

SPECIAL FLOOD HAZARD STATEMENT
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12020303050, EFFECTIVE DATE
NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:
INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAIN
BROWNING. THE LOCATION AND ABANDONMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO
UNDERGROUND UTILITIES SHOWN HEREON MAY BE INCOMPLETE AND UTILITIES AND STRUCTURES RELATED TO
UNDERGROUND UTILITIES SHOWN HEREON ARE NOT TO BE CONSIDERED. THE OWNER, HEREIN, IS RESPONSIBLE FOR
THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND
STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

501°58'08"E 47.50' (D)
500°31'37"E 47.50' (C)
WASHINGTON STREET

SOUTH RIGHT OF WAY LINE OF
WASHINGTON STREET

S86°58'17"W 267.64' (D)
S88°24'48"W 267.64' (C)

500°29'29"E 474.37' (F)
501°58'08"E 474.71' (D)
500°31'37"E 474.71' (C)

POINT OF BEGINNING
PARCEL

PARCEL: 34-35-17-06875-001
OWNER: DUNE BUILDING LLC
ADDRESS: 128 RUE MAGNOLIA
BLOCK 1281, PAGE 1286

PARCEL: 34-35-17-06875-002
CONTAINING 1.10 ACRES
MORE OR LESS

1 STORY METAL BUILDING
ADDRESS: 143 ARMOR GLEN,
LAKE CITY, FL 32056
SQUARE FOOTAGE OF BUILDING 4,252
FINISH FLOOR EL. 194.80'
NEXT HIGHER FLOOR EL. 196.43'
BUILDING HEIGHT 20.2'

1 STORY BUILDING
SQUARE FOOTAGE OF BUILDING 280
FINISH FLOOR EL. 195.43'
BUILDING HEIGHT 14.3'

1 STORY BUILDING
SQUARE FOOTAGE OF BUILDING 642
FINISH FLOOR EL. 195.43'
BUILDING HEIGHT 14.3'

PARCEL: 34-35-17-06875-003
OWNER: MOOD PRODUCTS INC
ADDRESS: 18 ARMOR GLEN, LAKE CITY, FL
O.R. BOOK 586, PAGE 129

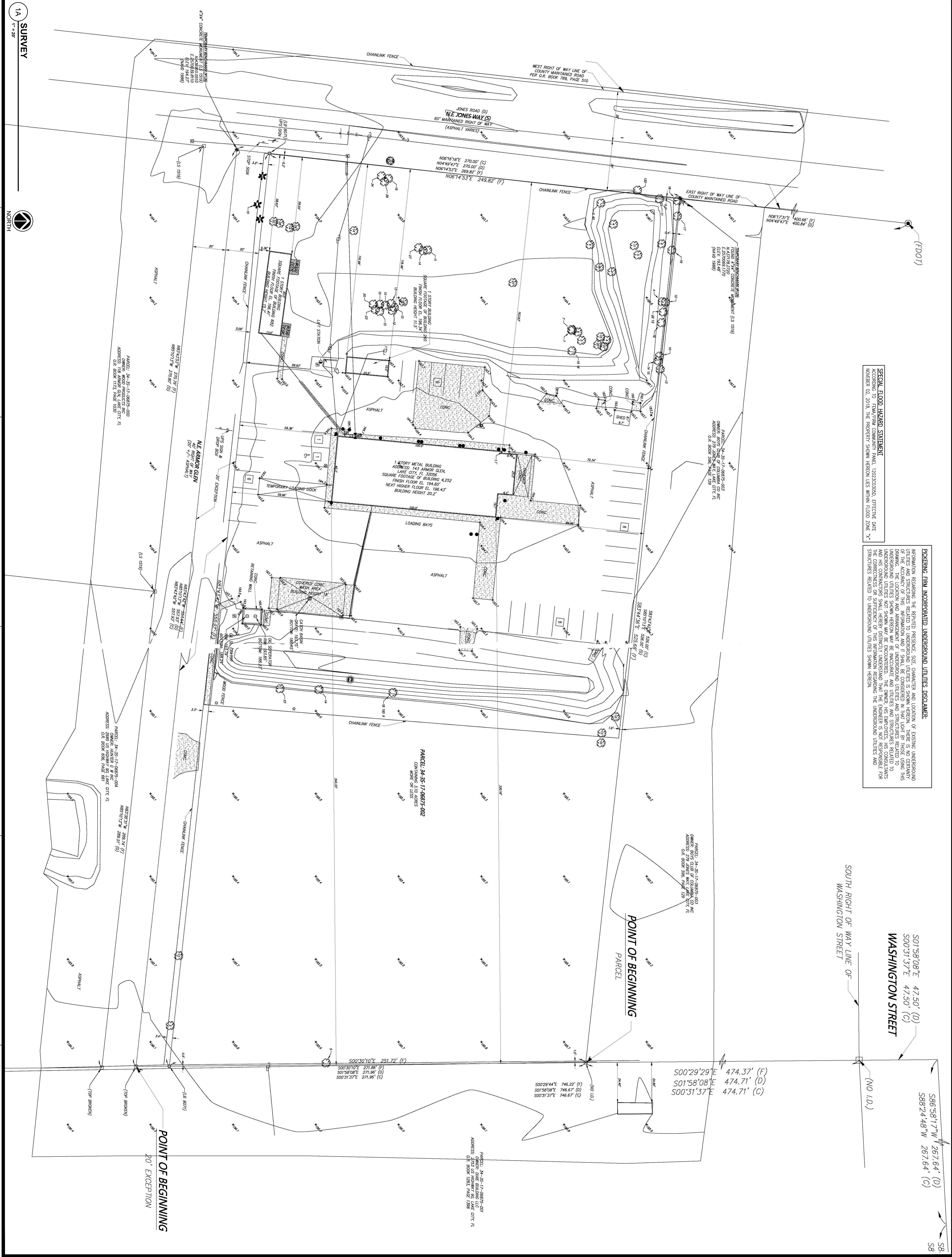
PARCEL: 34-35-17-06875-003
OWNER: BOYS CLUB OF COLUMBIA CO INC
ADDRESS: 805 N. W. 17TH ST, FL
O.R. BOOK 586, PAGE 129

PARCEL: 34-35-17-06875-003
OWNER: BOYS CLUB OF COLUMBIA CO INC
ADDRESS: 805 N. W. 17TH ST, FL
O.R. BOOK 586, PAGE 129

PARCEL: 34-35-17-06875-004
OWNER: WINTER O & WINE CITY, FL
ADDRESS: 2005 WINTER O & WINE CITY, FL
O.R. BOOK 606, PAGE 681

PARCEL: 34-35-17-06875-004
OWNER: WINTER O & WINE CITY, FL
ADDRESS: 2005 WINTER O & WINE CITY, FL
O.R. BOOK 606, PAGE 681

POINT OF BEGINNING
20' EXCEPTION



1A SURVEY
1" = 20'
NORTH

REVISIONS

PROJECT #:

26197.00

DATE:

August 09, 2021

DRAWN BY:

MLS

DESIGNER:

MLS

CHECKED BY:

CBW

Pickering

Pickering Firm, Inc.
Facility Design • Civil Engineering • Surveying •
Transportation • Natural / Water Resources
126 Rue Magnolia
Bloom, MS 39530
228.432.5925

UNITED PARCEL SERVICE

LAKE CITY FACILITIES RENOVATION

143 N.E. ARMOR GLEN

LAKE CITY, FL

ups

SCALE:

1" = 20'

SHEET NUMBER:

C0

DESCRIPTION:

SURVEY

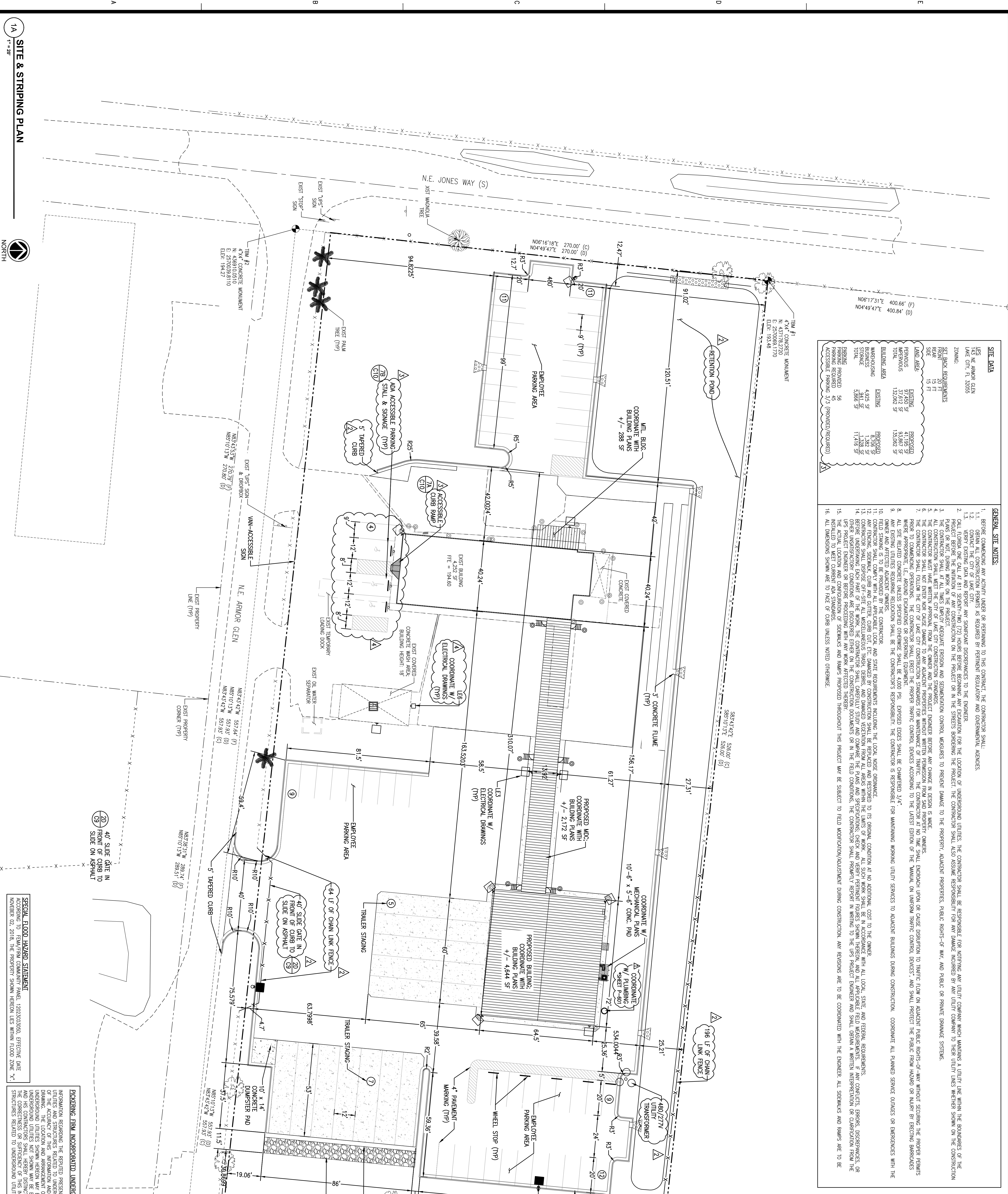
PROJECT #:	26197.00
DATE:	AUGUST 9, 2021
DRAWN BY:	MLS
DESIGNER:	KJC
CHECKED BY:	CBW

**UNITED PARCEL SERVICE
LAKE CITY FACILITIES RENOVATION
143 N.E. ARMOR GLEN
LAKE CITY, FL**



23

DESCRIPTION:
SITE & STRIPING PLAN



SITE DATA	
125 S. W. ANHORN CIRCLE LAKE CITY, FL 32055	
ZONING:	
SET BACK REQUIREMENTS	
FRONT	15 FT
REAR	15 FT
SIDE	15 FT
LAND AREA	
PERMITS	EXISTING
37,740 SF	37,740 SF
ADJACENT LOTS	43,185 SF
TOTAL	132,062 SF
BUILDING AREA	
WAREHOUSING	EXISTING
9,425 SF	8,706 SF
STORAGE	1,378 SF
TOTAL	11,416 SF
PAVING	
EXISTING	56
REQUIRED	56
ACCESSIBLE PARKING 3 / 3 (PROVIDED/REQUIRED)	

GENERAL SITE NOTES:

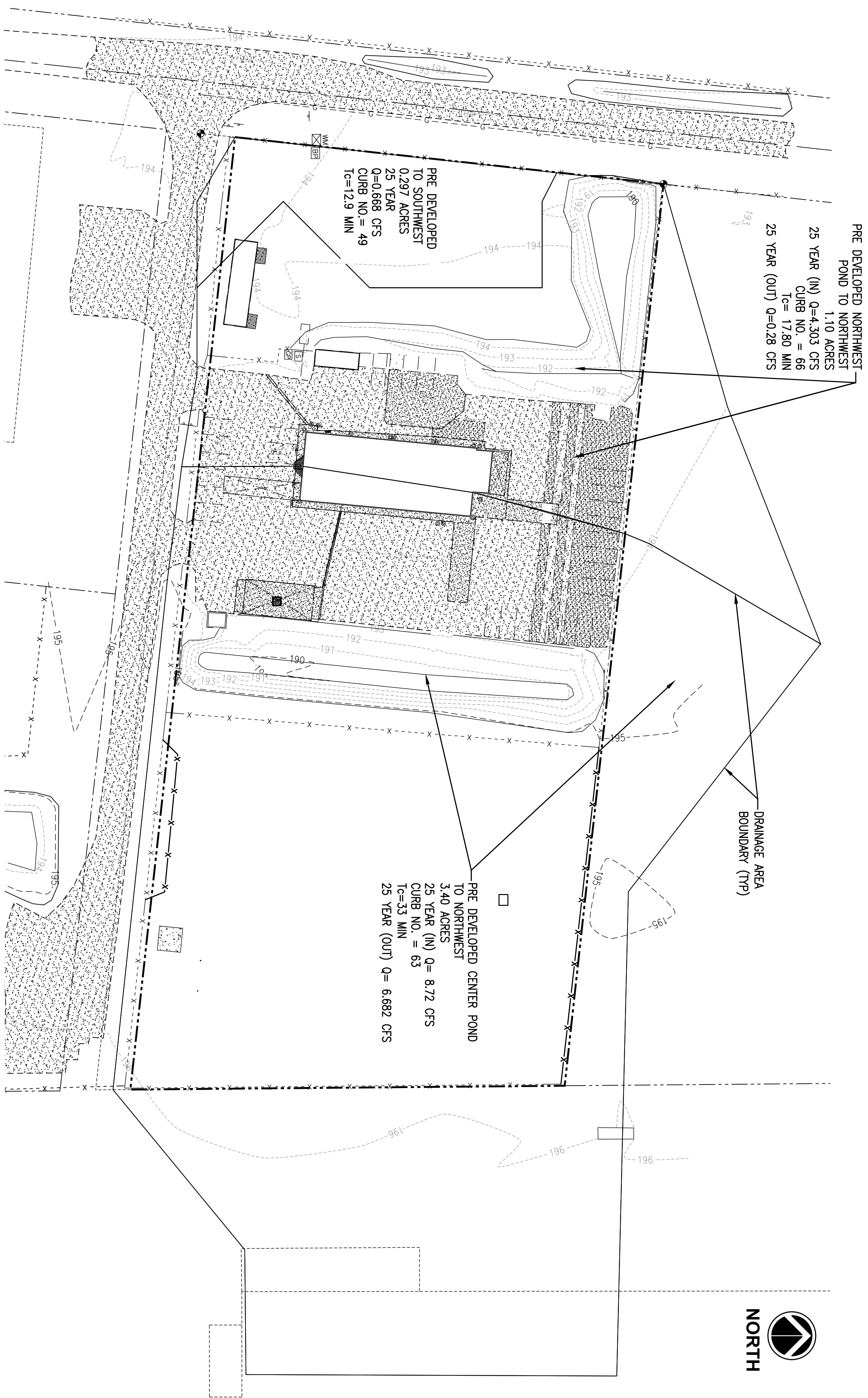
1. BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS PROJECT, THE CONTRACTOR SHALL:
2. OBTAIN ALL CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
3. CONTACT THE CITY OF LAKE COUNTY FOR ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
4. CALL, FLORIDA ONE CALL AT 811 SEVEN-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION FOR THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY THAT TRENCH UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT.
5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING ADJACENT EGRESS AND STABILIZATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS.
6. THE CONTRACTOR SHALL WEED THE CITY OF LAKE COUNTY CONSTRUCTION STANDARDS.
7. THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE OWNER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ADJACENT EGRESS AND STABILIZATION CONTROL MEASURES.
9. THE CONTRACTOR SHALL FOLLOW THE CITY OF LAKE COUNTY CONSTRUCTION STANDARDS FOR MAINTENANCE OF TRAFFIC. THE CONTRACTOR AT NO TIME SHALL ENOUGH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW OR ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING ANY EXCAVATION. THE CONTRACTOR SHALL EFFECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRIERS WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPENING EQUIPMENT.
10. EXISTING UTILITIES INCLUDING BARRIERS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUSINESSES DURING CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER AND AFFECTED ADJACENT OWNERS.
11. FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
12. ALL EXCAVATIONS SHALL BE PROTECTED AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
13. ANY FENCING, SIGNAGE, CURB AND GUTTER, CHISEL CUT, ETC. DAMAGED BY CONSTRUCTION SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
14. BEFORE UNDERSTAKING EACH PART OF THE PROJECT, THE CONTRACTOR SHALL CONDUCT A DETAILED STUDY AND COMPILE THE LOCAL AND SPECIFICATIONS CHECK AND REPORT PERMIT RULES, SHOW HEREON, AND ALL APPLICABLE FIELD REQUIREMENTS. IF ANY CONFLICTS, DISCREPANCIES, OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY REPORT THE SAME TO THE CITY OF LAKE COUNTY ENGINEER AND SHALL OBTAIN A WRITTEN INTERPRETATION OR CLARIFICATION FROM THE CITY OF LAKE COUNTY ENGINEER BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.
15. THE ACTUAL LOCATION AND COORDINATION OF SIGNMAKS AND PAVERS PROVIDED THROUGHOUT THIS PROJECT MAY BE SUBJECT TO FIELD MODIFICATION/ADJUSTMENT DURING CONSTRUCTION. ANY REVISIONS ARE TO BE COORDINATED WITH THE ENGINEER. ALL SIGNMAKS AND PAVERS ARE TO BE INSTALLED AND COORDINATED WITH THE CITY OF LAKE COUNTY ENGINEER.
16. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

SPECIAL FLOOD HAZARD STATEMENT
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C0305D, EFFECTIVE DATE

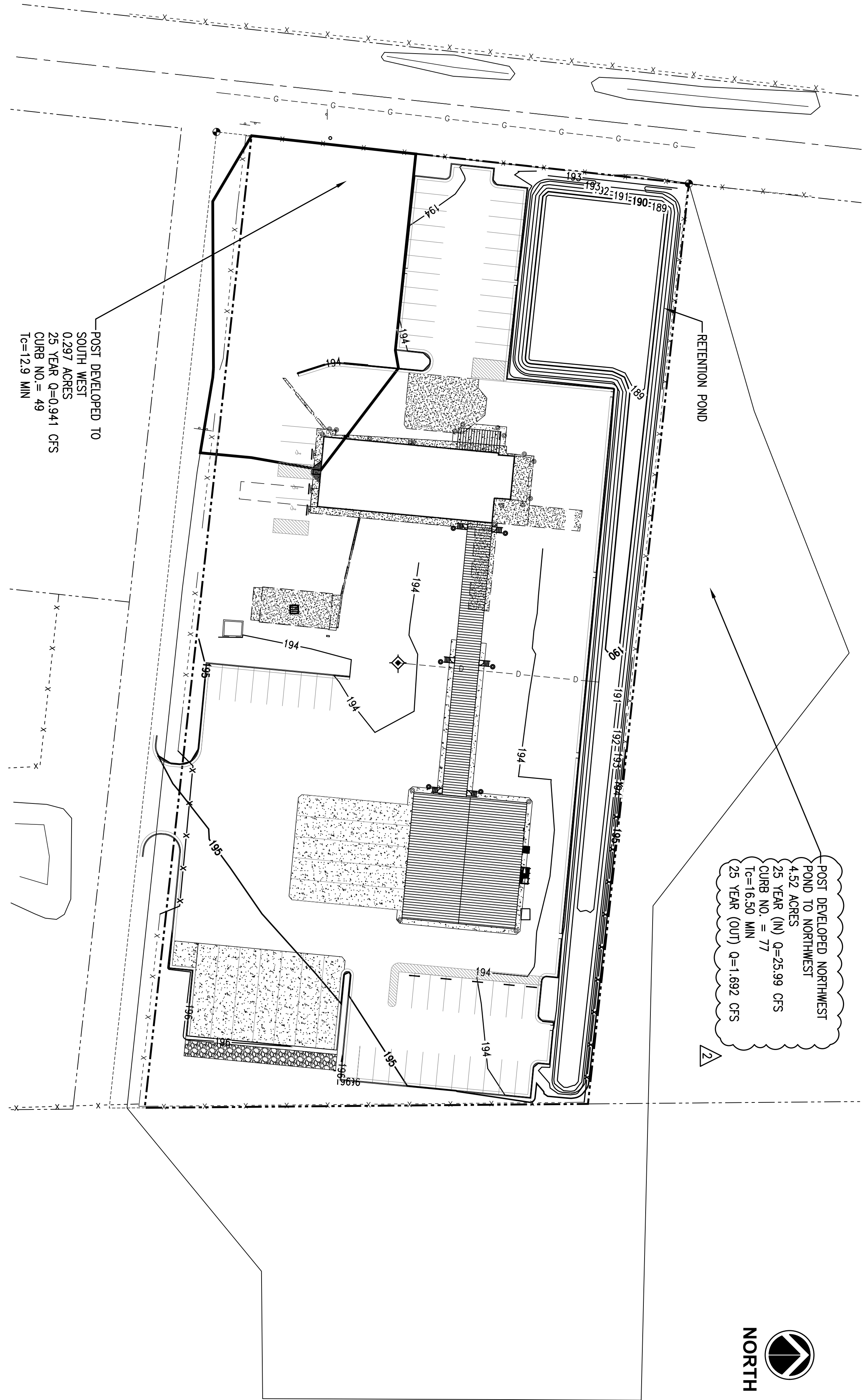
PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:

PROJECT #:	26197.00
DATE:	August 09, 2021
DRAWN BY:	MLS
DESIGNER:	MLS
CHECKED BY:	CRW

UNITED PARCEL SERVICE
LAKE CITY FACILITIES RENOVATION
143 N.E. ARMOR GLEN
LAKE CITY, FL



1A PRE-DEVELOPED DRAINAGE MAP
1" = 40'



1C POST-DEVELOPED DRAINAGE MAP
1" = 40'

RAINOFF CALCULATIONS				
25 YEAR DESIGN STORM EVENT				
EXISTING CONDITIONS		PROPOSED CONDITIONS		
DESCRIPTION	AREA (AC)	PEAK FLOW (CFS)	TIME TO PEAK (MIN)	
NEW FROM CENTER POND	3.40	872	33	
NEW FROM NW POND	1.1	0.27	624	
SW OFF SITE	0.297	0.68	722	
*The SW Offsite flow and Curve and NW Pond discharge at flow rate has been set on the Inward of the property				
DESCRIPTION	AREA (AC)	PEAK FLOW (CFS)	TIME TO PEAK (MIN)	
DISCHARGE OUT OF WEST INLET FROM DETENTION POND	0.418	0.64	722	
SW OFF SITE DRAINAGE				
NET CHANGE IN RAINOFF				
OFF SITE DRAINAGE				4,894

RETENTION POND DATA				
25 YR STORM EVENT				
Slope (ft)	1.00	180.00	0	0.00
Flow (ft)	1.00	180.00	5.0	0.00
Flow (ft)	1.50	180.00	11.66	0.00
Flow (ft)	2.00	180.00	23.39	0.00
Flow (ft)	3.00	180.00	37.78	0.00
Flow (ft)	4.00	180.00	54.40	20.22

DETENTION POND DATA				
25 YEAR POST-DEVELOPED FLOW TO DETENTION = 23,99 CFS				
TOTAL DRAINAGE AREA TO POND = 4.89 AC				
INVERT OF WEIR = 183.00				
2'-0" LENGTH x 2'-0" WIDTH				
SLOPE 0.1 %				
ELEVATION OF TOP OF POND = 183.6'				
25 YEAR DISCHARGE FROM POND = 1,692 CFS				
MAX 25 YEAR WATER SURFACE ELEVATION = 183.00 FT				
MAX 50 YEAR WATER SURFACE ELEVATION = 182.60 FT				

REVISIONS			
1	10/21/21	ADD #1	
2	10/28/21	ADD #2	
3			
4			

PROJECT #:	26197.00
DATE:	August 09, 2021
DRAWN BY:	MJS
DESIGNER:	KJC
CHECKED BY:	CBW

Pickering
Pickering Firm, Inc.
Facility Design • Civil Engineering • Surveying •
Transportation • Natural • Water Resources
126 Rue Magnolia
Biloxi, MS 39530
228.432.5925

UNITED PARCEL SERVICE
LAKE CITY FACILITIES RENOVATION
143 N.E. ARMOR GLEN
LAKE CITY, FL



C4.1

DESCRIPTION:
DETENTION



REVISIONS

NO.	DATE	DESCRIPTION
1	10/19/21	ADDENDUM #1
2	10/28/21	ADD. #2
3		
4		
5		
6		

PROJECT #.: 26191.00

DATE: August 09, 2021

DRAWN BY: MJS

DESIGNER: KJC

CHECKED BY: CBW

Pickering

Pickering Firm, Inc.
Facility Design • Civil Engineering • Surveying •
Transportation • Natural / Water Resources

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Biloxi, MS 39530
228.432.5925

UNITED PARCEL SERVICE
LAKE CITY FACILITIES RENOVATION
143 N.E. ARMOR GLEN
LAKE CITY, FL



5.1

SEWER FORCE MAIN

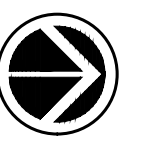
- UTILITY GENERAL**
- CONTRACTORS SHALL MAKE EVERY EFFORT TO PROTECT EACH EXISTING UTILITY ENCOUNTERED AND COORDINATE WITH THE UTILITY OWNERS. ANY DAMAGES DONE TO UTILITIES SHALL BE REPAIRED/REPAIRED AT THE CONTRACTOR'S EXPENSE: CITY OF LAKE CITY (UTILITIES) FLOOR 811 (ONE CAL) 1-800-432-4770
 - CALL BEFORE YOU DIG (800) 432-4770 AT LEAST 48 BUSINESS HOURS TO ADVANCE OF TRENCHING FOR THE EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL EXISTING WATER AND SEWER LOCATIONS OF THE EXISTING/PROPOSED WATER AND SEWER LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY.
 - CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING TO VERIFY ADEQUATE CLEARANCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY DAMAGED SANITARY SEWER LINES AND APPEARANCES, STORM DRAIN LINES AND APPEARANCES, WATER MAIN AND APPEARANCES, BRANCHES, STRUCTURES OR ANY OTHER REPRESENTATIVE, WAS DAMAGED BY THE CONTRACTOR. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE AUTHORIZED REPRESENTATIVE, THE SANITARY CONNECT AND PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER LINE, WATER MAIN, STORM DRAIN, FORCE MAIN, SERVICE, ETC. SHOULD THE MAINS (OR SERVICE) BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.
 - AT ALL LOCATIONS WHERE PIPE AND/OR FITTINGS COME IN CONTACT WITH CONCRETE, THE TWO MATERIALS SHALL BE SEPARATED BY 1/8" INCH SHEET RUBBER.
 - CONTRACTOR SHALL ENGINE UNINTERRUPTED SEWER SERVICE TO EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING ADEQUATE TEMPORARY WASTEWATER PUMPING AND/OR PRESSURE. HAVE ON HAND AT ALL TIMES THE NECESSARY FITTINGS AND ACCESSORIES NEEDED TO PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER FORCE MAINS SHOULD THE MAINS BE DAMAGED. THE CONTRACTOR SHALL NOT OPERATE ANY WAVE OR LIFT STATION, PLUG ANY SEWER LINE OR DISCONNECT ANY SERVICE WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
 - ALL PVE WATER LINES OR WATER SERVICE TUBING SHALL CONFORM TO U.S. SPECIFICATIONS SHALL BE MADE IN A MANNER APPROVED BY THE ENGINEER.
 - CONTRACTOR TO PROVIDE A MINIMUM OF 48 HOURS NOTICE WELL AS THE LAKE CITY WATER DEPARTMENT AND FIRE DEPARTMENT.
 - CONTRACTOR MUST COORDINATE HIS USE OF DOMESTIC ADDITIONAL INFORMATION. SEE SPECIFICATIONS FOR NO DOMESTIC WATER SHALL BE DISCHARGED TO THE SANITARY SEWER SYSTEM.
- SEWER NOTES:**
- THE HORIZONTAL LOCATION OF THE FORCE SEWER MAIN MAY BE ADJUSTED TO ASSURE REQUIRED CLEARANCES FROM ANY OTHER UTILITIES PER LOCAL AND STATE STANDARDS.
 - SEWER FORCE MAINS SHOULD THE MAINS BE DAMAGED THE CONTRACTOR SHALL NOT OPERATE ANY WAVE OR LIFT STATION, PLUG ANY SEWER LINE OR DISCONNECT ANY SERVICE WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
 - RIGHT-OF-WAY, AND/OR EASEMENT, BORING, DUAL (S1) PER STATE STANDARDS.
 - 15" WIDE UTILITY EASEMENT IS REQUIRED FROM WAVE AS SUPPLY BEFORE THE CONSTRUCTION OF THE FORCE SEWER MAIN. SEWER PIPE SHALL BE CONSTRUCTED WITHIN RIGHT-OF-WAY OR EASEMENTS AND HAVE A MINIMUM OF 36" COVER.
 - ALL SANITARY SEWER MATERIALS, TESTING, INSPECTION, AND APPEARANCES, BRANCHES, STRUCTURES OR ANY OTHER REPRESENTATIVE, WAS DAMAGED BY THE CONTRACTOR. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE AUTHORIZED REPRESENTATIVE, THE SANITARY CONNECT AND PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER LINE, WATER MAIN, STORM DRAIN, FORCE MAIN, SERVICE, ETC. SHOULD THE MAINS (OR SERVICE) BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.

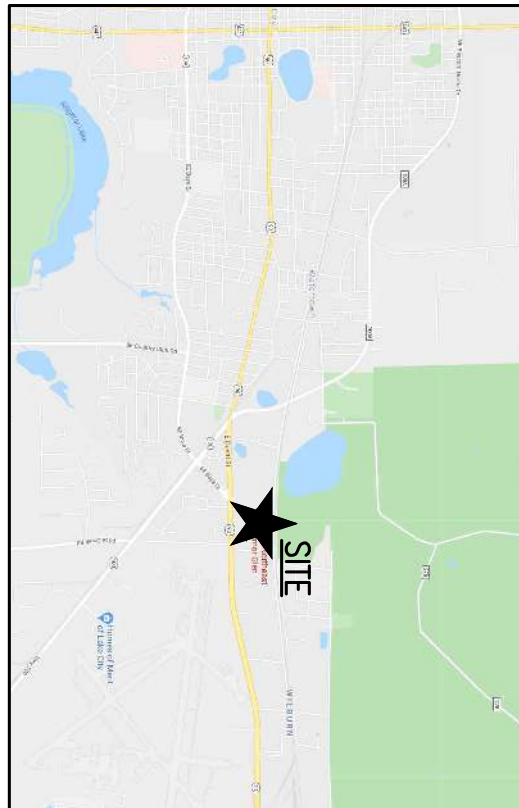
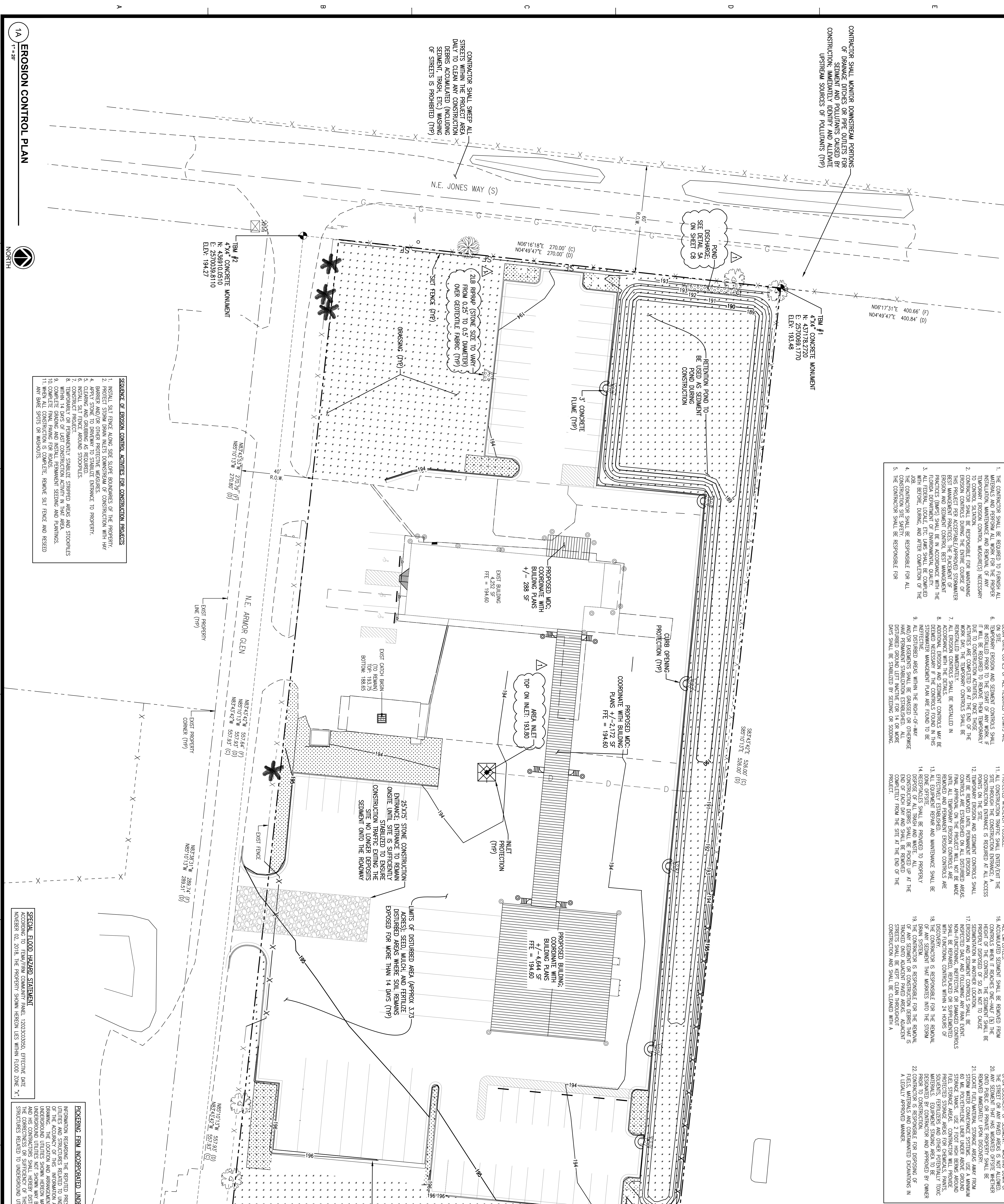


SPECIAL FLOOD HAZARD STATEMENT
ACCORDING TO FEMA/FLOOD INSURANCE RATE (2020/2020/2020), EFFECTIVE DATE 10/19/2021, THE PROJECT SHOWN HEREIN LIES WITHIN FLOOD ZONE "X".

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:
INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINITY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED THAT LIGHT BY THOSE USING THIS INFORMATION. PICKERING FIRM INCORPORATED DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION. PICKERING FIRM INCORPORATED SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, INCLUDING BUT NOT LIMITED TO, DAMAGES TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYERS, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR DAMAGES TO UNDERGROUND UTILITIES SHOWN HEREON.

6" - SEWER FORCE MAIN (SFM)





REVISIONS:		
1	10/28/21	ADD. #2

PROJECT #:	26197.00
DATE:	August 09, 2021
DRAWN BY:	MLS
DESIGNER:	KJC
CHECKED BY:	CBW



Pickering

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 Facility Design • Civil Engineering • Surveying •
 Transportation • Natural / Water Resources

126 Rue Magnolia
 Biloxi, MS 39530
 228.123.5025

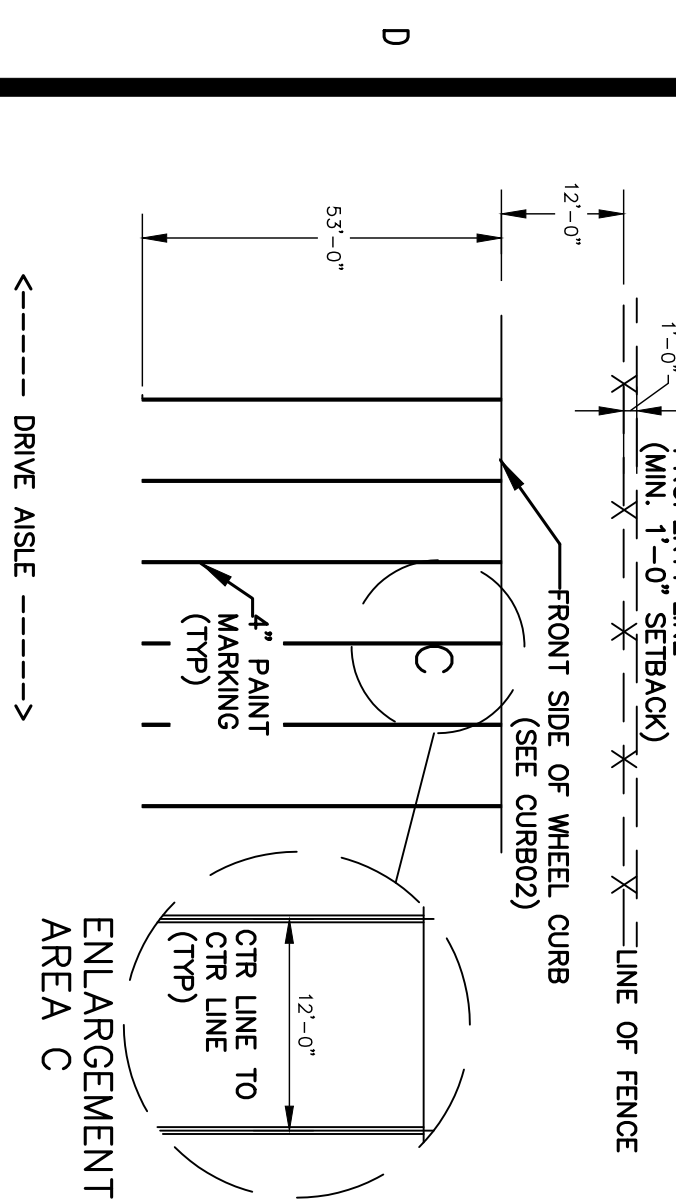
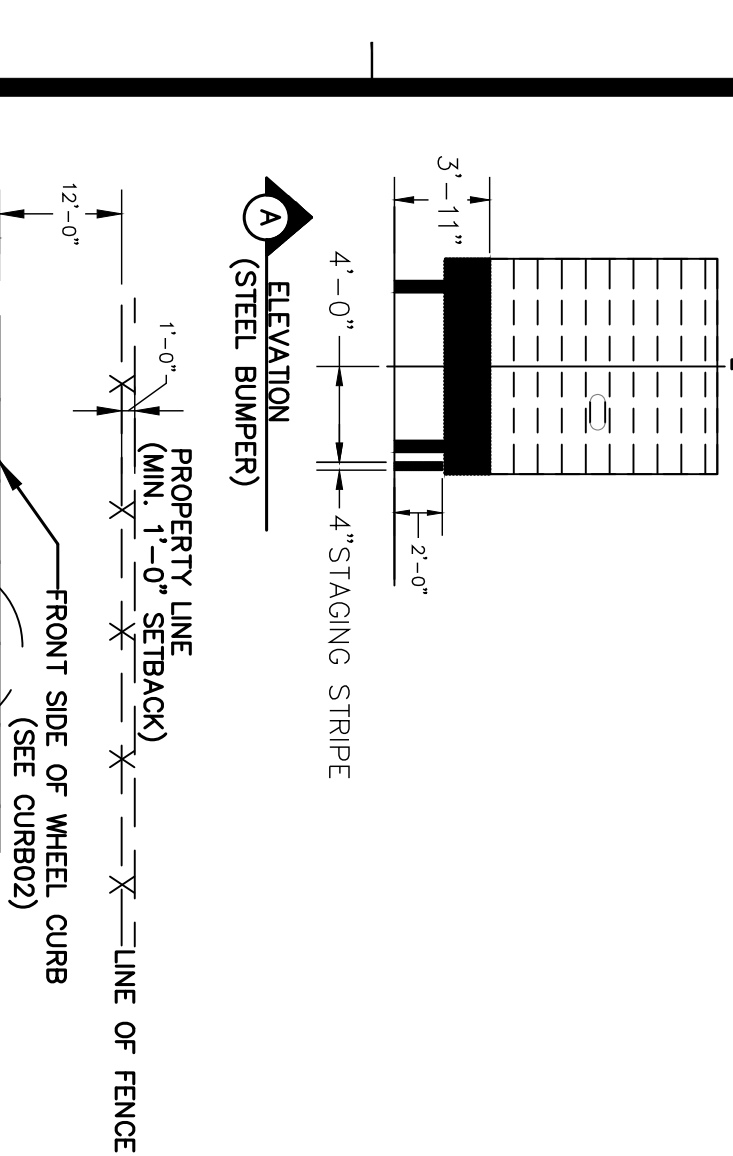
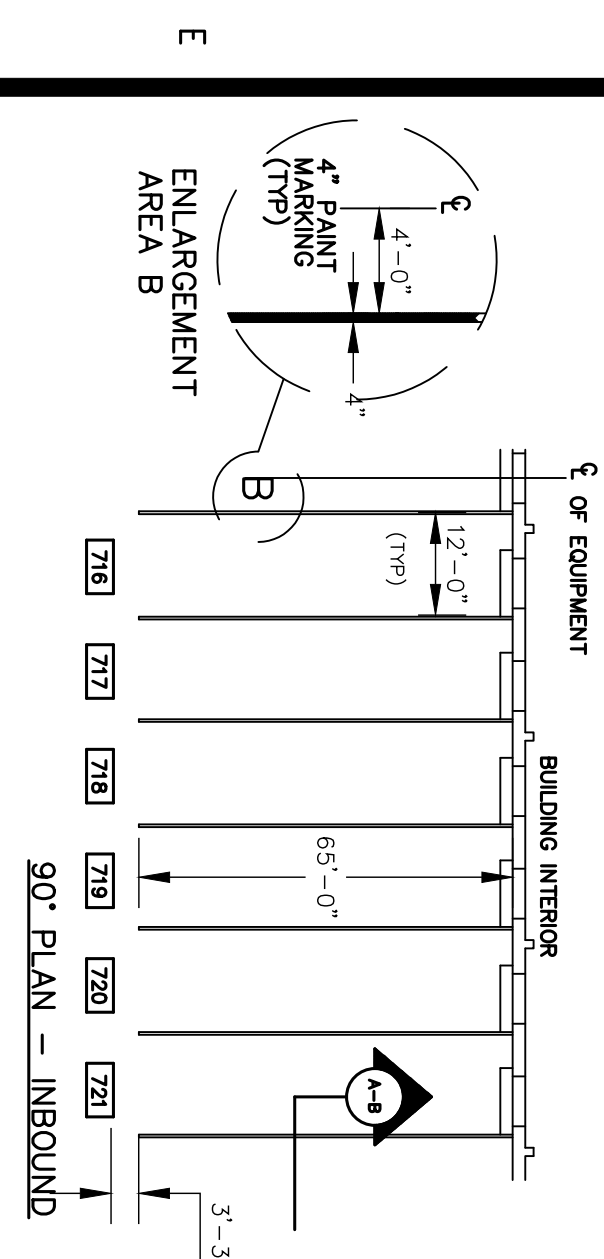
UNITED PARCEL SERVICE
LAKE CITY FACILITIES RENOVATION
143 N.E. ARMOR GLEN
LAKE CITY, FL



A circular professional engineer seal for Kory J. Coulton, No. 88292, State of Florida. The seal is dated 12/29/2021. The text "PROFESSIONAL ENGINEER" is written around the bottom half of the circle, and "STATE OF FLORIDA" is written around the top half. The name "KORY J. COULTON" and the number "No. 88292" are in the center. The date "12/29/2021" is written across the middle. The seal is stamped in blue ink.

6

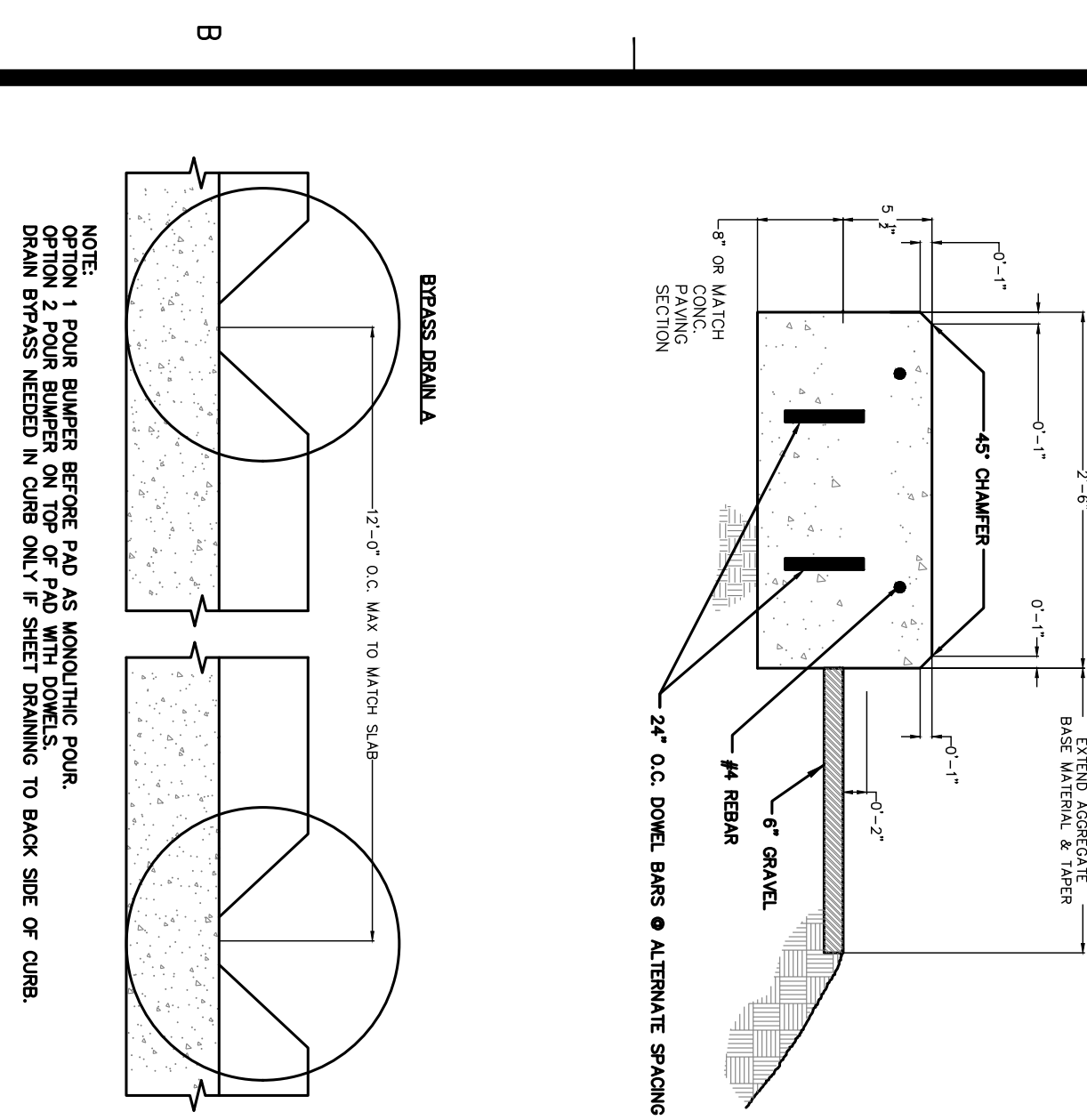
DESCRIPTION:
EROSION CONTROL PLAN



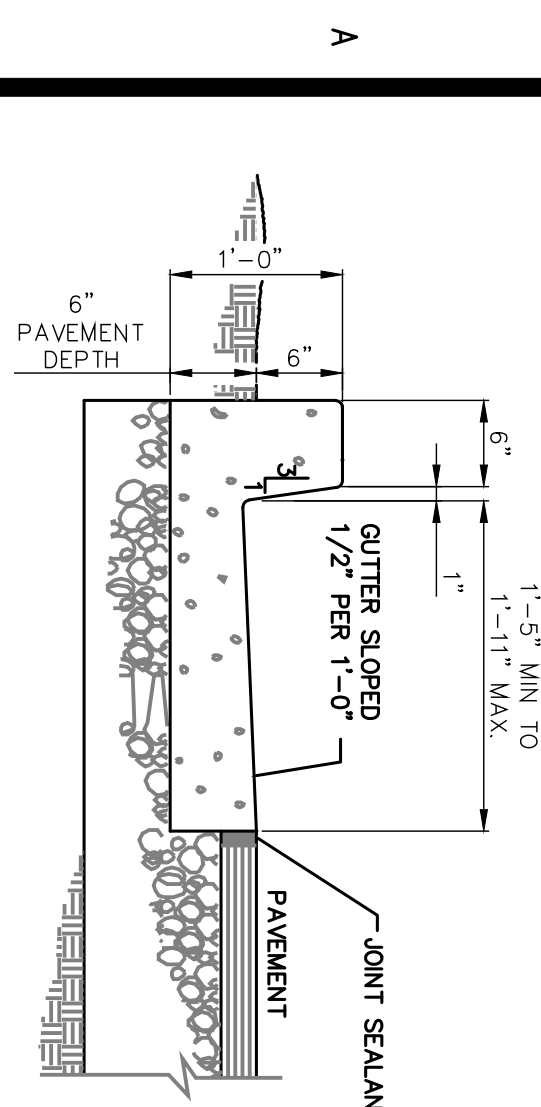
PAVE01 - YARD STAGING MARKING PLAN

NOTES:

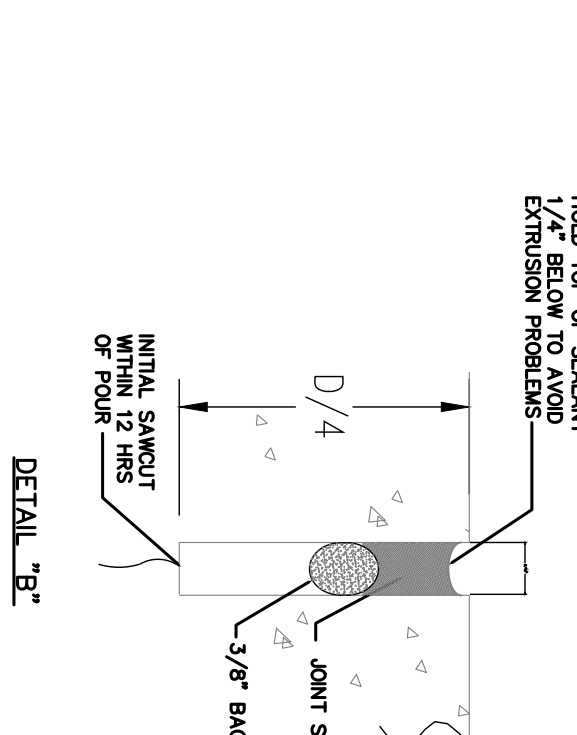
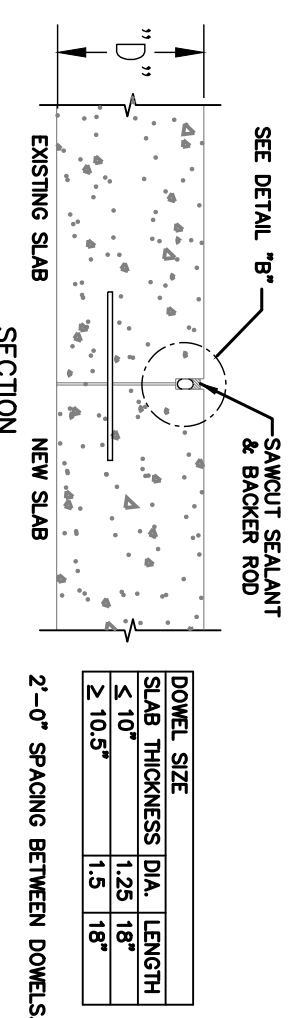
1. 45 DEGREE CHAMFER OR 1" TOLLED RADIUS
2. REMOVE ASPHALT BEHIND SHEET, STOP
3. INSTALL CUT-OUTS AT 12" WHERE PAVEMENT IS SHEET DRAINING



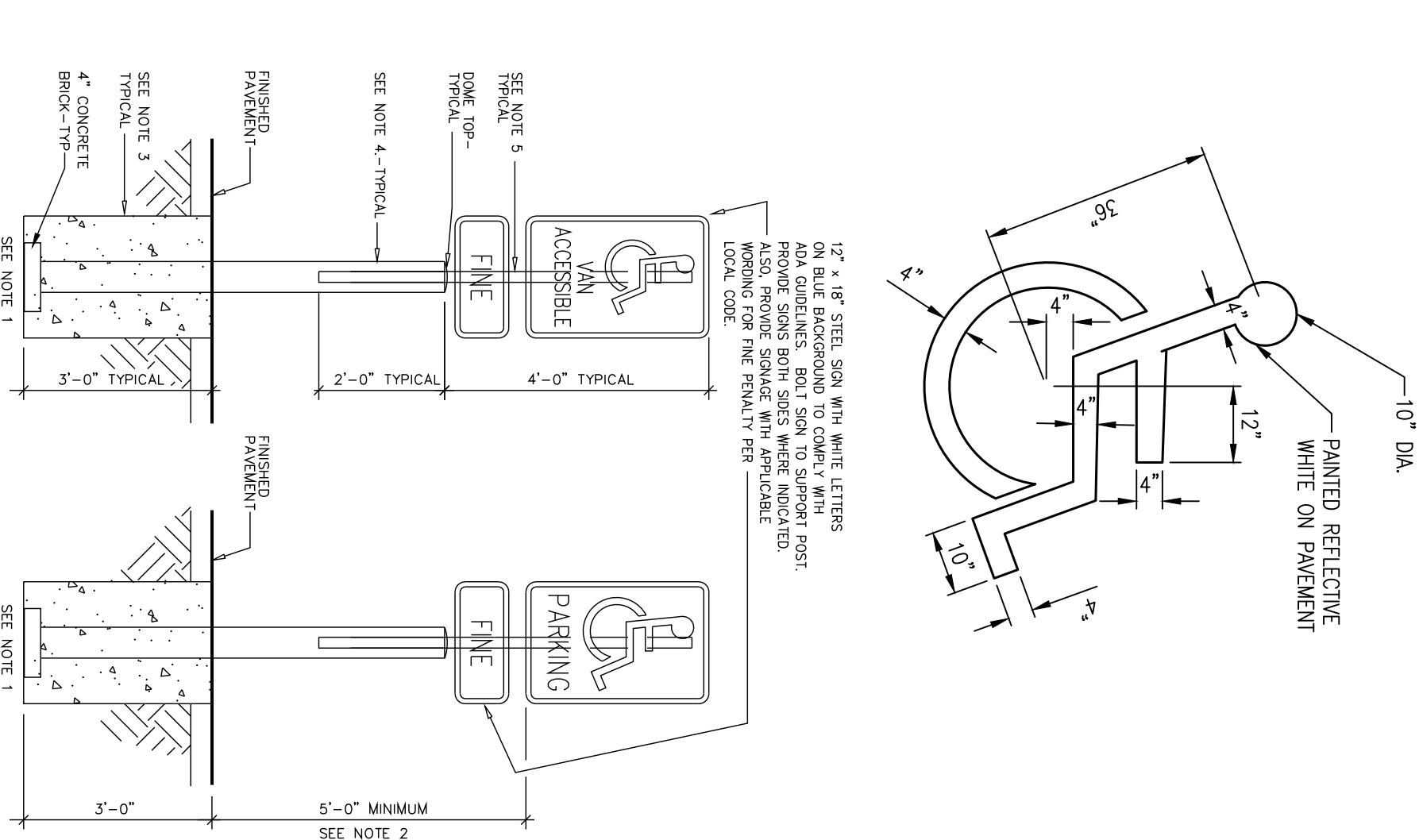
1B CURRB01 - FEEDER CURB AT STAGING PAD
N.T.S.



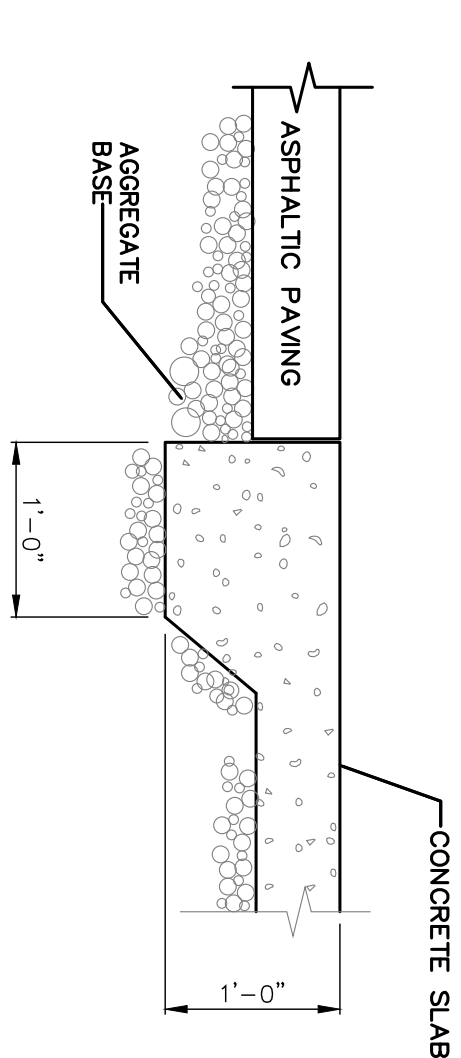
1A CURB03 - CONCRETE CURB AND GUTTER DETAIL
N.T.S.



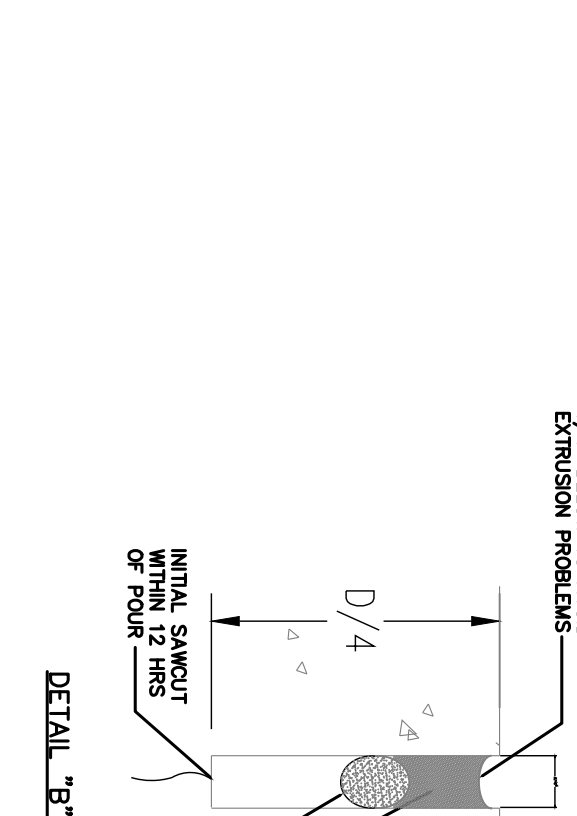
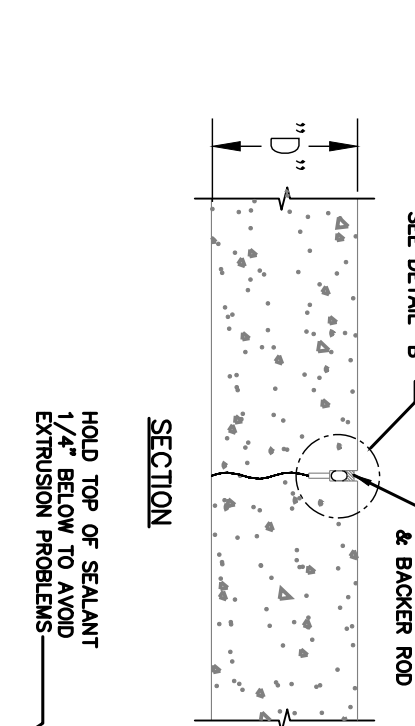
1. SPACE CONTROL JOINTS 15'-0" O.C. MAX. EACH WAY.
2. DETAIL "B" SHOWS AN ALTERNATE JOINT DESIGN UTILIZING THE INITIAL SCAUOT FOR PLACING BACKER MOO AND SEALANT. RESERVOR WALLS MUST BE FREE OF ANY DIRT, DUST OR CHEMICALS THAT CAN ADVERSELY EFFECT THE ABILITY OF THE SEALANT TO BOND TO THE RESERVOR WALLS.



ADA PARKING SIGNAGE & MARKING
N.T.S.

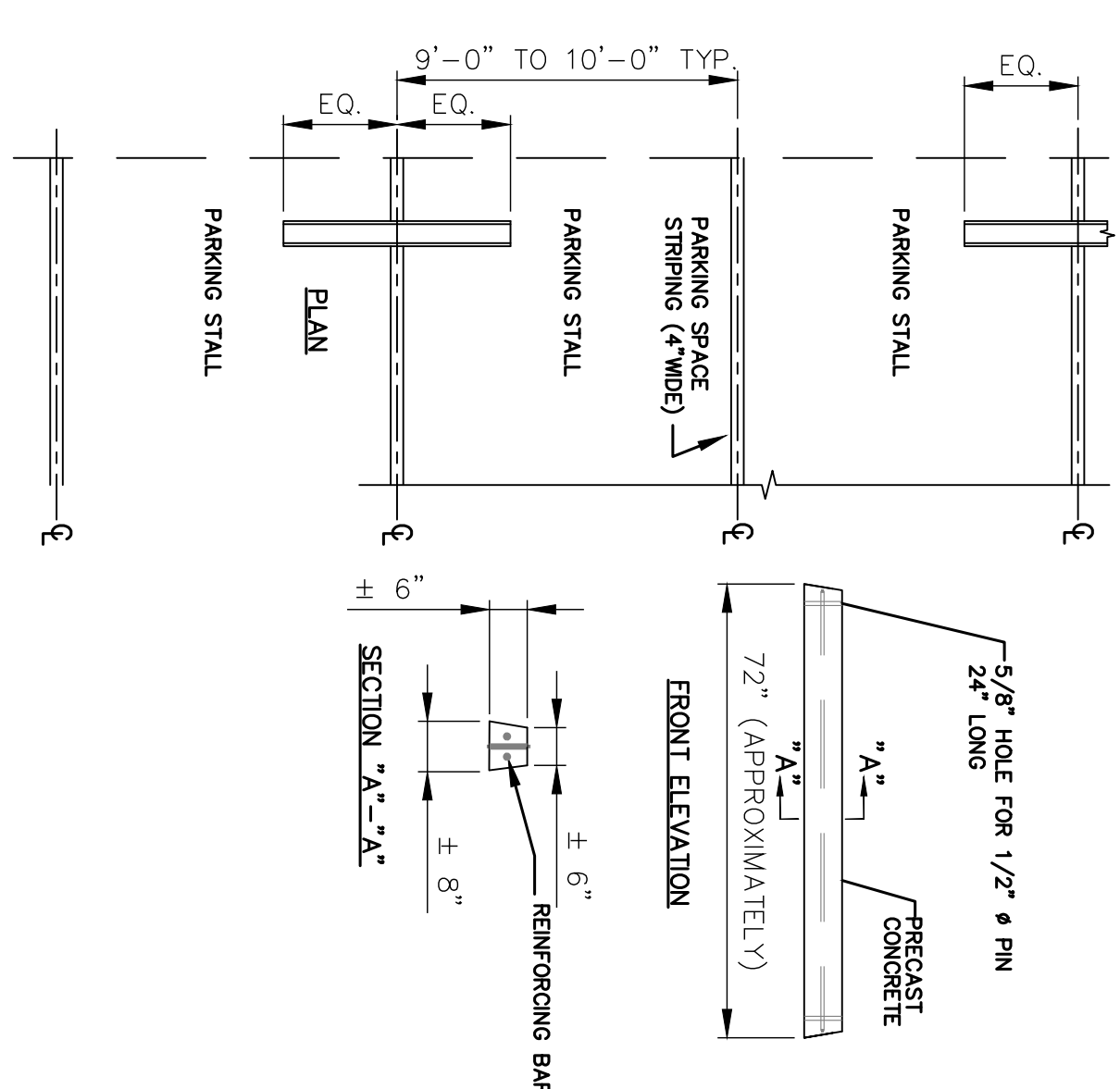


PAVE10 - THICKENED EDGE EXTERIOR
CONCRETE SLAB

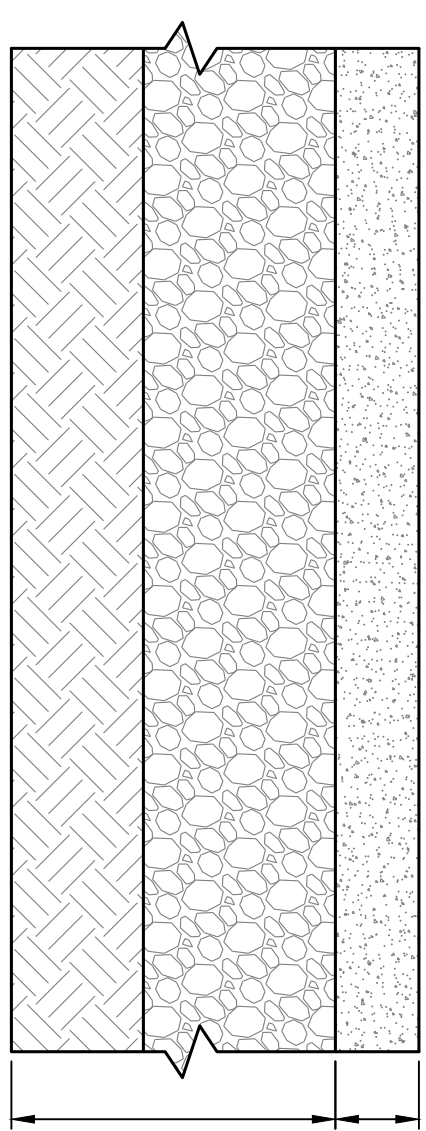


NOTES:

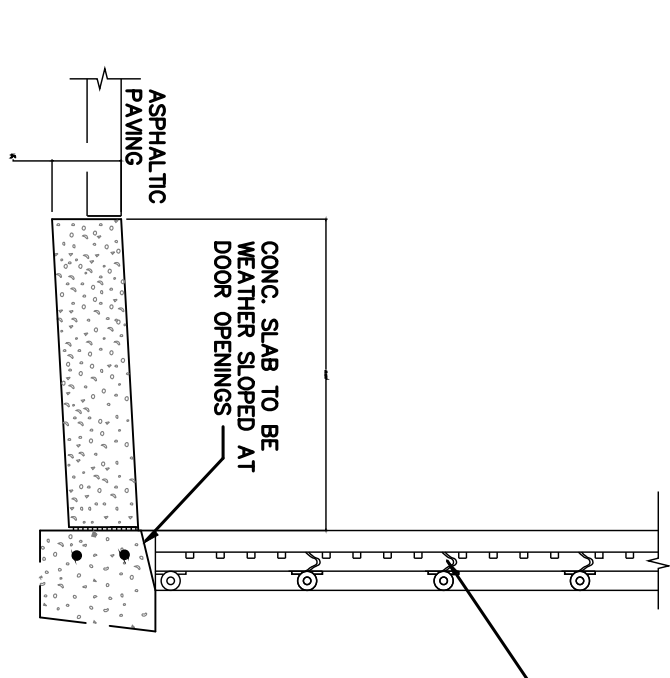
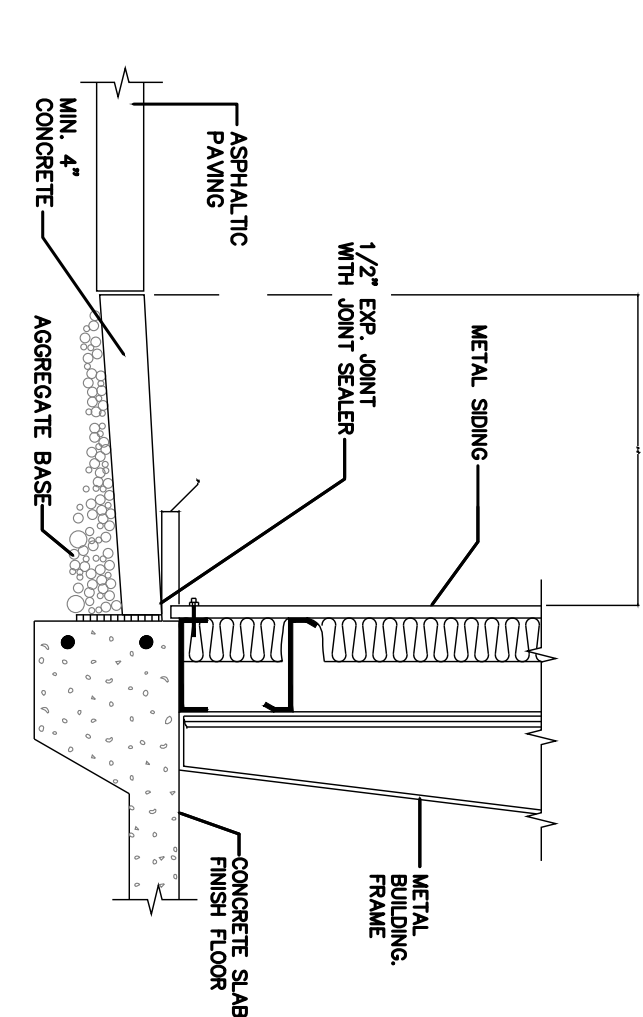
1. SPACE CONTROL JOINTS 15'-0" O.C. MAX. EACH WAY
2. DETAIL "B" SHOWS AN ALTERNATIVE JOINT DESIGN UTILIZING PLACING BACKER ROD AND SEALANT. RESERVOIR WALLS MUST BE PROTECTED FROM DUST OR CHEMICALS THAT CAN ADVERSELY EFFECT THE BOND TO THE RESERVOIR WALLS.



3B
N.T.S.



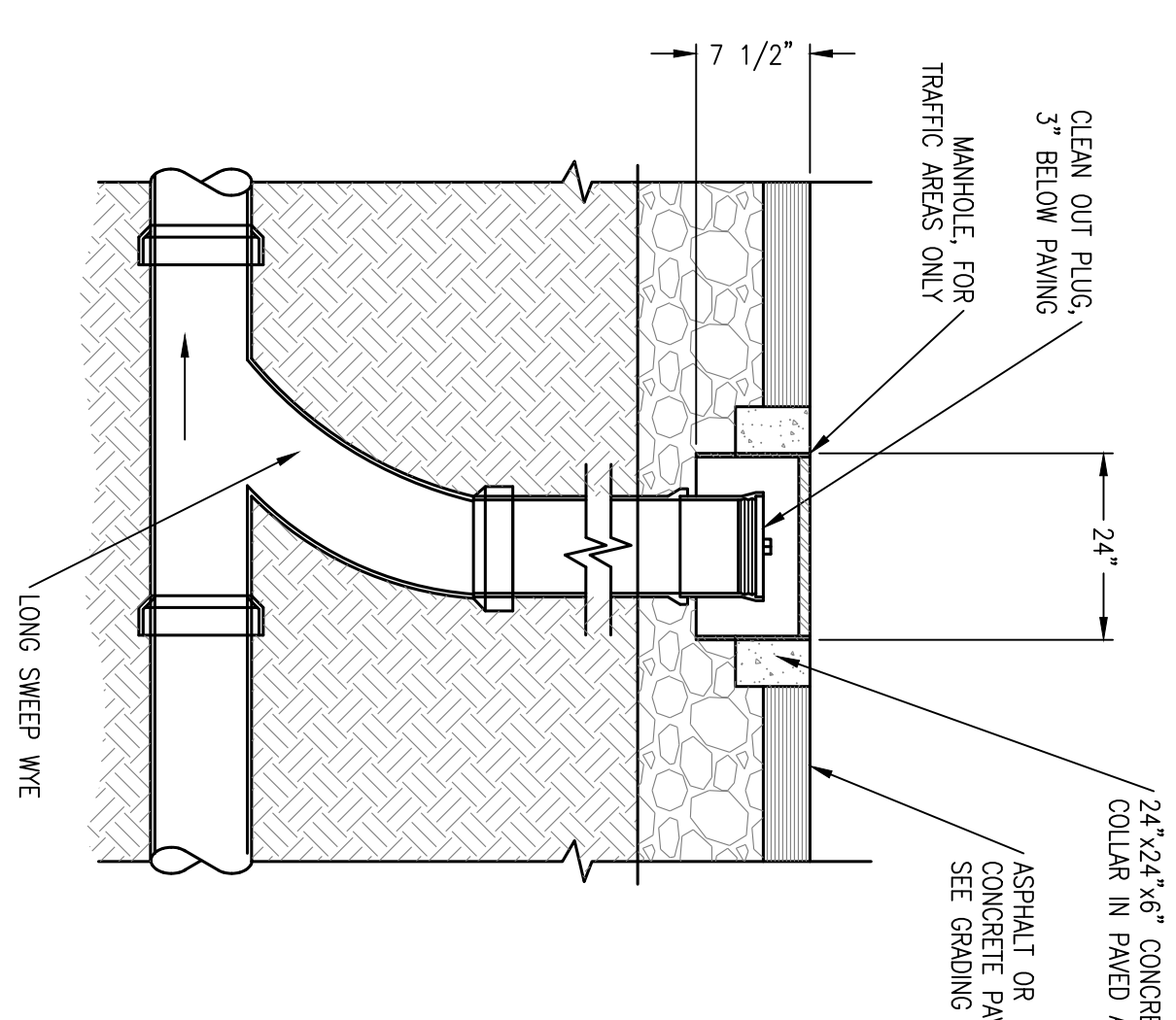
3A
N.T.S.



NOTES:

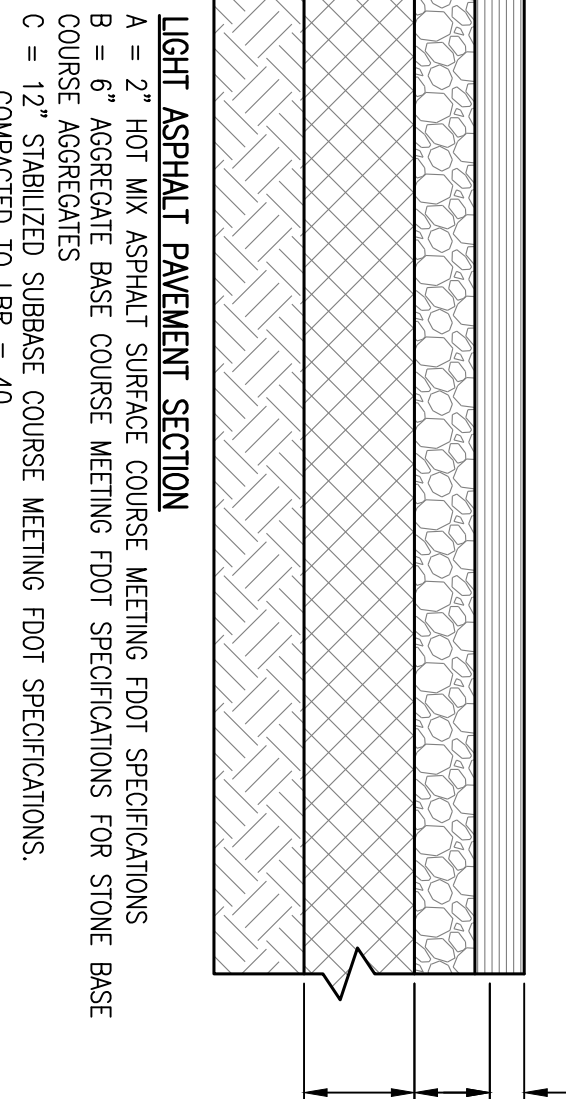
1. REQUIRED AROUND AUTOMATIVE BUMP OUT AND SORT BUILDING ADDITION.

PAVE08 - EXTERIOR PAVEMENT @ METAL BUILDING
N.T.S.

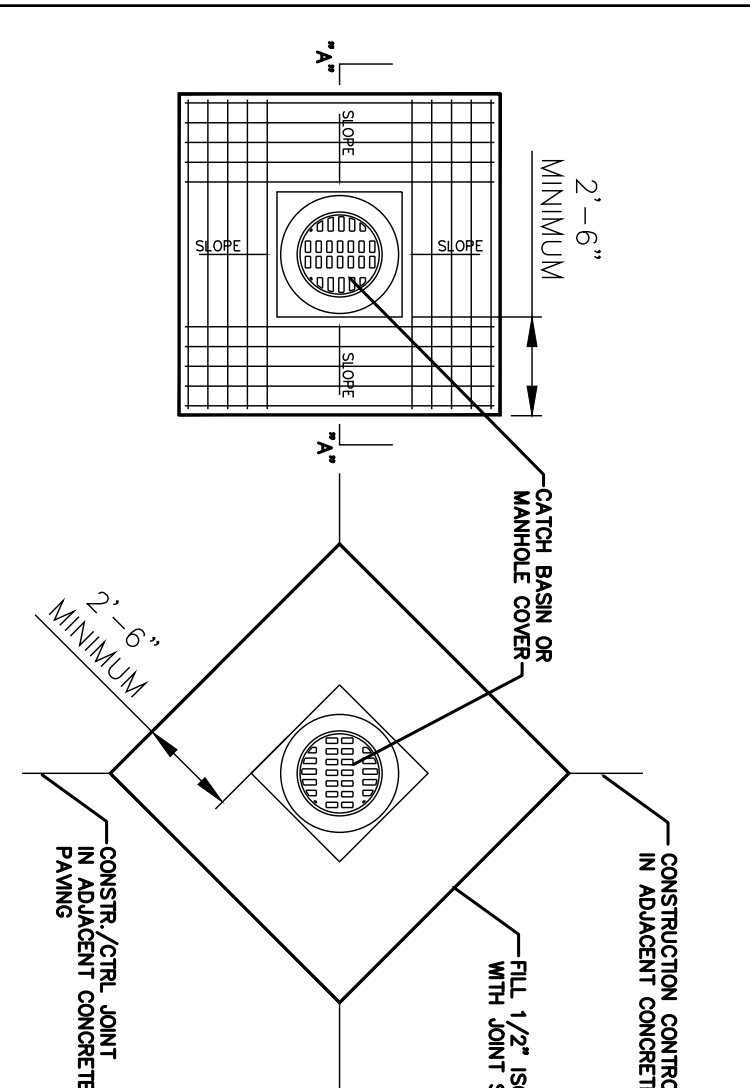
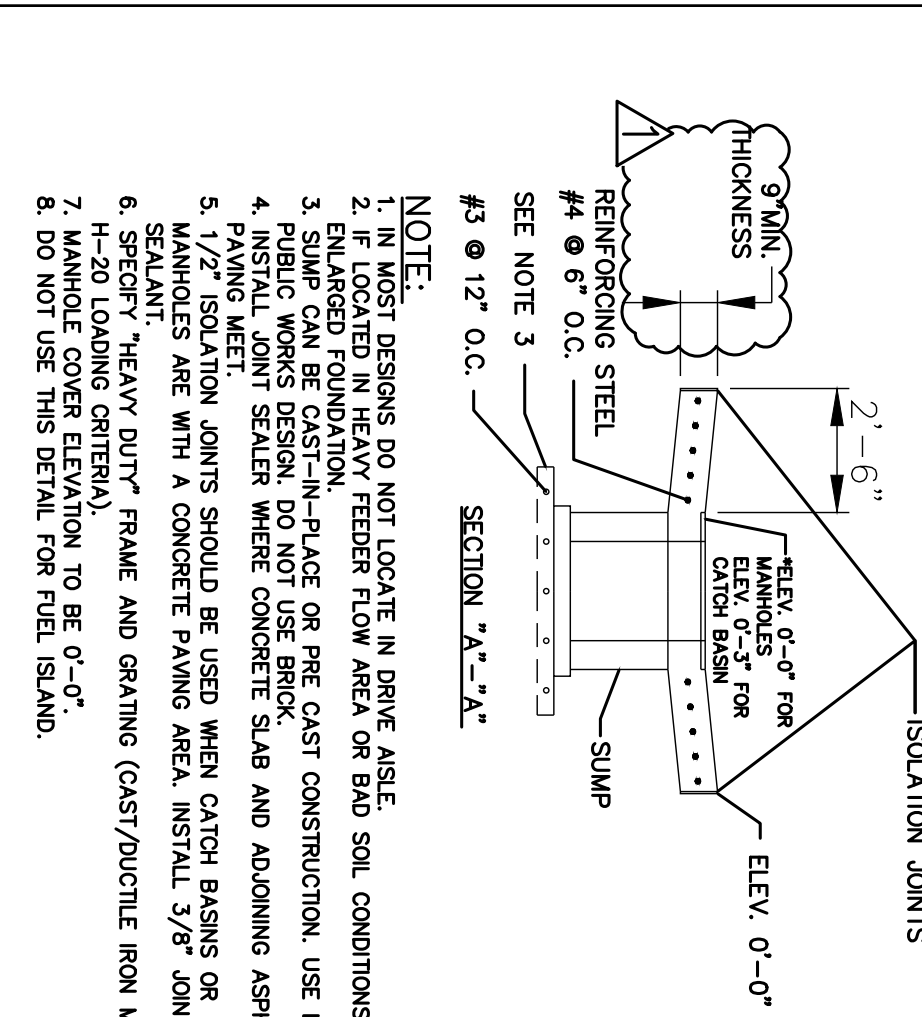


NOTES:

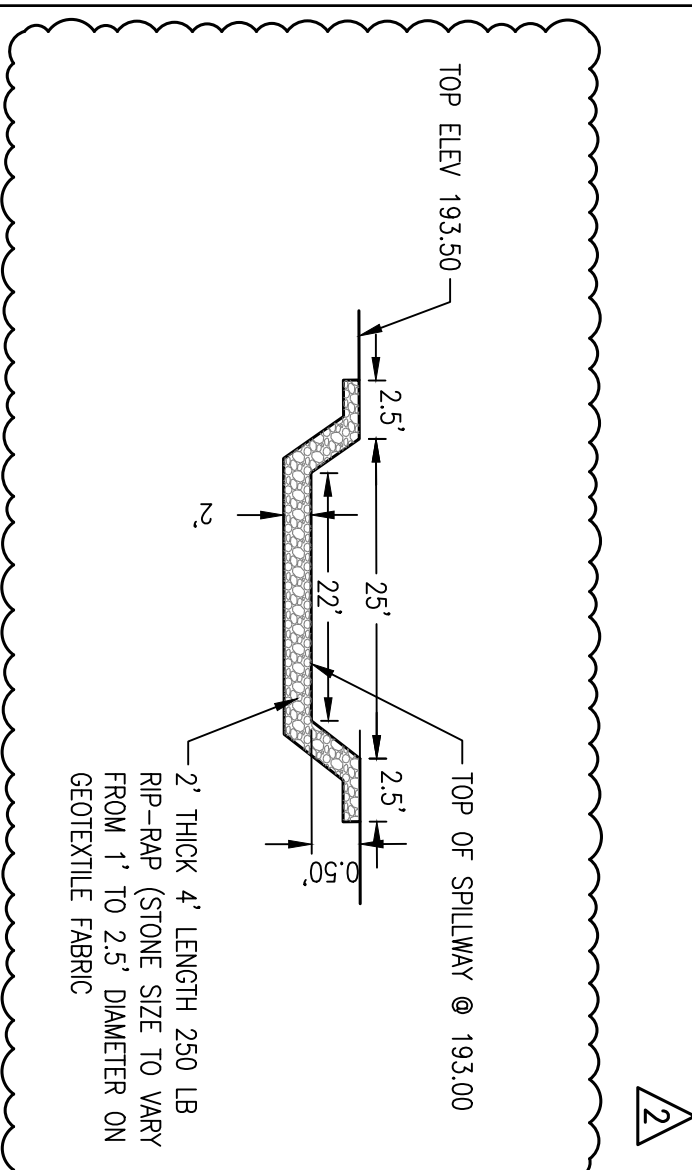
1. CLEAN OUT LOCATIONS INDICATED ON UTILITY PLANS AS "500"
2. PUMP/CLEANOUTS AS SPECIFIED BELOW OR PER USE SPECIFICATIONS:
 - ZURN Z-1400 CLEAN OUTS IN NON-TRAFFIC AREAS & SIDEWALKS
 - ZURN Z-1449 CLEAN OUTS IN LANDSCAPED AREAS
 - ZURN Z-1400 HO CLEAN OUTS IN TRAFFIC AREAS WITH A "SERVICE STATION" TYPE MANHOLE. (PWP #104 AIR - DOCKER CORP/OWG DIV)



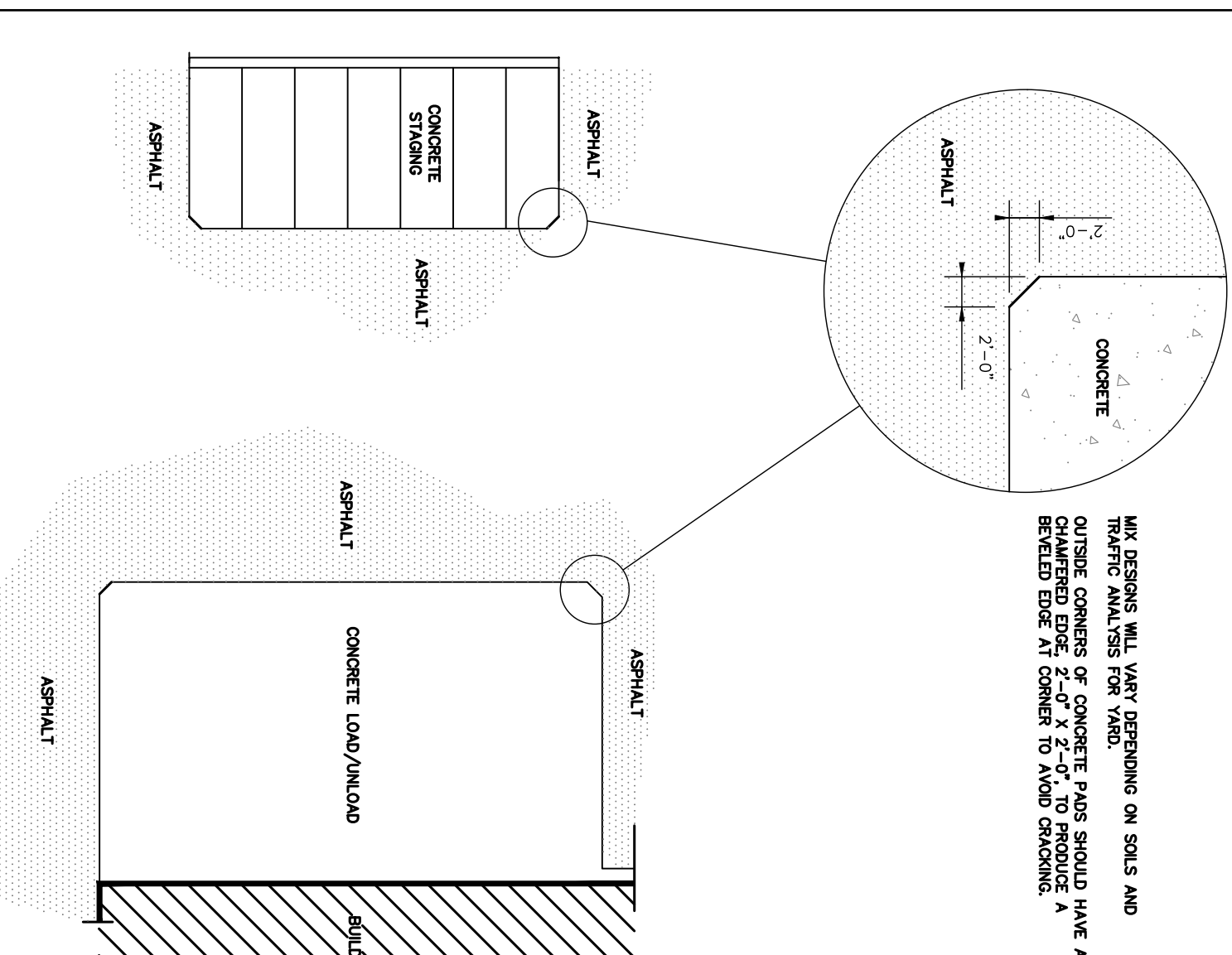
SANITARY SEWER CLEANOUT



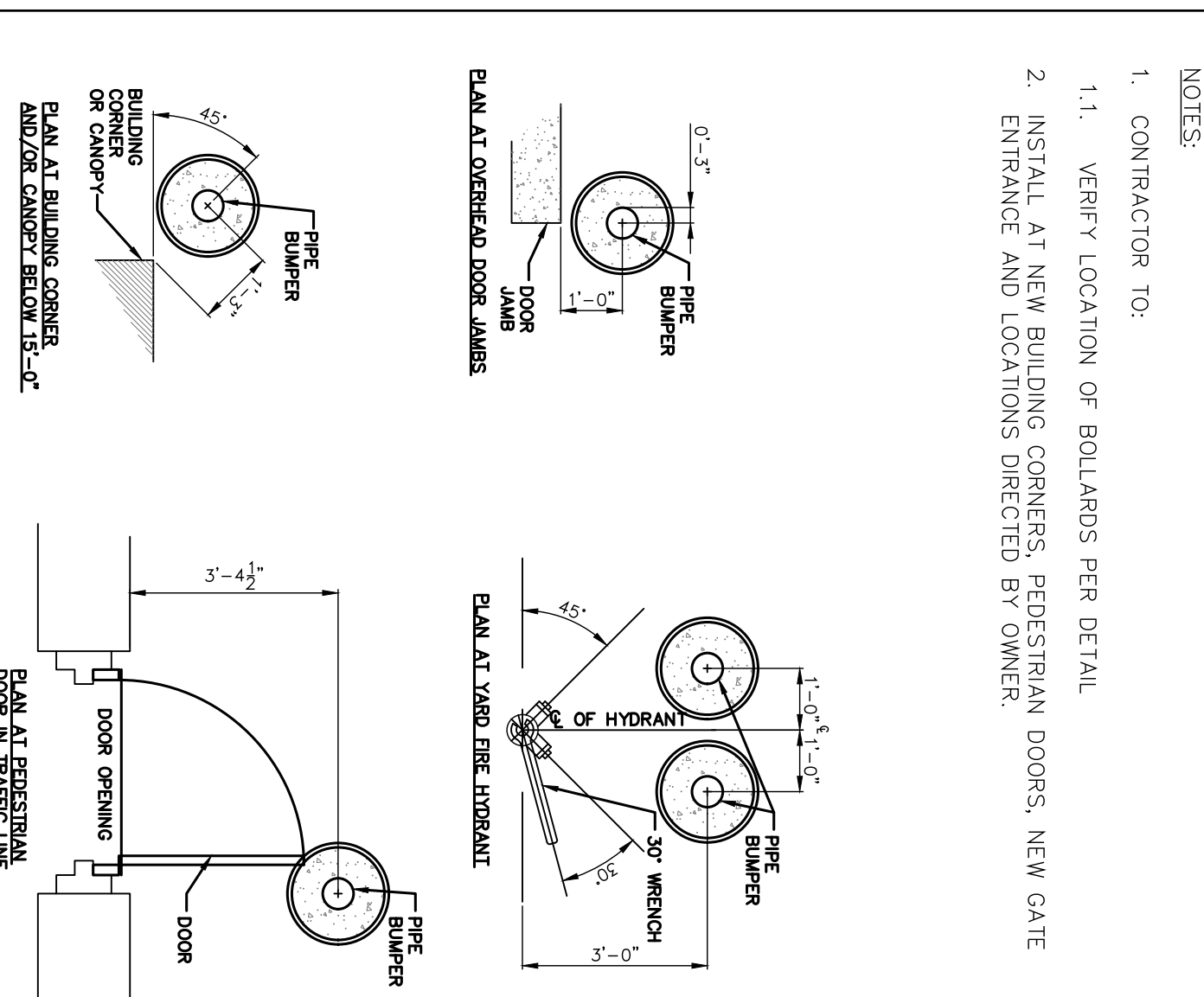
5D
N.T.S.



5A
POND SPILLWAY
N.T.S.



PAVE11 - BEVELED EDGE CONCRETE
PAVING TO ASPHALT



NOTES:

1. CONTRACTOR TO:
- 1.1. VERIFY LOCATION OF BOLLARDS PER DETAIL
2. INSTALL AT NEW BUILDING CORNERS, PEDESTRIAN DOORS, NEW GATE ENTRANCE AND LOCATIONS DIRECTED BY OWNER.

6B
N.T.S.

REVISIONS	
1	11/6/21 ADD #3

PROJECT #:	25197.00
DATE:	August 09, 2021
DRAWN BY:	MLS
DESIGNER:	KJC
CHECKED BY:	GBW

**Pickering**

Pickering Firm, Inc.
Facility Design • Civil Engineering • Surveying •
Transportation • Natural / Water Resources

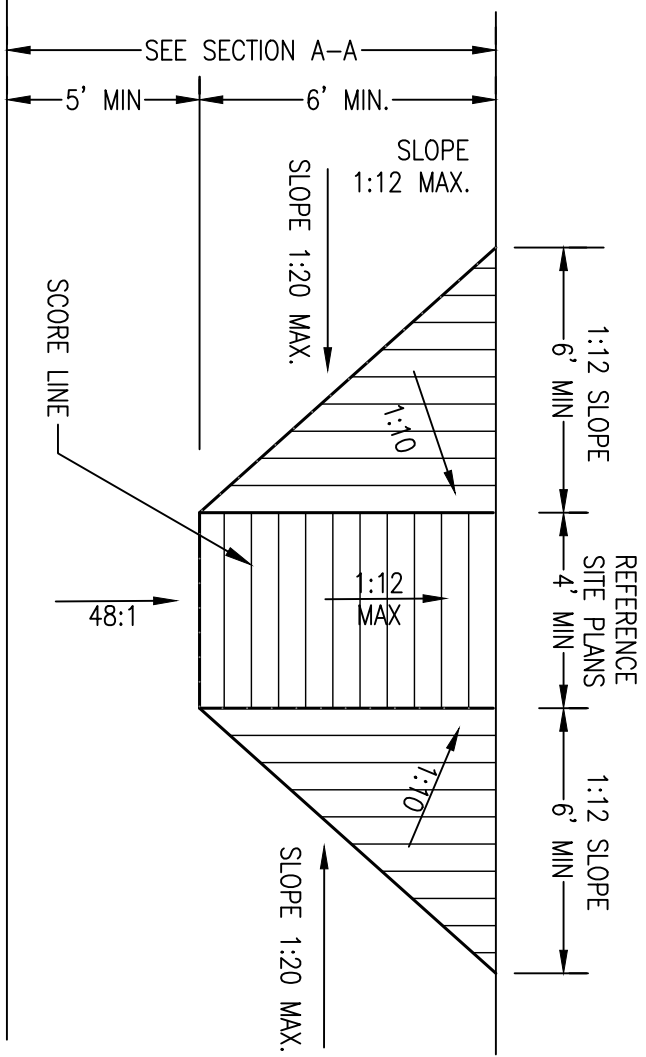
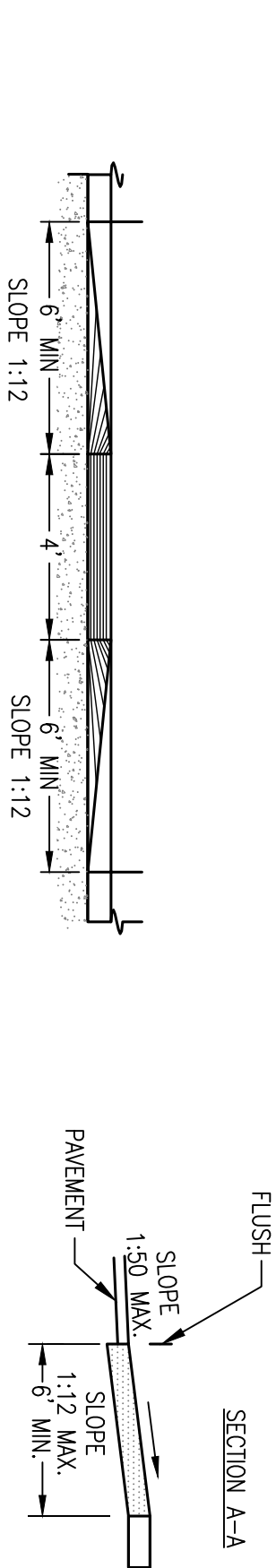
126 Rue Magnolia
Biloxi, MS 39530
228.432.5925

UNITED PARCEL SERVICE
LAKE CITY FACILITIES RENOVATION
143 N.E. ARMOR GLEN
LAKE CITY, FL



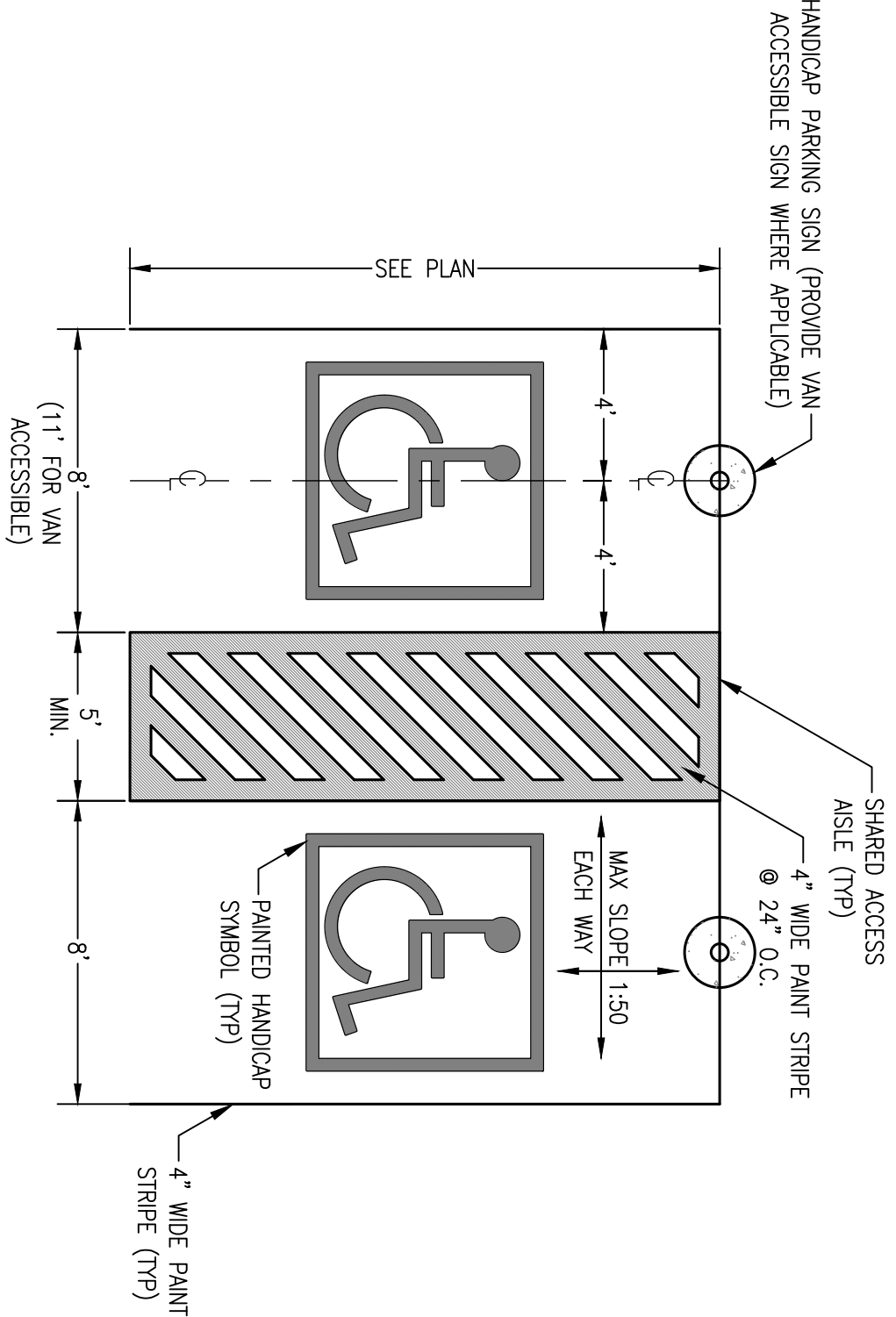
SHEET NUMBER:
C10

DESCRIPTION:
CONSTRUCTION DETAILS

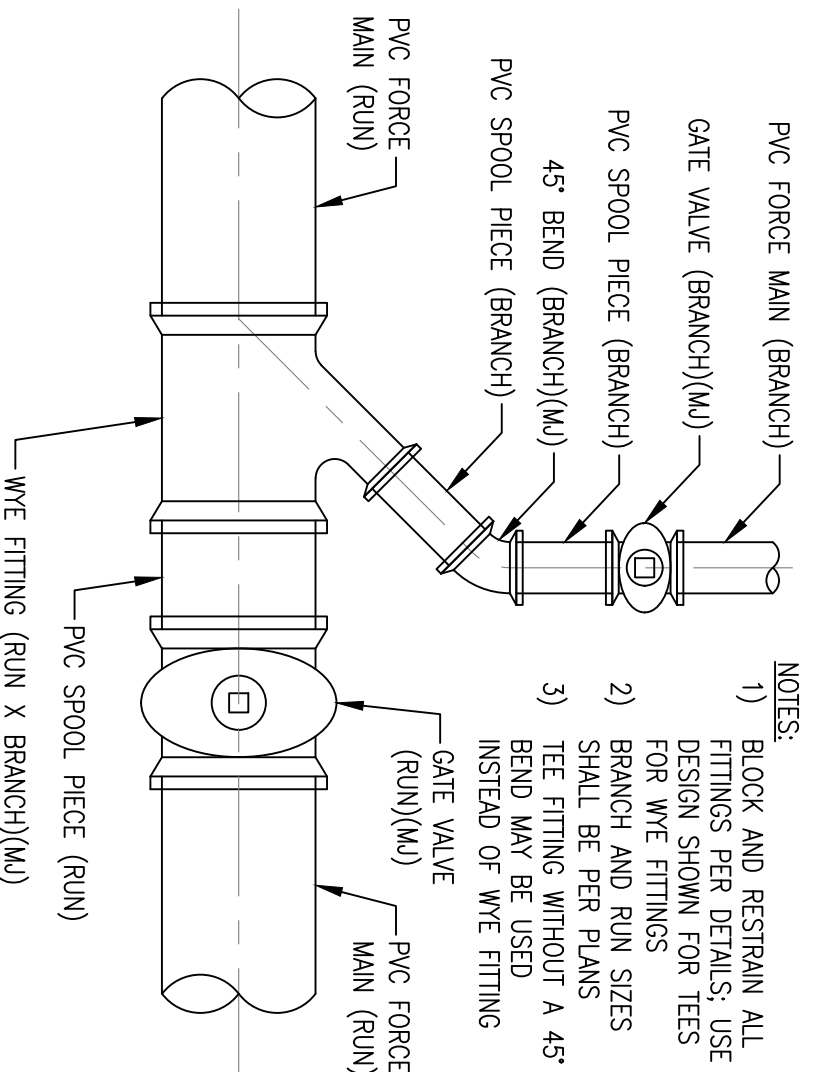


- NOTES:
- CURB RAMPS ARE TO BE LOCATED AS SHOWN ON THE PLANS.
 - CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND SPOT GRADE CHANGES.
 - THE LENGTH OF THE SIDE FLARES SHALL BE DETERMINED BY THE 1:12 SLOPE AND THE LENGTH OF THE SIDE FLARE SHALL BE A MINIMUM OF 6'.
 - SCORED LINES SHALL BE SCORED AT 4' SPACES PARALLEL TO THE RAMP AND BROADCAST TRANSVERSE TO THE SLOPE. CURB LINES SHALL BE SCORED PARALLEL TO THE FACE OF CURB WITH NO WAVE SCORE MARKS.

5D
ACCESSIBLE CURB RAMP
NOT TO SCALE



3B
TYPICAL ACCESSIBLE PARKING LAYOUT
NOT TO SCALE



6A
TYPICAL MANIFOLD CONNECTION
NOT TO SCALE

