

DATE 08/29/2006

Columbia County Building Permit

PERMIT
000024922

This Permit Expires One Year From the Date of Issue

APPLICANT DALE BURD PHONE 386.492.2311
ADDRESS POB 39 FT. WHITE FL 32038
OWNER JAMES PEGNETTER PHONE 386.497.2311
ADDRESS SW TEXAS TERRACE FT. WHITE FL 32038
CONTRACTOR RONNIE NORRIS PHONE 386.752.3871
LOCATION OF PROPERTY 47-S TO US 27,TR TO UTAH,TL TO ROBERTS,TL TO KENTUCKY,TR TO BOUNDRY,TL TO TAEXAS,TR 1200' ON THE L.

TYPE DEVELOPMENT M/H & UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 24-6S-15-01438-310 SUBDIVISION 3 RIVERS ESTATES
LOT 10 BLOCK 6 PHASE UNIT 23 TOTAL ACRES 0.92

IH0000049
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 06-0767-N BLK JTH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ROAD HAD TO BE RENAMED AS PER RON CROFT. PLEASE ISSUE PERMIT. E-911
ADDRESS IS FORTH-COMING. 1 FOOT ABOVE ROAD.

Check # or Cash 13492

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 11.84 WASTE FEE \$ 24.50
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 311.34
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 6-23-05) Zoning Official 8/29/06 Building Official OK JTH 8-29-06

AP# 0608-81 Date Received 8-23-06 By UH Permit # 24922

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments ISSUE A PERMIT -
911 Address forthcoming -

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☒ Well letter ☐ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from Installer

- Property ID # 00-00-00-01438-310 Must have a copy of the property deed
- New Mobile Home X Used Mobile Home _____ Year 2006
- Applicant Mr. Burdon R. Ford Phone # 386-497-2311
- Address PO Box 39, Ft White, FL 32038
- Name of Property Owner JAMES PRINETTER Phone# 386-867-1223
- 911 Address 340 SW TEXAS, FT WHITE, FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home SAME Phone # _____
Address _____
- Relationship to Property Owner SAME
- Current Number of Dwellings on Property 0
- Lot Size 100 x 400 Total Acreage .92
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Walver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Driving Directions to the Property 47 South TR on US27, TL on UTAH,
TL on Roberts, TR on Kentucky, TL on Broadway, TR
ON TEXAS 1200 FEET ON LEFT
- Name of Licensed Dealer/Installer Kowalewski's Phone # 752 3871
- Installers Address 10045W CHARLTER, C.C. 32021
- License Number TH0000049 Installation Decal # 272285

JW revised 2nd & Log. 29. 2006

chd
13492

PERMIT WORKSHEET

page 1 of 2

PERMIT NUMBER

Installer

POUNCE NOOKS License # TH0000049

Address of home being installed

510 TEXAS TRAIL
Ft Worth, TX 76103

Manufacturer

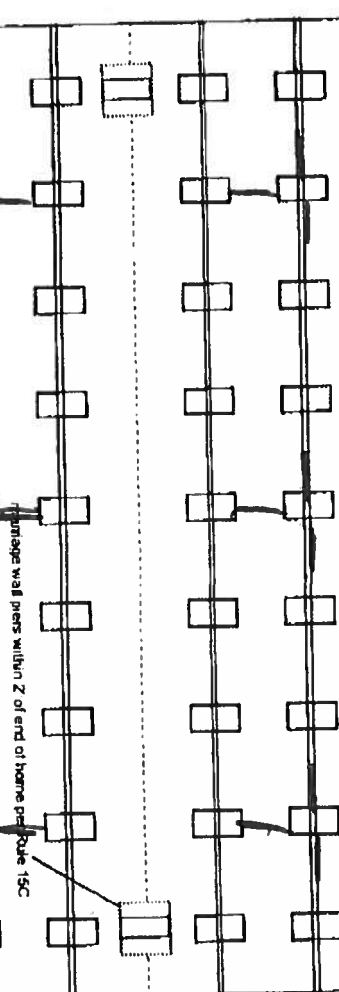
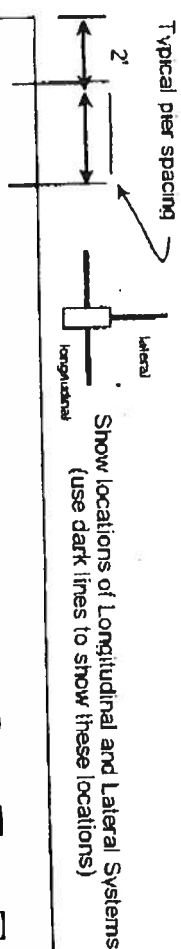
SKYLINE Length x width 32 x 64

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

Understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

[Signature]



New Home



Used Home



Home installed to the Manufacturer's Installation Manual



Home is installed in accordance with Rule 15-C

Single wide



Wind Zone II



Wind Zone III



Double wide



Installation Decal #

272 285

Triple/Quad



Serial #

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footprint size (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

17 x 25

Perimeter pier pad size

17 x 25

Other pier pad sizes (required by the mfg.)



Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

8 20 x 20

4 17 x 25

4 17 x 25

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

POPULAR PAD SIZES

Pad Size	Sq in
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number

Sidewall

Longitudinal

Marriage wall

Shearwall

PERMIT WORKSHEET

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 650 psf or check here to declare 1000 lb. soil without testing.

x 650

x 1600

x 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1600

x 1500

x 1500

TORQUE PROBE TEST

The results of the torque probe test is 275 foot pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. 1 understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Thurmond

Date Tested

9-16-06

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply system. Pg.

Site Preparation

Debris and organic material removed ☒ Swale ☐ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener 6 Length: 6 Spacing: 24"
Walls: Type Fastener nut Length: 6 Spacing: 24"
Roof: Type Fastener 6 Length: 6 Spacing: 24"
For used homes admin. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Installed:

Type gasket Pg. 1
Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Thurmond Date 9-20-06

This Instrument Prepared by & return to:
Name: **KIM WATSON, an employee of
TITLE OFFICES, LLC**
Address: **1089 SW MAIN BLVD.
LAKE CITY, FLORIDA 32025
File No. 06Y-06005AKW**

Inst: 2006019053 Date: 08/11/2006 Time: 11:10
Doc Stamp-Deed : 196.70
1.7 DC, P. DeWitt Cason, Columbia County B: 1092 P: 1320

Parcel I.D. #: 01438-310

SPACE ABOVE THIS LINE FOR PROCESSING DATA

THIS WARRANTY DEED Made the 7th day of August, A.D. 2006, by **CATHERINE MARIE MCDUFFIE** and **ROBERT DAVID MCDUFFIE, HER HUSBAND**, hereinafter called the grantors, to **JAMES M. PEGNETTER, SINGLE** and **ILICIA R. TERRY, SINGLE**, AS JOINT TENANTS WITH FULL RIGHTS OF SURVIVORSHIP,

whose post office address is **22213 41st ROAD, LAKE CITY, FLORIDA 32024**
hereinafter called the grantees:

(Wherever used herein the terms "grantors" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantors, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, do hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Columbia County, State of Florida**, viz:

Lot 10, Block 6, **THREE RIVERS ESTATES**, Unit 23, according to the map or plat thereof as recorded in Plat Book 4, Page 80, of the Public Records of Columbia County, Florida.


Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


To Have and to Hold the same in fee simple forever.



And the grantors hereby covenant with said grantees that they are lawfully seized of said land in fee simple; that they have good right and lawful authority to sell and convey said land, and hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantors have signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

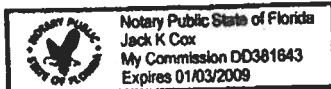

Witness Signature
Jenette M. Ferrin
Printed Name


Witness Signature
Jack K. Cox
Printed Name


CATHERINE MARIE MCDUFFIE
Address:
P.O. BOX 463, MIDWAY, FLORIDA 32343

ROBERT DAVID MCDUFFIE
Address:
P.O. BOX 463, MIDWAY, FLORIDA 32343

STATE OF FLORIDA
COUNTY OF **Leon**

The foregoing instrument was acknowledged before me this 7th day of August, 2006, by **CATHERINE MARIE MCDUFFIE** and **ROBERT DAVID MCDUFFIE**, who are known to me or who have produced **FL DRIVER LICENSES** as identification.




Notary Public
My commission expires **01/03/2009**

RON E. BIAS WELL DRILLING

RT.2 BOX 5340

FT. WHITE, FLORIDA 32038

(904) 497-1045

MOBILE: 364-9233

TO: Columbia County Building Department

Description of well to be installed for Customer:

Located at Address:

PEGNETER

TEXAS TERR

1 hp – 1 1/4" drop over 86 gallon tank, 250 gallon equivalent captive with back flow preventer. 35-gallon draw down with check valve pass requirements.

Ron Bias

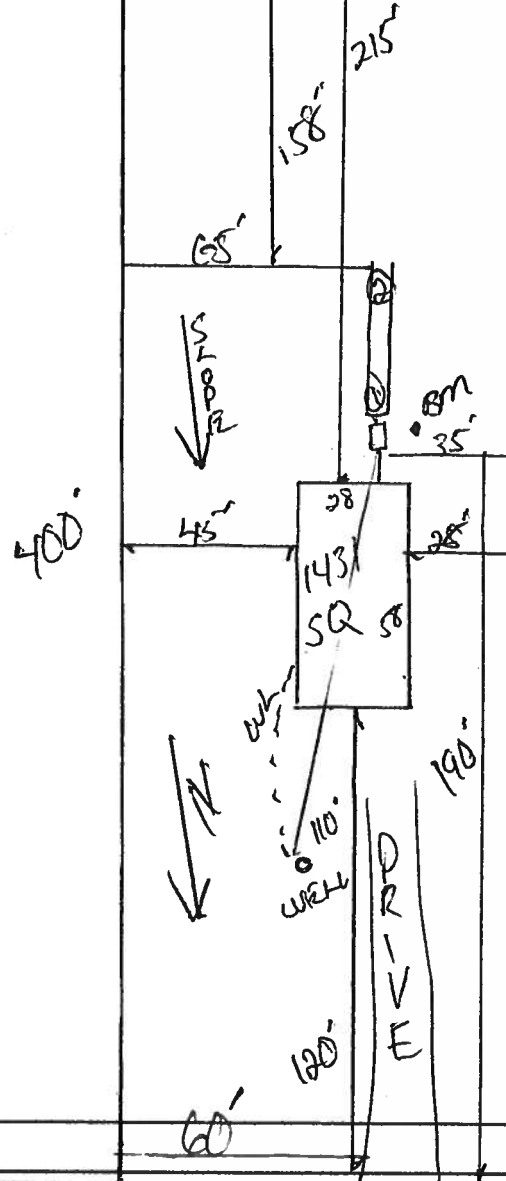
Ron Bias

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

PART II - SITEPLAN

Scale: 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: Robert D. F. D.

MASTER CONTRACTOR

Plan Approved _____

Not Approved _____

Date _____

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home Installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.00.

I, LOANIE NORTIS, license number IH 0000649
Please Print
Do hereby state that the installation of the manufactured home for:
DAIR BURN on Reedy Ford at SW TEXAS TRAIL
Applicant 911 Address

will be done under my supervision.

[Signature]
Signature

Sworn to and subscribed before me this 21 day of August,
2006.

Notary Public: Rebecca L. Arnaud
Signature

My Commission Expires:



AFFIDAVIT

I certify that the following described mobile home being placed on the referenced parcel is not a Wind Zone 1 mobile home.

Customer Name: JAMES PEGNETTER

Property ID: Sec: 00 Twp: 00 Rge: 00 Tax Parcel No: 01438-310

Lot: 10 Block 6 Subdivision: 3 RWAAS UNIT 23

Moible Home Year/Make: 2006 SKYLARK Size: 28X58



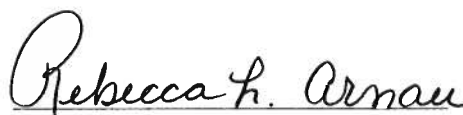
Signature of Mobile Home Installer

Sworn to and subscribed before me this 21 day of August, 2006

By Ronnie Norris



Notary



Notary Public, State of Florida

Commission No. DD 516518

Personally Known: ✓

Id Produced (type) _____

LETTER OF AUTHORIZATION TO PULL PERMITS

I, Ronnie Norris, DO HEREBY GRANT
DAK BIRD on Porky Ford, AUTHORIZATION TO PULL THE NECESSARY
PERMITS REQUIRED FOR THE DELIVERY AND SET OF A MANUFACTURED
HOME IN Columbia COUNTY, FLORIDA.

Ronnie Norris
Signature

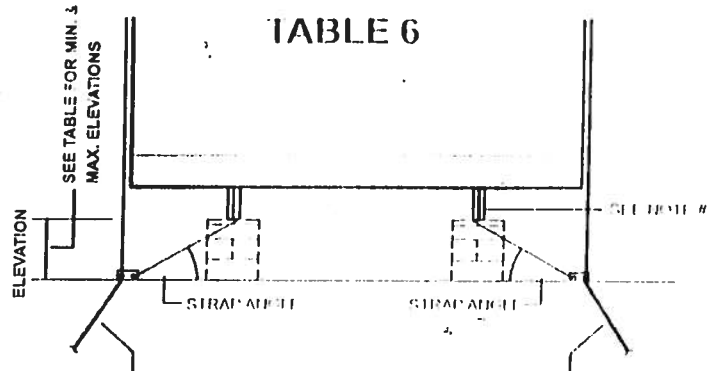
THIS FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS
21 DAY OF August, 2006, BY
Ronnie Norris, WHO IS PERSONALLY KNOWN TO ME.

STATE OF FLORIDA
COUNTY OF Columbia

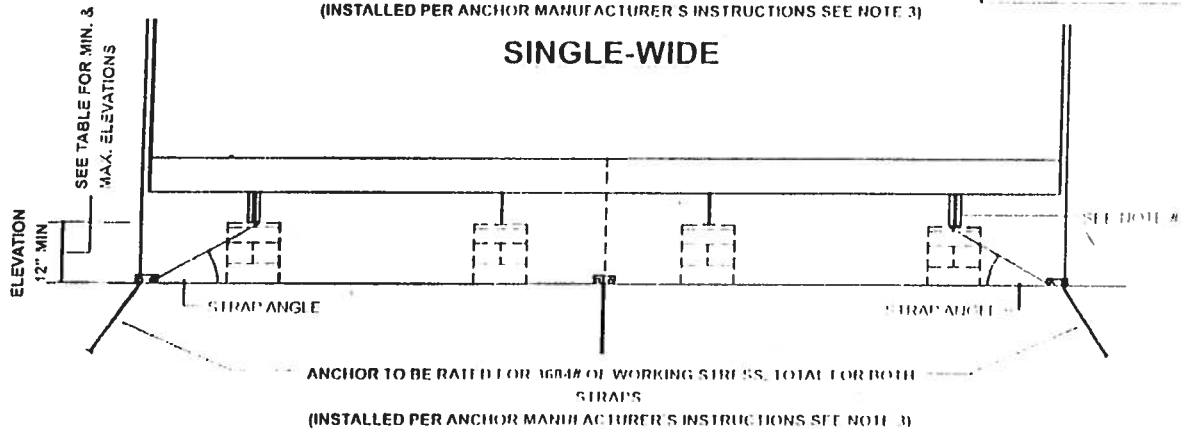
Rebecca L. Arnau
NOTARY PUBLIC



STANDARD TIE-DOWN DETAILS



INSTALL STRAP & ANCHORS
6'-8" @ ZONE II
5'-4" @ ZONE III
&
4'-0" @ ZONE II & III
FOR SHED ROOF
SINGLEWIDES
SEE TABLE FOR ELEVATION &
STRAP ANGLE LIMITATIONS



DOUBLE-WIDE

24" WIDE RESULTS FOR 12" HALF OF 22" WIDE DOUBLE WIDES

WIDTH	WIND ZONE II		WIND ZONE III	
	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE
12'	14" TO 25"	25 TO 40	14" TO 26"	25 TO 41
14'	12" TO 27"	20.5 TO 40	12" TO 28"	20.5 TO 41
12' SHED ROOF	25.2" TO 34.6"	41 TO 50	25.2" TO 34.6"	41 TO 50
14' SHED ROOF	23.4" TO 38.4"	36 TO 50	23.4" TO 38.4"	36 TO 50
16'	16" TO 36"	20.5 TO 40	15.5" TO 38"	19.5 TO 41
18'	20" TO 44"	20.5 TO 40	19" TO 47"	19.5 TO 41
20' OR 22' *	12" TO 15"	34 TO 40	12" TO 16"	34 TO 42
24'	12" TO 22"	24.5 TO 40	12" TO 23.5"	24.5 TO 42
28'	12" TO 23.5"	23 TO 40	12" TO 25.5"	23 TO 42
32'	12" TO 33"	16.6 TO 39.3	12" TO 36"	16.6 TO 41.8
16' SHED ROOF	21" TO 27.5"	25.9 TO 32.4	21" TO 27.5"	25.9 TO 32.4

STRAP MATERIAL SPECIFICATION, CONNECTION TO FRAME, BEAM & OTHER SET-UP INFORMATION REFER TO SKYLINE INSTALLATION MANUAL.

ANCHORING SYSTEMS, THE INSTRUCTIONS SHALL INDICATE: A) THE MINIMUM ANCHOR CAPACITY REQUIRED; B) ANCHORS SHOULD BE CERTIFIED BY PROFESSIONAL ENGINEER, ARCHITECT, OR A NATIONALLY RECOGNIZED TESTING LABORATORY AS TO THEIR RESISTANCE; C) THE MAXIMUM ANGLE OF DIAGONAL TIE AND/OR VERTICAL TIE LOADING AND ANGLE OF ANCHOR INSTALLATION; AND TYPE OF SOIL WHICH THE ANCHOR IS TO BE INSTALLED; D) GROUND ANCHORS SHOULD BE EMBEDDED BELOW THE FROST LINE AND BE AT LEAST 2 FEET ABOVE THE WATER TABLE; E) GROUND ANCHORS SHOULD BE INSTALLED TO THEIR FULL DEPTH, AND STABILIZER PLATES SHOULD BE INSTALLED TO PROVIDE ADDED RESISTANCE TO OVERTURNING OR SLIDING FORCES; F) ANCHORING EQUIPMENT SHOULD BE CERTIFIED BY PROFESSIONAL ENGINEER OR ARCHITECT TO RESIST THESE SPECIFIED FORCES IN ACCORDANCE WITH TESTING PROCEDURES IN ASTM STANDARD SPECIFICATION FOR STRAPPING, FLAT STEEL AND SEALS.

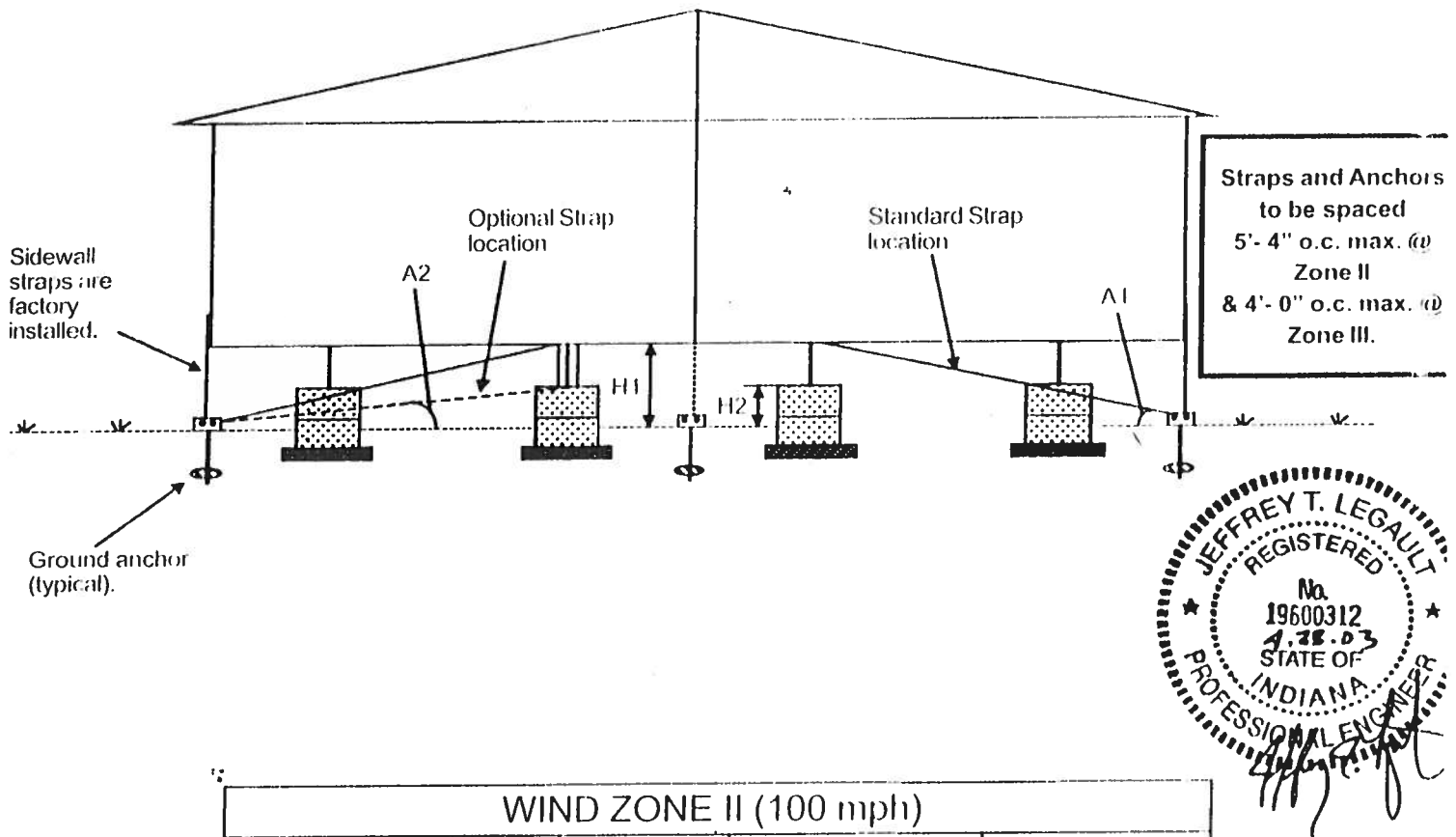
ANCHORS RATED @ 3150# OF WORKING STRESS TOTAL FOR BOTH STRAPS, MAY BE USED IF STRAP & ANCHOR SPACING IS REDUCED TO 5'-4" ON WIND ZONE II AND 4'-6" @ WIND ZONE III. STRAPS AND ANCHORS MAY BE INSTALLED 4'-0" O.C. ON SHED ROOF SINGLEWIDES WITH ANCHORS RATED @ 3150#.

ANCHOR CHANCE STRAP SEAL DEVICE DEPICTED BY FIG. 5-12 MAY BE USED AS DIRECTED FOR ATTACHING THE REQUIRED DOUBLEWIDE SKYLINE STRAPS TO GROUND ANCHORS.

STANDARD TIE-DOWN DETAILS ARE NOT APPLICABLE TO 5/12 ROOF PITCH DOUBLEWIDES @ WIND ZONE II & III.

TIE-DOWN DETAILS FOR 5/12 ROOF PITCH DOUBLE WIDES AT WIND ZONE II & III

TABLE 6A



WIND ZONE II (100 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	23.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

WIND ZONE III (110 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	25.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

NOTES:

- 1) Straps and anchors to be rated for 3150 lbs. of working stress (min.).
- 2) Use H1 and A1 for standard strap location. Use H2 and A2 for optional strap location.
- 3) See page 25 for strap material specification, connection to I-Beam and other setup information.
- 4) The A-B chance strap seal device depicted by Fig. 5-12 may be used as directed for attaching the required doublewide centerline straps to ground anchors.

DOUBLE-WIDE INTERCONNECTION

The procedure for connecting the homes is as follows:

Remove the temporary closure materials (polyethylene and batten strips) and position the halves as close together as possible in the final desired location. Do not remove temporary beam supports until step 7 has been completed.

Move the first section of home into its desired position. Block and level it in the same manner as described for a single section home. Skyline Corp. recommends, if possible, the heavy half be blocked and leveled first as it is easier to lift and roll the light half and fit into place.

Install sill sealer insulating material (provided) around the home (to the ridge beam at the ceiling panel line), endwalls and floor mating line. Fasten sill sealer with staples or nails. See figure 5-8A.

Slide the two halves together with rolling and jacking equipment. Care must be taken during rolling and jacking operations to avoid overstressing structural members. With the halves together at the floor, align the floors at the ends of the home. It is better to have a minor misalignment under the floor where it cannot be seen and will not cause a problem, than a small misalignment that will be observed in the interior of the home.

With the home aligned at the floor and supported by its foundation, join the floors using 3/8" x 3" (4-1/2" lags with double perimeter joist) lag screws 2 to 3 feet on center. The centerline gap at the floor should be a maximum of 3/16". Follow the procedures outlined on page 19 to level the home. Check supports and footings with tables 2 and 3.

To obtain access into the ceiling cavity to bolt or alternatively lag screw the ridge beam sections together, fold back underlayment paper and remove the 16" wide sheathing panel(s) at the peak. Note that the shingles may not have been installed on one or both halves, at the 16" wide area at

the peak. If one side is shingled, it is intended that the beam be lag screwed together. If neither side is shingled, the beam may be lag screwed or bolted together. Bolts to be 3/8" x 4 1/2" at 48" o.c. with 3 additional bolts at 3" o.c. over interior beam supports. Lag screws to be 3/8" x 5" at 24" o.c. with 6 additional lag screws at 3" o.c. over interior beam supports. (If marriage walls and ridge beam halves have been plated with 3/8" sheathing, then the bolts/lags must be increased in length by 3/4" to 5-3/4".) Predrill 1/4" pilot holes for the lag screws at 1-1/2" down from the top of the beam and with a maximum offset from the horizontal of 45 degrees. A gap between beam halves up to 1" is allowable. Gaps larger than 1/2" must be filled with plywood or lumber shims. For 1/2" max gaps, increase fastener length 1/2". For 1" max. gaps, increase fastener length 1-1/4". See Fig. 5-7.

7. Prior to interconnecting the ridge beam halves, examine the ridge beam ends. Should there be a slight misalignment, it can be eliminated by placing a jack under the low side of the main beam on one half and use the jack to raise the beam. The alignment can be held by properly bolting or lag screwing the beam halves together. See Fig. 5-8.

8. Place additional pier supports at the centerline at the interior column locations marked on the floor with indicator straps or paint (see Figure 5-3 and 5-4 and Table 3). Skyline Corp. provides pier location diagrams for all multiwide models. These diagrams show the required locations of piers and are very useful in determining pier placement prior to taking receipt of home. Additional piers are required each side of exterior doors and sidewall openings greater than 4' in width. See Table 3A for these pier load requirements.

9. Toe-nail endwall centerline studs together using 16d nail 10" o.c.

10. If home has double mating walls, then fasten the mating wall columns together with #8 x 4" screws 16" o.c. See Figure 5-7A.

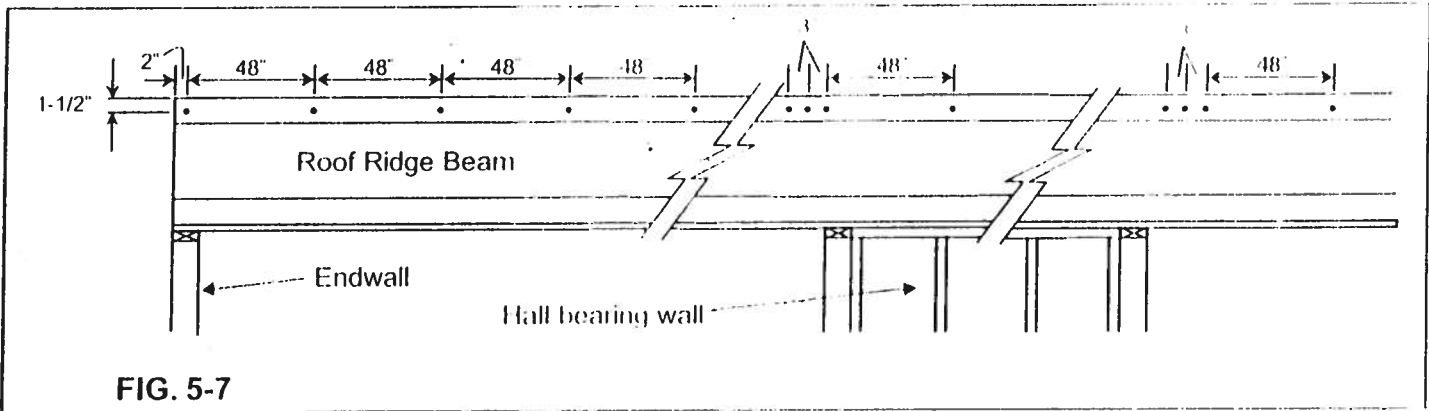


FIG. 5-7

APPROVED
PFS Corporation
Madison WI
01/31/05
HUD Manufactured
Home
Construction &
Safety Standard

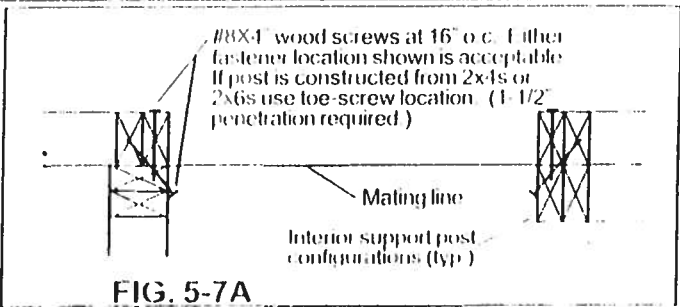


FIG. 5-7A

JP PROCEDURES (Continued)

DOUBLE-WIDE INTERCONNECTION (Continued)

NOTE: IT IS IMPORTANT TO HAVE ROOF/CEILING SECTIONS FLUSH AT MATING LINE PRIOR TO FASTENING OF RIDGE BEAM HALVES. IF THEY ARE NOT FLUSH, THEN THE LOW SIDE SHOULD BE RAISED BY JACKING WITH A WOOD POST OR STEEL PIPE WITH A WOOD OR METAL PAD AT THE CEILING. PLACE THE BASE OF THE JACK ACROSS THE FLOOR MATING LINE SO THAT IT RESTS ON BOTH HALVES. JACK AGAINST CEILING ONLY IN AREAS WHERE THERE IS NO MARRIAGE WALL.

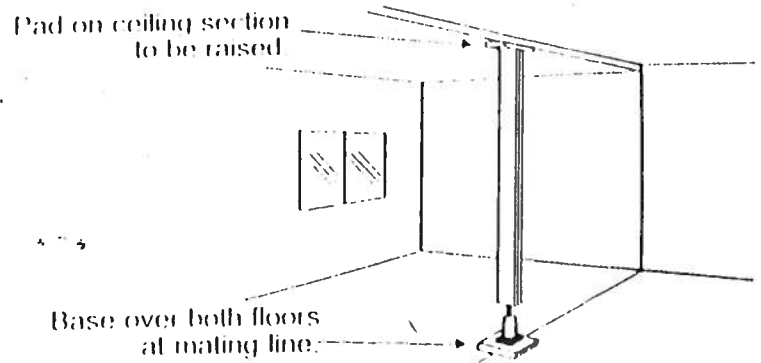


FIG. 5-8

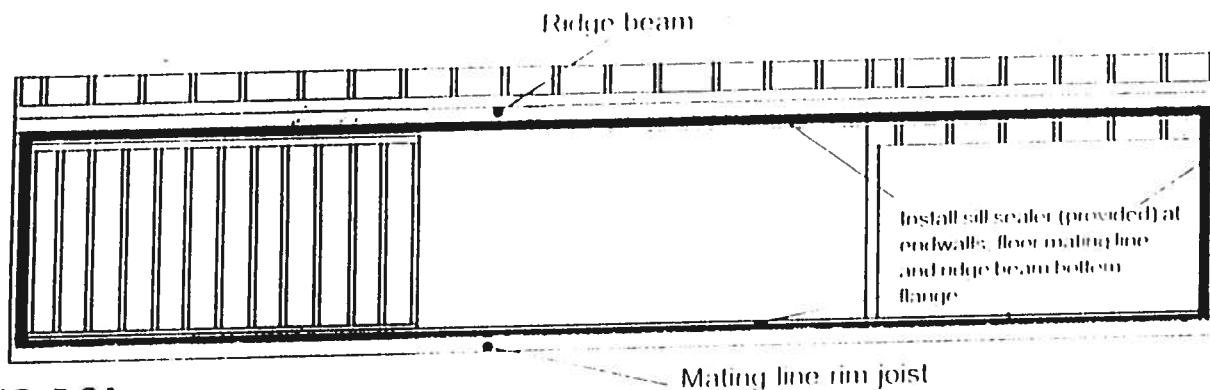


FIG. 5-8A

ATTACHMENT OF GYPSUM PANELS AT DOUBLE-WIDE CENTERLINE

Some multiple-wide units will have a gypsum panel left off at the centerline for field attachment. Fasten the factory supplied gypsum wallboard panel(s) at the center of the endwalls after the units have been attached. Fasten the panel(s) to framing as described in figure 5-8B below.

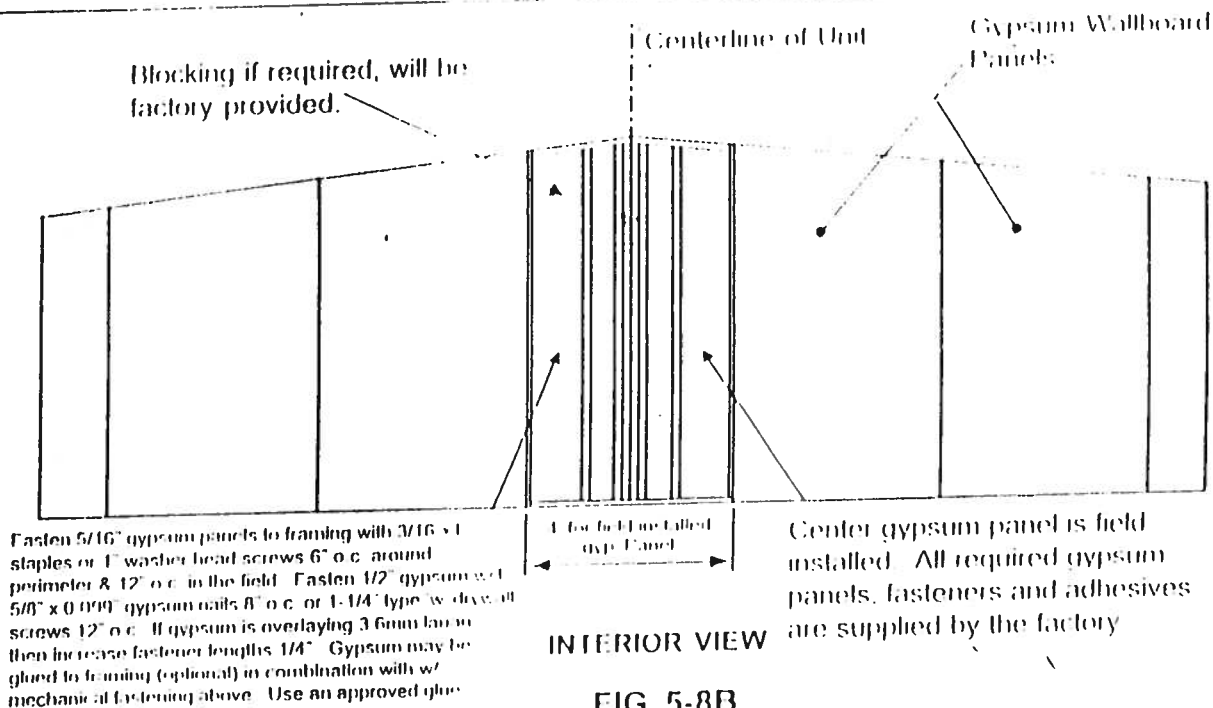


FIG. 5-8B

MANUFACTURED HOME TIE-DOWN INSTRUCTIONS

Support system must also resist lifting, sliding, and tipping forces resulting from side winds. A method used for all ground anchors and tie-down straps in addition to the tie-downs as described are the minimum necessary for the home is to withstand its design loads without failure. On multi-section homes, sections must be tied together and level before tie-down straps are installed.

WARNING

GROUND ANCHOR INSTALLATION, DETERMINE THE ANCHOR LOCATIONS AROUND THE HOME. DO NOT BE CLOSE TO ANY UNDERGROUND ELECTRICAL CABLES, WATER LINES OR SEWER PIPING. FAILURE TO DETERMINE THE LOCATION OF UNDERGROUND ELECTRICAL CABLES MAY RESULT IN PERSONAL INJURY OR DEATH.

FOR THE FRAME TIE-DOWN SYSTEM, IT IS IMPORTANT TO USE MATERIALS OF PROPER DESIGN AND OF PROPER QUALITY. THE MATERIAL SPECIFICATIONS LISTED HEREIN SHOULD BE CONSIDERED AS MINIMUM REQUIREMENTS.

Materials not furnished with the home which will be necessary to complete the tie-down system must meet the requirements listed below. Such materials would include:

- steel strap with a breaking strength of at least 15,000 lbs e.g. galvanized aircraft cable at least 1/4" Type 1, Finish B, Grade 1 steel strapping 1-1/4" x 3/8" thick, conforming with ASTM D3953-91

- and connection devices such as turnbuckles, snap buckles, and cable clamps should be rated at least 15,000 lb load minimum.

- anchors --- capable of withstanding at least a 15,000 lb pull. Anchors must be installed as specified by the anchor manufacturer. Stabilizers or concrete collars may be used as anchor manufacturers.

MUST BE IN ITS FINAL LEVEL POSITION BEFORE TIEING IT DOWN.

The sequence for tying down the manufactured home is as follows:

1. Install the ground anchors under exterior corners. The final strap angle and height (H) will be within the limits shown in tables 5 thru 6C.

2. Tie the straps to the frame and ground anchors (See Fig. 5-10). Straps wrapped around the I Beam as

shown in Fig. 5-9 require protection from premature failure due to sharp corners. Fig. 5-9A illustrates one method to protect against sharp corner damage. Other methods (such as beam clamps --- Tie-Down Engineering part no. 59003 or equivalent) approved by the local building authority having jurisdiction may be used.

3. Tighten the straps using the tensioning device provided with the ground anchors. Use caution to avoid over-tensioning the straps which might pull the home off the piers. It is recommended that all straps be tightened only enough to remove slack. Then, after all straps are installed and the slack removed, tension the straps.

4. The strap tension should be rechecked at frequent intervals until all pier settlement has stopped.

CAUTION: DURING THE RELEVELING PROCESS, DO NOT JACK THE HOME AGAINST TIGHT STRAPS.

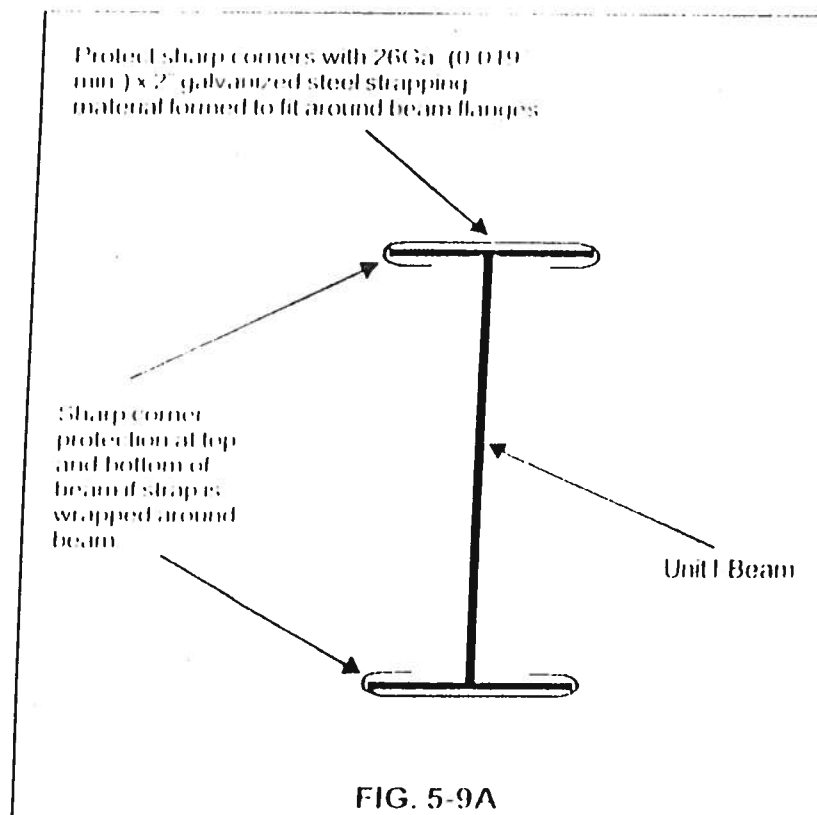


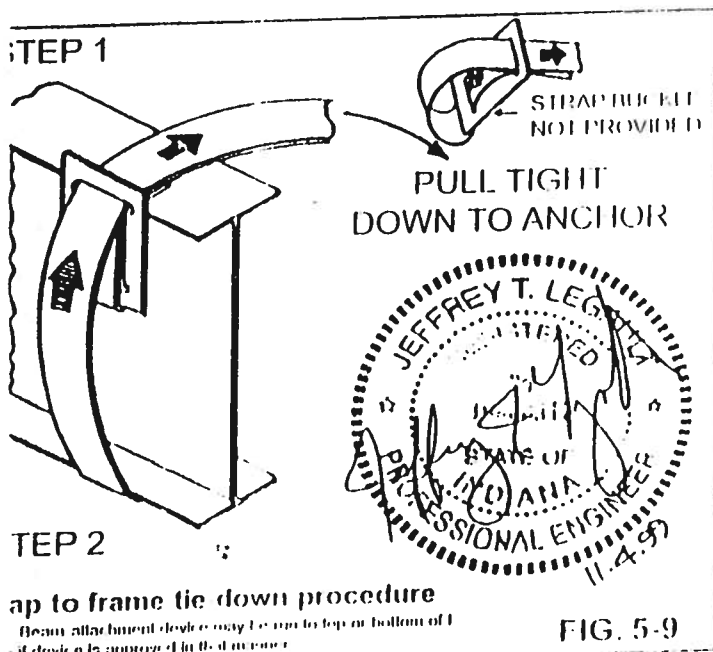
FIG. 5-9A

PROCEDURES (Continued)

MANUFACTURED HOME TIE-DOWN INSTRUCTIONS (Continued)

OPTIONAL OVER-THE-ROOF STRAP PROCEDURE

Over-the-roof straps are provided (optional on all homes) and may be connected to ground anchors as specified in the following procedure in order to achieve additional stability in extreme winds. Note that the frame tie-down procedure on page 25 is still mandatory.



Materials not furnished with the home which will be necessary to properly connect the over the roof straps are:

1. Ground anchors capable of withstanding at least 4,750 pound pull when installed in the soil at the site.
2. Strap end connection devices (See Fig. 5-10).

THE HOME MUST BE IN ITS FINAL LEVEL POSITION WITH FRAME TIES INSTALLED BEFORE CONNECTING THE OVER-THE-ROOF STRAPS.

The procedure for over-the roof strap installation is as follows:

1. Position and install the ground anchors so that the strap will be vertical after attachment to the anchor. The anchor may be installed slightly beneath the home to avoid interference with skirting (See Fig. 5-11).
2. Insert the minuteman connector yoke through the eye in the anchor and insert slotted bolt through the yoke.
3. Place end of strap through slotted bolt and remove strap by turning bolt. **DO NOT TENSION UNTIL BOTH ENDS OF STRAP ARE CONNECTED.**
4. Tension and lock minuteman connector in position, conforming to instructions furnished with connectors.
5. Check strap tension (See step 4 under frame tie down procedure).
6. For double wide homes see Fig. 5-12 for the splice connection at the centerline.

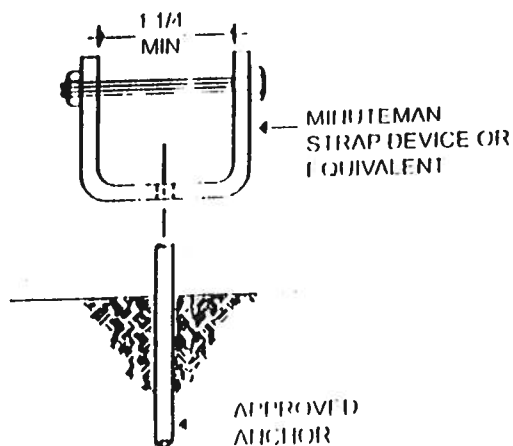


FIG. 5-10

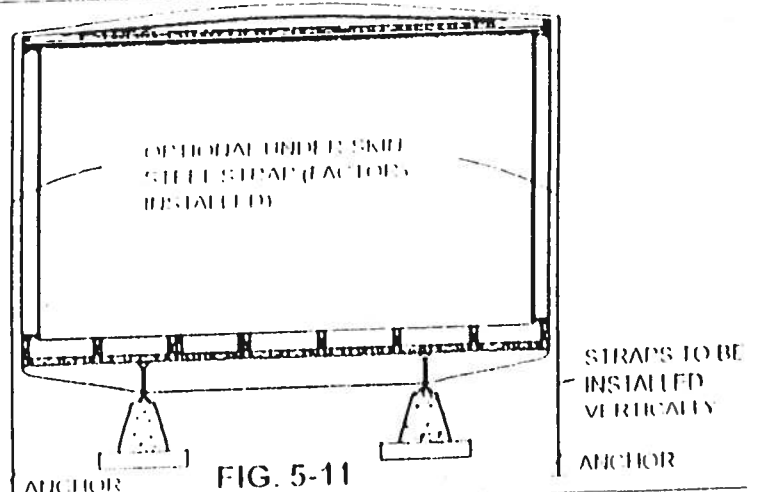


FIG. 5-11

Insert end of the strap through the slot on the splice device, allow end of strap to extend through the device. Make a 180 degree bend in the strap and slide a strap seal over the full thickness of strap, positioning the strap seal as close to the splice device as possible. Compress the strap seal on the strap with a pair of vise grip pliers or hammer, or crimp strap seal with an A B vise crimping tool. (Make all bends in the strap as sharp as possible by crimping with a vise grip or larger pliers) and strap back over the seal and insert back through the slot on splice device. Flatten bend with vise grip pliers or hammer. Repeat steps 1 through 4 with the mating strap. Draw the joined assembly down to the ridge beam by tensioning the strap on ground anchor.

DOUBLE WIDE OPTIONAL OVER-THE-ROOF STRAPS

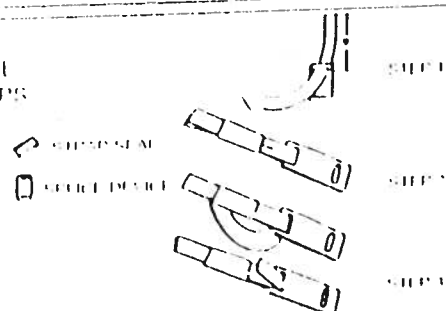
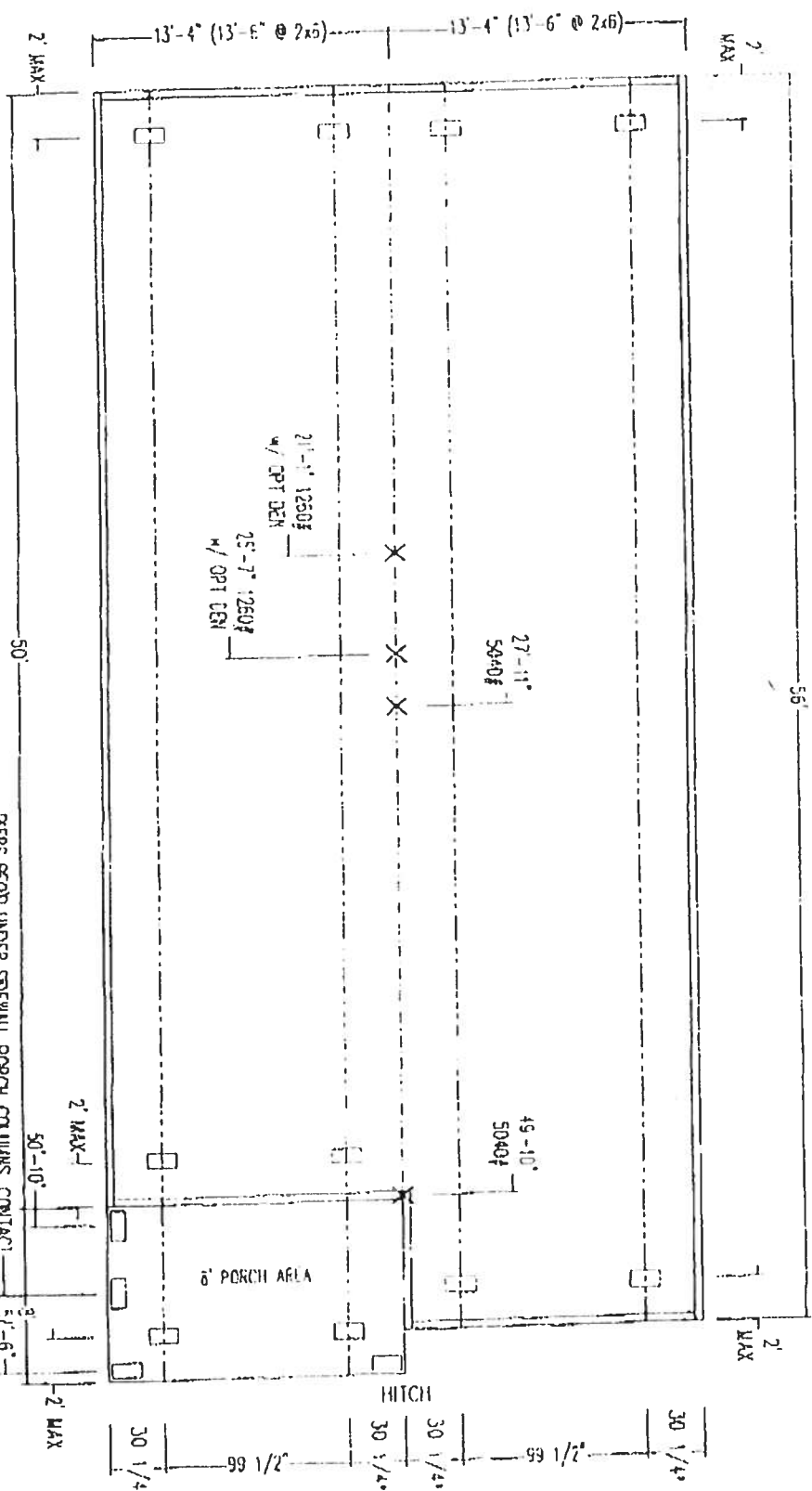


FIG. 5-12



• ADD ONE INCH @ 2x5 APPLICATION

FLORIDA ONLY PIER POINT LAYOUT (PIERS @ I-BEAM & CENTERLINE WITHOUT PERIMETER FOUNDATION)

20 PSF ROOF ZONE

ORIGIN SUPPORTS SEE ABOVE DIAGRAM FOR LOCATIONS & LOAD REQUIREMENTS @ 20 PSF ROOF ZONE
 SEE TABLE 4 OF INSTALLATION MANUAL FOR FOOTING SIZES
 I-BEAM PIER SUPPORTS - 6" MAX. SPACING - SEE INSTALLATION MANUAL TABLE 2 FOR SPACING AND
 TABLE 4 FOR FOOTING SIZES
 SHOWN AREA AND TRANSITION I-BEAM PIER SUPPORTS
 SPOT-WELD PIER SUPPORTS SEE ABOVE DIAGRAM FOR LOC. OF STD. PILING JOISTS, 48" OR LARGER SPACINGS
 OR PORCH COLUMN LOC.

DIVISIONS		BOX LENGTH	DESCRIPTION	SHEET	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. OF SHEETS	DATE/NO. 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438-035	1438-034	1438-033	1438-032	1438-031	1438-030	1438-029	1438-028	1438-027
58	57	56	55	54	53	52	51	50
438-035	1438-034	1438-033	1438-032	1438-031	1438-030	1438-029	1438-028	1438-027
59	58	57	56	55	54	53	52	51
438-035	1438-034	1438-033	1438-032	1438-031	1438-030	1438-029	1438-028	1438-027
60	59	58	57	56	55	54	53	52
438-035	1438-034	1438-033	1438-032	1438-031	1438-030	1438-029	1438-028	1438-027
61	60	59	58	57	56	55	54	53
438-035	1438-034	1438-033	1438-032	1438-031	1438-030	1438-		

1	141	143	143	143	143	1438-071
SW KENTUCKY ST						
3876-101	1	ACRES	03875-000	20 Ac		
2.22 Ac						
3876-102	2					
2.19 Ac						
3876-103	3					
2.19 Ac						
3876-104	4					
2.19 Ac						
3876-105	5					

19	2.19 Ac	6	HERNDON
	3876-106	7	
	2.19 Ac	8	
	3876-107	9	
	2.19 Ac		

5	30	03999-008 10 Ac	3999 -005 5.50 Ac
3			

03987-000

03987-001

8 Ac

03989-000
22.96 Ac

3989-002 2 A	3989-003 2 A
-----------------	-----------------

3989-001 4 15 Ac

SW 1/4 ILLINOIS ST

4001-101
10.01 Ac

(Private Rd)

4001-102
10.01 Ac

4001-107	Ac	TUCKNEE TER	4001-106	01	SW LUKE PL
----------	----	-------------	----------	----	------------

A diagram of a horizontal beam supported by two vertical supports. A downward arrow labeled P is applied at the center of the beam. Upward arrows are shown at each support, representing reaction forces.

03878-000

SW ROBB

METHODIST
EPISCOPAL
CHURCH

03999-000
16 Ac

03997-000
8 Ac

03997-001

03999-001	
3995-000	2 Ac
3999-009	3 80 Ac
	1 02 Ac

03993-000
03993-003
03999-004
03991-000

4001-103
19 Ac

4001-105	4001-105
10.01 Ac	10.01 Ac
(Private Rd)	(Private Rd)



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 00-00-00-01438-310 - VACANT (000000)

Name:	MCDUFFIE CATHERINE MARIE &	LandVal	\$15,300.00
Site:		BldgVal	\$0.00
	ROBERT DAVID	ApprVal	\$15,300.00
Mail:	P O BOX 463	JustVal	\$15,300.00
	MIDWAY, FL 32343	Assd	\$15,300.00
Sales	9/18/2002 \$100.00 V / U	Exmpt	\$0.00
Info	5/15/1996 \$5,300.00 V / Q	Taxable	\$15,300.00
	10/26/1993 \$5,595.00 V / Q		

0 0.05 0.1 0.15 mi

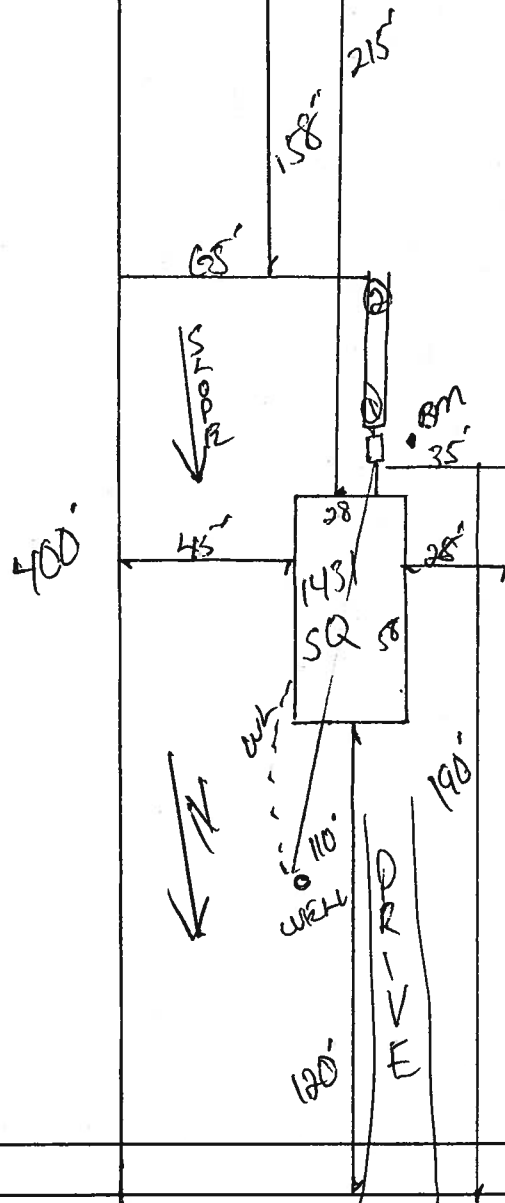


This information, GIS Map Updated: 8/1/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Permit Application Number 06-0767-1

PART II - SITEPLAN

PERMITTED



Notes: _____

Site Plan submitted by: Robert D. /

MASTER CONTRACTOR

Plan Approved X Not Approved

Date _____

By Valerie Gaddy, FBI

County Health Department

Columbia CHD

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Columbia County Property Appraiser

DB Last Updated: 8/1/2006

Parcel: 00-00-00-01438-310

2006 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

<< Prev Search Result: 3 of 21 Next >>

Owner's Name	MCDUFFIE CATHERINE MARIE &
Site Address	
Mailing Address	ROBERT DAVID P O BOX 463 MIDWAY, FL 32343
Description	LOT 10 BLOCK 6 UNIT 23 THREE RIVERS ESTATES. ORB 669-283, 745-1723, 784-1522, 822-649, 962-2797, 965-2313.

Use Desc. (code)	VACANT (000000)
Neighborhood	100000.23
Tax District	3
UD Codes	MKTA02
Market Area	02
Total Land Area	0.918 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (1)	\$15,300.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$15,300.00

Just Value	\$15,300.00
Class Value	\$0.00
Assessed Value	\$15,300.00
Exempt Value	\$0.00
Total Taxable Value	\$15,300.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vimp	Sale Qual	Sale RCode	Sale Price
9/18/2002	962/2797	WD	V	U	06	\$100.00
5/15/1996	822/649	WD	V	Q		\$5,300.00
10/26/1993	784/1522	WD	V	Q		\$5,595.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	1.000 LT - (.918AC)	1.00/1.00/1.00/1.00	\$15,300.00	\$15,300.00

FROM :

FAX NO. :

Nov. 20 2005 06:17AM P2

AUG-30-2006 18:11 FROM:

TO: 94974866

P.2

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1363 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 8/24/2006 DATE ISSUED: 8/30/2006

ENHANCED 9-1-1 ADDRESS:

340 SW TEXAS

LN

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

00-00-00-01438-310

Remarks:

LOCATED ON LOT 10 BLOCK 6 UNIT 23 THREE RIVERS ESTATES

PEGNETTER

Address Issued By:


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

389

COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED

24922
8.31.06

COLUMBIA COUNTY OR M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 24-6S-15-01438-310

Building permit No. 000024922

Permit Holder RONNIE NORRIS

Owner of Building JAMES PEGNETTER

Location: 340 SW TEXAS LANE, FT. WHITE, FL

Date: 10/03/2006

Building Inspector

Tony Dieke



POST IN A CONSPICUOUS PLACE
(Business Places Only)