

## PROJECT INFORMATION

### IMPORTANT!

THE INFORMATION LISTED HERE IS ESSENTIAL AND MUST BE READ CAREFULLY PRIOR TO THE CONSTRUCTION OF YOUR SUWANNEE RIVER LOG HOME.

SRLH, INC. PLANS ARE DESIGNED BASED ON THESE LUMBER GRADING SPECIFICATIONS.

LOG WALLS: TIDEWATER RED & YELLOW CYPRESS OR WESTERN RED CEDAR

DIMENSIONAL LUMBER: FLOOR FRAMING, WALL FRAMING, BEAMS & GIRDERS SHALL BE #2 SOUTHERN YELLOW PINE & BETTER OR #2 HEM-FIR & BETTER

DIMENSIONAL LUMBER: EXPOSED BEAMS, GIRDERS, RAFTERS & JOISTS, POSTS, TRIM & CASINGS SHALL BE #2 TIDEWATER RED & YELLOW CYPRESS OR WESTERN RED CEDAR

PORCH & DECK FRAMING: #2 PRESSURE TREATED SOUTHERN YELLOW PINE

MANUFACTURED LUMBER: SHALL BE GLU-LAM BEAMS OR 20E L.V.L.

### DESIGN VALUES/LOADS & CODES

WIND DESIGN SPEED: 90MPH, UNLESS NOTED OTHERWISE

#### SOIL DESIGN STATEMENT:

FOOTING DESIGN IS BASED UPON 1500PSF SOIL BEARING PRESSURE PROVIDED BY CLEAN SAND, GRAVEL OR STONE. OTHER SOIL CONDITIONS IS: CLAY, HIGH LEVEL OF ORGANICS OR OTHER UNDESIRABLE SOILS SHALL BE REPORTED TO YOUR SALES REPRESENTATIVE, PRIOR TO CONSTRUCTION.

LIVE LOADS: 1st FLOOR: 40PSF, 2nd FLOOR: 30PSF, ROOF: AS DETERMINED BY SHAPE FACTORS APPLIED TO THE WIND FORCE GENERATED BY THE DESIGN WIND SPEED.

BUILDING CODE: SOUTHERN STANDARD BUILDING CODE CONGRESS

INTERNATIONAL - LATEST

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE - LATEST

LIFE SAFETY: NFPA-101 - LATEST

### CONSTRUCTION DOCUMENTS

THE CUSTOMER IS RESPONSIBLE FOR DELIVERING THE REQUIRED SETS OF CONSTRUCTION DOCUMENTS TO THE PERMIT ISSUING AUTHORITIES, FOR THE ISSUANCE OF CONSTRUCTION PERMITS. THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO YOUR SALES REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF ANY WORK OR FABRICATION OF ANY MATERIALS.

### DO NOT SCALE OFF THESE PLANS

AMPLE DIMENSIONS ARE SHOWN ON THE PLANS TO LOCATE ALL ITEMS. SIMPLE ARITHMETIC MAY BE USED TO DETERMINE THE LOCATIONS OF THOSE ITEMS NOT DIMENSIONED.

## SAFETY PRECAUTIONS

### SMOKE DETECTOR REQUIREMENTS

SMOKE DETECTORS (SUPPLIED BY OTHERS) MUST BE INSTALLED ADJACENT TO THE BEDROOM AREAS, AND MUST BE INSTALLED ON EACH STORY OF THE HOME INCLUDING BASEMENTS. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND BE PERMANENTLY WIRED WITHOUT DISCONNECTING SWITCHES. SMOKE DETECTORS TO BE AN APPROVED TYPE IN ACCORDANCE WITH THE SBCCI BUILDING CODE AND NEC-LATEST.

### CHANGES TO FINAL PLAN SETS

PLEASE DO NOT MAKE ANY STRUCTURAL CHANGES TO THESE PLANS WITHOUT CONSULTING WITH SUWANNEE RIVER LOG HOMES, INC. SRLH WILL NOT ASSUME ANY LIABILITY FOR STRUCTURAL DAMAGE RESULTING FROM CHANGES MADE TO THE PLANS OR BY SUBSTITUTION OF MATERIALS DIFFERENT FROM SPECIFICATION ON THE PLANS.

### HARDWARE RETIGHTENING REQUIREMENTS

ALL LAG SCREW AND BOLT CONNECTIONS ON COMPOUND BEAMS, POSTS, GIRDERS, TIMBER TRUSSES AND OTHER STRUCTURAL MEMBERS TO BE INSPECTED PERIODICALLY AND RETIGHTENED AS NECESSARY.

### INORGANIC ARSENICAL PRESSURE TREATED WOOD

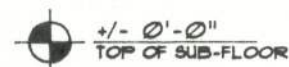
SOME FRAMING MATERIALS SUPPLIED WITH YOUR SRLH MATERIALS PACKAGE SUCH AS 2X6 SILL, PORCH FRAMING & DECKING ARE PRESSURE TREATED. EACH PIECE IS CLEARLY MARKED FOR EASY IDENTIFICATION AND IS USUALLY GREENISH IN COLOR.

THIS WOOD HAS BEEN PRESERVED BY PRESSURE-TREATMENT WITH AN EPA-REGISTERED PESTICIDE CONTAINING INORGANIC ARSENIC TO PROTECT IT FROM INSECT ATTACK AND DECAY. EXPOSURE TO TREATED WOOD MAY PRESENT CERTAIN HAZARDS, THEREFORE, PRECAUTIONS SHOULD BE TAKEN BOTH WHEN HANDLING THE TREATED WOOD AND IN DETERMINING WHERE TO USE OR DISPOSE OF THE TREATED WOOD.

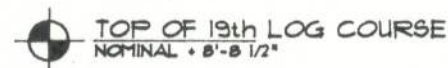
FOR FURTHER INFORMATION ON THE USE OF AND DISPOSAL OF INORGANIC ARSENIC PRESSURE TREATED WOOD, PLEASE REFER TO THE EPA MATERIAL SAFETY SHEET DEALING WITH THIS PRODUCT.

## SYMBOLS

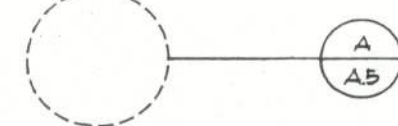
THESE SYMBOLS ARE MOST OFTEN ENCOUNTERED IN THE FOLLOWING DRAWINGS: ELEVATIONS, DIMENSION PLANS, SECTIONS & STRUCTURAL PLANS



TYPE OF ELEVATION MARK USED TO INDICATE A PREFERRED TARGET ELEVATION - TRUE MEASUREMENT.



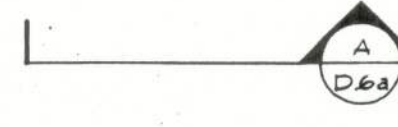
TYPE OF ELEVATION MARK USED TO INDICATE THE TOP OF A LOG WALL STACK - NOMINAL ONLY.



TYPE OF DETAIL MARK USED TO INDICATE A SECTION OR DETAIL ASSOCIATED WITH A PLAN VIEW



TYPE OF DETAIL MARK USED TO INDICATE A SECTION IS: SECTION "A" ON SHEET "A5", TAIL INDICATES DIRECTION OF VIEW



TYPE OF SECTION MARK USED TO INDICATE A VIEW TAKEN IN THE DIRECTION OF THE ARROW IS: SECTION "A" FOUND ON "D6a" OF THE PROJECT MANUAL



INDICATES FOOTING TYPE "A", DESCRIBED IN THE FOOTING SCHEDULE



INDICATES POST/COLUMN TYPE "1", DESCRIBED IN THE COLUMN SCHEDULE



INDICATES POST/COLUMN TYPE "1", LOCATED BELOW CURRENT LEVEL



INDICATES POST/COLUMN TYPE "2", LOCATED ABOVE CURRENT LEVEL



INDICATES POST/COLUMN TYPE "2" LOCATED OVER TYPE "1" POST/COLUMN

## STANDARD ABBREVIATIONS

•	AT	GALV.	GALVANIZED
•	NUMBER or POUND(S)	HORZ.	HORIZONTAL
=	EQUALS	INS.	INSULATION
⌀	DIAMETER	INT.	INTERIOR
W	WITH	LAV.	LAVATORY
W/O	WITHOUT	LVL.	LAMINATED VENEER LUMBER
¢	CENTERLINE	MAX.	MAXIMUM
&	AND	MIN.	MINIMUM
1/2" or ±	PLUS OR MINUS	MISC.	MISCELLANEOUS
1'	ONE FOOT	M.O.	MASONRY OPENING
1"	ONE INCH	No. or Nr.	NUMBER
1/4" or 1/8"	ONE QUARTER INCH	O.C.	ON CENTER
8d	8 PENNY	O/H	OVERHEAD
BM	BEAM	OHD	OVERHEAD DOOR
B.O.	BY OTHERS	PLYWD.	PLYWOOD
BTM. or BOT.	BOTTOM	P/T	PRESSURE TREATED
CLG.	CEILING	REINF.	REINFORCING (ED)
CO	CLEANOUT	REQ'D	REQUIRED
CONC.	CONCRETE	RM.	ROOM
COTG	CLEANOUT TO GRADE	RO.	ROUGH OPENING
DBL.	DOUBLE	SF	SQUARE FEET
DIM.	DIMENSION	SGD	SLIDING GLASS DOOR
DN.	DOWN	SHT.	SHEET
ELEV.	ELEVATION	SRLH	SUWANNEE RIVER LOG HOMES
EXT.	EXTERIOR	TYP.	TYPICAL
F	FRENCH (DOORS)	VERT.	VERTICAL
FDN.	FOUNDATION	WC	WATERCLOSET (TOILET)

## GENERAL NOTES:

1. THE CONTRACTOR SHALL INDEMNIFY THE OWNER AGAINST ALL CLAIMS, WHETHER FROM PERSONAL INJURY OR PROPERTY DAMAGE, ARISING FROM EVENTS ASSOCIATED WITH THE WORK PERFORMED UNDER THE CONTRACT FOR THIS PROJECT.
2. THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL WARRANT ALL WORK FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL COMPLETION AND ACCEPTANCE BY THE OWNER. DEFECTS IN MATERIALS, EQUIPMENT, COMPONENTS AND WORKMANSHIP SHALL BE CORRECTED AT NO FURTHER COST TO THE OWNER DURING THE ONE YEAR WARRANTY PERIOD.
3. AT THE OWNER'S OPTION, A WARRANTY INSPECTION SHALL BE PERFORMED DURING THE ELEVENTH MONTH FOLLOWING THE COMMENCEMENT OF THE WARRANTY PERIOD, FOR THE PURPOSE OF DETERMINING ANY WARRANTY WORK THAT MAY BE REQUIRED. THE CONTRACTOR SHALL BE PRESENT DURING THIS INSPECTION IF REQUESTED BY THE OWNER.
4. THE CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSES, TESTS AND THE LIKE THAT MAY BE REQUIRED BY THE VARIOUS AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT BE THEY CITY, COUNTY, STATE OR FEDERAL.
5. THE OWNER SHALL FILE A "NOTICE OF COMMENCEMENT" PRIOR TO THE BEGINNING THE THE PROJECT AND THE CONTRACTOR(S) SHALL FILE "NOTICE TO OWNER" AND PROVIDE "RELEASE OF LIEN" FOR ALL PAYMENT REQUESTS PRIOR TO DISBURSEMENT OF ANY FUNDS.
6. ANY AND ALL DISPUTES ARISING FROM EVENTS ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT BETWEEN THE OWNER, CONTRACTOR(S) AND SUPPLIERS SHALL BE RESOLVED THROUGH BINDING ARBITRATION.
7. ALL WORK SHALL BE IN ACCORDANCE W/ APPLICABLE CODES AND LOCAL REGULATIONS, INCLUDING APPLICABLE ENERGY CODES. ALL COMPONENTS OF THE BUILDING SHALL MEET WITH THE MINIMUM ENERGY REQUIREMENTS OF THE BUILDING CODE. ANY DISCREPANCIES SHALL BE REPORTED TO SRLH, INC. IN WRITING PRIOR TO THE COMMENCEMENT OF THE WORK.
8. ALL INSULATION SHALL BE LEFT EXPOSED AND ALL LABELS LEFT INTACT ON THE WINDOWS AND DOORS UNTIL INSPECTED BY THE BUILDING OFFICIAL.
9. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
10. INTERIOR BEARING WALLS SHALL BE CONSTRUCTED IN COMPLIANCE WITH "UL Design U333", BATT INSULATION SHALL BE INCLUDED WHERE UNCONDITIONED AREA IS BEING SEPARATED FROM HEATED / COOLED AIR.
11. INTERIOR STUD WALLS SEPARATING LIVING AREA FROM GARAGE AREAS SHALL BE CONSTRUCTED IN COMPLIANCE WITH "UL Design U333", INCLUDING R-11 BATT INSULATION.
12. CEILINGS OVER ATTACHED GARAGES OR GARAGES W/ LIVING AREA ABOVE SHALL BE 5/8" FIRECODE "C" GWB ON 1X3 WOOD FURRING AT 16" O.C., ATTACHED W/ 1 1/4" BUGLEHEAD SCREWS • 6" O.C. ALONG EACH POINT OF BEARING.
13. LOG WALLS SHALL BE ASSEMBLED IN ACCORDANCE WITH D3 DETAILS FOUND IN THESE CONSTRUCTION DOCUMENTS, ALONG WITH THE APPLICABLE STRUCTURAL NOTES. LOG ENDS SHALL BE TRIMMED AS REQUIRED FOR A TIGHT, PLUMB AND TRUE FIT - REFER TO D3 DETAILS FOR ADDITIONAL INFORMATION.

## AS - BUILT DRAWING REQUIREMENTS:

- A. ELECTRICAL "AS-BUILT" DRAWINGS  
ELECTRICAL CONTR SHALL PREPARE "AS-BUILT" SHOP DWGS INDICATING ALL ELECTRICAL WORK, INCLUDING ANY CHANGES TO THE ELEC. PLAN, ADD'NS TO THE ELEC. PLAN, RISER DIAGRAM, AS-BUILT PANEL SCHEDULE W/ ALL CKTS IDENTIFIED W/ CKT Nr., DESCRIPTION & BRKR. SERVICE ENT. & ALL UNDERGROUND WIRE LOCATIONS/ROUTING/DEPTH. RISER DIA. SHALL INCLUDE WIRE SIZES/TYPE & EQUIPMENT TYPE W/ RATINGS & LOADS.  
CONTRACTOR SHALL PROVIDE 1 COPY OF AS-BUILT DWGS TO OWNER & 1 COPY TO THE PERMIT ISSUING AUTHORITY.
- B. H.V.A.C. "AS-BUILT" DRAWINGS  
H.V.A.C. CONTRACTOR SHALL PREPARE "AS-BUILT" SHOP DRAWINGS INDICATING ALL H.V.A.C. WORK, INCLUDING ALL DUCTWORK LOC., SIZES, LINES, EQUIPMENT SCH. & BALANCING REPORT - CONTR SHALL PROVIDE 1 COPY OF AS-BLT. DWGS TO OWNER & 1 COPY TO THE PERMIT ISSUING AUTHORITY.
- C. PLUMBING "AS-BUILT" DRAWINGS  
PLUMBING CONTRACTOR SHALL PREPARE "AS-BUILT" SHOP DRAWINGS INDICATING ALL PLUMBING WORK, INCLUDING ALL PLUMBING LINE LOCATIONS AND RISER DIAGRAM - CONTR SHALL PROVIDE 1 COPY OF AS-BUILT DWGS TO OWNER AND 1 COPY TO THE PERMIT ISSUING AUTHORITY.

SHEET: D.1a

REVISION:

DRAWN: NPG

DATE: 01NOV96  
CONT: SRLH

Custom Log Home Standard Details:  
**GENERAL INFORMATION & NOTES**

DUE TO VARIANCE IN LOCAL CODES/ORDINANCES SRLH MAKES NO WARRANTY AS TO PLANS CONFORMANCE. THE CUSTOMER IS RESPONSIBLE FOR APPROVAL BY A LICENSED PROFESSIONAL ENGINEER. ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF SRLH ENGINEERING DEPARTMENT BEFORE PROCEEDING WITH THAT PORTION OF WORK. THESE PLANS ARE THE PROPERTY OF SRLH.

SUWANNEE RIVER  
LOG HOMES, INC.

Manufacturers  
Specializing in Cypress & Cedar Custom Homes  
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