

Columbia County New Building Permit Application

EMPLOYEES
WIC

For Office Use Only Application # 1909-27 Date Received 9/10/19 By NG Permit # 38765
 Zoning Official 125 Date 9-26-19 Flood Zone X Land Use ELD Zoning RSF-2
 FEMA Map # N/A Elevation N/A MFE 1' Above River N/A Plans Examiner 7C Date 9-26-19
 Comments 1' Above SW Stewart Loop Rd per Engineer Letter dated 9/24/19
☒ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☒ Well letter ☐ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter ☒ See for note
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 190607 OR City Water ☐ Fax
 Applicant (Who will sign/pick up the permit) SARA GRESHAM Phone 386.365.8685
 Address 336 NW Corwin Gln Lake City FL 32055 (386) 365-8685
 Owners Name Michael Roberts Phone (386) 755-9476
 911 Address 508 SW Stewart Loop Lake City FL 32024
 Contractors Name Sara Gresham Phone 386-365-8685
 Address 336 NW Corwin Gln Lake City, FL 32055
 Contractor Email Norris.Sara2011@gmail.com ***Include to get updates on this job.

Fee Simple Owner Name & Address
 Bonding Co. Name & Address
 Architect/Engineer Name & Address Mark Disosway, PE Lake City FL (386) 754-5416
 Mortgage Lenders Name & Address

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy
 Property ID Number 25.45.17.03147-021 Estimated Construction Cost \$135,000.00
 Subdivision Name Plantation Estates Lot 1 Block B Unit 1 Phase 1

Driving Directions from a Major Road Take 47 to 242, take right onto 242, turn @ onto Stewart Loop, Corner lot on left.

Construction of SFD Commercial OR ☒ Residential
 Proposed Use/Occupancy Residential Number of Existing Dwellings on Property 0
 Is the Building Fire Sprinkled? No If Yes, blueprints included Or Explain

☒ Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 35' Side 45' Side 200' Rear 46.68'
 Number of Stories 1 Heated Floor Area 1751 Total Floor Area 2695 Acreage .51

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.)
See spoke w/ Sara 10.9.19 + Sent email.

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Michael Roberts
Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature

Contractor's License Number CRC1331978
Columbia County
Competency Card Number 2087 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 10 day of Sept 2019.

Personally known ☐ or Produced Identification DL#G625-785-90-601-0

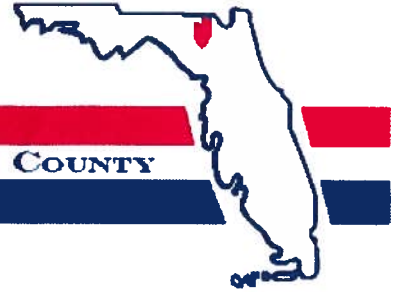
[Signature]

State of Florida Notary Signature (For the Contractor)

SEAL:



District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued:	7/30/2019 4:49:45 PM
Address:	508 SW STEWART Loop
City:	LAKE CITY
State:	FL
Zip Code	32024

Parcel ID	03167-021
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REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com

NOTICE OF COMMENCEMENT

Clerk's Office Stamp

Tax Parcel Identification Number:

25.45.17.03167-021

Inst: 201912019240 Date: 08/19/2019 Time: 12:47PM
Page 1 of 1 B: 1391 P: 1582, P. DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property (legal description): Part of PLANTATION EST. - Lots 1+3
a) Street (job) Address: 508 SW STEWART LP LAKE CITY, FL 32024
2. General description of improvements: SFD CONSTRUCTION
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: MICHAEL ROBERTS 657 SW Catherine Ln LAKE CITY, FL 32025
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property:
4. Contractor Information
a) Name and address: SARA E GRESHAM 336 NW CORWIN GIN LAKE CITY, FL
b) Telephone No.: 386 961 1854
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address:
b) Amount of Bond:
c) Telephone No.: 32055
6. Lender
a) Name and address:
b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address:
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: OF
b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

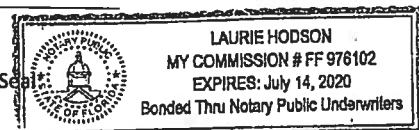
10. Mike Roberts
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
Mike Roberts
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 19th day of August, 2019, by:
MICHAEL ROBERTS as OWNER for MICHAEL ROBERTS
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known ☒ OR Produced Identification ☐ Type

Notary Signature

Notary Stamp or Seal



Columbia County Property Appraiser

updated: 6/25/2019

2018 Tax Roll Year

Parcel: 25-4S-16-03167-021

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector Tax Estimate Property Card

Parcel List Generator

2018 TRIM (page) Interactive GIS Map Print

Owner & Property Info

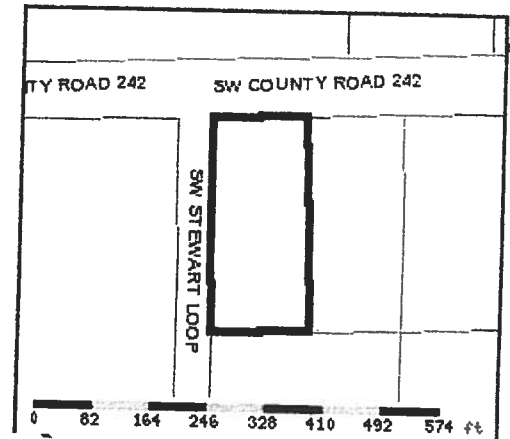
Search Result: 26

<< Prev

of 63

Next >>

Owner's Name	ROBERTS MICHAEL		
Mailing Address	657 SW CATHERINE LN LAKE CITY, FL 32025		
Site Address	452 SW COUNTY ROAD 242		
Use Desc. (code)	VACANT (000000)		
Tax District	2 (County)	Neighborhood	25416
Land Area	0.940 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOTS 1 & 3 PEELERS REPLAT OF LOT 2 BLOCK B PLANTATION EST EX BEG SW COR OF SAID LOT 2, E 131.05 FT TO SE COR OF LOT 2 S 137.01 FT TO SE COR OF LOT 3 W 129 FT, N 136.64 TO POB. WD 1353-514,			



Property & Assessment Values

2018 Certified Values	
Mkt Land Value	cnt: (0) \$19,433.00
Ag Land Value	cnt: (1) \$0.00
Building Value	cnt: (0) \$0.00
XFOB Value	cnt: (0) \$0.00
Total Appraised Value	\$19,433.00
Just Value	\$19,433.00
Class Value	\$0.00
Assessed Value	\$19,433.00
Exempt Value	\$0.00
Total Taxable Value	Cnty: \$19,433 Other: \$19,433 Schl: \$19,433

2019 Working Values	
Mkt Land Value	cnt: (0) \$19,433.00
Ag Land Value	cnt: (1) \$0.00
Building Value	cnt: (0) \$0.00
XFOB Value	cnt: (0) \$0.00
Total Appraised Value	\$19,433.00
Just Value	\$19,433.00
Class Value	\$0.00
Assessed Value	\$19,433.00
Exempt Value	\$0.00
Total Taxable Value	Cnty: \$19,433 Other: \$19,433 Schl: \$19,433

Columbia County Property Appraiser

Jeff Hampton

2019 Preliminary Certified Values

updated: 8/14/2019

Parcel: << 25-4S-16-03167-021 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

Owner	ROBERTS MICHAEL 657 SW CATHERINE LN LAKE CITY, FL 32025		
Site	452 COUNTY ROAD 242 ,		
Description*	LOTS 1 & 3 PEELERS REPLAT OF LOT 2 BLOCK B PLANTATION EST EX BEG SW COR OF SAID LOT 2, E 131.05 FT TO SE COR OF LOT 2 S 137.01 FT TO SE COR OF LOT 3 W 129 FT, N 136.64 TO POB. WD 1353-514,		
Area	0.94 AC	S/T/R	25-4S-16
Use Code**	VACANT (000000)	Tax District	2

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Preliminary Certified	
Mkt Land (1)	\$19,433	Mkt Land (1)	\$19,433
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$19,433	Just	\$19,433
Class	\$0	Class	\$0
Appraised	\$19,433	Appraised	\$19,433
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$19,433	Assessed	\$19,433
Exempt	\$0	Exempt	\$0
Total	county:\$19,433	Total	county:\$19,433
Taxable	city:\$19,433	Taxable	city:\$19,433
	other:\$19,433		other:\$19,433
	school:\$19,433		school:\$19,433



▼ Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
2/7/2018	\$22,800	1353/0514	WD	V	Q	01

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

▼ Land Breakdown

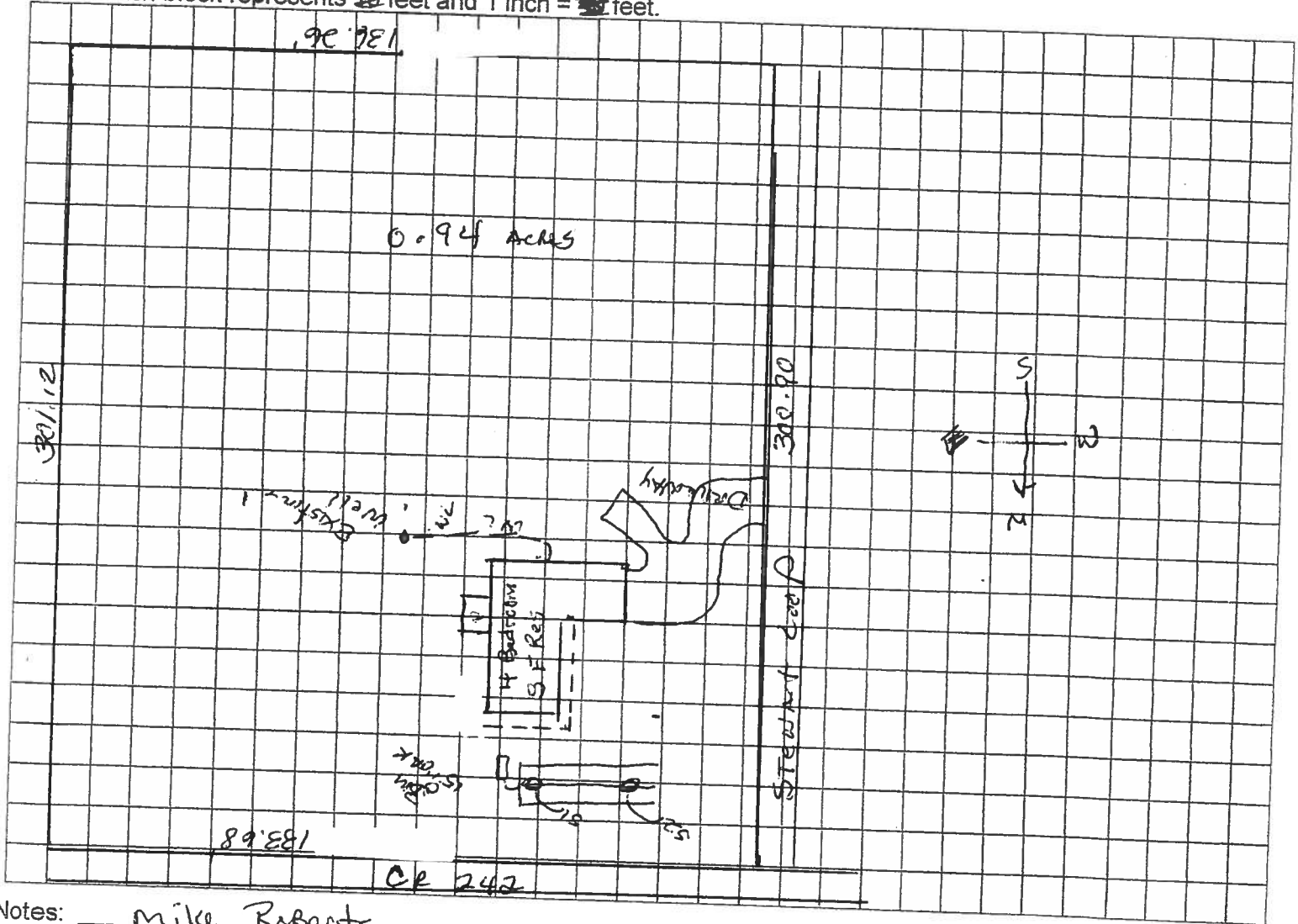
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-0607

Roberts

PART II - SITEPLAN

Scale: Each block represents ^{15'}~~30'~~ feet and 1 inch = ^{60'}~~30'~~ feet.



Notes: Mike Roberts
193 Blk B Plantation ESTATES

Site Plan submitted by: Robert W. Ford Jr. DATE 7/30/17

Plan Approved X

By [Signature]

Not Approved

Columbia CHD

Date 8/14/19

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0607
DATE PAID: 8/13/19
FEE PAID: \$310.00
RECEIPT #: 1428584

APPLICATION FOR:

☒ New System
☐ Repair

☐ Existing System
☐ Abandonment

☐ Holding Tank
☐ Temporary

☐ Innovative

APPLICANT: Michael Roberts

AGENT: Robert W Ford JR NFST INC.

MAILING ADDRESS: 741 SE STATE RD 100 LC FLA 32025
TELEPHONE: 386 755-6372

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 143 BLOCK: B SUBDIVISION: Plantation PLATTED: _____
PROPERTY ID #: 25-AS-16-03167-021 ZONING: SF I/M OR EQUIVALENT: ☐ Y / ☐ N]
PROPERTY SIZE: .94 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐] <=2000GPD ☐] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y / ☐ N] DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 452 Country Rd 242
DIRECTIONS TO PROPERTY: Hwy 475 to 242 TR Follow to Stewart
loop TL 1st Lot on left

BUILDING INFORMATION

☒ RESIDENTIAL

☐ COMMERCIAL

Unit No. Type of Establishment

No. of Bedrooms

Building Area Sqft

Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC

1 New Home 4 1757

2 _____

3 _____

4 _____

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: Robert W Ford JR

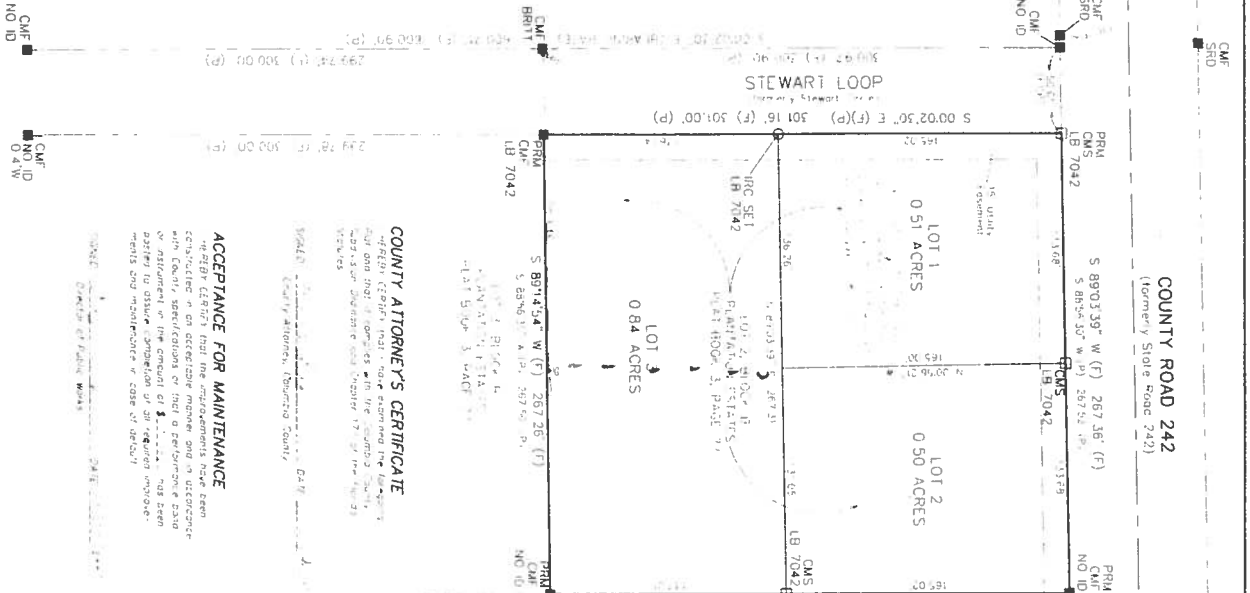
DATE: 7/29/19

DH 4015, 08/09 (Obsoletes previous editions which may not be used)
Incorporated 64E-6.001, FAC

PEELER'S REPLAT OF LOT 2 BLOCK B, PLANTATION ESTATES IN SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST COLUMBIA COUNTY, FLORIDA

OFFICIAL RECORDS
BOOK 1142 PAGE 115

FILE NUMBER 200814002049
FILED AND RECORDED IN THE OFFICIAL RECORDS
OF COLUMBIA COUNTY, FLORIDA
Feb. 1st 2008 AT 11:36 O'CLOCK A.M.
RECORD VERIFIED
P. DEWITT CASON
CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA
BY: Sharon Feagles D.C.



TOTAL = 1.85 ACRES

LEGEND	DESCRIPTION
1	CONCRETE PAVEMENT
2	CONCRETE DRIVE
3	CONCRETE SIDEWALK
4	CONCRETE CURB
5	CONCRETE FENCE
6	CONCRETE POST
7	CONCRETE FOUNDATION
8	CONCRETE SLAB
9	CONCRETE WALL
10	CONCRETE ROOF
11	CONCRETE FLOOR
12	CONCRETE CEILING
13	CONCRETE STAIRS
14	CONCRETE ELEVATOR
15	CONCRETE RAMP
16	CONCRETE BRIDGE
17	CONCRETE TOWER
18	CONCRETE LAMP
19	CONCRETE SIGN
20	CONCRETE MONUMENT

ACKNOWLEDGMENT STATE OF FLORIDA

I, the undersigned, Clerk of Courts of Columbia County, Florida, do hereby certify that the foregoing plat of Lot 2, Block B, Plantation Estates, in Section 25, Township 4 South, Range 16 East, Columbia County, Florida, was duly filed for record in the Public Records of this County on the 25th day of February, 2008, at 11:36 o'clock A.M., and that the same is a true and correct copy of the original as filed.

ACKNOWLEDGMENT STATE OF FLORIDA

I, the undersigned, Clerk of Courts of Columbia County, Florida, do hereby certify that the foregoing plat of Lot 2, Block B, Plantation Estates, in Section 25, Township 4 South, Range 16 East, Columbia County, Florida, was duly filed for record in the Public Records of this County on the 25th day of February, 2008, at 11:36 o'clock A.M., and that the same is a true and correct copy of the original as filed.

COUNTY SURVEYOR-CHAPTER 177 APPROVAL

I, the undersigned, County Surveyor of Columbia County, Florida, do hereby approve the foregoing plat of Lot 2, Block B, Plantation Estates, in Section 25, Township 4 South, Range 16 East, Columbia County, Florida, as being a true and correct copy of the original as filed.

DESCRIPTION

1. The P&M set is a concrete monument set in the center of the lot, measuring 12" x 12" x 12".

LEGEND & NOTES

1. Concrete monument set in the center of the lot, measuring 12" x 12" x 12".
2. Concrete drive, measuring 12' x 12'.
3. Concrete side walk, measuring 12' x 12'.
4. Concrete curb, measuring 12' x 12'.
5. Concrete fence, measuring 12' x 12'.
6. Concrete post, measuring 12' x 12'.
7. Concrete foundation, measuring 12' x 12'.
8. Concrete slab, measuring 12' x 12'.
9. Concrete wall, measuring 12' x 12'.
10. Concrete roof, measuring 12' x 12'.
11. Concrete floor, measuring 12' x 12'.
12. Concrete ceiling, measuring 12' x 12'.
13. Concrete stairs, measuring 12' x 12'.
14. Concrete elevator, measuring 12' x 12'.
15. Concrete ramp, measuring 12' x 12'.
16. Concrete bridge, measuring 12' x 12'.
17. Concrete tower, measuring 12' x 12'.
18. Concrete lamp, measuring 12' x 12'.
19. Concrete sign, measuring 12' x 12'.
20. Concrete monument, measuring 12' x 12'.

DEDICATION

I, the undersigned, Clerk of Courts of Columbia County, Florida, do hereby dedicate the foregoing plat of Lot 2, Block B, Plantation Estates, in Section 25, Township 4 South, Range 16 East, Columbia County, Florida, to the public use of the State of Florida.

SURVEYOR'S CERTIFICATE

I, the undersigned, County Surveyor of Columbia County, Florida, do hereby certify that the foregoing plat of Lot 2, Block B, Plantation Estates, in Section 25, Township 4 South, Range 16 East, Columbia County, Florida, was duly filed for record in the Public Records of this County on the 25th day of February, 2008, at 11:36 o'clock A.M., and that the same is a true and correct copy of the original as filed.

SHEET 1 OF 1 PLAT DATE 09/12/2007

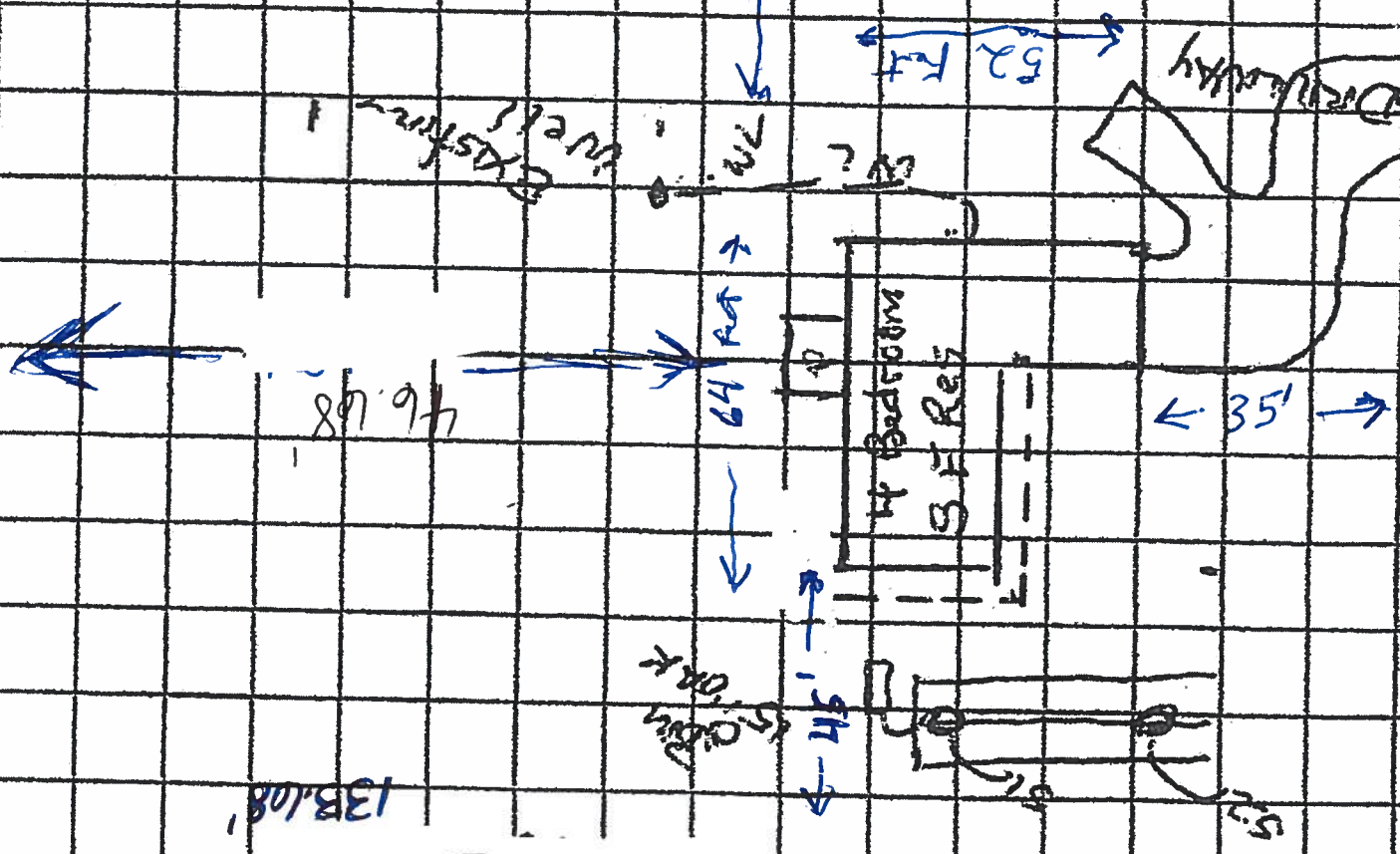
Donald F. Lee and Associates, Inc.
SURVEYORS
140 Northwest Highway Avenue, Suite 100, Fort Lauderdale, FL 33304
Phone: 954-551-1000 Fax: 954-551-1001

South

0.94 Acres

East

1.155' 200.00'



200.00'

North

Legend

LidarElevations



2018Aerials



2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

Parcels



SectionTownshipAndRange

SRWMD Wetlands



Roads

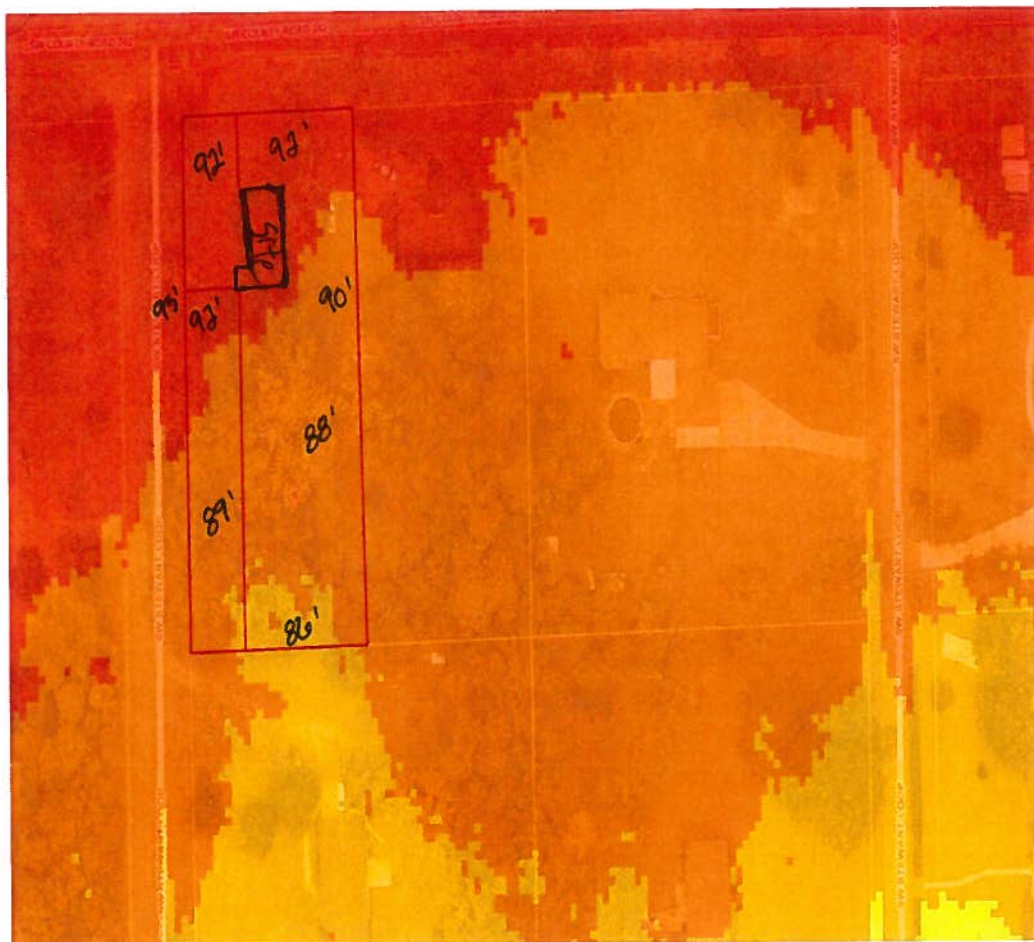
Roads

others



Columbia County, FLA - Building & Zoning Property Map

Printed: Wed Sep 11 2019 12:08:58 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 25-4S-16-03167-021

Owner: ROBERTS MICHAEL

Subdivision: PEELER'S REPLAT PLANTATION EST

Lot:

Acres: 0.9403542

Deed Acres:

District: District 5 Tim Murphy

Future Land Uses: Residential - Low

Flood Zones:

Official Zoning Atlas: RSF-2

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

Prepared by:
Michael Harrell
Abstract Trust Title, LLC
281 NW Cole Terrace
Lake City, FL 32055

ATT# 4-8097

Inst: 201812002626 Date: 02/08/2018 Time: 10:26AM
Page 1 of 1 B: 1353 P: 514, P.DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk Doc Stamp-Deed: 159.60

Warranty Deed

Individual to Individual

THIS WARRANTY DEED made the 7th day of February, 2018, by Walter Dale Peeler and Kathryn Elizabeth Peeler, his wife, hereinafter called the grantor, to Michael Roberts whose post office address is: 657 SW Catherine Lane, Lake City, FL 32025 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz:

Lot (s) 1 and 3, Peeler's Replat of Lot 2, Block B, Plantation Estates, according to the map or plat thereof, as recorded in Plat Book 9, Page(s) 63, of the Public Records of Columbia County, Florida.

Less and except that part of Lot 3 above as conveyed in Official Records Book 1306, Page 61 of the public records of Columbia County, Florida.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to the prior year.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness:

Walter Dale Peeler
Walter Dale Peeler

Brandi Lynn Lee
Printed Name:

Brandi Lynn Lee
Witness:

Brandi Lynn Lee
Printed Name:

Kathryn Elizabeth Peeler
Kathryn Elizabeth Peeler

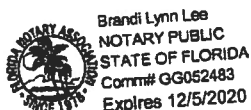
STATE OF FLORIDA

COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 7th day of February, 2018 by WALTER DALE PEELER AND KATHRYN ELIZABETH PEELER, HIS WIFE personally known to me or, if not personally known to me, who produced [Signature] for identification and who did not take an oath.

Brandi Lynn Lee
Notary Public

(Notary Seal)



Mark Disosway, P.E.

163 SW Midtown Pl, Ste 103, Lake City, FL 32025, 386-754-5419

Building and Zoning, Columbia County, Florida

Re: Site Evaluation, Mike Roberts, 25-4S-16-03167-021, Spec House - LOTS 1 & 3 PEELERS REPLAT OF LOT 2 BLOCK B PLANTATION EST, 508 Stewart Loop, 452 CR 242, Lake City, Columbia County, FL

Dear Building Inspector:

The planned elevation of the finished floor, on a monolithic foundation is less than one foot above the elevation of SW Stewart Loop Rd. at a point immediately in front of the house.

Based on topo maps, FEMA Flood Insurance Rate Map, and visual inspection the proposed finished floor elevation is at an adequate elevation to avoid flooding.

Proposed Finished Floor Elevation: 12" above existing natural but no more than 2' below road.

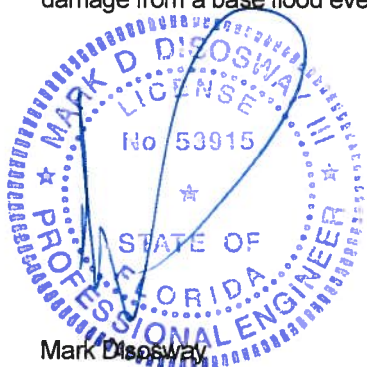
Flood Zone of Home Site: Zone X; Based on the FEMA rate map, attached.

Zone AE flood zone: Clay Hole Creek Zone AE 68.4' is 1000' away and about 15-20' below proposed finished floor elevation.

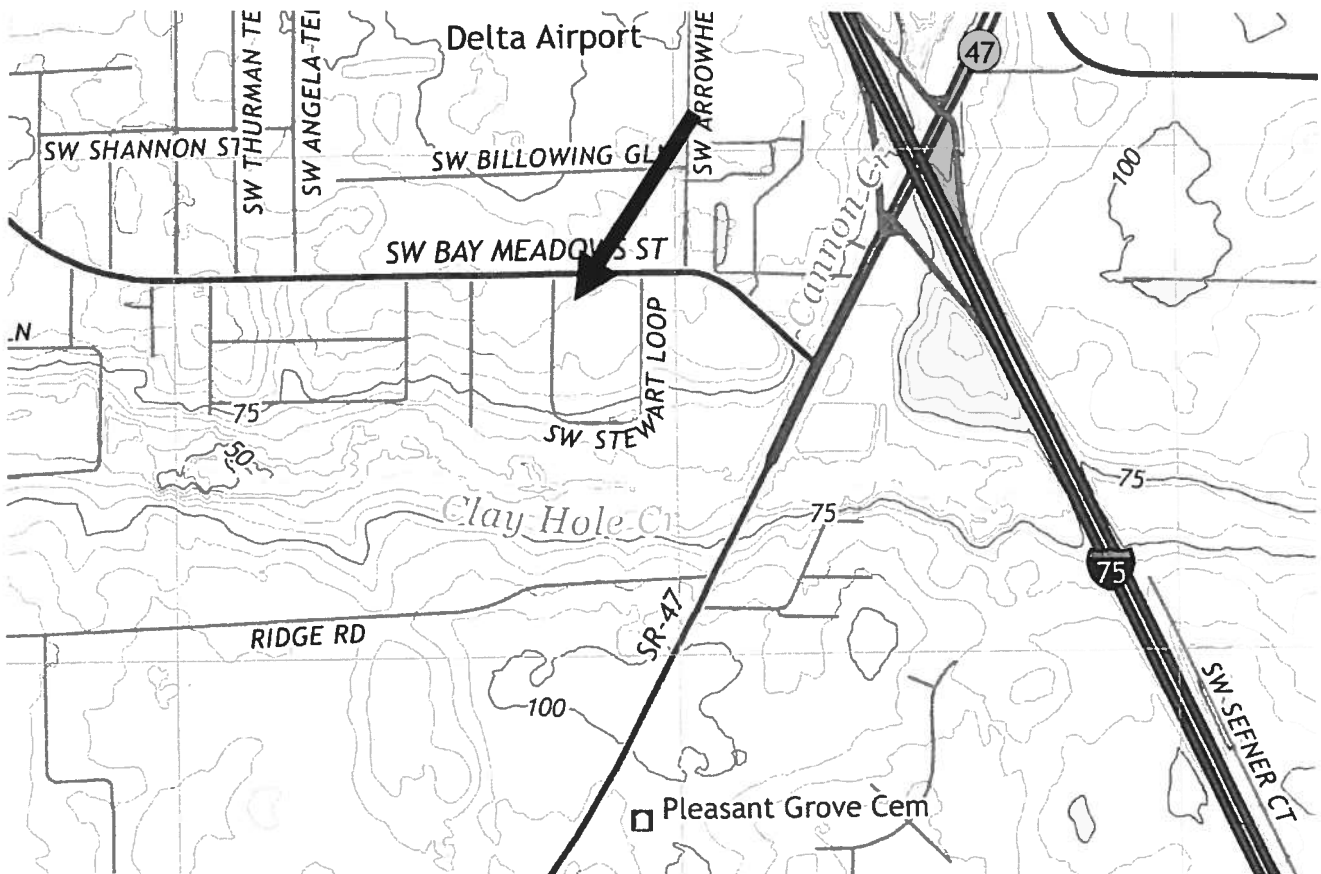
Observations:

Grading: The finished floor elevation must be minimum 6" above finished grade per 6th Edition FBC. The finished grade must slope down from that elevation 6" minimum within 10 feet away from the house in all directions so that storm water runs away from the house. From that level the lot should be graded with swales and slopes for runoff. The owner must maintain swales, slopes, culverts, and ditches to provide free runoff. The owner should be aware that if free runoff is not maintained or if future development in the area causes increased storm water or if rainfall occurs with greater flooding effect than the design storm water could rise higher than anticipated.

I certify that the minimum floor elevation (or finish floor elevation) listed above will protect the structure against water damage from a base flood event, as defined in Article 8 of the Land Development Regulations.



Mark Disosway
24Sep2019



SUBCONTRACTOR VERIFICATION

*Roofers is registered, not certified, must renew by end of month to remain valid.

APPLICATION/PERMIT # 1909-27

JOB NAME _____

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input checked="" type="checkbox"/> CC# <u>76</u>	Print Name <u>Marc Matthews</u> Signature <u>[Signature]</u> Company Name: <u>Matthews Electric</u> License #: <u>EC13005459</u> Phone #: <u>386-344-2029</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input checked="" type="checkbox"/> CC# <u>2024</u>	Print Name <u>Anthony Franks</u> Signature <u>[Signature]</u> Company Name: <u>Franks and Sons Heating and A/C</u> License #: <u>CAC1818631</u> Phone #: <u>386-466-7514</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input type="checkbox"/> CC# <u>767</u>	Print Name <u>Chris Coleman</u> Signature <u>[Signature]</u> Company Name: <u>COLEMAN'S PLUMBING</u> License #: <u>CPC 1425624</u> Phone #: <u>352-472-4114</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input checked="" type="checkbox"/> CC# <u>202</u>	Print Name <u>Robert Fensel</u> Signature <u>[Signature]</u> Company Name: <u>Robert Roofing</u> License #: <u>RC 29027319</u> Phone #: <u>(386) 755-5137</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

VOID
10.17.19

PAUL Coleman

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 38765 JOB NAME MIKE ROBERTS

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

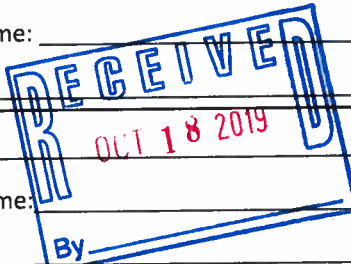
NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

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Violations will result in stop work orders and/or fines.

ELECTRICAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input checked="" type="checkbox"/>	Print Name <u>KENNETH AULT</u> Signature <u>[Signature]</u> Company Name: <u>KENNETH EDWARD AULT Plumbing, Inc</u> CC# <u>161</u> License #: <u>CFC 1429807</u> Phone #: <u>306.697.3856</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE





COLUMBIA COUNTY BUILDING DEPARTMENT RESIDENTIAL CHECK LIST

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2017 EFFECTIVE 1 JANUARY 2018
AND THE NATIONAL ELECTRICAL 2014 EFFECTIVE 1 JANUARY 2018

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODES RESIDENTIAL AND THE NATIONAL ELECTRICAL CODE. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS, FBC 1609.3.1 THRU 1609.3.3.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES

Revised 7/1/18

Website: <http://www.columbiacountyfla.com/BuildingandZoning.asp>

Items to Include-
Each Box shall be
Circled as
Applicable

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Select From Drop down

1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.)		Yes	No NA
	Total (Sq. Ft.) under roof			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL 107.1.

Site Plan information including:

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details are required.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	Yes	No	NA
		Select From Drop down		
9	Basic wind speed (3-second gust), miles per hour	<input checked="" type="checkbox"/>		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	<input checked="" type="checkbox"/>		
11	Wind importance factor and nature of occupancy	<input checked="" type="checkbox"/>		
12	The applicable internal pressure coefficient, Components and Cladding	<input checked="" type="checkbox"/>		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifiably designed by the registered design professional.	<input checked="" type="checkbox"/>		

Elevations Drawing including:

14	All side views of the structure	<input checked="" type="checkbox"/>		
15	Roof pitch	<input checked="" type="checkbox"/>		
16	Overhang dimensions and detail with attic ventilation	<input checked="" type="checkbox"/>		
17	Location, size and height above roof of chimneys	-		<input checked="" type="checkbox"/>
18	Location and size of skylights with Florida Product Approval	-		<input checked="" type="checkbox"/>
19	Number of stories	-		
20	Building height from the established grade to the roofs highest peak	<input checked="" type="checkbox"/>		

Floor Plan Including:

21	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
22	Raised floor surfaces located more than 30 inches above the floor or grade	-		✓
23	All exterior and interior shear walls indicated	✓		
24	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
25	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	✓		
26	Safety glazing of glass where needed	-		✓
27	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)	-		✓
28	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	-		✓
29	Identify accessibility of bathroom (see FBCR SECTION 320)	✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable	
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FBCR 403: Foundation Plans

		Select From Drop down		
30	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
31	All posts and/or column footing including size and reinforcing	✓		
32	Any special support required by soil analysis such as piling.	-		✓
33	Assumed load-bearing value of soil _____ Pound Per Square Foot	-		✓
34	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	-		

FBCR 506: CONCRETE SLAB ON GRADE

35	Show Vapor retarder (6mil. Polyethylene with joints taped 6 inches and sealed)	✓		
36	Show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and Supports	✓		

FBCR 318: PROTECTION AGAINST TERMITES

37	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides	✓		
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

38	Show all materials making up walls, wall height, and Block size, mortar type	✓		✓
39	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	-		✓

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

40	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	-		✓
41	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	-		✓
42	Girder type, size and spacing to load bearing walls, stem wall and/or piers	-		✓
43	Attachment of joist to girder	-		✓
44	Wind load requirements where applicable	-		✓
45	Show required under-floor crawl space	-		✓
46	Show required amount of ventilation opening for under-floor spaces	-		✓
47	Show required covering of ventilation opening	-		✓
48	Show the required access opening to access to under-floor spaces	-		✓
49	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing	-		✓
50	Show Draftstopping, Fire caulking and Fire blocking	-		✓
51	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6	-		✓
52	Provide live and dead load rating of floor framing systems (psf).	-		✓

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		Select from Drop down		
53	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	- ✓		
54	Fastener schedule for structural members per table FBC-R602.3.2 are to be shown	- ✓		
55	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	- ✓		
56	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	- ✓		
57	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBC-R602.7.	✓		
58	Indicate where pressure treated wood will be placed	✓		
59	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
60	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	- ✓		

FBCR :ROOF SYSTEMS:

61	Truss design drawing shall meet section FBC-R 802.10.1 Wood trusses	- ✓		
62	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
63	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	- ✓		
64	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	- ✓		
65	Provide dead load rating of trusses	- ✓		

FBCR 802:Conventional Roof Framing Layout

66	Rafter and ridge beams sizes, span, species and spacing	-		✓
67	Connectors to wall assemblies' include assemblies' resistance to uplift rating	-		✓
68	Valley framing and support details	✓		
69	Provide dead load rating of rafter system	-		✓

FBCR 803 ROOF SHEATHING

70	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
71	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

ROOF ASSEMBLIES FRC Chapter 9

72	Include all materials which will make up the roof assemblies covering	- ✓		
73	Submit Florida Product Approval numbers for each component of the roof assemblies covering	- ✓		

FBCR Chapter 11 Energy Efficiency Code for Residential Building

Residential construction shall comply with this code by using the following compliance methods in the FBCR Chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1 1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600.A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		<i>Select from Drop Down</i>		
74	Show the insulation R value for the following areas of the structure	- ✓		
75	Attic space	- ✓		
76	Exterior wall cavity	- ✓		
77	Crawl space	- ✓		✓

HVAC information

78	Submit two copies of a Manual J sizing equipment or equivalent computation study	- ✓		
79	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required	- ✓		
80	Show clothes dryer route and total run of exhaust duct	- ✓		

Plumbing Fixture layout shown

81	All fixtures waste water lines shall be shown on the foundation plan	- ✓		
82	Show the location of water heater	- ✓		

Private Potable Water

83	Pump motor horse power	- ✓		
84	Reservoir pressure tank gallon capacity	- ✓		
85	Rating of cycle stop valve if used	- ✓		

Electrical layout shown including

86	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	- ✓		
87	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	- ✓		
88	Show the location of smoke detectors & Carbon monoxide detectors	- ✓		
89	Show service panel, sub-panel, location(s) and total ampere ratings	- ✓		
90	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	- ✓		
91	Appliances and HVAC equipment and disconnects	- ✓		
92	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter, Protection device.	- ✓		

Notice Of Commencement:

A notice of commencement form **RECORDED** in the Columbia County Clerk Office is required to be filed with the Building Department **BEFORE ANY INSPECTIONS** can be performed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable	
ITEMS 95, 96, & 98 Are Required After APPROVAL from the ZONING DEPT.			
<i>Select from Drop down</i>			
93	Building Permit Application A current Building Permit Application is to be completed, by following the Checklist all supporting documents must be submitted. There is a \$15.00 application fee. The completed application with attached documents and application fee can be mailed.	- ✓	
94	Parcel Number The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also required. www.columbiacountyfla.com	✓	
95	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	- ✓	
96	City of Lake City A City Water and/or Sewer letter. Call 386-752-2031	- ✓	✓
97	Toilet facilities shall be provided for all construction sites	- ✓	
98	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.	-	✓
99	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations (Municode.com)	-	✓
100	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.	- ✓	✓
101	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is \$50.00	-	✓
102	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	- ✓	
103	911 Address: An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125.	✓	

Ordinance Sec. 90-75. - Construction debris. (e) It shall be unlawful for any person to dispose of or discard solid waste, including construction or demolition debris at any place within the county other than on an authorized disposal site or at the county's solid waste facilities. The temporary storage, not to exceed seven days of solid waste (excluding construction and demolition debris) on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance, shall not be deemed a violation of this section. The temporary storage of construction and demolition debris on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance shall not be deemed in violation of this section, provided, however, such construction and demolition debris must be disposed of in accordance with this article prior to the county's issuance of a certificate of occupancy for the premises. The burning of lumber from a construction or demolition project or vegetative trash when done so with legal and proper permits from the authorized agencies and in accordance with such agencies' rules and regulations, shall not be deemed a violation of this section. No person shall bury, throw, place, or deposit, or cause to be buried, thrown, placed, or deposited, any solid waste, special waste, or debris of any kind into or on any of the public streets, road right-of-way, highways, bridges, alleys, lanes, thoroughfares, waters, canals, or vacant lots or lands within the county. No person shall bury any vegetative trash on any of the public streets, road right-of-way, highways, bridges, lanes, thoroughfares, waters, canals, or lots less than ten acres in size within the county.

Disclosure Statement for Owner Builders:

If you as the Applicant will be acting as your own contractor or owner/builder under section 489.103(7) Florida Statutes, you must submit the required notarized Owner Builder Disclosure Statement form.

**This form can be printed from the Columbia County Website on the Building and Zoning page under Documents. Web address is - <http://www.columbiacountyfla.com/BuildingandZoning.asp>

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

Notification:

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.

FLORIDA PRODUCT APPROVALS
10-16-15

Rogue Valley Wood

FL-13137

Item:	Manufacturer	Product Description:	Approval Number:
Exterior Doors:	Masonite	Inswing & Outswing Fiberglass	FL-8228-R7
	Masonite	Inswing & Outswing Steel	FL-4904-R7 ²²⁵¹³⁻⁶ _{with 22521}
	Plastpro	8'0" Inswing & Outswing Fiberglass	FL-15220-R1
	Plastpro	Inswing & Outswing Steel	FL-15962-R2
	Plastpro	6'8" Inswing & Outswing Fiberglass	FL-15215-R3 ^{flush glazed} _{with inset}
		6'8" Fib - Glazed Door	FL-17347 ₁₁₋₁₇
Windows:	MI	Aluiminum 185 Single Hung	FL-17499
		Aluiminum 185 Picture Window	FL-15349
		53" x 50" 3580 HG. Slider	FL-13349-2
		Vinyl 3540 Single Hung	FL-17676-R1 R6
		Vinyl 3500 Picture Window	FL-18644
	Atrium	150/160	FL-11834
	Magnolia	Vinyl 400 Single Hung	FL-16475-R3
		Vinyl 400 Picture Window	FL-16474-R2
		63" x 44" 400 HG. Slider	FL-10476-1
Soffit:	Kaycan	Vinyl/PVC & Aluminum Soffit	FL-16503
		Vinyl Siding	FL-15867-R1
	LCIHW (Hawp)	International Bldg Code	ESR-3774
Underlayment:	Woodland	30# Felt	FL-17206-R3
	Interwrap	Rhino	FL-15216
Roofing:	Certainteed	Asphalt Shingles	FL-5444
	GAF	Asphalt Shingles	FL-10124-R16 R20
	Tamko	Asphalt Shingles	FL-18355
		Flintlastic SBS & APP	FL-16709-1
Siding:	Allura of Plycem	Cement board lap siding	FL-17482-R2
	James Hardie	Cement board lap siding	FL-13192-R4
Simpson		LSTA - MSTA, SPH4	FL-13872-R2
	GAF	Tiger Paw Underlayment	FL-15487-R5
Metal Roofing		5V Roofing	FL-9555-R3
		Master Rib Roofing	FL-9557-R3

5-17-16
Per O'Brien
SF. 6 flr

1-7-16

Finless covers flange
& finless for Jason

11-17

11-17

Hardie
Union

CemPlanck

13192.1



Lumber design values are in accordance with ANSI/TPI 1 section 6.3
These truss designs rely on lumber values established by others.

RE: 2042308 - MIKE ROBERTS - SPEC HSE

MiTek USA, Inc.

6904 Parke East Blvd.
Tampa, FL 33610-4115

Site Information:

Customer Info: Mike Roberts Project Name: Spec House Model: Custom
Lot/Block: N/A Subdivision: N/A
Address: 508 SW Stewart Loop, N/A
City: Columbia City State: FL

Name Address and License # of Structural Engineer of Record, if there is one, for the building.

Name: License #:
Address:
City: State:

General Truss Engineering Criteria & Design Loads (Individual Truss Design Drawings Show Special Loading Conditions):

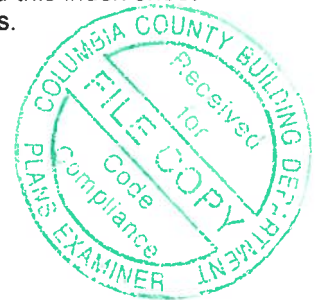
Design Code: FBC2017/TPI2014
Wind Code: ASCE 7-10
Roof Load: 37.0 psf

Design Program: MiTek 20/20 8.2
Wind Speed: 130 mph
Floor Load: N/A psf

This package includes 35 individual, Truss Design Drawings and 0 Additional Drawings.

With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

No.	Seal#	Truss Name	Date	No.	Seal#	Truss Name	Date
1	T17905915	CJ01	8/20/19	23	T17905937	T07	8/20/19
2	T17905916	CJ01A	8/20/19	24	T17905938	T07A	8/20/19
3	T17905917	CJ02	8/20/19	25	T17905939	T08	8/20/19
4	T17905918	CJ02A	8/20/19	26	T17905940	T09	8/20/19
5	T17905919	CJ03	8/20/19	27	T17905941	T09A	8/20/19
6	T17905920	CJ03A	8/20/19	28	T17905942	T10	8/20/19
7	T17905921	CJ04	8/20/19	29	T17905943	T11	8/20/19
8	T17905922	CJ05	8/20/19	30	T17905944	T12	8/20/19
9	T17905923	CJ06	8/20/19	31	T17905945	T13	8/20/19
10	T17905924	EJ01	8/20/19	32	T17905946	T14	8/20/19
11	T17905925	EJ02	8/20/19	33	T17905947	T14A	8/20/19
12	T17905926	EJ03	8/20/19	34	T17905948	T15	8/20/19
13	T17905927	HJ01	8/20/19	35	T17905949	T16	8/20/19
14	T17905928	HJ02	8/20/19				
15	T17905929	HJ03	8/20/19				
16	T17905930	T01	8/20/19				
17	T17905931	T01G	8/20/19				
18	T17905932	T02	8/20/19				
19	T17905933	T03	8/20/19				
20	T17905934	T04	8/20/19				
21	T17905935	T05	8/20/19				
22	T17905936	T06	8/20/19				

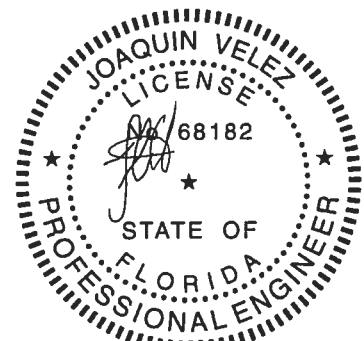


The truss drawing(s) referenced above have been prepared by MiTek USA, Inc. under my direct supervision based on the parameters provided by Builders FirstSource-Jacksonville.

Truss Design Engineer's Name: Velez, Joaquin

My license renewal date for the state of Florida is February 28, 2021.

IMPORTANT NOTE: The seal on these truss component designs is a certification that the engineer named is licensed in the jurisdiction(s) identified and that the designs comply with ANSI/TPI 1. These designs are based upon parameters shown (e.g., loads, supports, dimensions, shapes and design codes), which were given to MiTek or TRENCO. Any project specific information included is for MiTek's or TRENCO's customers file reference purpose only, and was not taken into account in the preparation of these designs. MiTek or TRENCO has not independently verified the applicability of the design parameters or the designs for any particular building. Before use, the building designer should verify applicability of design parameters and properly incorporate these designs into the overall building design per ANSI/TPI 1, Chapter 2.



Joaquin Velez PE No.68182
MiTek USA, Inc. FL Cert 6834
6904 Parke East Blvd. Tampa FL 33610
Date:

August 20, 2019