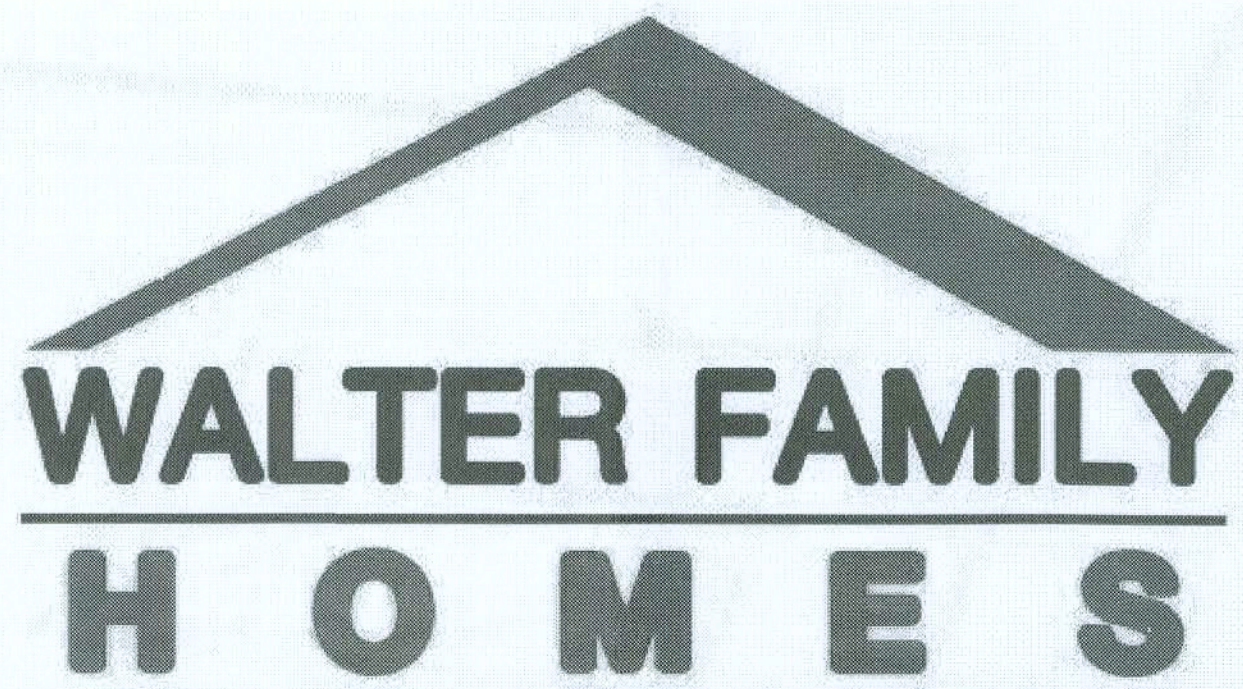
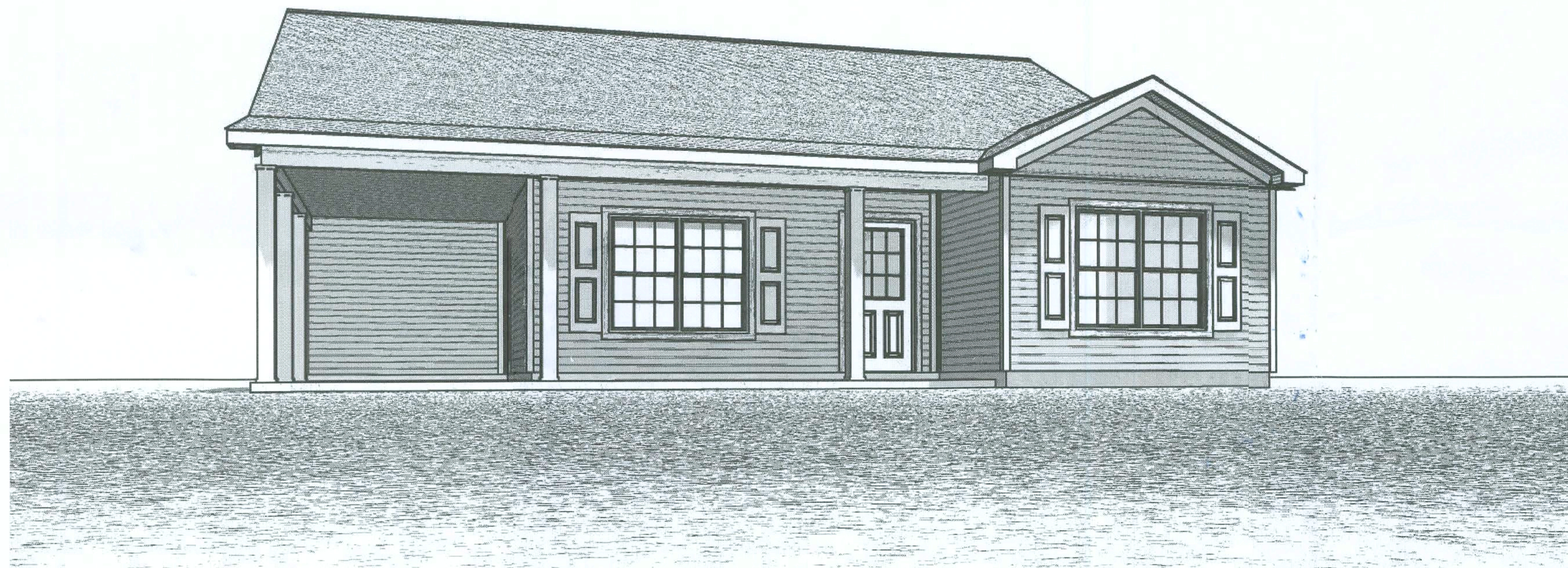


RENDERING FOR ILLUSTRATION PURPOSES ONLY



*Got Land? Let's Build!*

**Walter Family Homes**  
**904 Gordon Avenue**  
**Thomasville, GA 31792**  
**Phone 866-769-9829**  
**FL-CRC1331037 GA-RLCO003732**


OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, THE BUILDER HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF THE BUILDER.


DESIGNED EXCLUSIVELY FOR:  
**KACY GRIFFIN**  
**1211 SW SKYLINE LOOP**  
**FORT WHITE, FL 32038**




CUSTOMER SIGNATURE

CUSTOMER SIGNATURE

DESIGN CRITERIA	DRAWING SCHEDULE				DRAWING DATA			
ALL DRAWINGS, DETAILS, AND SPECIFICATIONS ARE DESIGNED IN ACCORDANCE w/ FLORIDA BUILDING CODE (FBC) 6th EDITION (2017) ACI-318, ACI-ASCE 530. ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE STATE, & LOCAL BUILDING CODES	T1	TITLE PAGE	S2	ROOF PLAN	PLAN NAME: BEACHTON	SQUARE FOOTAGE		
	A1	ELEVATIONS	S3	TYPICAL DETAILS	DATE DRAWN: 7/18/19	FIRST FLOOR:	1579 sq ft	FRONT PORCH: 324 sq ft
	A2	FLOOR PLAN	S4	SECTION DETAILS	DRAWN BY: JLB	SECOND FLOOR:	N/A	REAR PORCH: N/A
	E1	ELECTRICAL PLAN		RESERVED	 ARCHITECTURAL DESIGNER SIGNATURE	OTHER:	N/A	GARAGE: N/A
	P1	PLUMBING PLAN		RESERVED		FINISHED BASEMENT:	N/A	OTHER: N/A
	S1	FOUNDATION PLAN		RESERVED		TOTAL H/C:	1579 sq ft	TOTAL U/R: 1903 sq ft



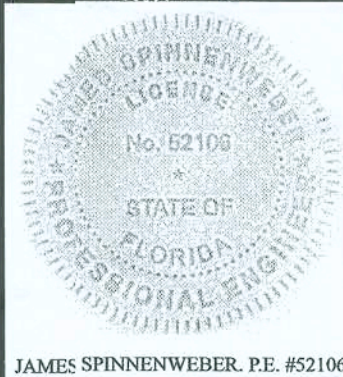
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Designs LLC  
229-224-0410  
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**JANIS**  
Engineering Group  
COA 9604  
PH: 850-576-1281  
FAX: 850-201-6736  
EMAIL: OFFICE@JANISENG.COM

DESIGNED EXCLUSIVELY FOR:  
**GRIFFIN RESIDENCE**

*James*  
7/29/19

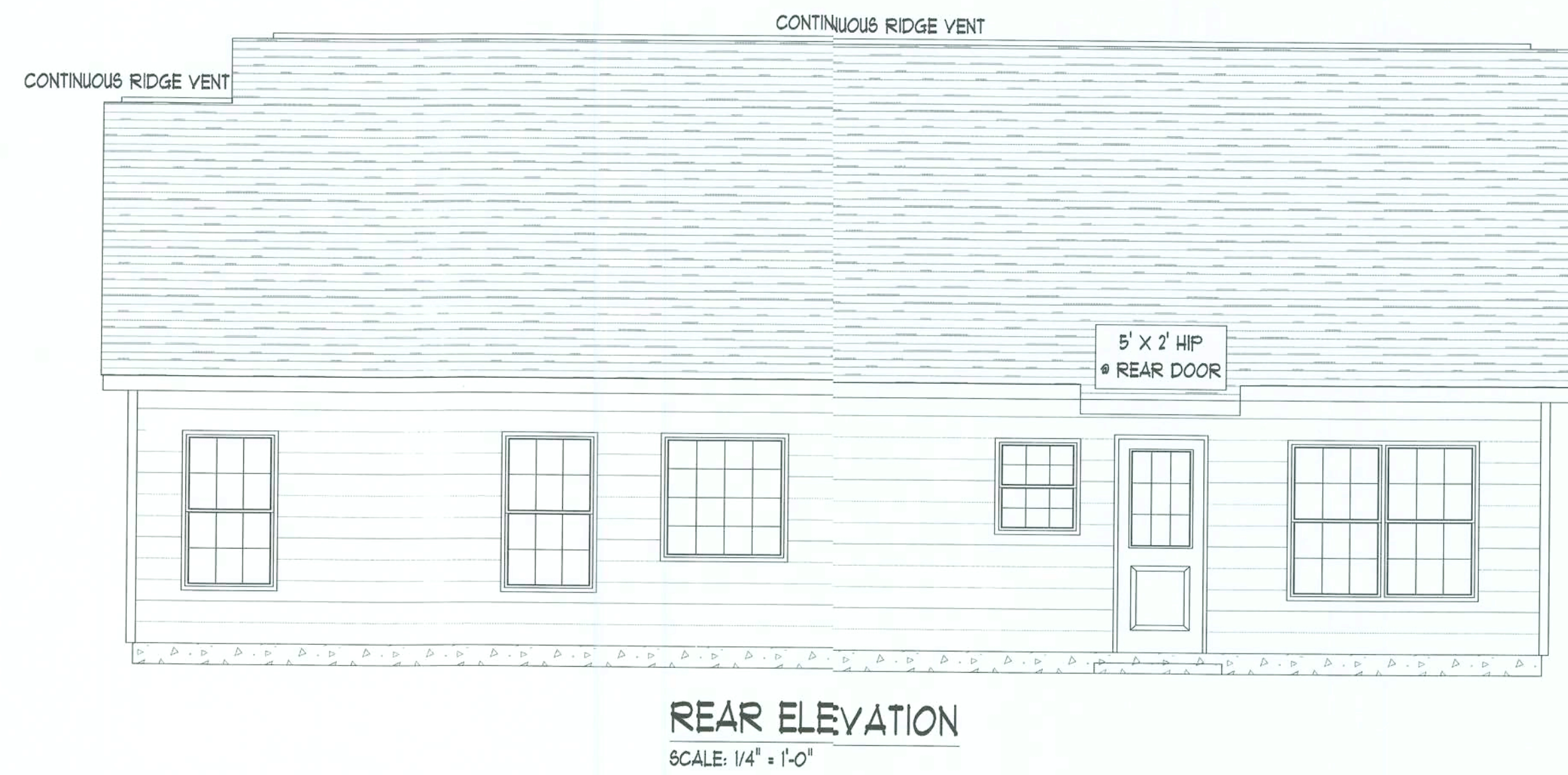
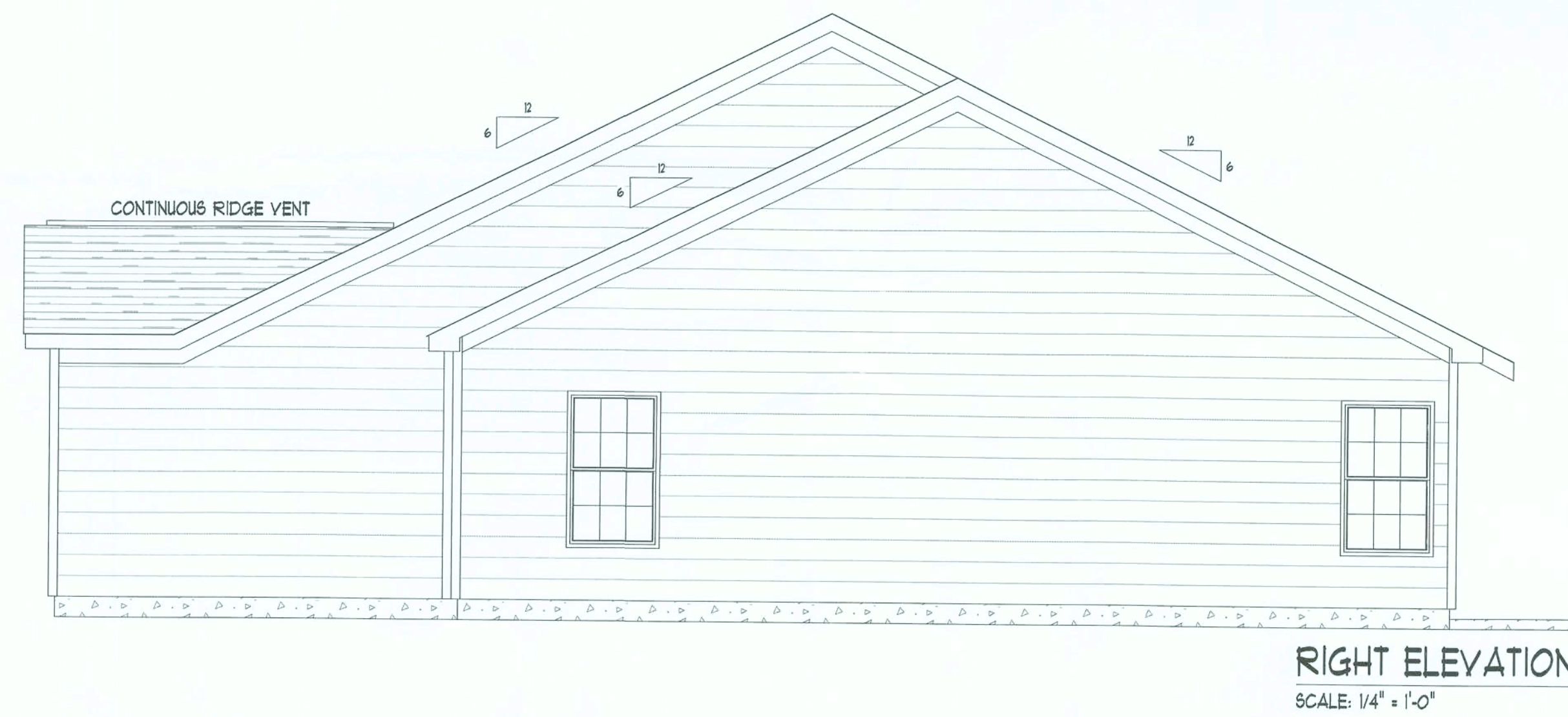
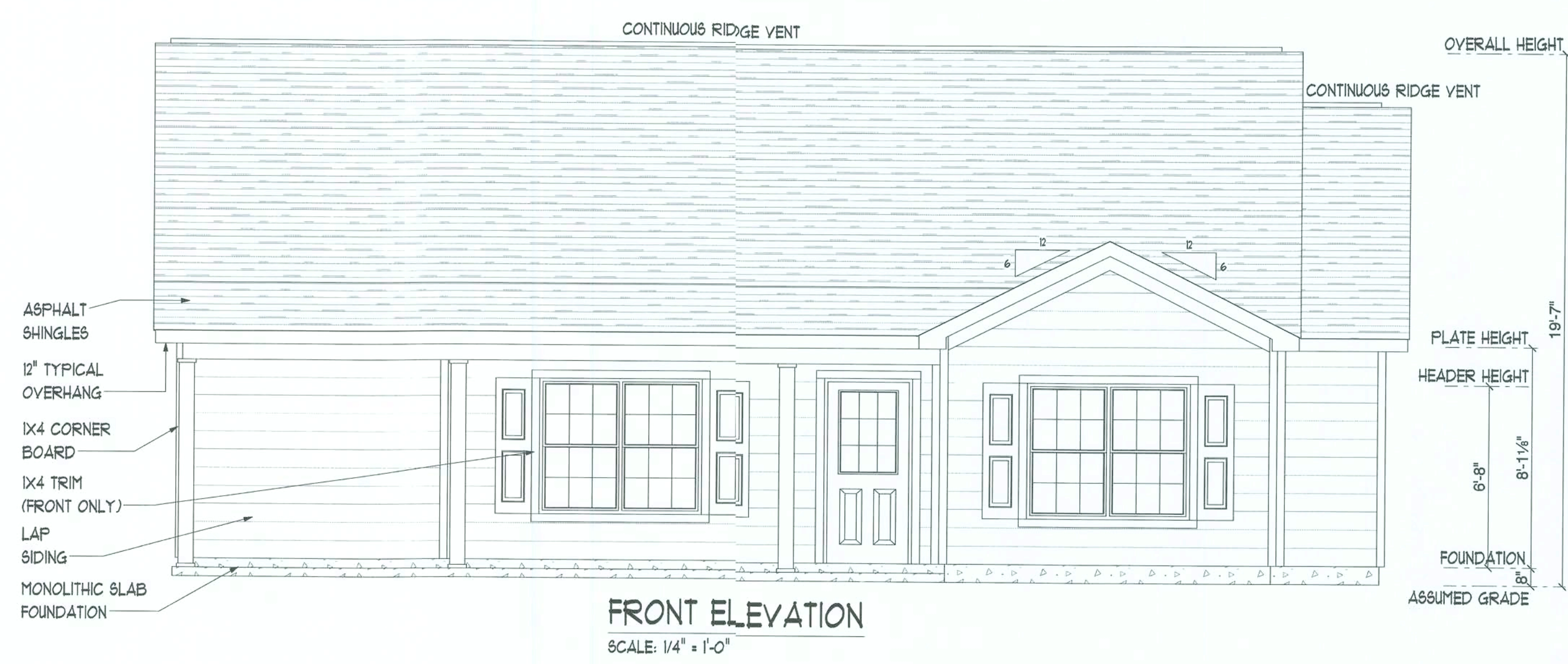


T1

**WALTER FAMILY HOMES**  
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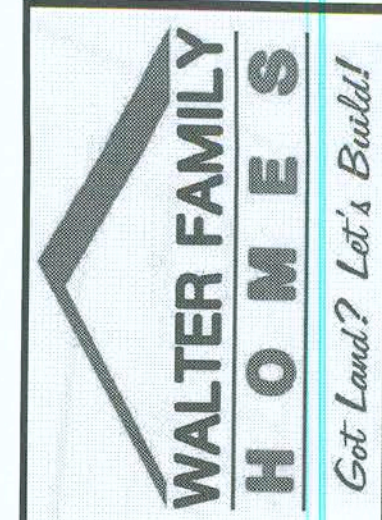
NOTE: WINDOWS AND DOORS SHOWN ARE SYMBOLIC. CONFIRM TYPE WITH BUILDER AND/OR HOMEOWNER.



BUILDER TO COORDINATE THESE PLANS w/ WIND ANALYSIS, AND TRUSS PLANS PRIOR TO CONSTRUCTION.

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ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE STATE, & LOCAL BUILDING CODES



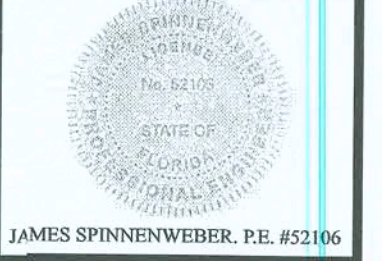
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CUSTOMER SIGNATURE

SQ FOOTAGE	
1ST FLOOR:	1579
2ND FLOOR:	N/A
OTHER:	N/A
TOTAL H/C:	1579
FRONT PORCH	324
REAR PORCH	N/A
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R:	1903



**JANIS**  
Engineering Group  
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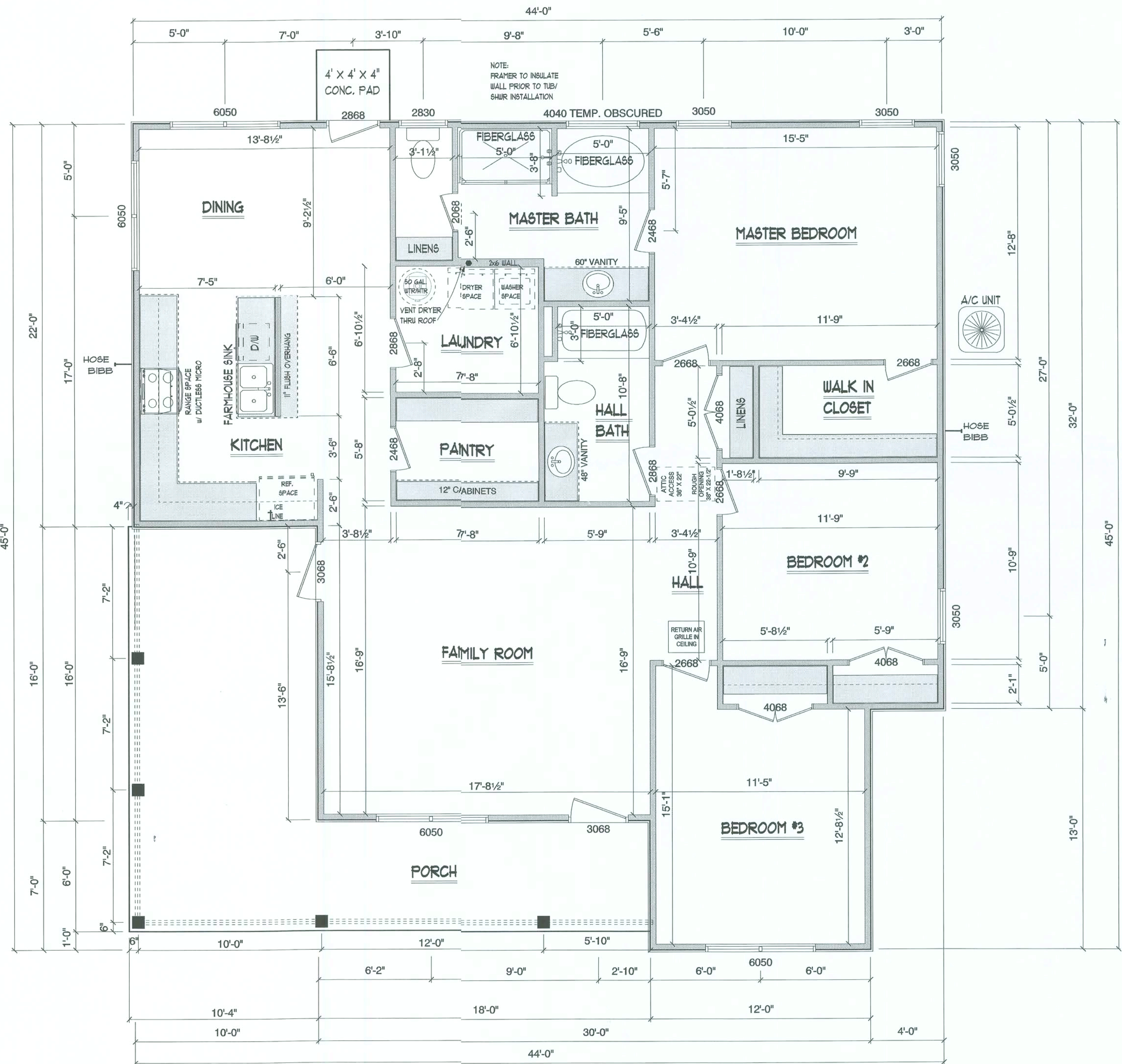
**A1**

*Janis*  
7/15/19



CLOSET LIGHTS SHALL NOT BE CLOSER TO ASSUMED 12" SHELF THAN 12" FOR INCANDESCENT, AND 6" FOR FLOURESCENT

BEDROOM WINDOWS MUST HAVE A CLEAR OPENING (MIN. 20" WIDE, 24" HIGH AND 5.0 SQ/FT OF CLEAR OPENING @ GROUND FLOOR AND 5.7 SQ/FT ABOVE GROUND FLOOR.) WITH MINIMUM SILL HEIGHT NOT MORE THAN 44" ABOVE FLOOR. WINDOWS SIZES ARE NOMINAL SIZES. CONFIRM AND VERIFY SIZE TYPE, ETC. WITH BUILDER AND/OR HOMEOWNER.



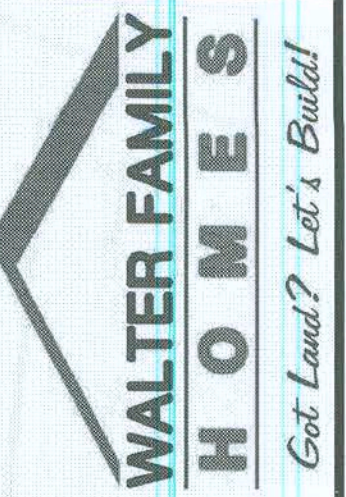
NOTE: 8' CEILINGS THROUGHOUT HOUSE UNLESS OTHERWISE NOTED

FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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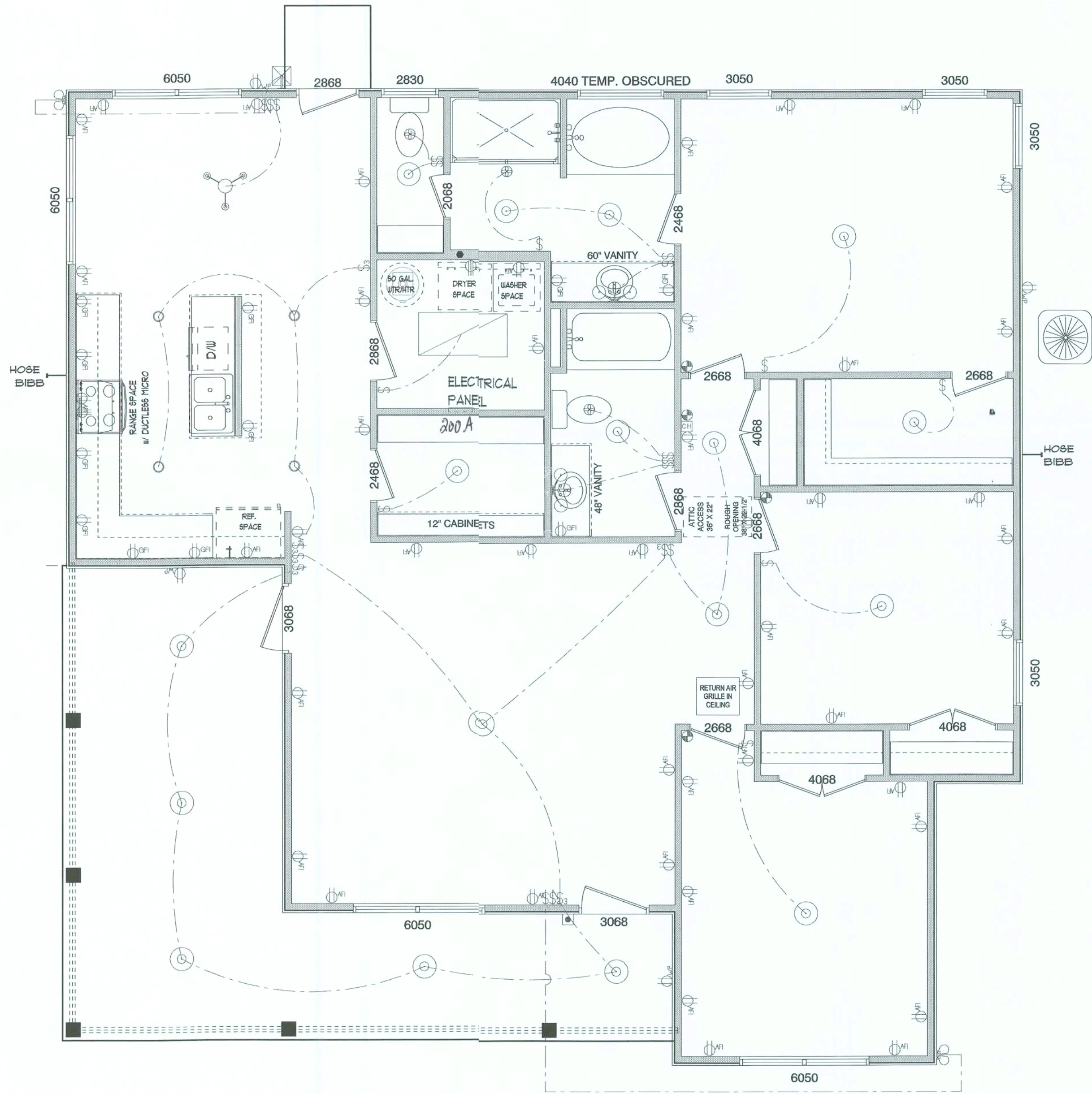
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A2



ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
BACO LUSTER	1	
CAN LIGHT 6INCH	4	
CEILING DISH ROUND	17	
FLUORESCENT LIGHT 2 X 4	1	
EXTERIOR CRAFTMAN LIGHT FIXTURE	1	
SPOTLIGHT DOUBLE	2	
ELECTRICAL PANEL	1	
CHIME	1	
DOORBELL PUSHBUTTON	1	
FAN	3	
OUTLET 220V	2	
OUTLET AF1	46	
OUTLET GF1	11	
OUTLET WP	4	
SMOKE DETECTOR	4	
SWITCH	19	
SWITCH 3 WAY	7	
WALL MOUNTED (1 3 LIGHTS)	2	



ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

GENERAL ELECTRICAL NOTES:

- 200 AMP ELECTRICAL SERVICE LOCATION TO BE DETERMINED.
- ALL WORKMANSHIP, INSTALLATION, AND MATERIALS SHALL COMPLY WITH THE N.E.C. AND LOCAL APPLICABLE CODES.
- BUILDER SHALL VERIFY SERVICE LOCATION AND METER WITH THE LOCAL UTILITY.
- ALL CONDUCTORS SHALL BE COPPER AND/OR ALUMINUM.
- BUILDER SHALL PROVIDE A TYPE WRITTEN DIRECTORY OF CIRCUITS IN THE PANEL.
- MECHANICAL CONTRACTOR SHALL PROVIDE THE ELECTRICAL CONTRACTOR WITH THE MANUFACTURERS RECOMMENDED WIRE SIZE AND BREAKER SIZE FOR THE AC MECHANICAL EQUIPMENT PRIOR TO ANY MECHANICAL OR ELECTRICAL INSTALLATION.
- ALL ELECTRICAL FIXTURES TO BE INSTALLED PER MANUFACTURERS INSTALLATION REQUIREMENTS AND LOCAL APPLICABLE CODE.
- ALL RECEPTACLES TO BE TAMPER RESISTANT.
- CLOSET LIGHTS SHALL NOT BE CLOSER TO ASSUMED 12" SHELF THAN 12" FOR INCANDESCENT, AND 6" FOR FLOURESCENT.
- ALL ELECTRICAL FIXTURES SHOWN ARE SYMBOLIC. CONFIRM WITH BUILDER AND/OR HOMEOWNER FOR TYPE.

BUILDER TO COORDINATE THESE PLANS w/ WIND ANALYSIS, AND TRUSS PLANS PRIOR TO CONSTRUCTION.

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ALL CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE STATE, & LOCAL BUILDING CODES

*James*  
7/25/19



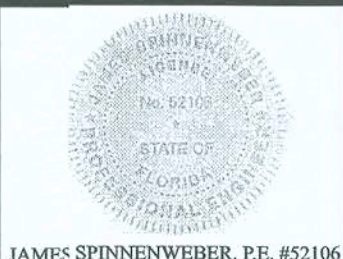
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FRONT PORCH	324
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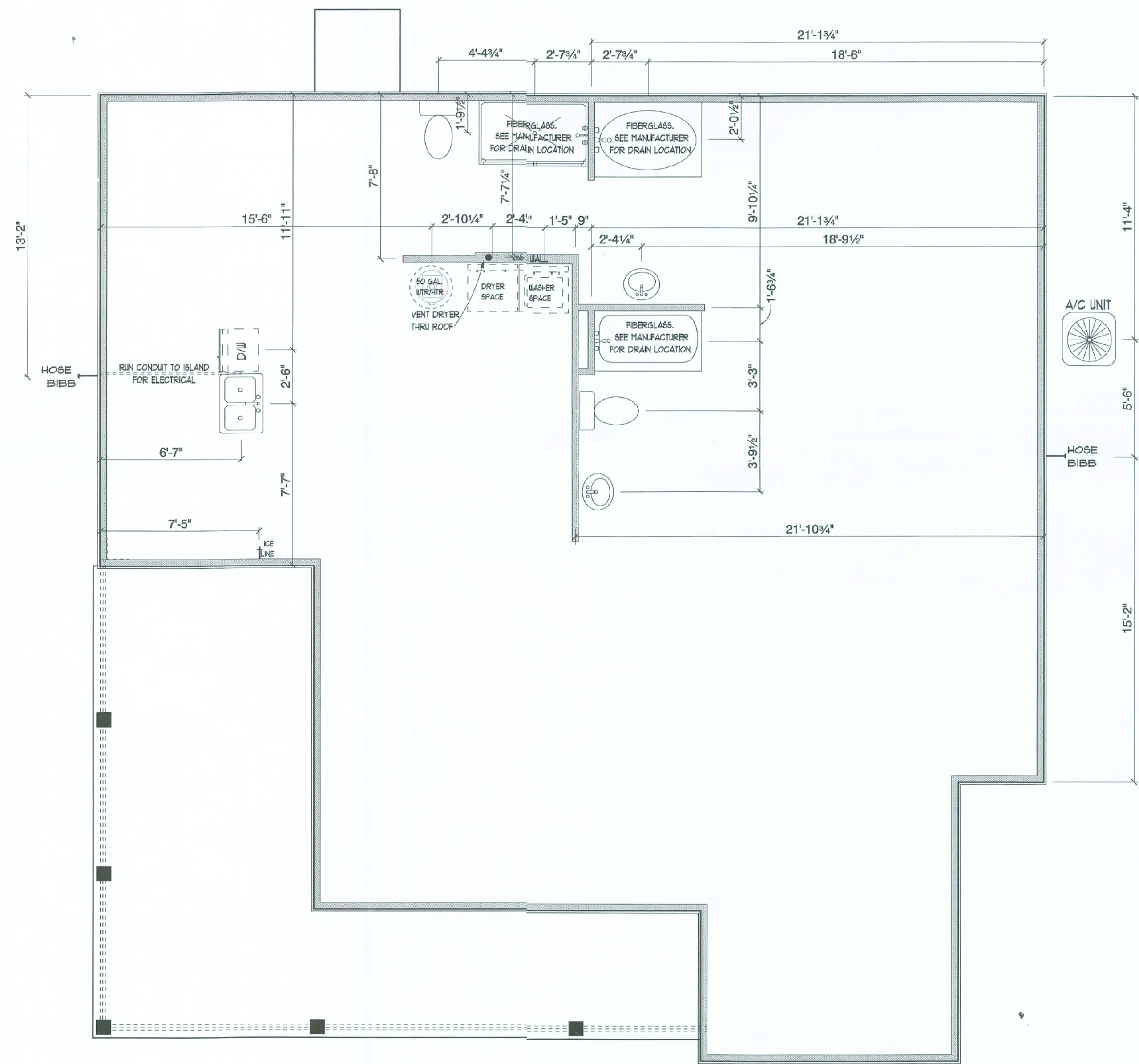
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Engineering Group  
COA 9604  
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FAX: 850-201-6736  
EMAIL: OFFICE@JANISENG.COM



E1



- GENERAL PLUMBING NOTES:
1. ALL WORK MUST BE DONE IN ACCORDANCE WITH FLORIDA BUILDING CODE AND LOCAL REGULATIONS.
  2. PROVIDE P.V.C. REFRIGERANT LINES AS REQUIRED. COORDINATE WITH THE MECHANICAL CONTRACTOR.
  3. PROVIDE 2" MINIMUM CONDENSATION LINES FOR AIR HANDLER UNIT(S). COORDINATE WITH THE MECHANICAL CONTRACTOR.
  4. PROVIDE DRAIN TO WATER HEATER(S).
  5. PROVIDE HOSE BIBS AS SHOWN.
  6. SLOPE ALL DRAIN LINES PER LOCAL CODE.
  7. ALL P.V.C. LINES SHALL BE SCHEDULE - 40 P.V.C.
  8. UTILITY STUBOUT LOCATIONS TO BE DETERMINED.
  9. VERIFY ALL PLUMBING FIXTURE LOCATIONS w/ FLOOR PLAN AND SIRE CONDITIONS PRIOR TO CONSTRUCTION.
  10. ALL PLUMBING FIXTURES SHOWN ARE SYMBOLIC. CONFIRM TYPE w/BUILDER AND/OR HOMEOWNER.



PLUMBING PLAN  
SCALE: 1/4" = 1'-0"

BUILDER TO COORDINATE THESE PLANS  
w/ WIND ANALYSIS, AND TRUSS PLANS  
PRIOR TO CONSTRUCTION.

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CODE (FBC) 6th EDITION (2017) ACI-318, ACI-ASCE 530

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*James*  
7/25/19



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CUSTOMER SIGNATURE  
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P1



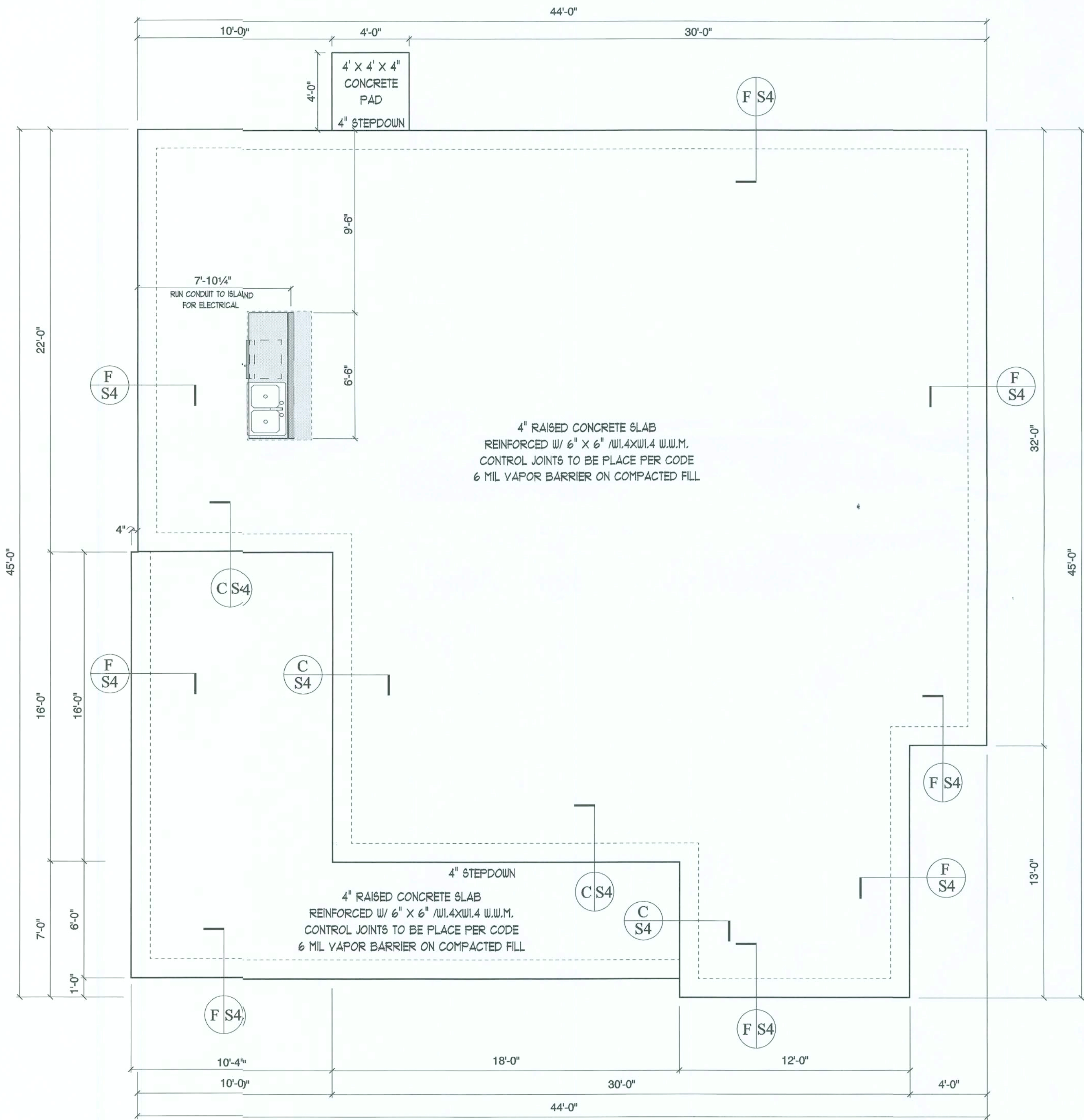
FOUNDATION NOTES:

1. APPLICABLE CODES: FLORIDA BUILDING CODE 6th EDITION (2017). ACI-318,ACI-ASCE 530
2. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY CYLINDER COMPRESSIVE STRENGTH (FC) OF 3000 PSI.
3. REINFORCING BARS: ASTM A-615, GRADE 60
4. WELDED WIRE FABRIC: ASTM A-185.
- WELDED WIRE FABRIC SHALL BE SUPPORTED AND CAST IN PLACE SO THAT THE WIRE REMAINS IN THE MIDDLE ONE-THIRD OF THE SLAB.
5. MASONRY JOINT REINFORCEMENT: ASTM A-82, 9 GAUGE
6. BLOCK: ASTM C-90, TYPE N
7. MORTAR: ASTM C-270, TYPE M
8. GROUT: ASTM C-476, (3000 PSI MIN.)
9. REINFORCING BAR SPLICES SHALL BE LAPPED 26" MINIMUM AND TIED SECURELY. DO NOT WELD. WELDED WIRE FABRIC SHALL BE LAPPED 12" MINIMUM.
10. REINFORCING BARS SHALL RUN CONTINUOUS AROUND CORNERS AND INTERSECTIONS.
11. THE MINIMUM PROTECTIVE CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS:  
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH ---- 3"  
EXPOSED TO EARTH AND WEATHER ----- 2"
12. ALL LOAD BEARING WALLS, COLUMNS, AND PEIRS SHALL BE FOUNDED ON FOOTINGS OR GRADE BEAMS AS DETAILED.
13. PROVIDE ANCHORAGE (ANCHOR BOLTS) IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS AND PROJECT WIND ANALYSIS.
14. VERTICAL BARS- PROVIDE 3-#5 VERT. BARS AT EACH CORNER AND 1 AT 48" C.C. BEND BARS INTO FOOTING AND LINTLE AND TIE TO LINTLE BAR. GROUT CELLS W/BARS SOLID.
15. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.

SITE PREPARATION:

1. FOUNDATION DESIGN BASED ON TYPICAL SOIL CONDITIONS.
2. DESIGN SOIL PRESSURE: 1500 PSF (ASSUMED BEARING CAPACITY)
3. CLEAR/GRUB BUILDING FOOTPRINT AREA PLUS 10 FEET TO REMOVE ALL SURFACE VEGETATION, ROOTS ORGANICS AND ANY OTHER UNSUITABLE MATERIALS.
4. CUT SITE TO GRADE AND ROLL-COMPACT EXISTING SOILS TO A FIRM CONDITION.
5. ALL FILL SHALL CONSIST OF CLEAN FILL SAND COMPACTED IN LAYERS NOT EXCEEDING 12" THICK, LOOSE MEASURE, TO A MINIMUM OF 95% OF MAXIMUM DENSITY, MODIFIED PROCTOR. PROVIDE A MINIMUM 12" THICK LAYER OF CLEAN COMPACTED FILL SAND DIRECTLY BENEATH ALL SLAB AREAS.
6. DO NOT PERMIT WATER TO STAND OR POND ON OR NEAR FOUNDATION AREA DURING OR AFTER CONSTRUCTION. SITE GRADING SHALL BE SUCH TO PROVIDE POSITIVE DRAINAGE OF SURFACE WATER RUNOFF AROUND AND AWAY FROM SLAB AREAS.

NOTE: SEE TYPICAL WALL SECTION DETAIL PG S4



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

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CODE (FBC) 6th EDITION (2017) ACI-318,ACI-ASCE 530

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Soil treatment is to be  
used for subterranean  
termite prevention.

*James Spinnenweber*  
1/23/19



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CUSTOMER SIGNATURE

CUSTOMER SIGNATURE

SQ FOOTAGE

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OTHER:	N/A
TOTAL H/C:	1579
FRONT PORCH	324
REAR PORCH	N/A
GARAGE:	N/A
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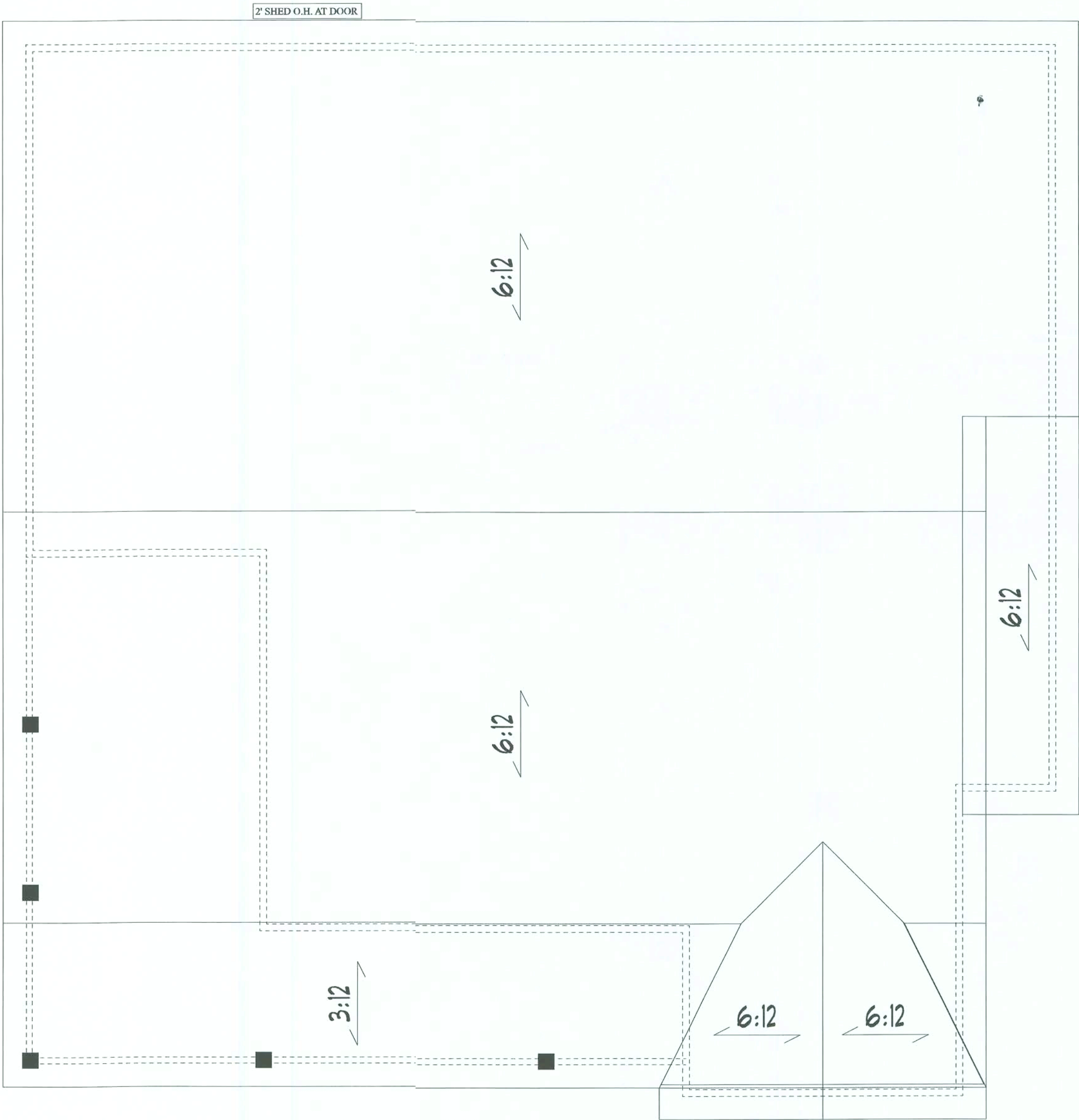
JAMES SPINNENWEBER, PE #52106

S1



- ATTIC VENTILATION NOTES
1. THE NET FREE VENTILATION AREA FOR THE ATTIC SPACE SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE TO BE VENTILATED W/ 50% OF THE REQUIRED VENTILATION AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED, AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS.
  2. EXTERIOR OPENING INTO THE ATTIC SPACE SHALL BE COVERED W/ CORROSIVE RESISTANT WIRE CLOTH OR SIMILAR MATERIAL. THE OPENINGS IN THE SCREENING SHALL BE A MINIMUM OF 1/8" AND SHALL NOT EXCEED 1/4".
  3. ATTIC SPACE AREA = 1903 SQ FT  
NET VENTILATION AREA REQUIRED = 12.69 SQ FT

- GENERAL ROOF NOTES
1. 12" TYPICAL OVERHANG UNLESS OTHERWISE NOTED.
  2. ROOF PITCH AS NOTED.
  3. SEE ELEVATIONS FOR DORMER LOCATION(S) IF APPLICABLE.
  4. ADJUST HEEL HEIGHTS TO ALIGN FASCIA WHEN DIFFERENT ROOF PITCH INTERSECTS.
  5. ROOF TRUSSES TO PRE-FABRICATED, PRE-ENGINEERED. DRAWINGS TO BE SEALED BY A PROFESSIONAL ENGINEER.
  6. SEE WIND ANALYSIS BY JANIS ENGINEERING GROUP, INC. FOR HOLD DOWN CONNECTIONS, SHEATHING SIZES AND NAILING REQUIREMENTS.



ROOF PLAN  
SCALE: 1/4" = 1'-0"

BUILDER TO COORDINATE THESE PLANS  
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*James Spinnenweber*  
7/25/19



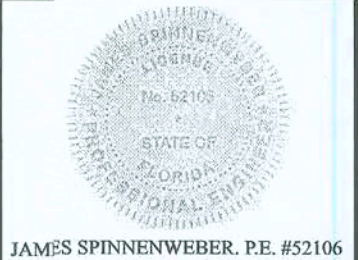
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S2



NOT TO SCALE



## ROOF PITCH PER ELEVATIONS—————



## ROOF PITCH PER ELEVATIONS ———



NOT TO SCALE



## MATH



ALL CONSTRUCTION SHALL MEET OR EXCEED ALL  
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Diagram illustrating the connection of a 6x6 Treated Post to a Porch Beam using Simpson ABU66 Post Base and Simpson M27 Flat Strap. The assembly is shown in cross-section, with the post base secured to the beam using the flat strap and wrapped with fiber cement. The post is centered on the beam, and the connection is detailed with labels for the various components and materials used.

- PORCH BEAM
- SIMPSON M27 FLAT STRAP FRONT & BACK
- WRAP TOP W/1X6 FIBER CEMENT
- 6X6 TREATED POST
- WRAPPED W/ 1X6 FIBER CEMENT CENTER POST ON BEAM
- SIMPSON ABU66 POST BASE
- WRAP BASE W/1X6 FIBER CEMENT
- PORCH SLAB
- 6" CENTER OF POST TO BE SET 6" FROM EDGE OF SLAB

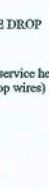


**\*ALL TREADS AND RISER DIMENSIONS TO BE FIELD VERIFIED\*\***



## DEBILITATIONS

NOT TO SCALE



Amuel  
7/25/19

CUSTOMER SIGNATURE \_\_\_\_\_

GRIFFIN RESIDENCE

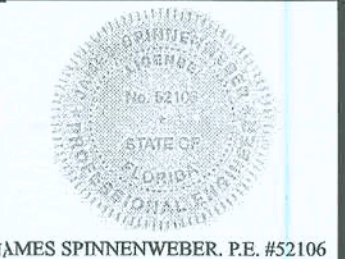
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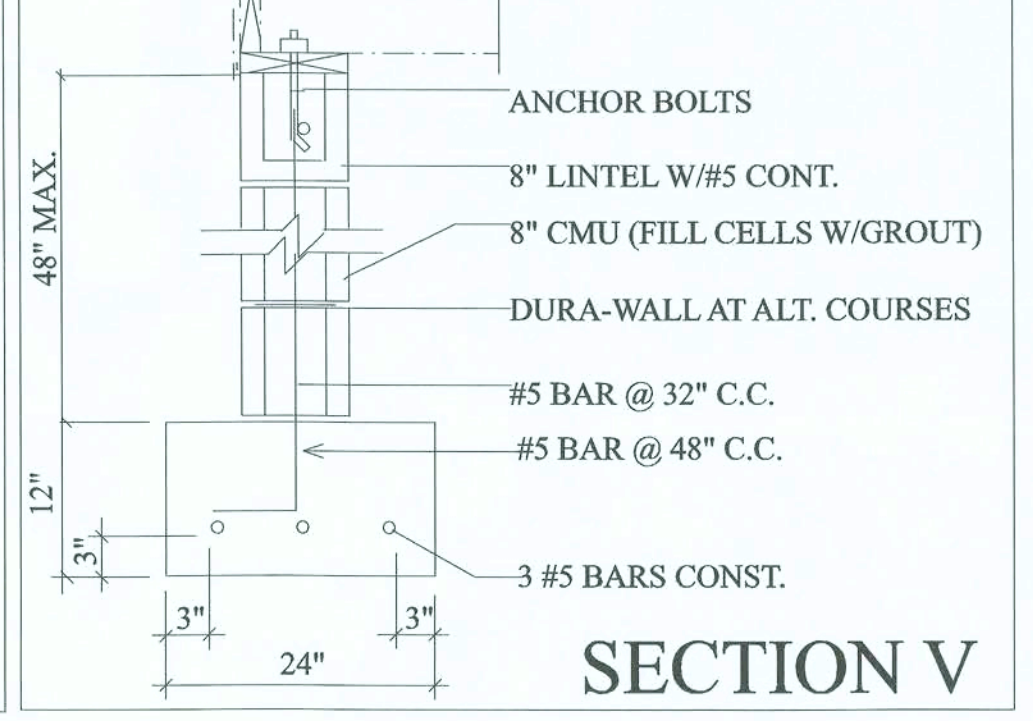
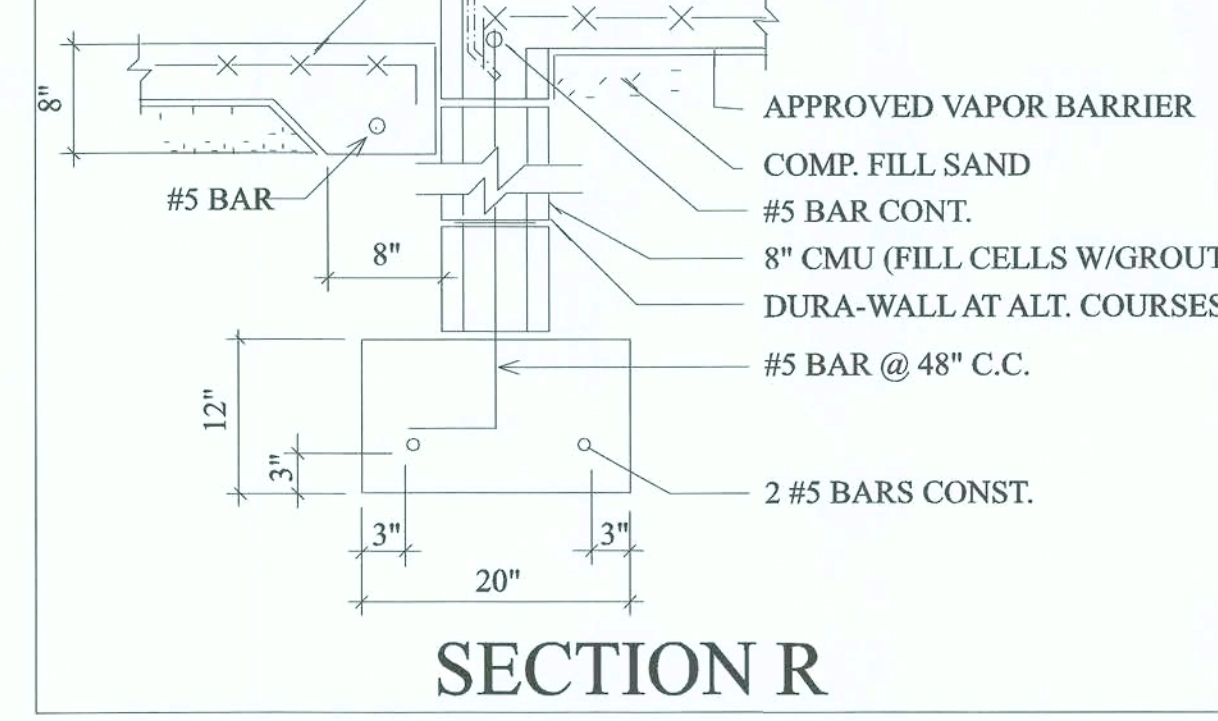
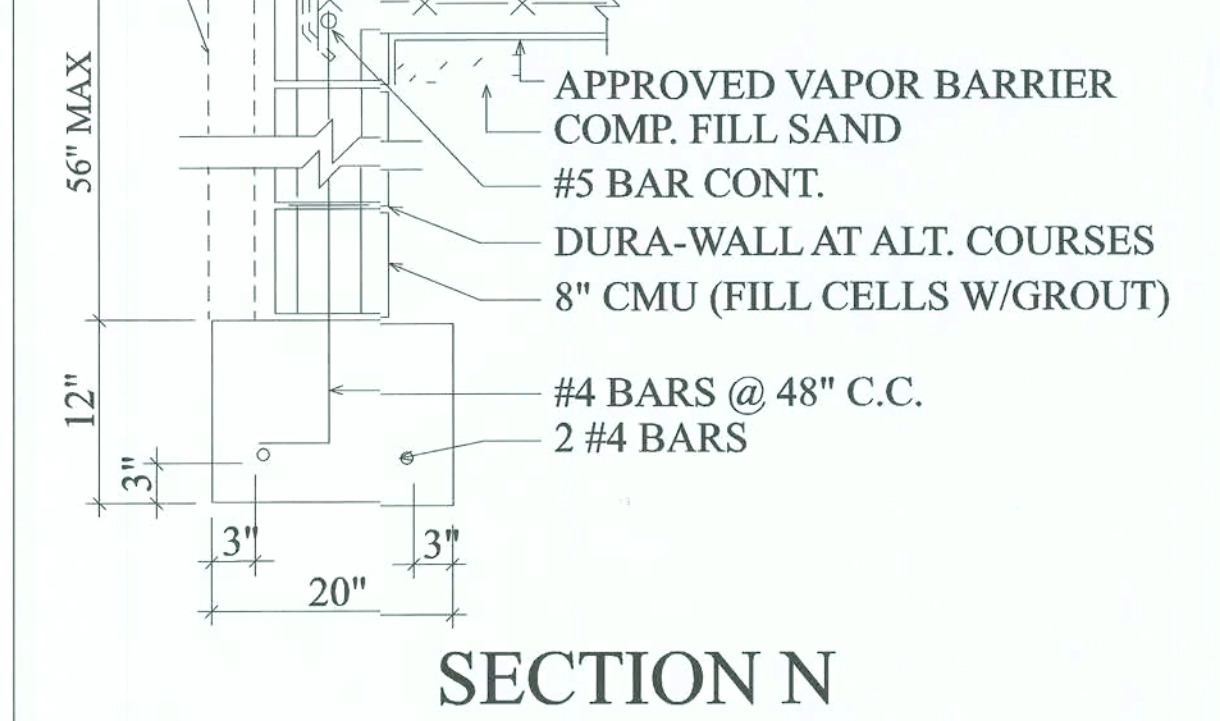
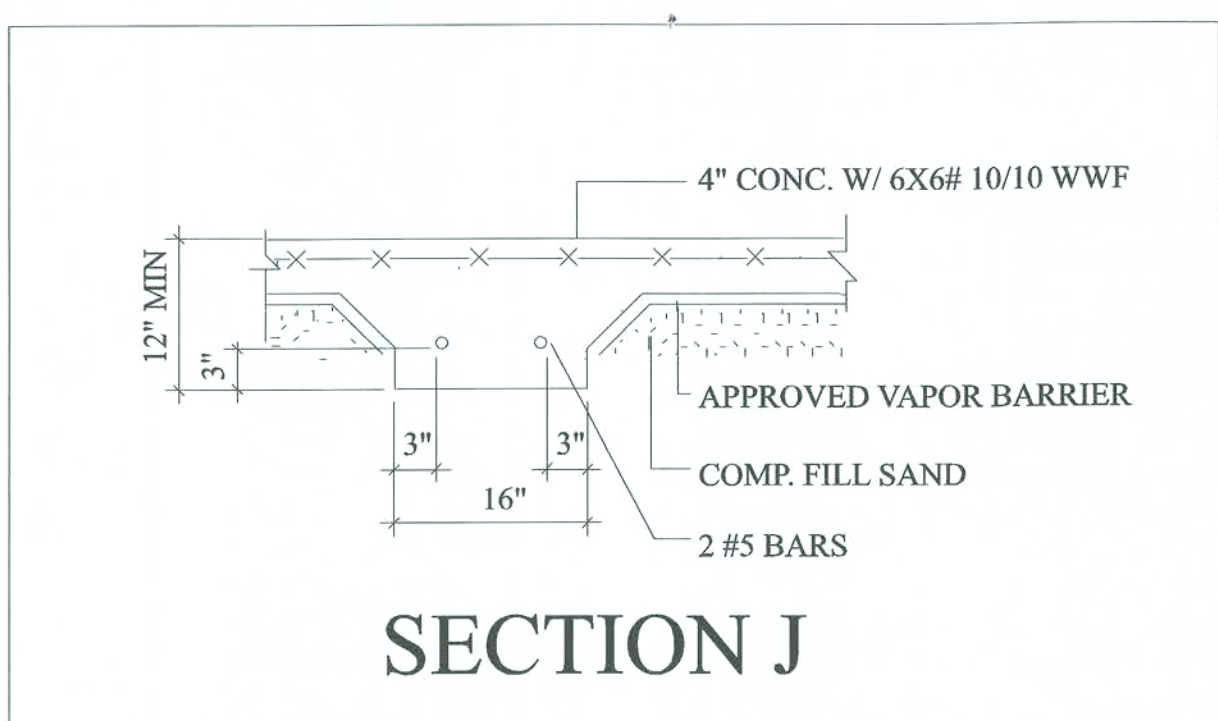
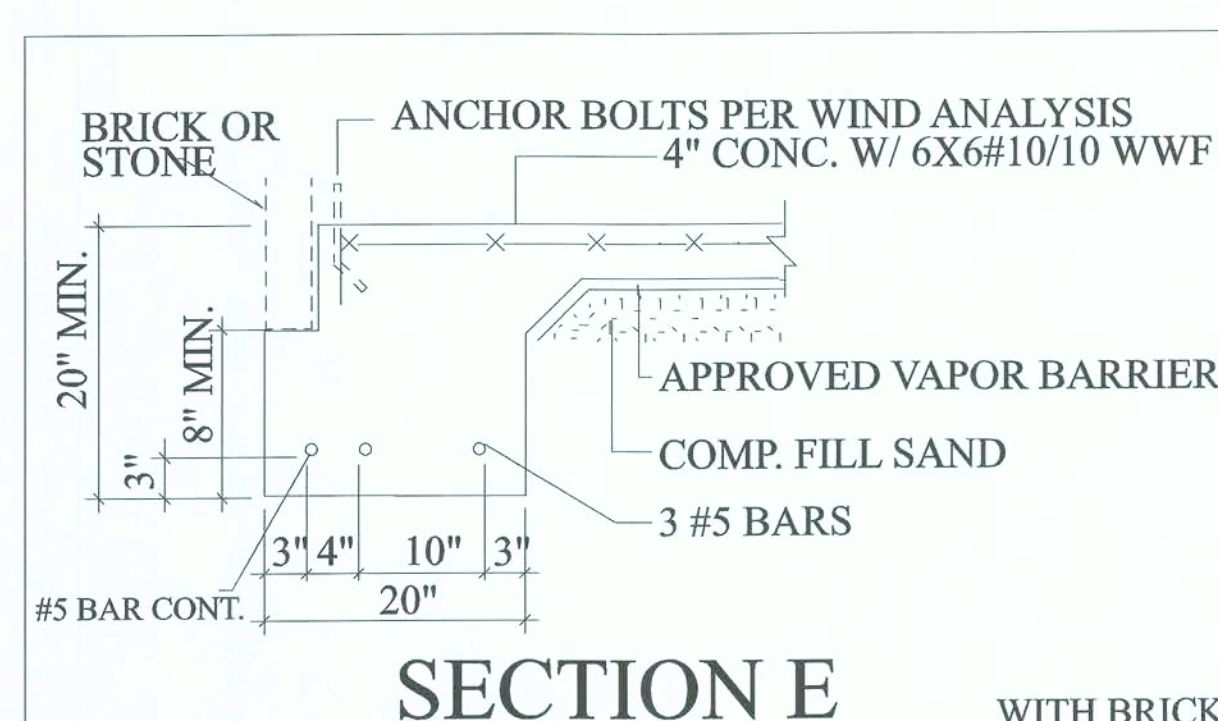
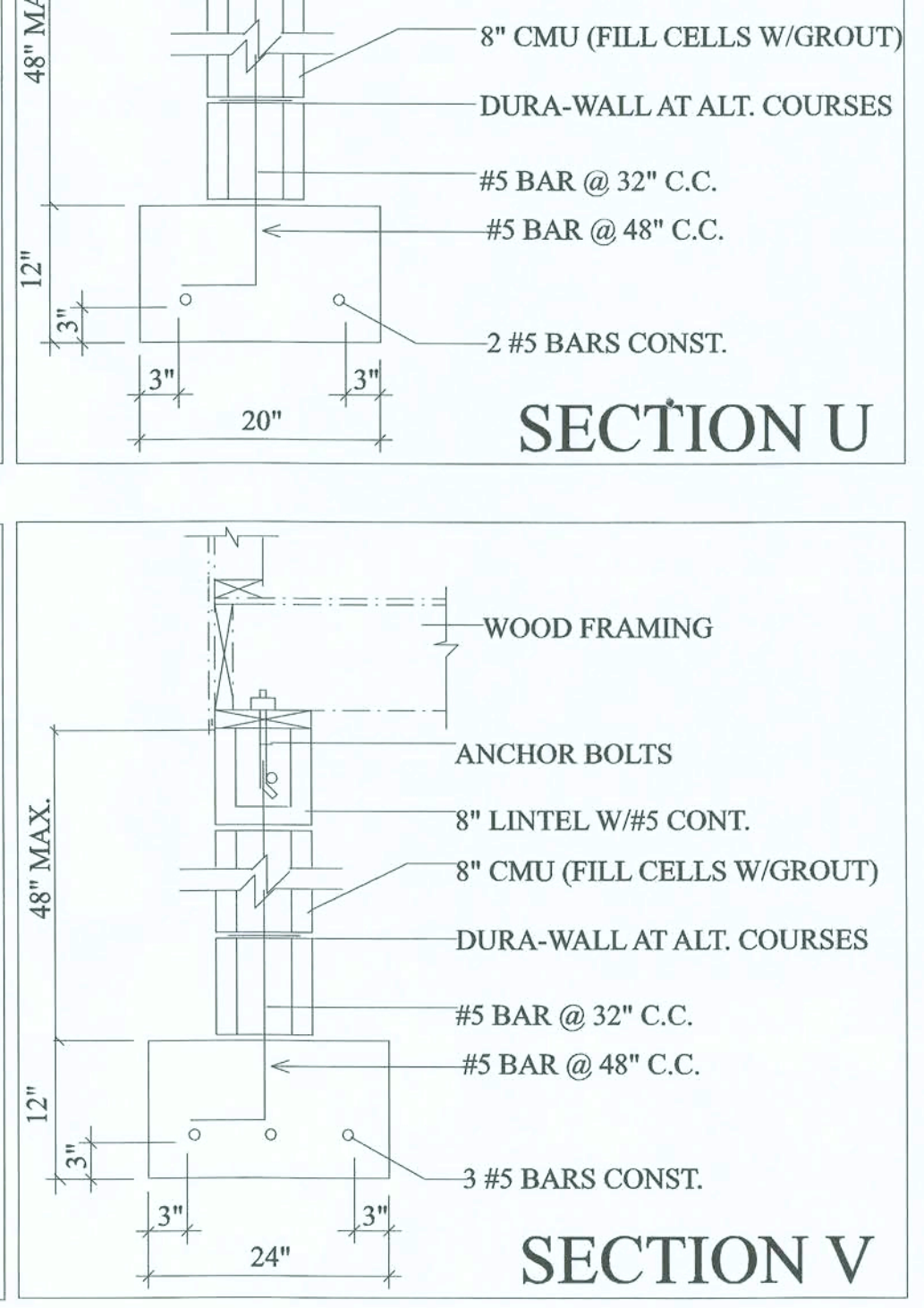
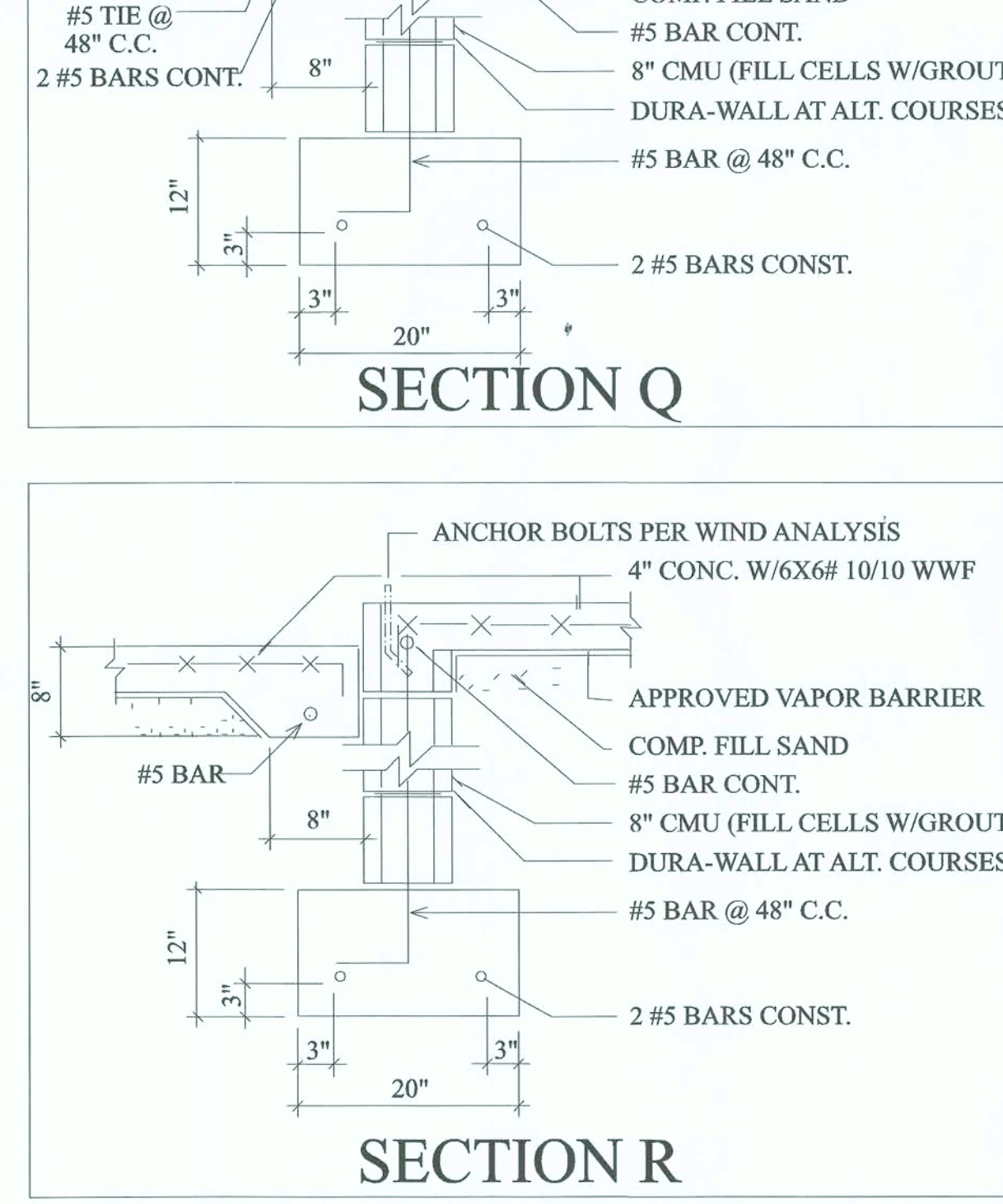
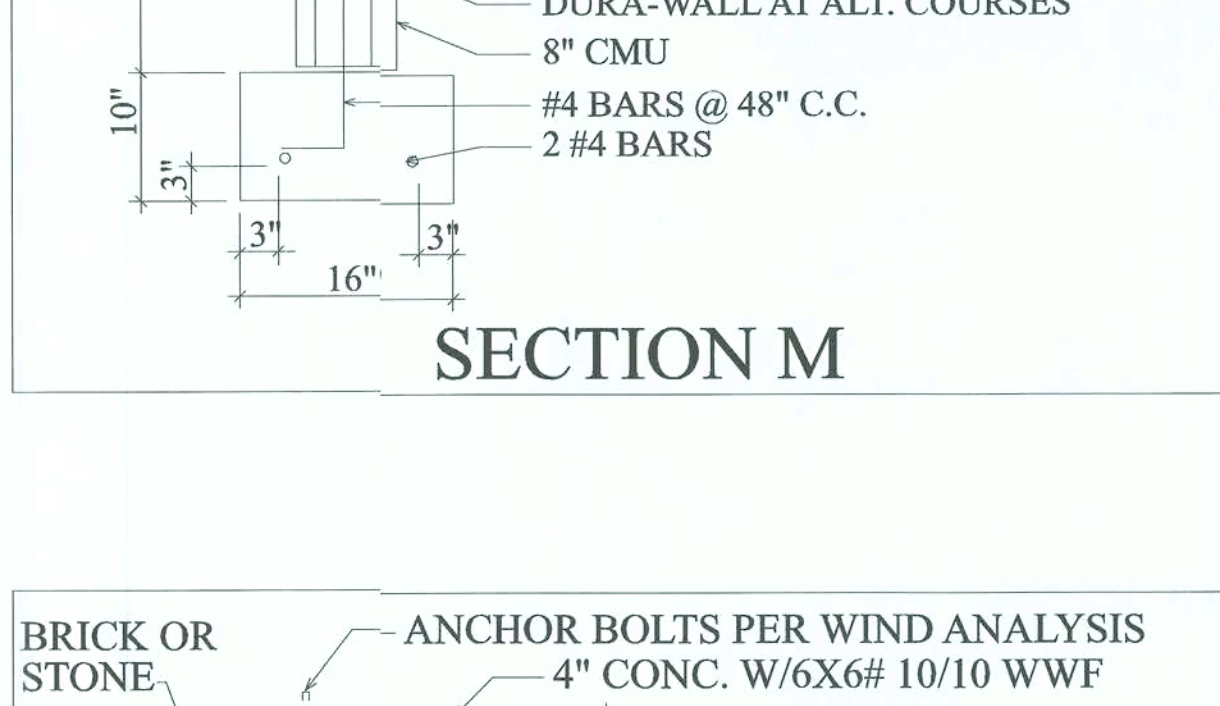
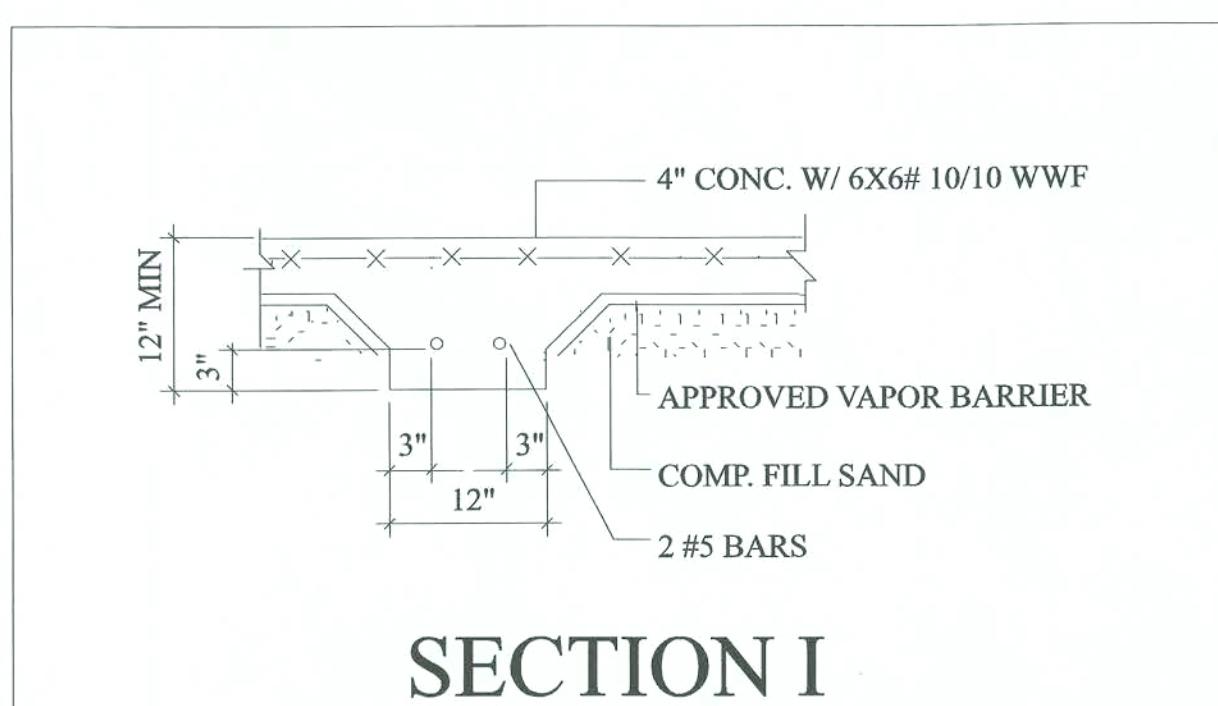
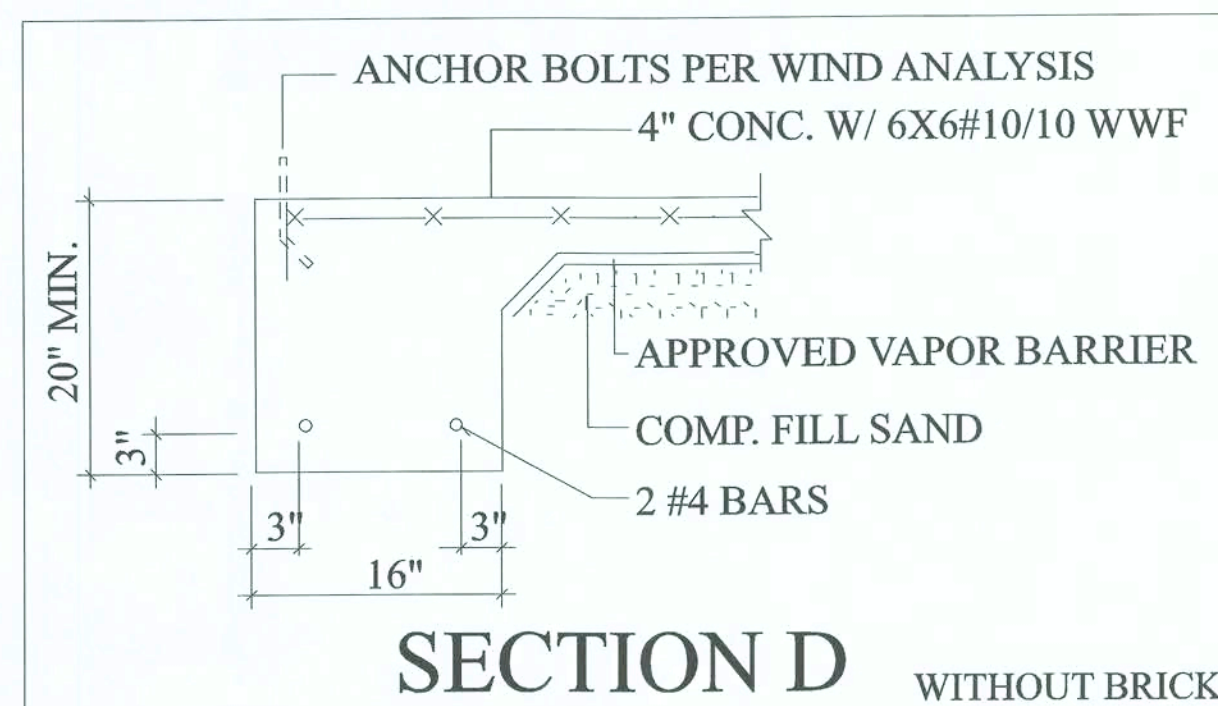
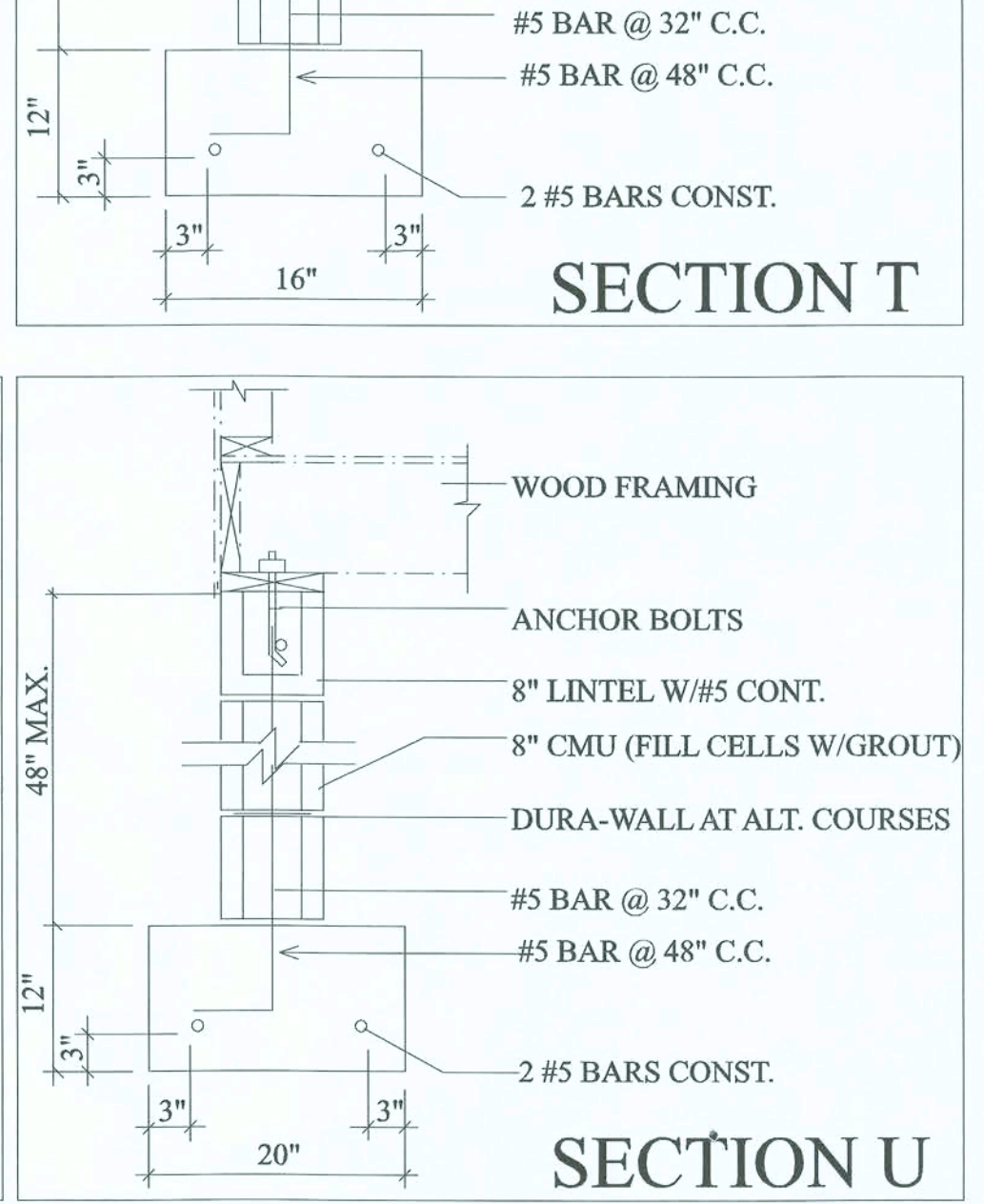
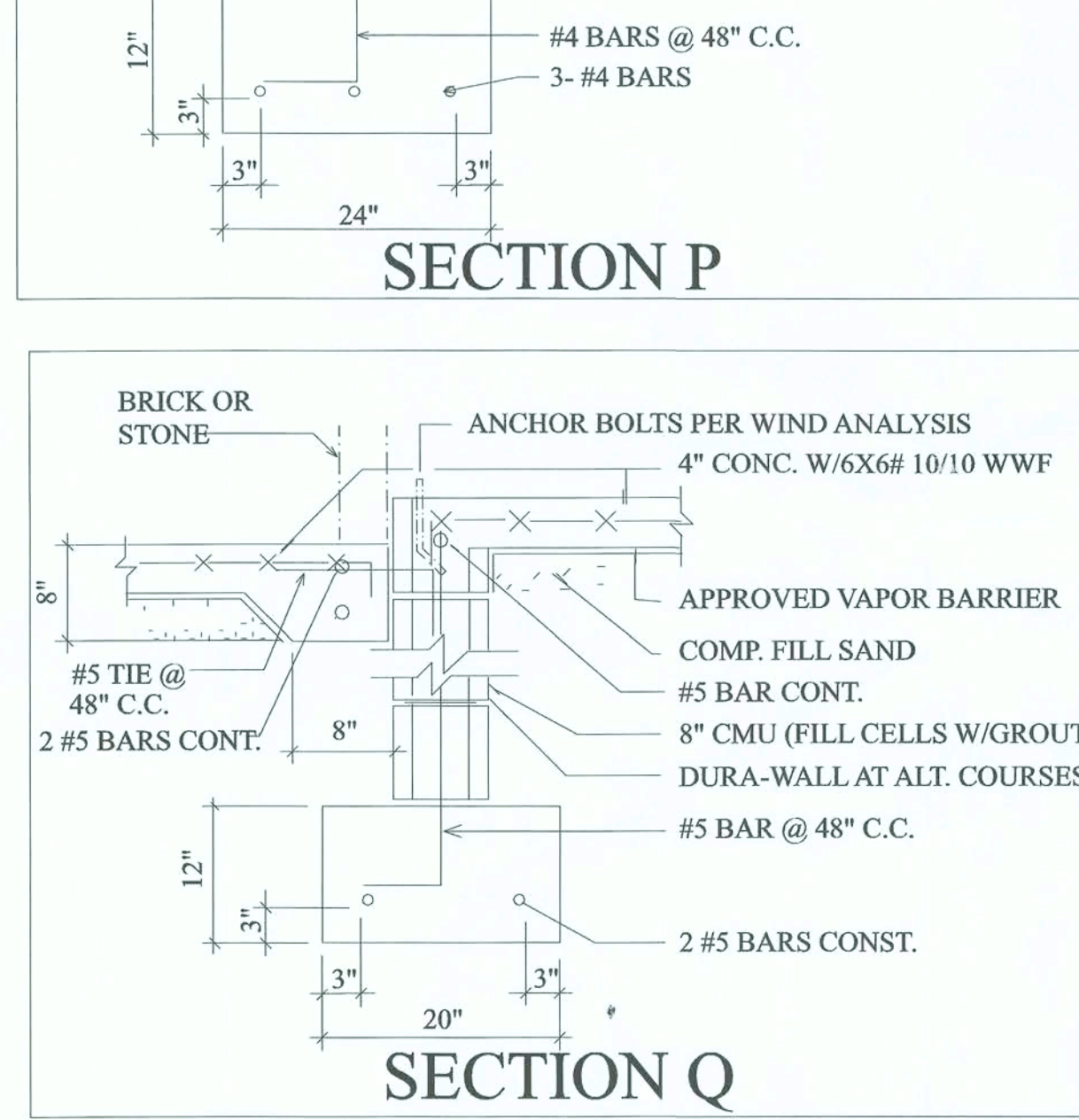
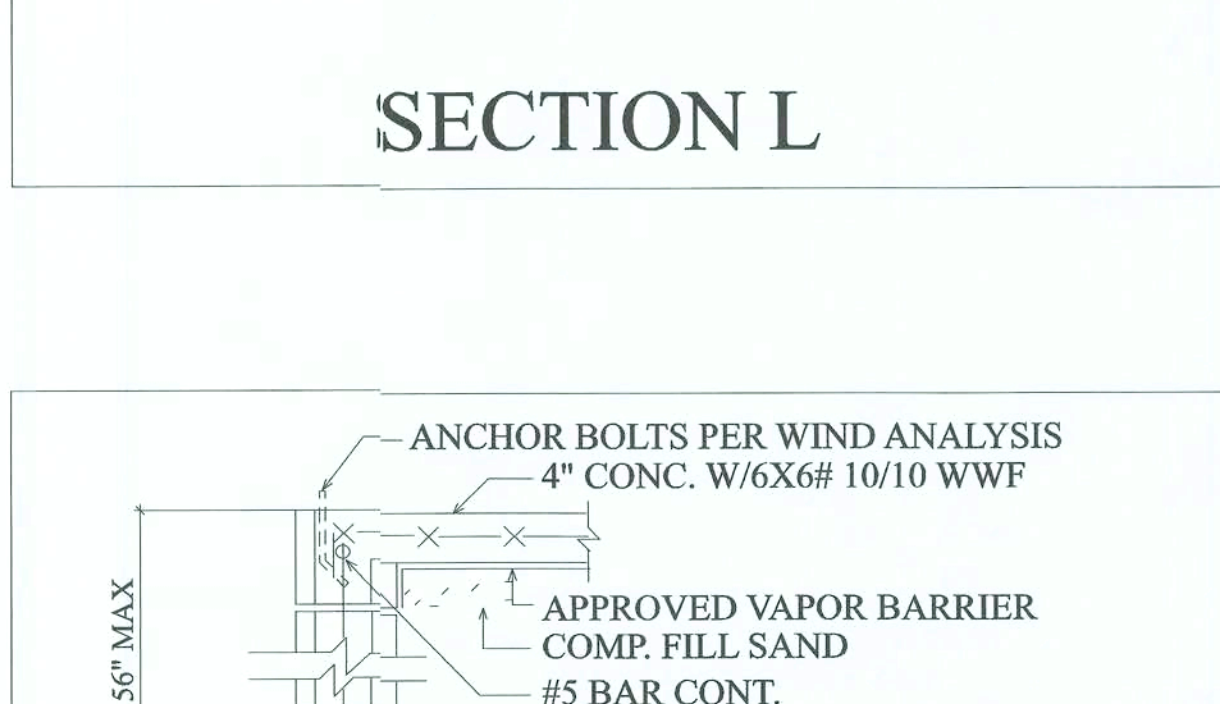
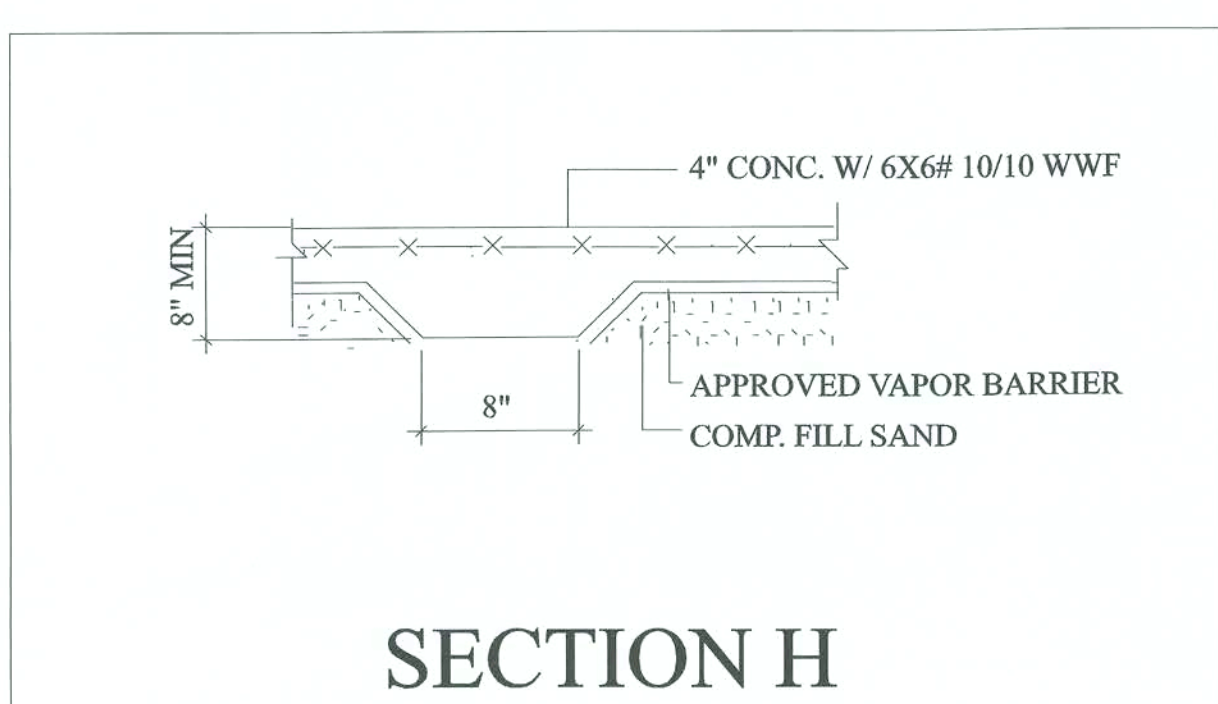
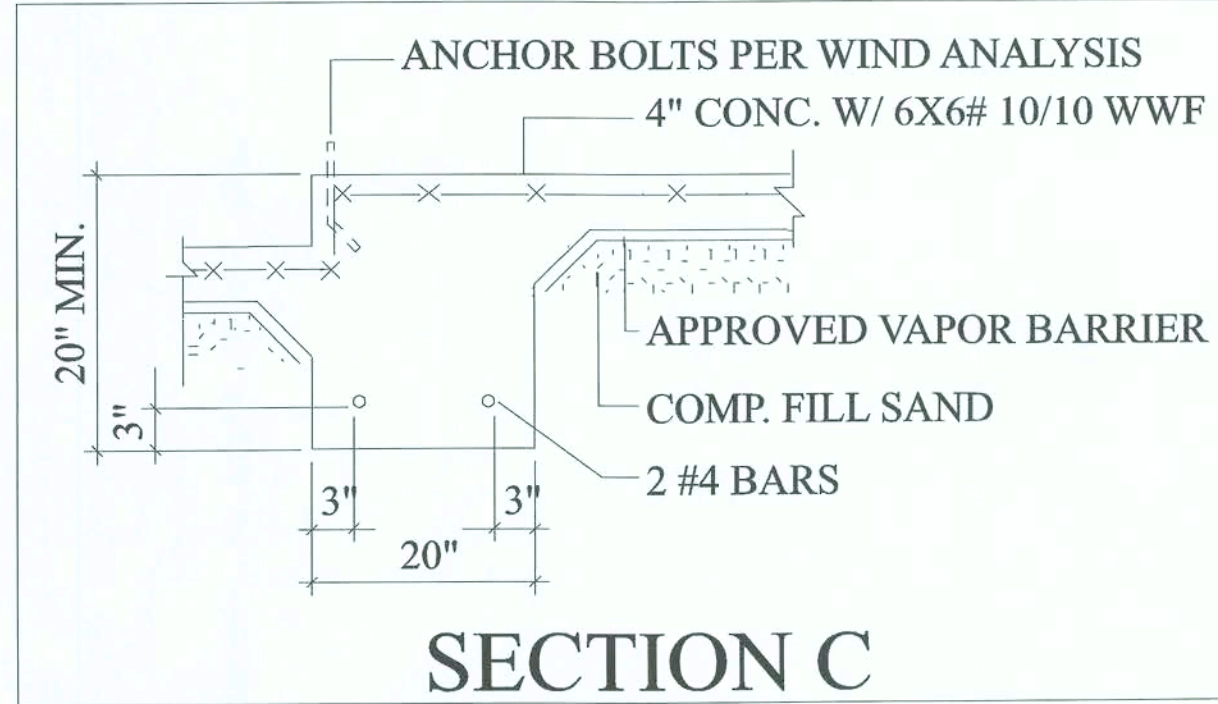
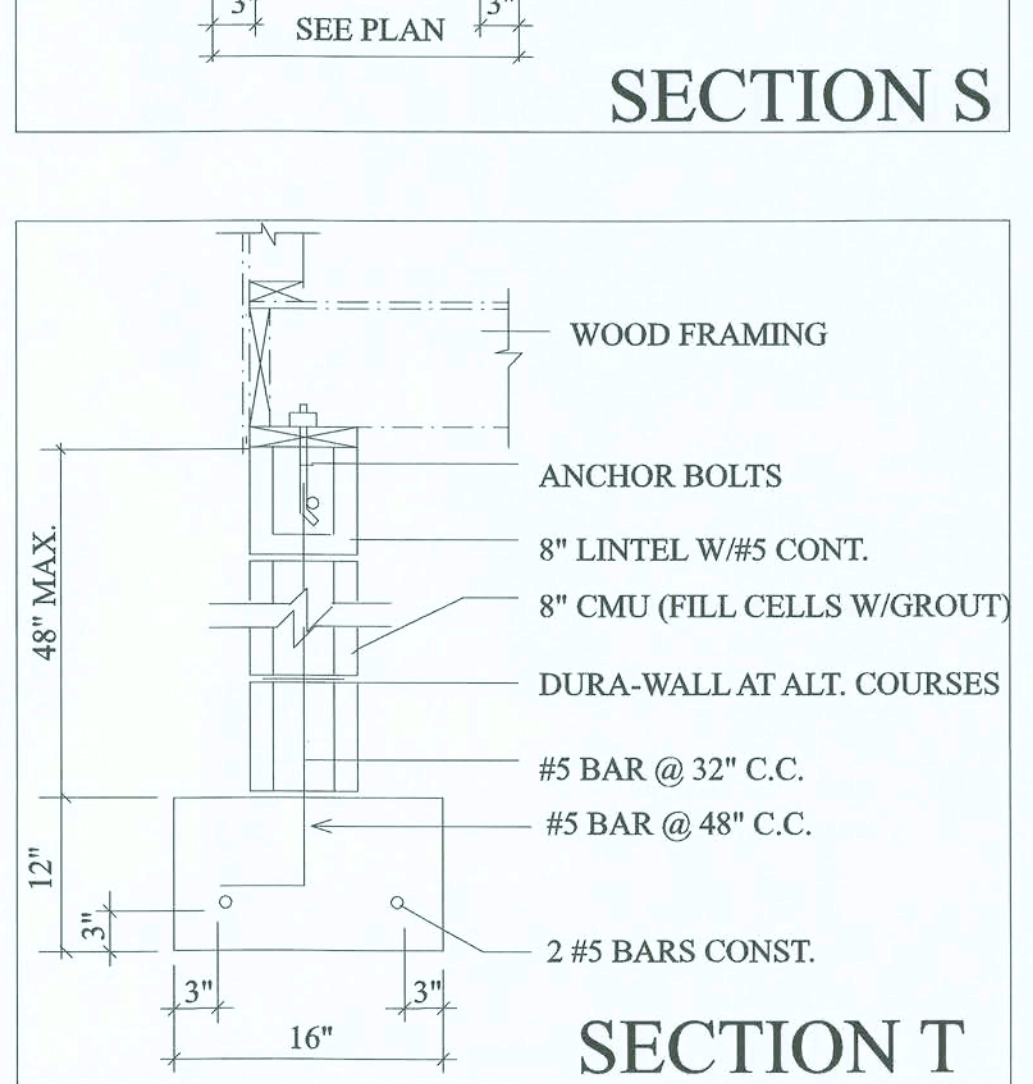
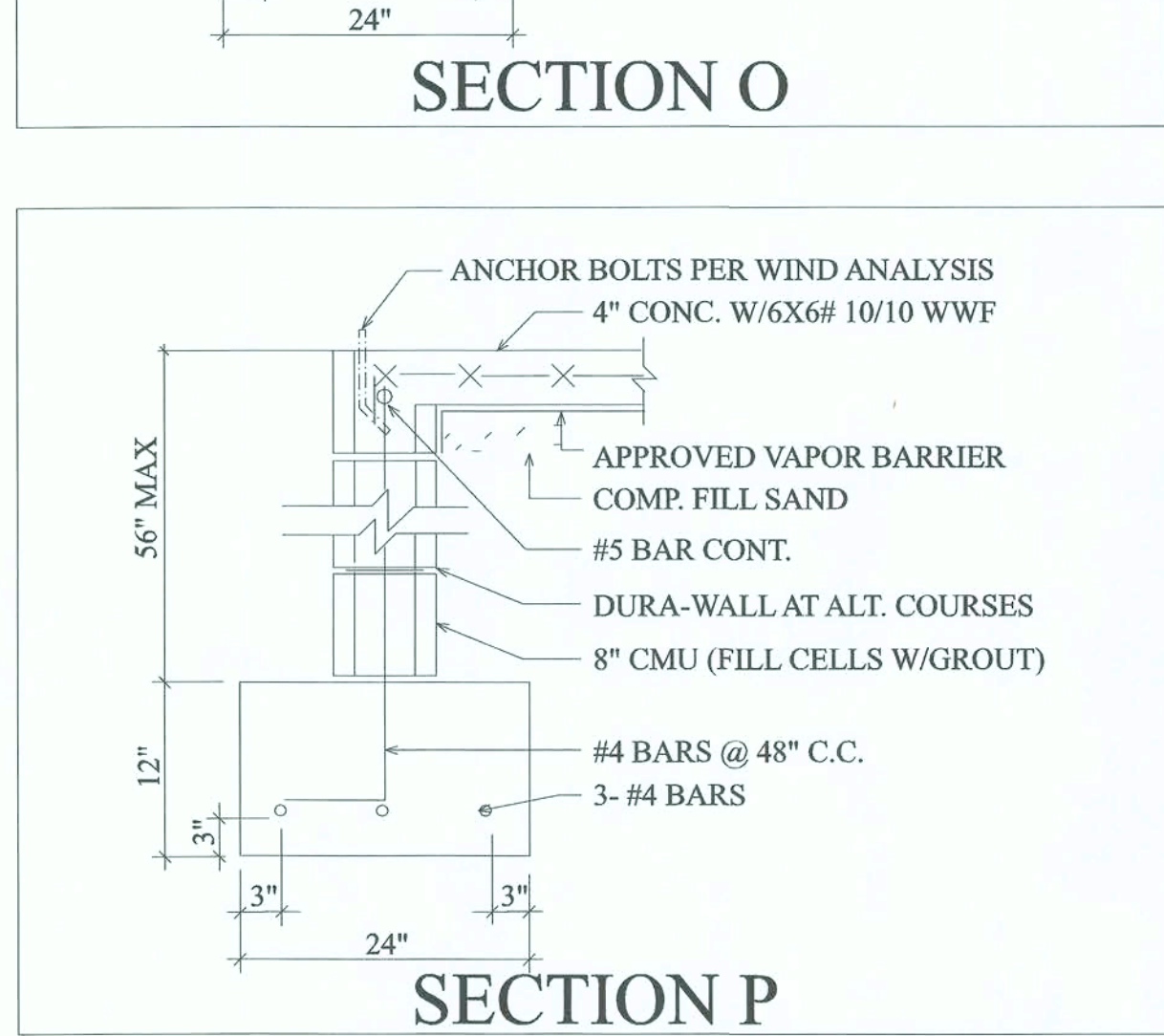
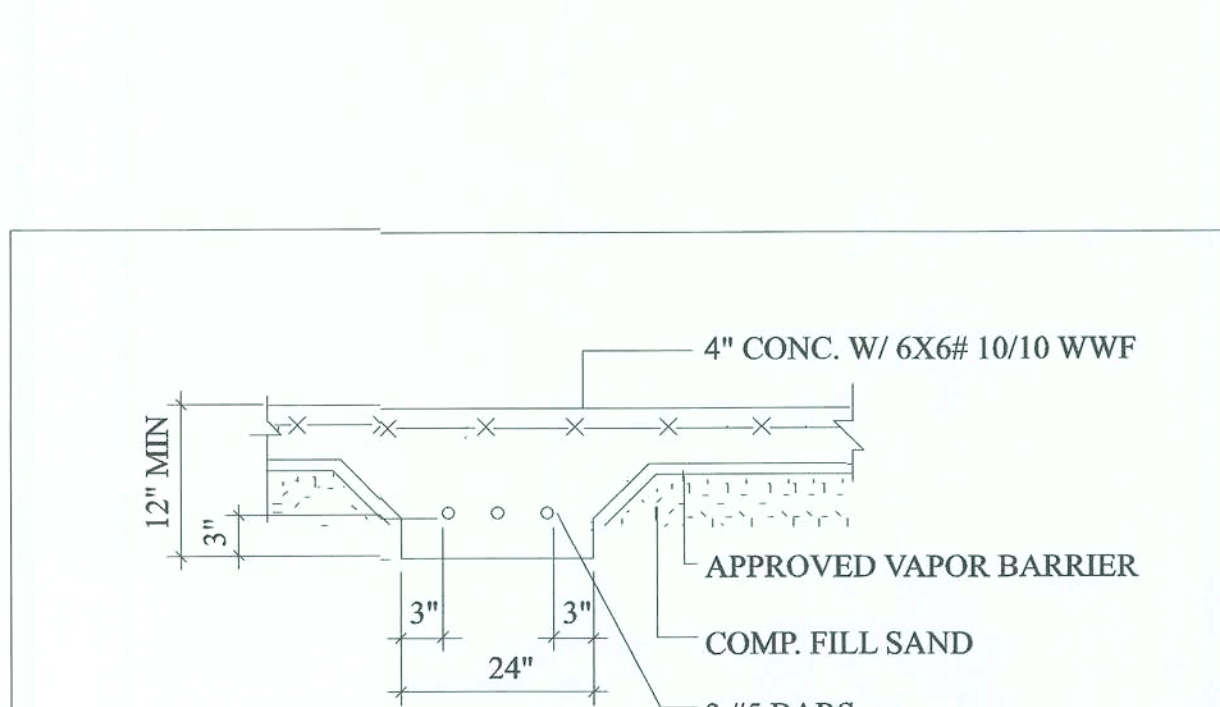
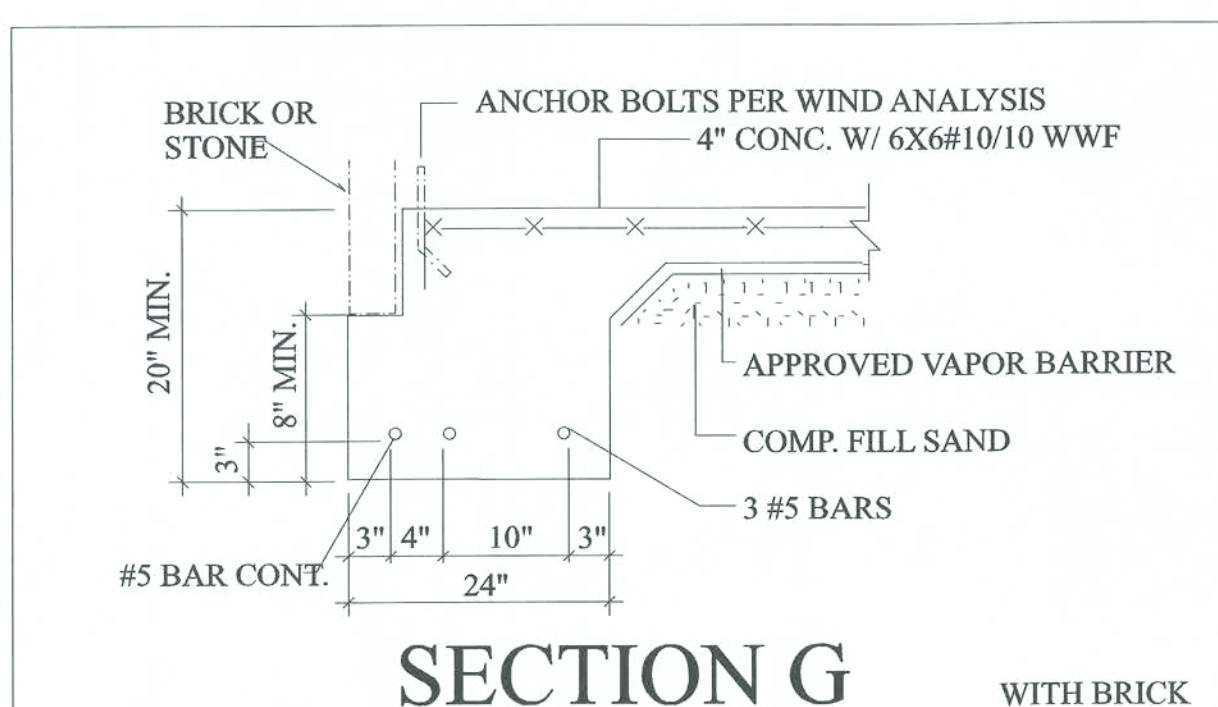
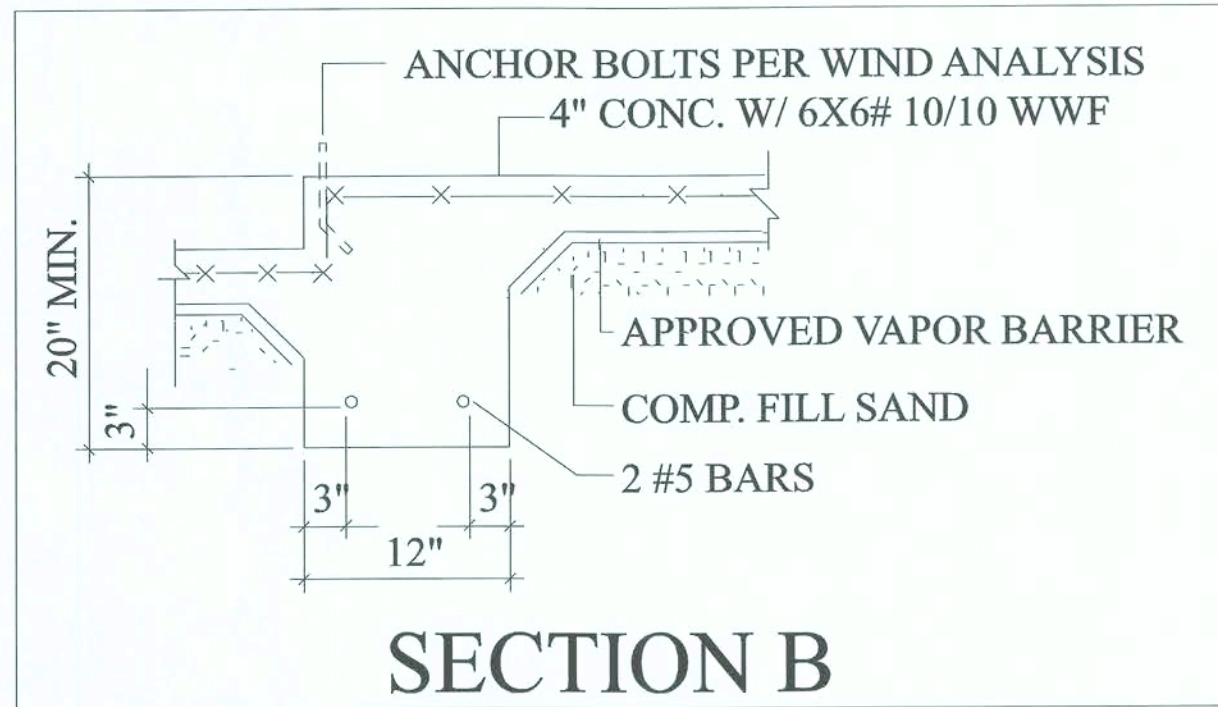
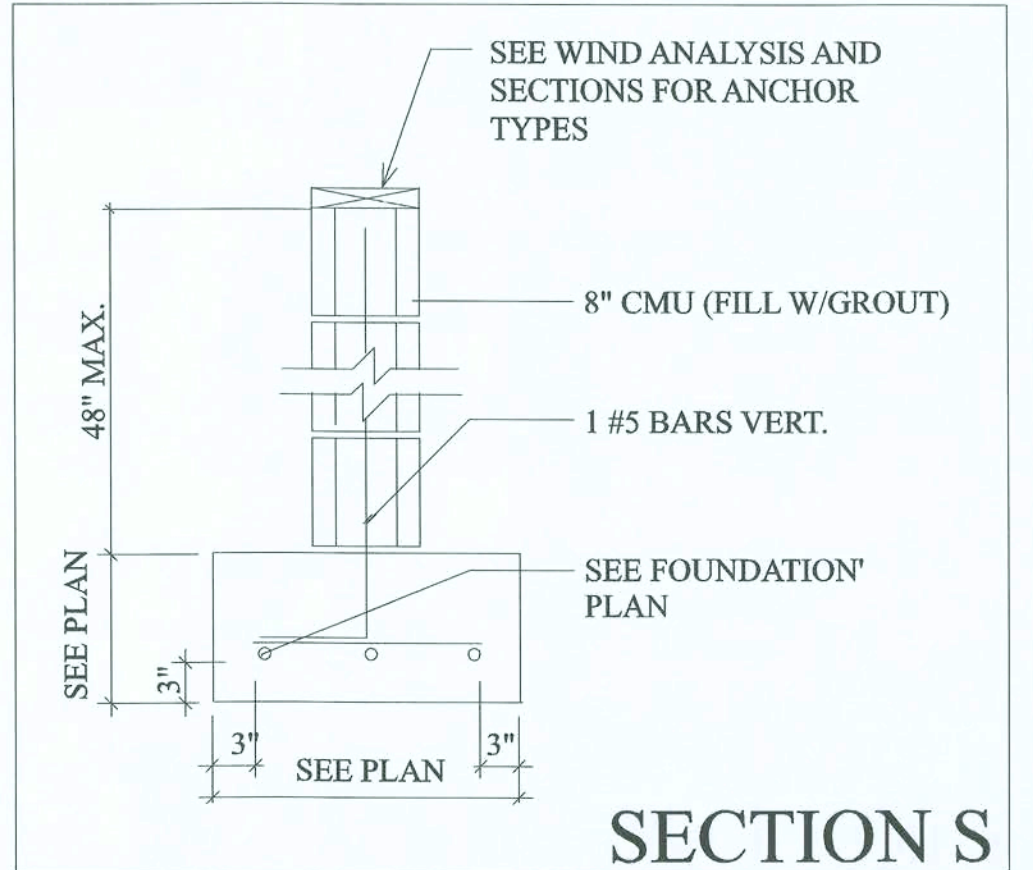
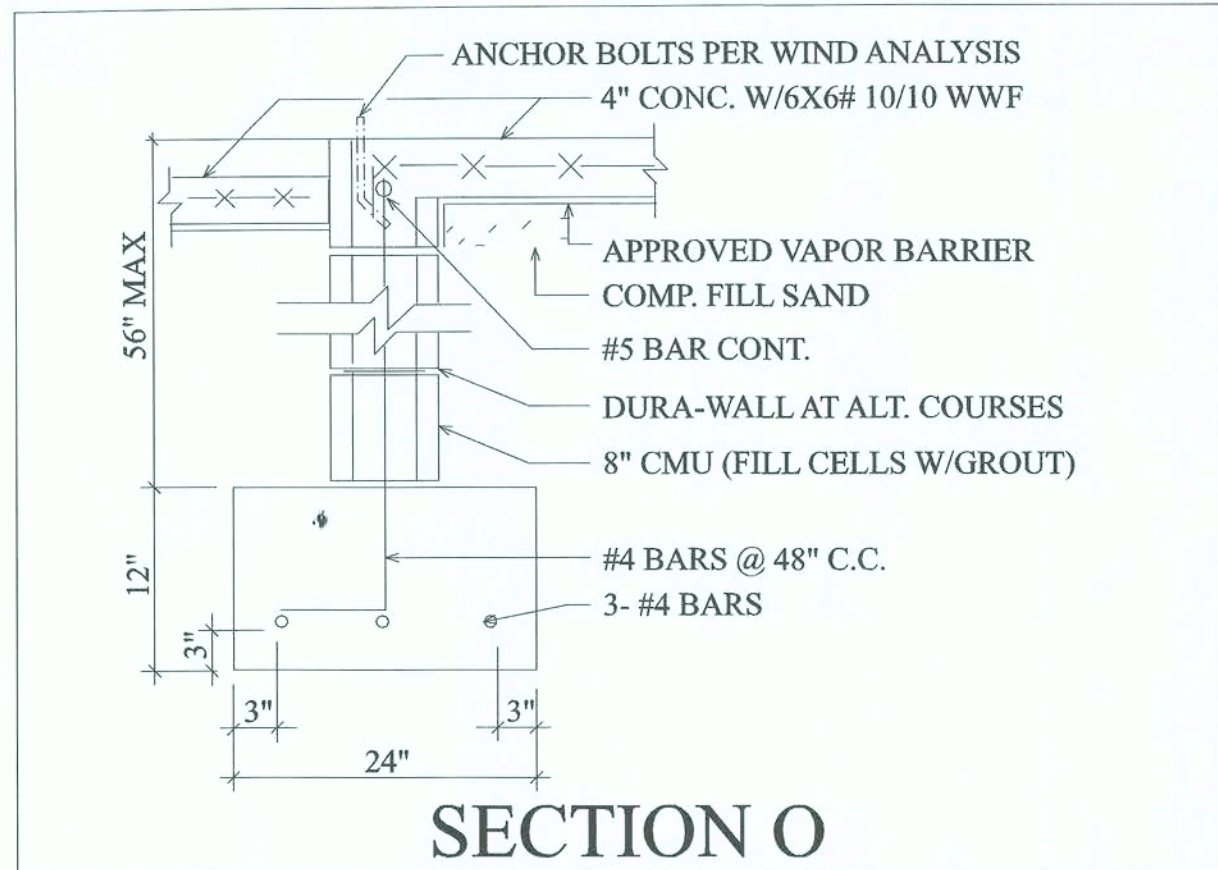
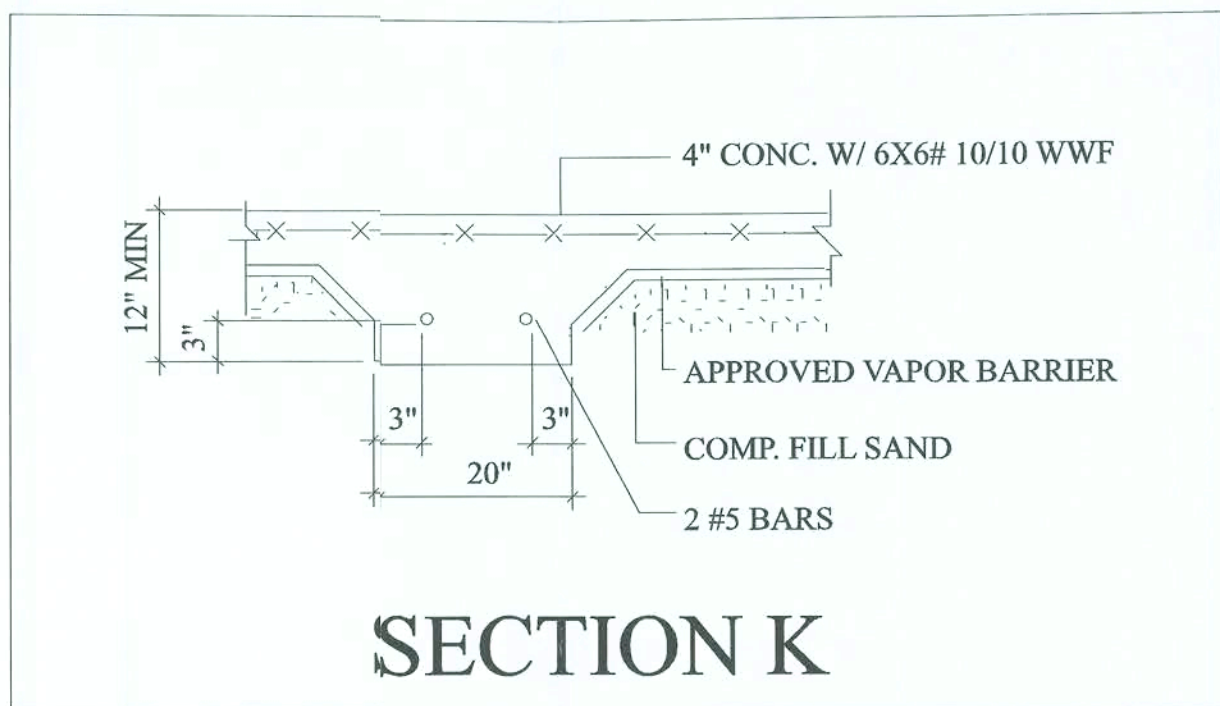
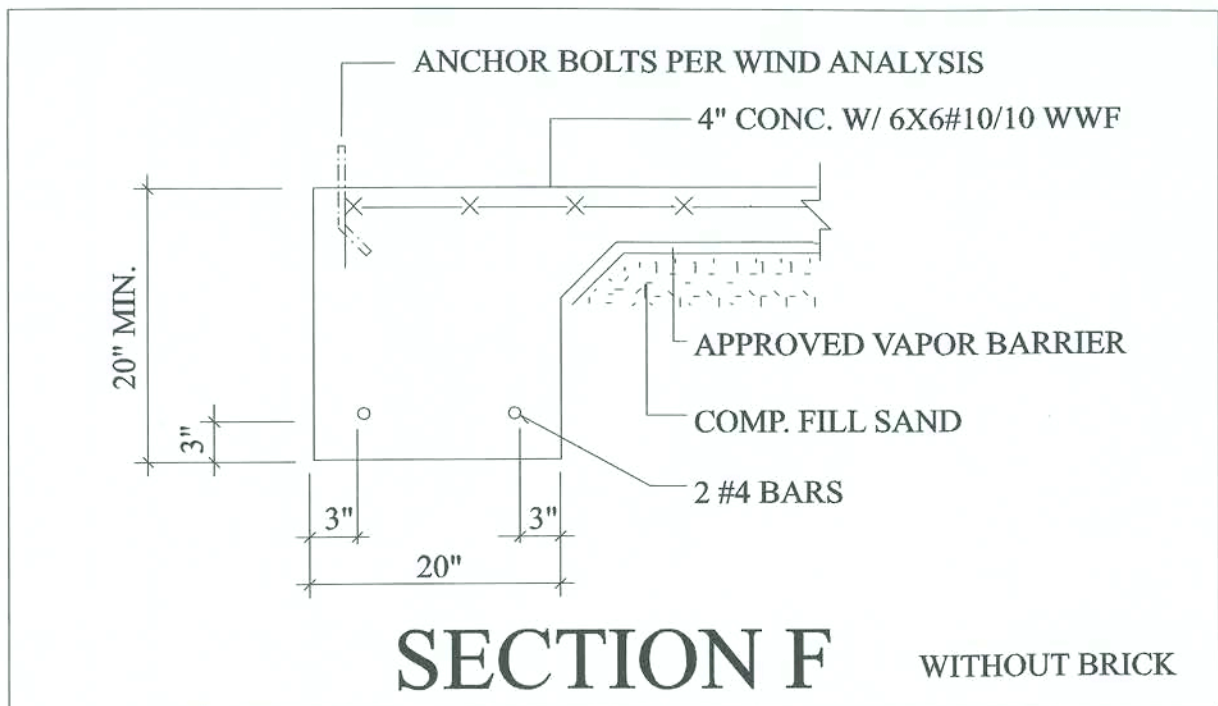
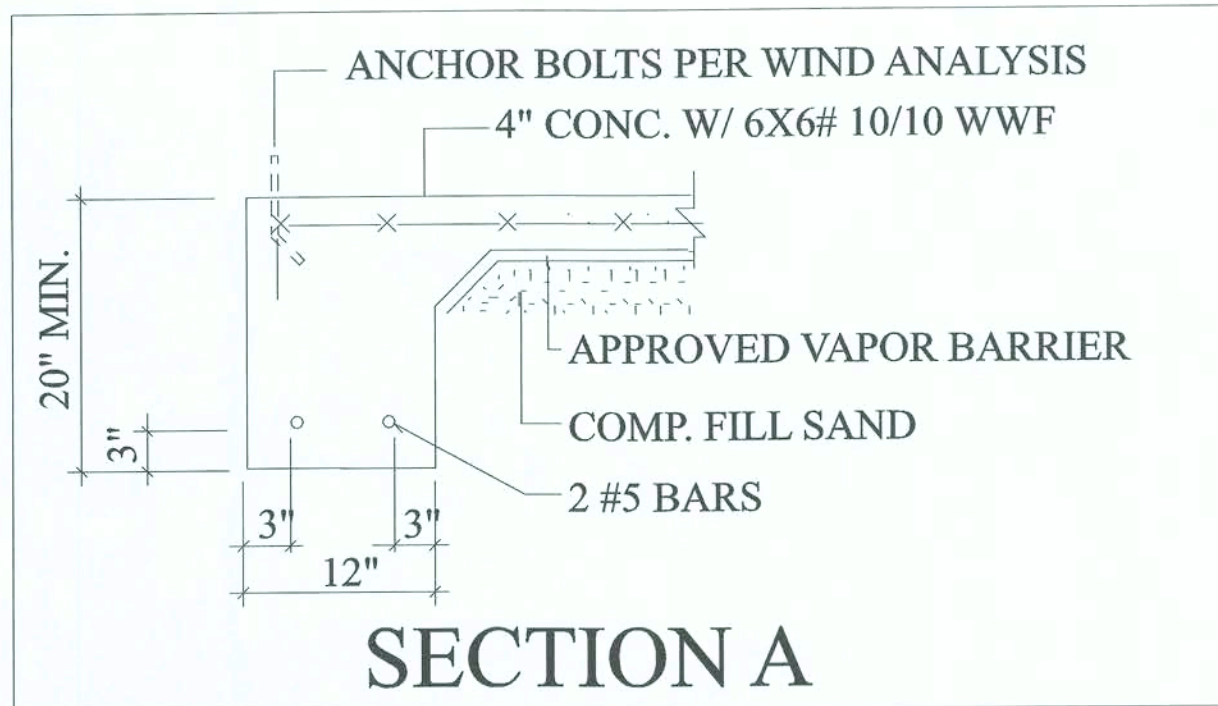
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JAMES SPINNENWEBER, P.E. #52106

S3





BUILDER TO COORDINATE THESE PLANS  
w/ WIND ANALYSIS, AND TRUSS PLANS  
PRIOR TO CONSTRUCTION.

ALL DRAWINGS, DETAILS, AND SPECIFICATIONS  
DESIGNED IN ACCORDANCE w/ FLORIDA BUILDING  
CODE (FBC) 6th EDITION (2017) ACI-318, ACI-ASCE 530

ALL CONSTRUCTION SHALL MEET OR EXCEED ALL  
APPLICABLE STATE, & LOCAL BUILDING CODES

**NOTE: SECTION DETAILS NOT TO SCALE**

*Amend  
7/25/19*

**WALTER FAMILY  
HOMES**  
Get Lost? Let's Build!

Walter Family Homes  
904 Gordon Avenue  
Thomasville, GA 31792  
Phone 866-769-9829  
FL-CRC1331037 GA-RL-CO003732

Designed Exclusively for:  
**GRIFIN RESIDENCE**  
CUSTOMER SIGNATURE

SQ FOOTAGE	
1ST FLOOR:	1579
2ND FLOOR:	N/A
OTHER:	N/A
TOTAL H/C:	1579
FRONT PORCH	324
REAR PORCH	N/A
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R:	1903

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**S4**