	7'	8'
1500 psf	4'6"		6'	7'	8'	8'	8'
2000 psf	6'		8'	8'	8'	8'	8'
2500 psf	7'6"		8'	8'	8'	8'	8'
3000 psf	8'		8'	8'	8'	8'	8'
3500 psf	8'		8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

17X32

Perimeter pier pad size

16X16

Other pier pad sizes (required by the mfg.)

16X16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

15

20X20

8

16X16

8

16X16

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

POPULAR PAD SIZES

Pad Size	Sq ft
16 x 16	256
16 x 18	288
18 1/2 x 18 1/2	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft X 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Sidewall

Longitudinal

Marriage wall

Shearwall

Number

22

4

4

4

LETTER OF AUTHORIZATION TO PULL PERMITS

I, Ronnie Norris, DO HEREBY GRANT
Robert Lite, AUTHORIZATION TO PULL THE NECESSARY
PERMITS REQUIRED FOR THE DELIVERY AND SET OF A MANUFACTURED
HOME IN Columbia COUNTY, FLORIDA.

THIS FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS
16th DAY OF Nov., 2004, BY _____
_____, WHO IS PERSONALLY KNOWN TO ME.

STATE OF FLORIDA
COUNTY OF Columbia

Kent Ray Gardner
NOTARY PUBLIC

(STAMP)



CAM112M01	CamaUSA Appraisal System	Columbia County
11/16/2004 12:24	Legal Description Maintenance	8400 Land 001
Year: T Property	Sel	3009 AG 001
2005, R 17-6S-17-09693-001		71853 Bldg 001
390 HALL AVE #FW NOTE		3840 Xfea 003
HX LITES ROBERT L		87102 TOTAL B*

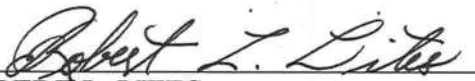
1	NE1/4 OF SW1/4 OF SE1/4, EX RD	R/W. ALSO BEG NW COR OF SW1/4	2
3	OF SE1/4, RUN S 641.81 FT, E	657.49 FT, N 596.82 FT, W	4
5	W 196.83 FT, N 43 FT, W 460.20	FT TO POB. (A PORTION OF THIS	6
7	IS AKA PARCEL "F").	DC ORB 972-1159, 980-2457,	8
9	CORR DEED 983-485,		10
11			12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 5/22/2003 WANDA
F1=Task F3=Exit F4=Prompt F10=GoTo PGUP/PGDN F24=MoreKeys

NOVEMBER 16, 2004

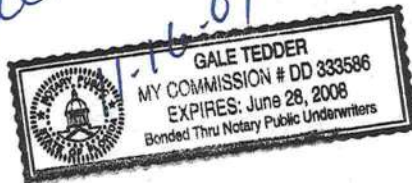
TO WHOM IT MAY CONCERN:

I, ROBERT L. LITES, DO HEREBY AUTHORIZE MY DAUGHTER, LISA
SWEARINGEN TO RESIDE ON MY 19.24 ACRES OF LAND LOCATED ON
HALL AVENUE IN FT. WHITE, FLORIDA. THIS WILL BE A SECOND UNIT ON
MY PROPERTY.



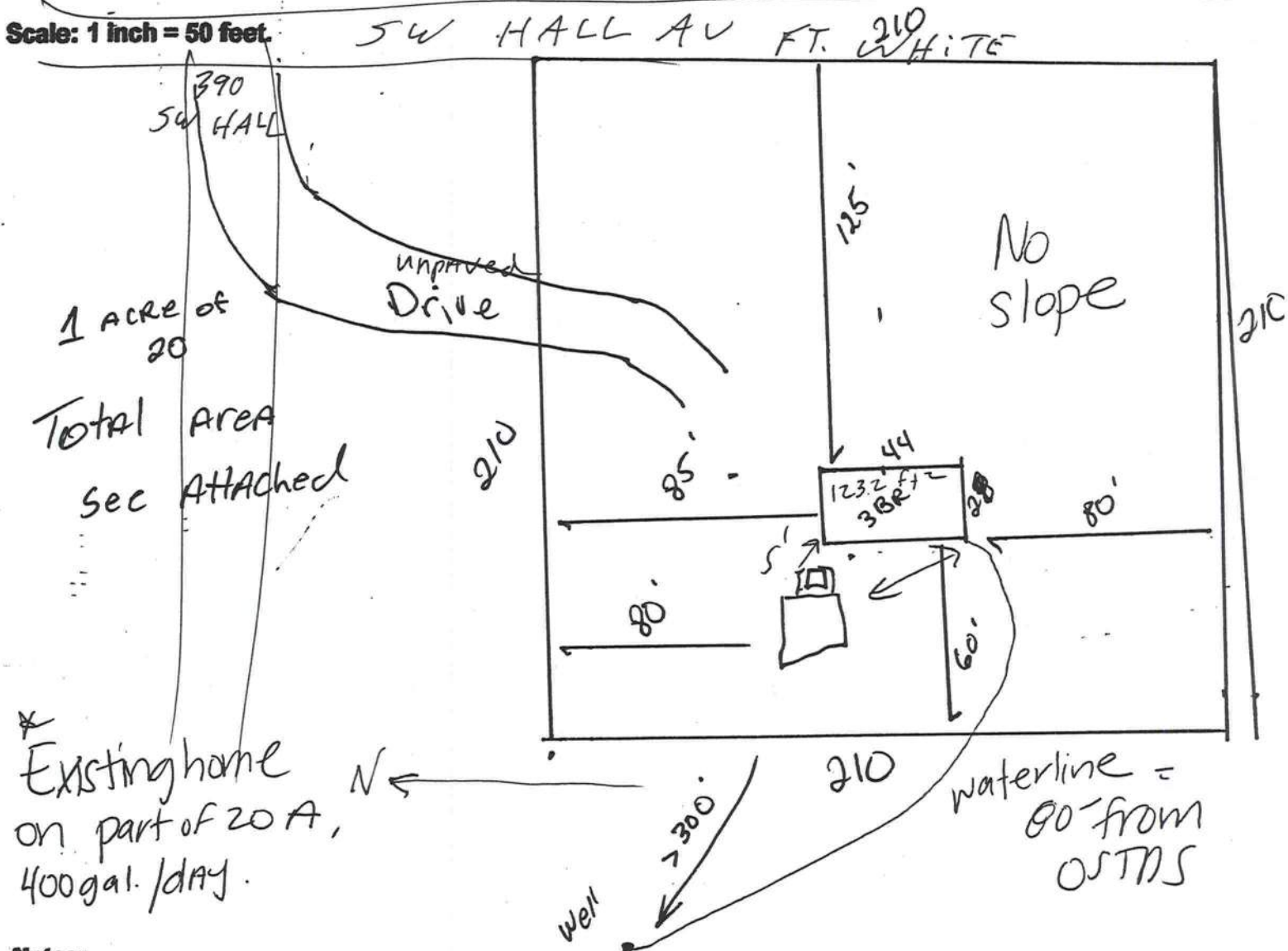
ROBERT L. LITES
390 HALL AVENUE
FT. WHITE, FL 32038





Permit Application Number 04-10941

Scale: 1 inch = 50 feet.



Notes:

Site Plan submitted by:

Plan Approved

Not Approved

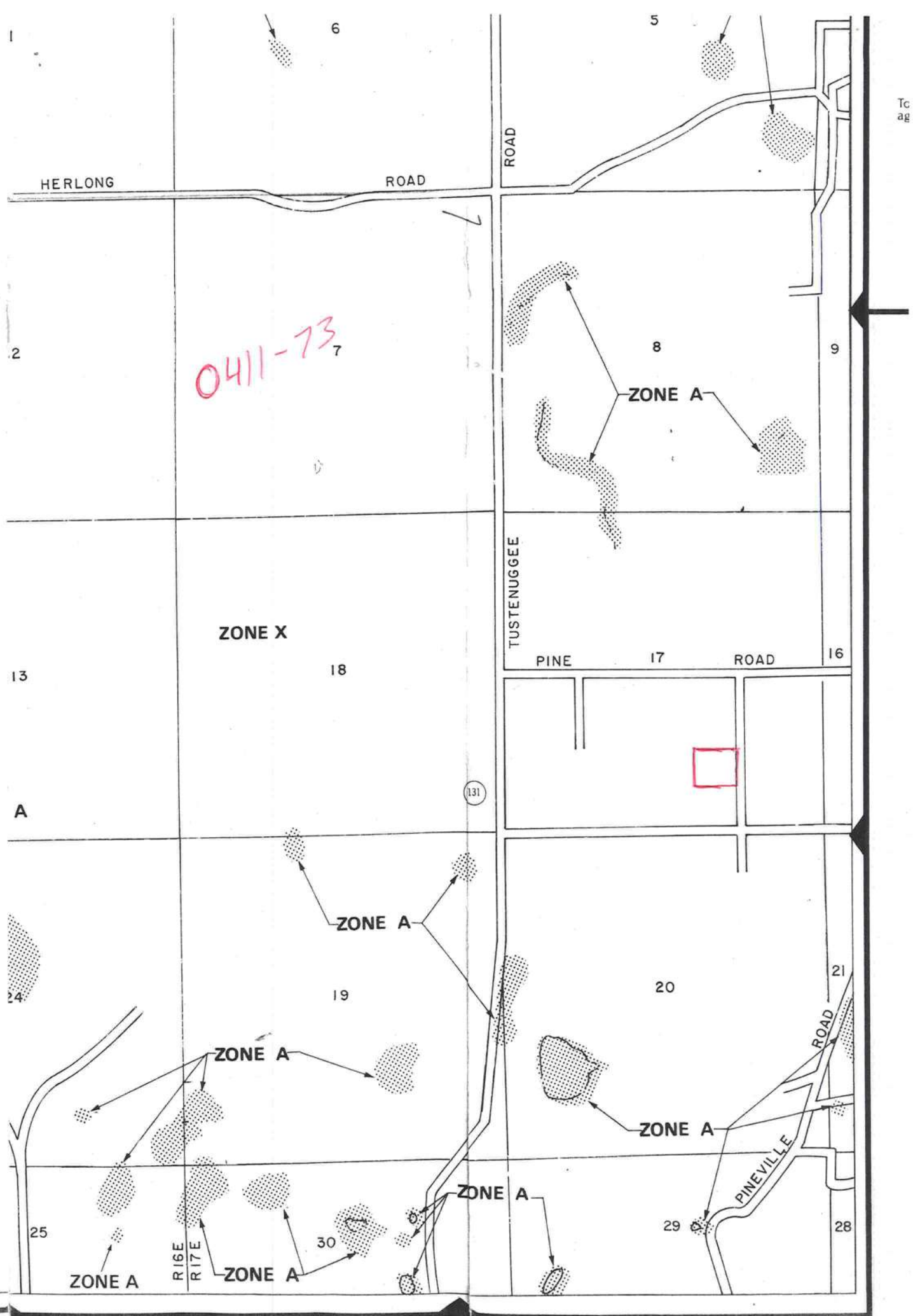
By Sallie Haddy - ESI - COLUMBIA

master Cont.

Date 11-16-04

County Health Department

DH 4015, 10/96 (Replaces HRS-H Form 4016 which may be used)
(Stock Number: 5744-002-4015-6)



0411-73

Robert Lites

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949
PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: November 29, 2004**ENHANCED 9-1-1 ADDRESS:**392 SW HALL AVE (FORT WHITE, FL 32038)**Addressed Location 911 Phone Number:** NOT AVAIL.**OCCUPANT NAME:** NOT AVAIL.**OCCUPANT CURRENT MAILING ADDRESS:** _____**PROPERTY APPRAISER MAP SHEET NUMBER:** 104**PROPERTY APPRAISER PARCEL NUMBER:** 17-6S-17-09693-001**Other Contact Phone Number (If any):** _____**Building Permit Number (If known):** _____**Remarks:** 2ND LOCATION ON PARCEL**Address Issued By:** _____

Columbia County 9-1-1 Addressing Department

**COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED**