

Town of Fort White
P.O. Box 129
Fort White, FL 32028

Property Owner Affidavit

Office Use Only

Application No. _____

Ft White Thrift Shop, Inc

Owner

NA

Additional Owners

Brett A. Crews P.E. (Crews Engineering Services, LLC)

Appointed Agent(s)

34-6S-16-04059-003

Parcel Numbers(s)

Site Plan Approval

Type of Request

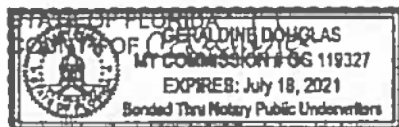
34 6S 16E
Section Township Range

I (we), the property owner(s) of the subject property, being duly sworn, depose and say the following:

1. That I am (we are) the owner(s) and record title holder(s) of the property described in the attached legal description;
2. That this property constitutes the property for which the above noted land use request is being made to the Town of Fort White;
3. That I (we), the undersigned, have appointed, and do appoint, the above noted person(s) as my (our) agent(s) to execute any agreement(s), and other documents necessary to effectuate such agreement(s) in the process of pursuing the aforementioned land use request;
4. That this affidavit has been executed to induce the Town of Fort White to consider and act on the subject request; and,
5. That I (we), the undersigned authority, hereby certify that the foregoing statements are true and correct.

Michael Brecken
Owner (signature)

Douglas Moseley
Owner (signature)



(SEAL ABOVE)

Geraldine Douglas
Notary Public, Commission No. 119327
Geraldine Douglas (Name of Notary typed, printed, or stamped.)

SWORN AND SUBSCRIBED BEFORE ME
THIS 10 DAY OF Feb, 2020
BY Michael Brecken, Douglas Moseley
WHO IS/ARE PERSONALLY KNOWN TO ME OR HAS/HAVE
PRODUCED Personally Known
AS IDENTIFICATION.

GENERAL PROJECT INFORMATION

PARCEL # 34-65-16-04059-003
FUTURE LAND USE: COMMERCIAL
ZONING: COMMERCIAL GENERAL (CG)

DEVELOPMENT DATA
TOTAL SITE AREA = 174,409 SF = 4.0 ACRES

PROPOSED CONDITIONS IMPERVIOUS AREAS
BUILDING = 10,000 SF
PAVING = 7,100 SF
ASPHALT MILLINGS = 78,500 SF

TOTAL PROPOSED IMPERVIOUS AREA = 45,600 SF
(26.1% SITE AREA)

FAR = 16,500 SF / 174,409 SF = 0.37

MINIMUM BUILDING/TARD SETBACKS PER LDR
FRONT YARD = 10' REAR YARD = 10'

BOUNDARY AND TOPOGRAPHICAL
THE BOUNDARY AND TOPOGRAPHICAL
INFORMATION SHOWN ON THESE
PLANS IS BASED ON A SURVEY BY
JOHN C. BRIGGS, PROFESSIONAL
SURVEYOR AND MAPPER

ELEVATION BASED ON NAVD83 DATUM

PARKING CALCULATIONS

RETAIL SALES AND SERVICES,
RESTAURANTS, AND OTHER
REQUIRE STANDARD PARKING =
10,000 SF / 150 = 67 SPACES

AVAILABLE STANDARD PARKING PROVIDED = 63 SPACES

ACCESSIBLE PARKING:
1 PER 25 REQUIRED = 3 SPACES

AVAILABLE ACCESSIBLE PARKING = 4 SPACES

UTILITIES

WATER SERVICE
TO BE PROVIDED BY CONNECTION TO EXISTING
TOWN OF FORT WHITE PUBLIC WATER SYSTEM SERVICE
WASTEWATER SERVICE
TO BE PROVIDED BY ON-SITE WASTEWATER TREATMENT SYSTEM
DESIGN AND PERMITTING BY OTHERS

FIRE PROTECTION:
TO BE PROVIDED BY NEW FIRE HYDRANT ALONG CR 18

ELECTRIC SERVICE
TO BE PROVIDED BY CONNECTION TO EXISTING
CLAY ELECTRIC SYSTEM ALONG CR 18

LEGEND



TRAFFIC FLOW

VEHICLE USE AREA LANDSCAPING
TO BE LANDSCAPED WITH SHRUBS, TREES, FLOWERING PLANTS
AND GROUND COVER (NOT 500 OR TURF GRASSES)

10' WIDE BUFFER AREA LANDSCAPING
TO BE LANDSCAPED WITH:
21 CANOPY TREES, 9 UNDERSTORY TREES, 84 SHRUBS

ASPHALT MILLINGS / GRAVEL

CONCRETE PAVEMENT

AVAILABLE PARKING SPACES



NOTES

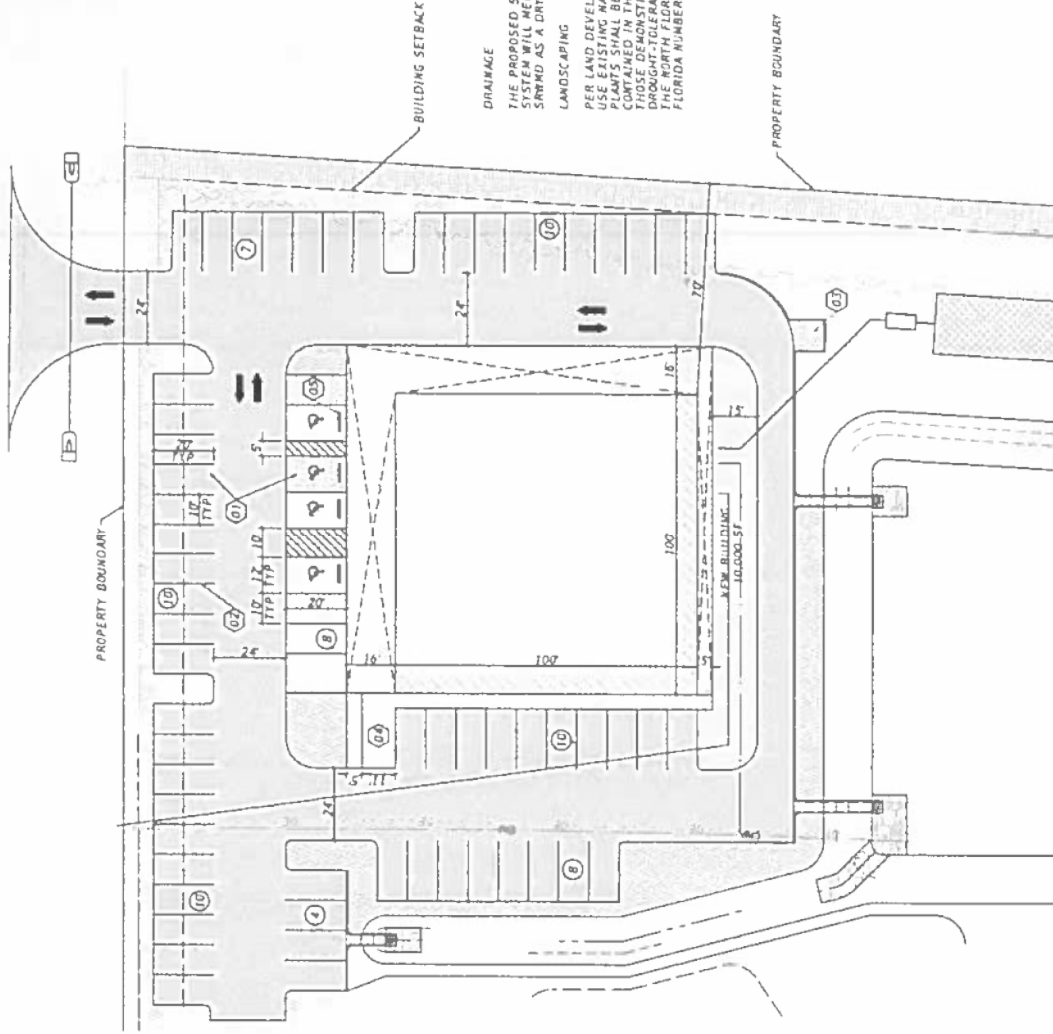
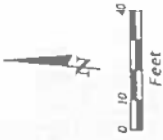
01 DECEASED PARKING, TYP
SEE DETAILS

02 PARKING STRIPING (TYP)

03 10'X10' DUMPSTER PAD

04 BICYCLE PARKING

05 CONCRETE WHEELSTOP (TYP)
SEE DETAIL



DRAINAGE

THE PROPOSED STORM WATER MANAGEMENT
SYSTEM WILL MEET THE REQUIREMENTS OF THE
SRWMD AS A DRY RETENTION SYSTEM

LANDSCAPING

PER LAND DEVELOPMENT CODE
USE EXISTING NATIVE VEGETATION WHERE POSSIBLE
PLANTS TO BE SELECTED FROM THE LANDSCAPING DATUM OR
CONSIDERED TO BE SELECTED FROM THE LANDSCAPING DATUM OR
THOSE DEMONSTRATED TO BE NATIVE OR ADAPTIVE SPECIES THAT ARE
DROUGHT-TOLERANT. SELECTED PLANTS SHALL BE APPROPRIATE FOR
THE NORTH FLORIDA HARDINESS ZONE. ALL PLANTS SHALL MEET
FLORIDA NUMBER ONE GRADES AND STANDARDS

PROPERTY BOUNDARY



CERTIFICATE OF AUTHORIZATION
NO. 20021
340 SW GERSH FARM TERRACE
FORT WORTH, TEXAS 76103
PHONE: 817.333.4303

Brett A. Crews, P.E. 65592

REVISIONS
DESCRIPTION

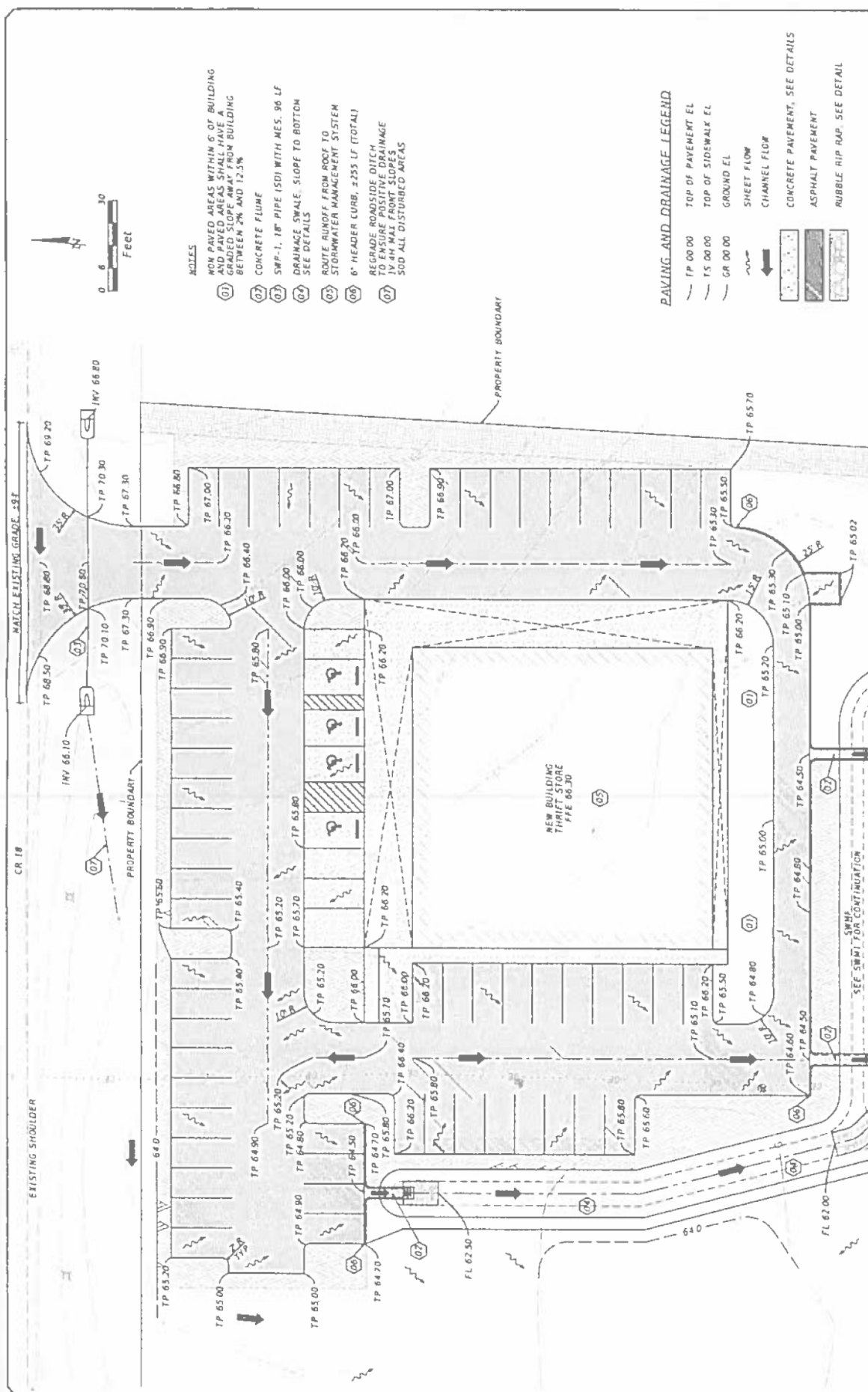
FORT WHITE COMMUNITY
THRIFT SHOP SITE

CES PROJECT NO.: 2019-03

SITE PLAN

SHEET

5172

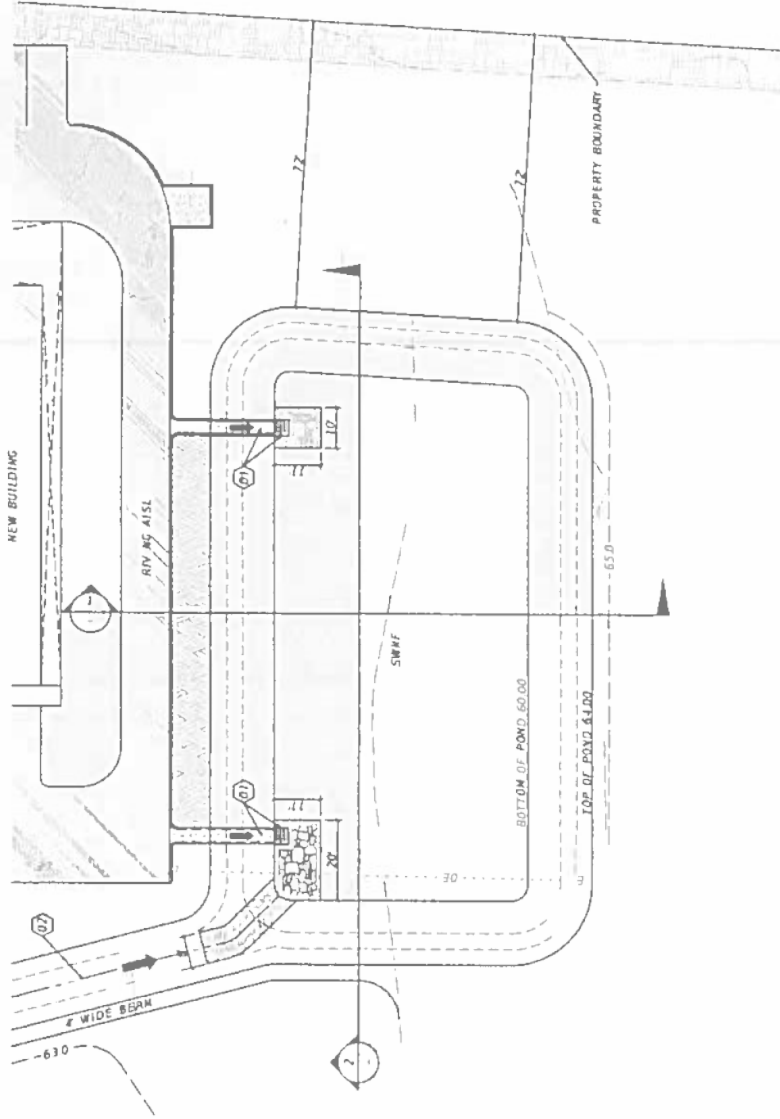


- NOTES**
- 01 NON PAVED AREAS WITHIN 6' OF BUILDING AND PAVED AREAS SHALL HAVE A GRADED SLOPE AWAY FROM BUILDING BETWEEN 2% AND 12.5%
 - 02 CONCRETE FLUME
 - 03 SMP-1, 18" PIPE (SD) WITH MES, 96 LF
 - 04 DRAINAGE SWALE, SLOPE TO BOTTOM SEE DETAILS
 - 05 ROUTE RUNOFF FROM ROOF TO STORMWATER MANAGEMENT SYSTEM
 - 06 6" HEADER CURB, ±255 LF (TOTAL)
 - 07 REGRADE ROADSIDE DITCH TO 10% MAX FRONT SLOPES 500 ALL DISTURBED AREAS

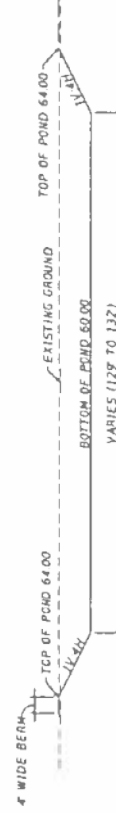
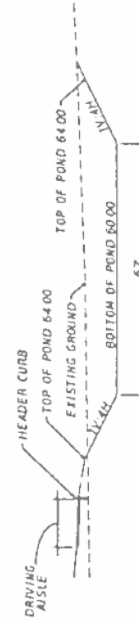
PAVING AND DRAINAGE LEGEND

- TP 00 00 TOP OF PAVEMENT EL
- TS 00 00 TOP OF SIDEWALK EL
- GR 00 00 GROUND EL
- SHEET FLOW
- CHANNEL FLOW
- CONCRETE PAVEMENT, SEE DETAILS
- ASPHALT PAVEMENT
- RUBBLE RIP RAP, SEE DETAIL

CES Certificate of Authorization NO. 28022 349 NW CREWS FARM TERRACE LAKE CITY, FL 32025 PHONE: 386.421.4063 Crews Engineering Services, LLC		PORT WINTER COMMUNITY THIRST SHOP SITE CES PROJECT NO.: 2019-03 Brett A. Crews, P.E. 65592	SHEET PAV 1
PAVING AND DRAINAGE PLAN			



- NOTES
- (01) CONCRETE FLUME WITH ENERGY DISSIPATION PAD
SLOPE TO AND TERMINATE AT POND BOTTOM
SEE DETAIL
 - (02) DRAINAGE SWALE
SLOPE TO AND TERMINATE AT POND BOTTOM
SEE DETAIL
 - (03) RUBBLE RIP RAP
MATCH FL AND SIDE SLOPES
OF DRAINAGE SWALE
SEE DETAIL



DATE _____

REVISIONS
DESCRIPTION _____

CES
Crews Engineering Services, LLC
141 SW CREWS FARM TERRACE
LAKE CITY, FL 32025
PHONE: 386.282.1481

CERTIFICATE OF AUTHORIZATION
NO. 2822
BRETT A. CREWS, P.E. 65592

PORT WHITE COMMUNITY
THIRTY-SIXTH

CES PROJECT NO.: 2019-03

SURFACE WATER MANAGEMENT FACILITY PLAN AND DETAILS

SHEET

SWM1

THE FOLLOWING NARRATIVE OF THE STORMWATER POLLUTION PREVENTION PLAN CONTAINS REFERENCES TO THE FOOT SPECIFICATIONS, THE FOOT STANDARD PLANS, EROSION & SEDIMENT CONTROL MANUAL (ESCM) AND OTHER SHEETS OF THESE CONSTRUCTION PLANS. THE COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INCLUDES SEVERAL ITEMS: - THIS NARRATIVE DESCRIPTION AND DOCUMENTS REFERENCED IN THIS NARRATIVE - THE CONTRACTORS APPROVED EROSION CONTROL PLAN REQUIRED BY FOOT SPECIFICATION, SECTION 104 - REPORTS OF INSPECTIONS MADE DURING CONSTRUCTION - CONTRACTORS AND SUBCONTRACTORS SIGNED CERTIFICATIONS OF SWPPP THE SWPPP MUST BE KEPT CURRENT AND UPDATED WITHIN 7 CALENDAR DAYS OF THE EVENT. ALL CHANGES MUST BE SIGNED, DATED KEPT AS ATTACHMENTS TO THE ORIGINAL SWPPP AND POSTED ON THE PROJECT BULLETIN BOARD 1.D. SITE DESCRIPTION 1.A. DESCRIPTION OF CONSTRUCTION ACTIVITY: LOCATED ON SR 209 IN ST. JOHNS COUNTY FROM MP 3.139 (NEAR CORNWALL BRANCH RD INTERSECTION) TO MP 10.006 (BEGINNING OF CURB & GUTTER). THIS PROJECT CONSISTS OF MILLING AND RESURFACING TRAVEL LANES, SHOULDERS, TURN LANES, CROSS OVERS, AND SIDE STREETS. 1.B. MAJOR SOIL DISTURBING ACTIVITIES: CLEARING AND GRUBBING ENTIRE SITE, PIPE INSTALLATION 1.C. AREA ESTIMATES TOTAL SITE AREA (ACRES) 1.50 AC TOTAL AREA TO BE DISTURBED (ACRES) 1.50 AC 1.D. RUNOFF DATA BEFORE: WOODED AFTER: 70% IMPERVIOUS RECEIVING WATER NAME: LOCAL RETENTION POND THEN ALLIGATOR LAKE		1. E. SITE MAP THE CONSTRUCTION PLANS ARE BEING USED AS THE SITE MAP. IF AN ADDITIONAL MAP WITH CONTROL INFORMATION IS REQUIRED, PROVIDE THE APPROPRIATE USGS QUADRANGLE MAP FOR THIS PURPOSE FLAT SENSITIVE WETLAND AREAS NOT TO BE DISTURBED 1.F. RECEIVING WATERS WATER IS PRIMARILY CONVEYED BY: SHEET FLOW SWALE, PIPE TO EXISTING RETENTION POND 2.B. CONTROLS 2.A. EROSION AND SEDIMENT CONTROLS EROSION AND SEDIMENT CONTROL MEASURES, AT A MINIMUM, SHALL BE PLACED: - TO PROTECT RECEIVING WATERS - IN LOCATIONS WHERE THERE IS NO DITCH BACK SLOPE - AT ALL INLETS AND PONDS - ALONG THE ROADWAY AT ALL LOCATIONS WHERE THERE IS AN ADJACENT WETLAND 2.A.1. STABILIZATION PRACTICES DESCRIBE THE STABILIZATION PRACTICES PROPOSED TO CONTROL EROSION. INITIALIZE ALL STABILIZATION MEASURES AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS. IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. BACKFILL AND STABILIZE WITH SOIL WITHIN 48 HOURS OF COMPLETION OF THE CURING PERIOD FOR BOX CULVERTS / EXTENSIONS AND FOR ALL CROSS DRAINS OR OUTFALL MODIFICATIONS. MAINTAIN DRAINAGE UNTIL PERMANENTLY STABILIZED WHEN EMBANKMENT EXCEEDS TEN FEET OR GREATER IN HEIGHT, STABILIZE THE SIDE SLOPES AS THE EMBANKMENT IS PLACED OR IMMEDIATELY AFTER EACH TEN FEET OF EMBANKMENT IS PLACED. IF DIRT DAMS ARE TO BE USED, THE DAM MUST BE WRAPPED IN FILTER FABRIC OR AN EQUIVALENT MATERIAL TO PREVENT DIRT FROM BEING WASHED DOWNSTREAM DURING STORM EVENTS. 2.A.2. STRUCTURAL PRACTICES DESCRIBE THE PROPOSED STRUCTURAL PRACTICES TO CONTROL OR TRAP SEDIMENT AND OTHERWISE PREVENT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. SEDIMENT CONTROLS SHALL BE IN PLACE BEFORE DISTURBING SOIL UPSTREAM OF THE CONTROL. NO MATERIAL SHALL BE STOCKPILED IN EROSION PRONE AREAS.		2.B. STORMWATER MANAGEMENT CONSTRUCT STORMWATER SYSTEMS TO CONVEY RUNOFF CONTROLLED WITH APPROVED DEVICES. 2.C. OTHER CONTROLS 2.C.1. OFF-SITE VEHICLE TRACKING AND DUST CONTROL DESCRIBE THE PROPOSED METHODS FOR MINIMIZING OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND GENERATING DUST. INCLUDE AT LEAST THE FOLLOWING, UNLESS OTHERWISE APPROVED BY THE ENGINEER. - COVERING LOADED HAUL TRUCKS WITH TARPPOULINS - REMOVING EXCESS DIRT FROM ROADS DAILY - USE ROADWAY SWEEPERS DURING DUST GENERATING ACTIVITIES - STABILIZE CONSTRUCTION ENTRANCES - SOIL TRACKING PREVENTION DEVICE 2.C.2. WASTE DISPOSAL DESCRIBE THE PROPOSED METHODS TO PREVENT THE DISCHARGE OF SOLID MATERIALS, INCLUDING BUILDING MATERIALS, TO WATERS OF THE STATES. 2.C.3. FERTILIZERS AND PESTICIDES DESCRIBE THE PROCEDURES FOR APPLYING FERTILIZERS AND PESTICIDES IN ACCORDANCE WITH FOOT SPECIFICATION 570 2.C.4. TOXIC SUBSTANCES PROVIDE A LIST OF TOXIC SUBSTANCES THAT ARE LIKELY TO BE USED ON THE JOB AND PROVIDE A PLAN ADDRESSING THE GENERATION, APPLICATION, MIGRATION, STORAGE AND DISPOSAL OF THESE SUBSTANCES. 2.C.5. SANITARY WASTE PROVIDE AND MAINTAIN PORTABLE TOILETS. LOCATIONS APPROVED BY THE ENGINEER 2.D. WATER QUALITY MONITORING IF WATER QUALITY MONITORING CONDITION EXISTS IN THE PERMIT, FOLLOW ALL CONDITIONS WITHIN PERMIT. OTHERWISE, CONDUCT WATER QUALITY MONITORING DURING ALL PHASES OF CONSTRUCTION IMPACTING ANY SOURCE OF SURFACE WATER. DESIGNATE MONITORING LOCATIONS, FREQUENCY AND DEPTH; SUBMIT TO ENGINEER FOR APPROVAL. MONITOR DISCHARGING ACTIVITIES FOR VIOLATION OF WATER QUALITY STANDARDS UNTIL TURBIDITY READINGS MEET REQUIREMENTS. 3.D. MAINTENANCE PROVIDE A PLAN FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROLS THROUGHOUT CONSTRUCTION. 4.D. INSPECTION PROVIDE THE ENGINEER WITH A MINIMUM OF 24 HOUR NOTICE PRIOR TO THE WEEKLY EROSION CONTROL INSPECTION REQUIRED BY FOOT SPECIFICATION 104-7.1 INSTALL AND MAINTAIN RAIN GAUGES ON THE PROJECT SITE. 5.D. NON-STORMWATER DISCHARGES OBTAINING ALL DEMATERING PERMITS. IDENTIFY ALL ANTICIPATED NON-STORMWATER DISCHARGES. DESCRIBE THE PROPOSED MEASURES TO PREVENT POLLUTION OF THESE NON-STORMWATER DISCHARGES.		STORMWATER POLLUTION PREVENTION PLAN		SHEET
DATE		REVISIONS		PORT WHITE COMMUNITY THREAT SHOP SITE		SWP1		
CES Crest Engineering Services, LLC		CERTIFICATE OF AUTHORIZATION NO. 20423 348 BY CREST PARK TERRACE CHATELAIN, MISSOURI 64705 PHONE: 384.021.4303		CES PROJECT NO. 2019-03		SWP1		
CREST A. CREST, P.E. 65592		DATE		2019-03		SWP1		



June 22, 2020

Ms. Connie Brecheen
Interim Town Clerk
Town of Fort White

Re: Plan Review Comments – Fort White Community Thrift Shop

Ms. Brecheen:

Thank you for the opportunity to review the above referenced plans for consistency with the Town's Land Development Code (LDC). Below are our review comments.

General Comments:

1. The property is zoned Commercial General (CG) which allows retail commercial uses as a permitted use (Sec. 3.06.01(B)) and is permitted via a Site Plan approval. However, Sec. 3.06.02(A) indicates that 'any commercial use proposed within 100 feet of a parcel of property uses for residential purposes or which has a zoning designation of RSF-1 or RSF-2' is required to obtain Special Use Permit approval (along with a Site Plan approval). The project site is immediately abutting a residential property, so a Special Use Permit application appears to be required.
2. The Special Use Permit process and list of application submittal requirements are found in Sec. 10.03, which include demonstration of consistency with the following criteria (to be determined by the Planning & Zoning Board):

C. The Planning and Zoning Board shall apply the following standards in the review of special use permit applications, in addition to any specific standards in this Code for the particular special use:
 1. *That the proposed use and associated development is consistent with the Fort White Comprehensive Plan, and complies with all required regulations and standards of this Land Development Code and other applicable regulations.*
 2. *That the proposed use or development will have general compatibility and harmony with the uses and structures on adjacent and nearby properties.*
 3. *That necessary public infrastructure is available to the proposed site and that the requirements of concurrency management have been fulfilled by the proposed use or development.*
 4. *That the proposed use or development will have screening and buffers of such dimension, type and character to improve the compatibility and harmony with adjacent and nearby properties.*

In addition, your application for Special Use Permit & Site Plan should address consistency with the following use specific standards:

3.09.07 Community Thrift Stores

Community Thrift Shops, defined as a business operated by a Section 501(c)3 organization, defined by the United States Internal Revenue Code (26 U.S.C Section 501(c)), that primarily engages in or specializes in the sale or resale of previously owned or used goods and merchandise, which is donated or principally donated, provided:

- A. The property is located adjacent to properties with a Future Land Use designation of Downtown District or Commercial; and*
 - B. The property is located in an area where a mix of uses is already established as the pattern for development; and*
 - C. The use is located in an existing single-family residential house or, if newly constructed, is designed to look like a single-family residential house reflective of the existing architectural character of the surrounding area; and*
 - D. Provision is made for off-street parking and loading; and*
 - E. The use of outdoor commercial dumpsters is prohibited; and*
 - F. Hours of operation shall be limited to Monday through Saturday from 9:00 a.m. to 7:00 p.m.; and*
 - G. Signs are limited to building signs with a total sign area of 24 square feet; and*
 - H. Outdoor display of goods is prohibited; and*
 - I. Outdoor lighting, except for wall-mounted security lighting, is prohibited. Wall-mounted security lighting shall be directed toward the ground with no light trespassing onto adjacent properties.*
3. The following items appear to be missing from the materials we received to review, per the list of Site Plan submittal requirements in Sec. 10.02.08(E):
- k. A landscape plan*
 - o. Architectural elevations of all buildings and structures*
4. Confirm that the application complies with the following Commercial Design Standards found in Sec. 6.05.02:
- C. Lighting (no photometric plan with footcandles was included in submittal)*
 - E. Façade Standards (not included in submittal)*
 - G-Q Additional building design information*
5. The proposed parking lot appears to provide the required number of off-site vehicular parking spaces per Table 6.03.01.1. However, the plan does not include the following:
- C. One motorcycle space shall be required per 10 vehicle spaces required by this Section. Motorcycle spaces are optional if less than 10 vehicle spaces are required. Motorcycle spaces shall be clearly labeled as such.*
 - D. Two bicycle parking spaces shall be required per 20 vehicle spaces required by this Section. For lots with fewer than 20 vehicle parking spaces, two bicycle parking spaces shall be required.*
6. It is unclear if any regulated trees are proposed for removal. If so, they mitigation requirements for tree removal should be addressed per Sec. 5.02.04.

June 22, 2020

Page 3 of 3

Engineering Review Comments:

Paving and Drainage Plan (**PAV1**) –

1. Grades should be added along northwest of the property line to demonstrated swale is rerouting runoff from CR-18.

Utility Plan (**UTY1**) –

2. Existing water line is shown under proposed stormwater. We recommend relocating water line outside of the stormwater basin to maintain minimum cover over water line.

3. Existing overhead electric pole is located on southwest corner of proposed basin. We recommend re-grading the proposed stormwater to avoid pole.

If you have any questions, please feel free to contact our office.

Sincerely,

Clay Sweger, AICP, LEED AP
Principal, Director of Planning