

☒ Site Plan
Plans

Columbia County New Building Permit Application

25' 15' 10'

ck# 1138

For Office Use Only Application # 1907-49 Date Received 7/12/19 By MG Permit # 38393
Zoning Official TC/LH Date 7-17-19 Flood Zone X Land Use ADD Zoning PRD
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner TC Date 7-17-19
Comments Non Habitable Storage Bldg., Home is on Lot 5
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☒ Well Letter ☒ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. X19-069 OR City Water ☐ Fax _____
Applicant (Who will sign/pickup the permit) Ashley S Ward Jr. Phone 386-288-5067
Address 187 SW Asheville Way Lake City Florida 32024
Owners Name Ashley S. Ward Jr. Phone 386-288-5067
911 Address 187 SW Asheville Way Lake City, FL 32024
Contractors Name Ashley S. Ward Jr. Phone 386-288-5067
Address 187 SW Asheville Way Lake City Florida 32024
Contractor Email aj@baya.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Robert Phillip Bishop Jr. P.O. Box 3823 L.C. FL 32056

Mortgage Lenders Name & Address _____

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 25-45-16-03124-106 Estimated Construction Cost 20,000

Subdivision Name Hickory Cove Lot 6 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road Drive west on 242 from SR 47 and approx. 0.9 miles and turn left onto Asheville Way and last house on left.

Construction of Garage Commercial OR ☒ Residential

Proposed Use/Occupancy Vehicle Storage Number of Existing Dwellings on Property 0

Is the Building Fire Sprinkled? NO If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 30'± Side 10.21' Rear Side 15.19' Rear 38.96'

Number of Stories 1 Heated Floor Area _____ Total Floor Area 1504 Acreage .37 AC

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

7/18 - spoke w/ Mr. Ward - need E/H

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Ashley S. Ward Jr

Print Owners Name

Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number

Columbia County

Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20__.

Personally known ☐ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 1907-49 JOB NAME _____

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input checked="" type="checkbox"/>	Print Name <u>Ashley S. Ward Jr.</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: <u>386-288-5067</u>	
MECHANICAL/A/C <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
PLUMBING/GAS <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
ROOFING <input checked="" type="checkbox"/>	Print Name <u>Ashley S. Ward Jr.</u> Signature <u>[Signature]</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: <u>386-288-5067</u>	
SHEET METAL <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

25-45-16-03124-106

Clerk's Office Stamp

Inst: 201912017009 Date: 07/22/2019 Time: 1:50PM
Page 1 of 1 B: 1389 P: 1477, P. DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description):
a) Street (job) Address: _____
2. General description of improvements: garage build
3. Owner Information or Lessee Information if the Lessee contracted for the improvements:
a) Name and address: Ashley S. Ward Jr. 187 SW Asherville Way Cape City FL 32024
b) Name and address of fee simple titleholder (if other than owner): _____
c) Interest in property: _____
4. Contractor Information
a) Name and address: Ashley S. Ward Jr. 187 SW Asherville Way Cape City FL 32024
b) Telephone No.: 306-288-5067
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: _____ OF _____
b) Telephone No.: _____
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. _____
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager
Ashley S. Ward Jr.
Printed Name and Signatory's Title/Office

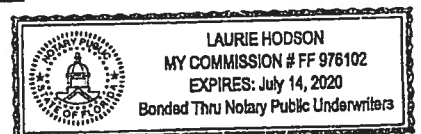
The foregoing instrument was acknowledged before me, a Florida Notary, this 12 day of July, 2019, by:

Ashley S. Ward Jr as owner for Self
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known _____ OR Produced Identification ✓ Type ECOL

Notary Signature _____

Notary Stamp or Seal:





COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myfloridalicense.com/dbpr/> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

191 SW Asheville Way, Lake City, FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

() Single Family Dwelling () Two-Family Residence () Farm Outbuilding

☒ Addition, Alteration, Modification or other Improvement

() Commercial, Cost of Construction _____ for construction of _____

() Other _____

I Ashley S. Ward Jr., have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Owner Builder Signature

Date

7/12/19

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification _____

Notary Signature

Date

Deanna L. Nist

7/12/19



(Seal)

DEANNA L. NIST
Commission # GG 293283
Expires March 9, 2023
Bonded Thru Budget Notary Service

FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative

[Signature]

Legend

Parcels

Roads

- Roads
- others
- Dirt
- Interstate
- Main
- Other
- Paved
- Private

Addressing:2018 Base Flood Elevation Group

2018 Base Flood Elevations

DEFAULT

Base Flood Elevations

2018 Base Flood Elevation Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

Contours

default(Contours.shp)

DEFAULT

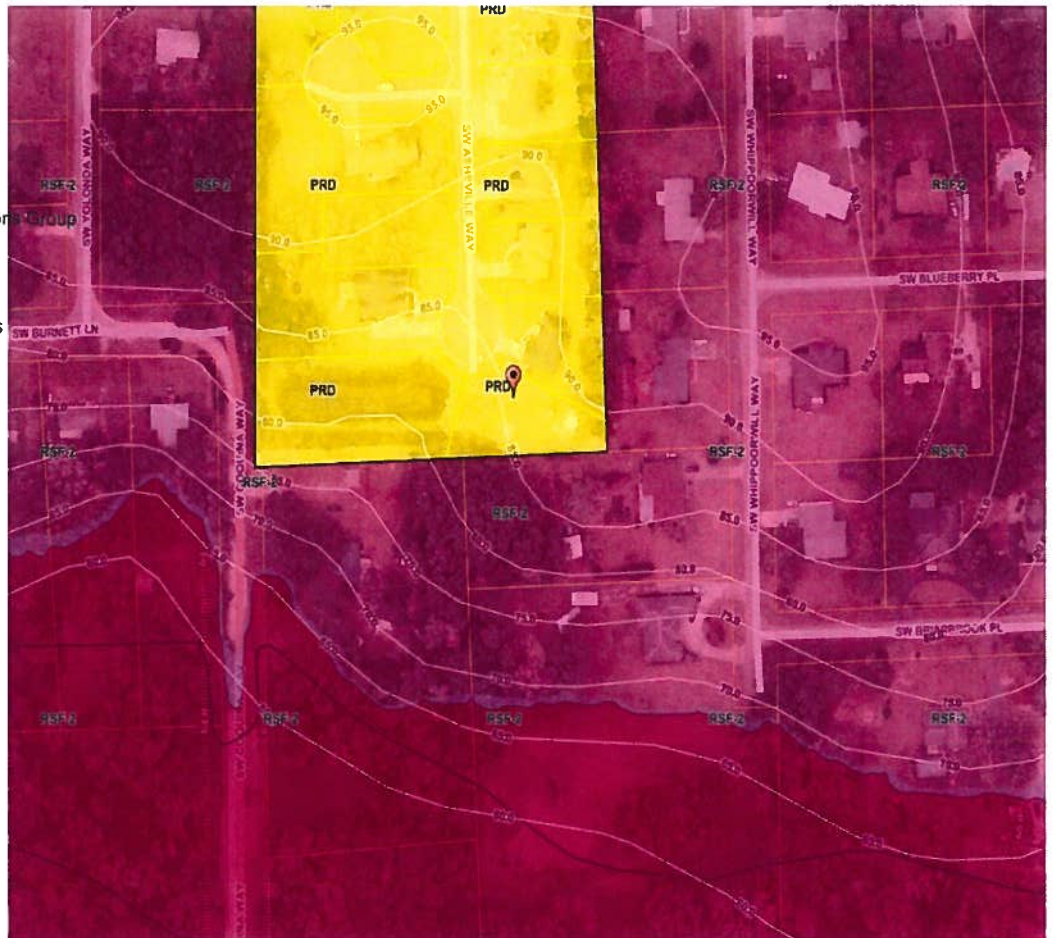
2018Aerials

DevZones1

- others
- A-1
- A-2
- A-3
- CG
- CHI
- CI
- CN
- CSV
- ESA-2
- I
- ILW
- MUD-1
- PRD
- PRRD
- RMF-1
- RMF-2
- RO
- RR
- RSF-1
- RSF-2
- RSF-3
- RSF/MH-1
- RSF/MH-2
- RSF/MH-3
- DEFAULT

Columbia County, FLA - Building & Zoning Property Map

Printed: Wed Jul 17 2019 08:29:12 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 25-4S-16-03124-106

Owner: WARD ASHLEY SCOTT JR

Subdivision: HICKORY COVE

Lot:

Acres: 0.3700809

Deed Acres:

District: District 5 Tim Murphy

Future Land Uses: Residential - Low

Flood Zones:

Official Zoning Atlas: PRD, RSF-2

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated: 6/25/2019

Parcel: << **25-4S-16-03124-106** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 8 of 8

Owner	WARD ASHLEY SCOTT JR 187 SW ASHEVILLE WAY LAKE CITY, FL 32024		
Site	191 ASHEVILLE WAY,		
Description*	LOT 6 HICKORY COVE. WD 1157-149, WD 1254-500, SWD 1291-2492,		
Area	0.37 AC	S/T/R	25-4S-16
Use Code**	VACANT (000000)	Tax District	2

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Working Values	
Mkt Land (1)	\$10,714	Mkt Land (1)	\$10,714
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$10,714	Just	\$10,714
Class	\$0	Class	\$0
Appraised	\$10,714	Appraised	\$10,714
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$10,714	Assessed	\$10,714
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$10,714 city:\$10,714 other:\$10,714 school:\$10,714	Total Taxable	county:\$10,714 city:\$10,714 other:\$10,714 school:\$10,714

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
2/12/2015	\$100	1291/2492	WD	V	U	11
5/3/2013	\$11,000	1254/0500	WD	V	U	37
8/22/2008	\$375,000	1157/0149	WD	V	Q	

▼ Building Characteristics

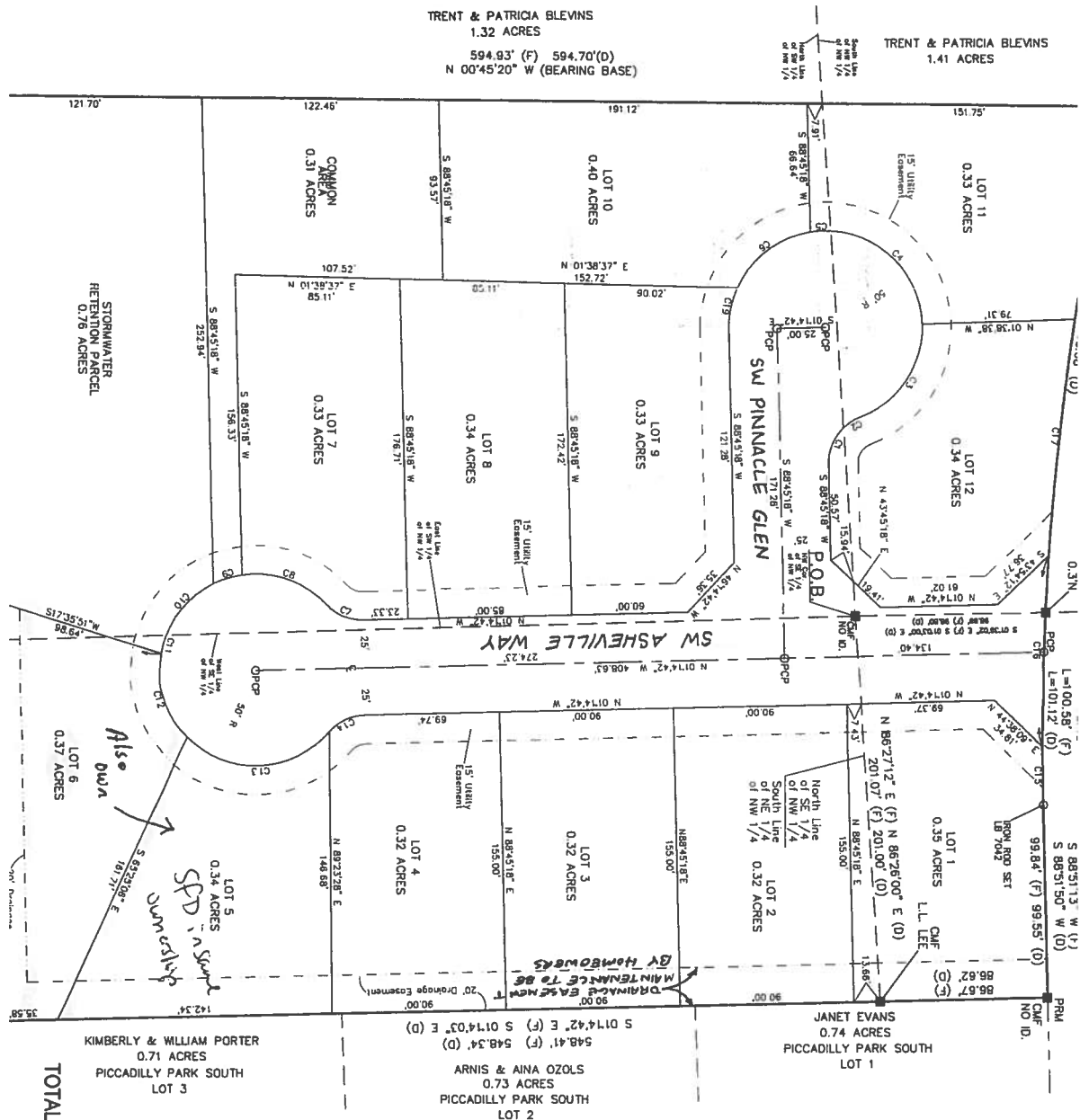
Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

▼ Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value



TOTAL= 6.09 ACRES

SHEET 3 OF 3 PLAT DATE 04/04/2007

PLAT NATE: 03/04/2007

DESCRIPTION: Furnished by Client.

BEGIN at the Northeast corner of the SE 1/4 of the NW 1/4 of Section 25, Township 4 South, Range 16 East, Columbia County, Florida, and run N 86°55'00" E, along the North line of the SE 1/4 of the NW 1/4, 201.00 feet to a concrete monument, thence S 1°14'03" E, 461.72 feet to a concrete monument, thence S 88°53'20" E, 482.76 feet to a concrete monument, thence N 0°45'20" E, 594.70 feet to its intersection with the Southerly right of way line of SR. S-242 and to a concrete monument, said point being on a curve concave to the left having a radius of 1472.55 feet and a total central angle of 95°10'00", thence easterly along the arc of said curve to a concrete monument, thence along the line S 103°00" E, along the East line of the NW 1/4 of the NW 1/4, a distance of 98.80 feet to the POINT OF BEGINNING.

AND ALSO

TOWNSHIP 4 SOUTH - RANGE 16 EAST

SECTION 25, BEGIN at the NW corner of SE 1/4 of NW 1/4 of Section 25, Township 4 South, Range 16 East, run thence N 86°26' E, 201.00 feet; thence run N 1°14'03" W, 86.62 feet to the South right-of-way line of State Road 242, run thence S 88°51'50" W, along the South right-of-way line of said road 99.53 feet, continue along said right-of-way line an east distance of 172.62 feet, thence S 1°13'02" E, 98.80 feet to the POINT OF BEGINNING.

ALTOGETHER Containing 6.09 acres, more or less.

AND ALSO

TOWNSHIP 4 SOUTH - RANGE 16 EAST
SECTION 25: BEGIN at the NW corner of

Section 25, Township 4 South, Range 16 East, run thence S 86°26' E, 201.00 feet; thence run N 11°40'3" W, 86.62 feet to the South right-of-way line of State Road 242, run thence S 88°51'50" W, along the South right-of-way line of said road 99.55 feet; continue along said right-of-way line on arc distance of 101.12 feet; run thence S 139°02' E 98.80 feet to the POINT OF BEGINNING.

ALTOGETHER containing 6.49 acres, more or less

LEADS

ACC - SECTION	CAF - CONCRETE	MANAGEMENT	PAVED
AD - ADDRESS	CH - CHIMNEY	MAINTENANCE	SET
AGE - AGE	CL - CLOSET	MAINTENANCE	SET
AL - ALLEY	CM - CEMENT	MAINTENANCE	SET
AM - AMBULANCE	CO - COIN	MAINTENANCE	SET
AN - ANCHOR	CR - CROWN	MAINTENANCE	SET
AO - ANCHOR	CS - CROWN	MAINTENANCE	SET
AP - APARTMENT	CT - CROWN	MAINTENANCE	SET
AR - ARCH	CU - CROWN	MAINTENANCE	SET
AS - ASBESTOS	CV - CROWN	MAINTENANCE	SET
AT - ATTACHMENT	CA - CROWN	MAINTENANCE	SET
AV - AVENUE	CB - CROWN	MAINTENANCE	SET
AW - AWARD	CC - CROWN	MAINTENANCE	SET
AX - AX	CD - CROWN	MAINTENANCE	SET
AY - AY	CE - CROWN	MAINTENANCE	SET
AZ - AZ	CF - CROWN	MAINTENANCE	SET
BA - BATH	CG - CROWN	MAINTENANCE	SET
BB - BATH	CH - CROWN	MAINTENANCE	SET
BC - BATH	CI - CROWN	MAINTENANCE	SET
BD - BATH	CJ - CROWN	MAINTENANCE	SET
BE - BATH	CK - CROWN	MAINTENANCE	SET
BF - BATH	CL - CROWN	MAINTENANCE	SET
BG - BATH	CM - CROWN	MAINTENANCE	SET
BH - BATH	CN - CROWN	MAINTENANCE	SET
BI - BATH	CO - CROWN	MAINTENANCE	SET
BJ - BATH	CP - CROWN	MAINTENANCE	SET
BK - BATH	CQ - CROWN	MAINTENANCE	SET
BL - BATH	CR - CROWN	MAINTENANCE	SET
BM - BATH	CS - CROWN	MAINTENANCE	SET
BN - BATH	CT - CROWN	MAINTENANCE	SET
BO - BATH	CU - CROWN	MAINTENANCE	SET
BP - BATH	CV - CROWN	MAINTENANCE	SET
BQ - BATH	CA - CROWN	MAINTENANCE	SET
BR - BATH	CB - CROWN	MAINTENANCE	SET
BS - BATH	CC - CROWN	MAINTENANCE	SET
BT - BATH	CD - CROWN	MAINTENANCE	SET
BV - BATH	CE - CROWN	MAINTENANCE	SET
BW - BATH	CF - CROWN	MAINTENANCE	SET
BX - BATH	CG - CROWN	MAINTENANCE	SET
BY - BATH	CH - CROWN	MAINTENANCE	SET
BZ - BATH	CI - CROWN	MAINTENANCE	SET
CA - CABIN	CJ - CROWN	MAINTENANCE	SET
CB - CABIN	CK - CROWN	MAINTENANCE	SET
CC - CABIN	CL - CROWN	MAINTENANCE	SET
CD - CABIN	CM - CROWN	MAINTENANCE	SET
CE - CABIN	CN - CROWN	MAINTENANCE	SET
CF - CABIN	CO - CROWN	MAINTENANCE	SET
CG - CABIN	CP - CROWN	MAINTENANCE	SET
CH - CABIN	CQ - CROWN	MAINTENANCE	SET
CI - CABIN	CR - CROWN	MAINTENANCE	SET
CJ - CABIN	CS - CROWN	MAINTENANCE	SET
CK - CABIN	CT - CROWN	MAINTENANCE	SET
CL - CABIN	CU - CROWN	MAINTENANCE	SET
CM - CABIN	CV - CROWN	MAINTENANCE	SET
CN - CABIN	CA - CROWN	MAINTENANCE	SET
CO - CABIN	CB - CROWN	MAINTENANCE	SET
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DEVELOPER
Frontier Capital, LLC
P.O. Box 3566, Lake City, FL 32056
Contact: Charlie Sparks (386) 755-0808

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**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST**

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2017 EFFECTIVE 1 JANUARY 2018
AND THE NATIONAL ELECTRICAL 2014 EFFECTIVE 1 JANUARY 2018

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODES RESIDENTIAL AND THE NATIONAL ELECTRICAL CODE. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS, FBC 1609.3.1 THRU 1609.3.3.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES
Revised 7/1/18

Website: <http://www.columbiacountyfla.com/BuildingandZoning.asp>

Items to Include-
Each Box shall be
Circled as
Applicable

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Select From Drop down

1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.)	Total (Sq. Ft.) under roof	1504	Yes No NA

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL 107.1.

Site Plan information including:

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details are required.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	Yes	No	NA
		Select From Drop down		
9	Basic wind speed (3-second gust), miles per hour	<input checked="" type="checkbox"/>		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	<input checked="" type="checkbox"/>		
11	Wind importance factor and nature of occupancy	<input checked="" type="checkbox"/>		
12	The applicable internal pressure coefficient, Components and Cladding	<input checked="" type="checkbox"/>		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifiically designed by the registered design professional.	<input checked="" type="checkbox"/>		

Elevations Drawing including:

14	All side views of the structure	<input checked="" type="checkbox"/>		
15	Roof pitch	<input checked="" type="checkbox"/>		
16	Overhang dimensions and detail with attic ventilation	<input checked="" type="checkbox"/>		
17	Location, size and height above roof of chimneys	<input checked="" type="checkbox"/>		
18	Location and size of skylights with Florida Product Approval	<input checked="" type="checkbox"/>		
19	Number of stories	<input checked="" type="checkbox"/>		
20	Building height from the established grade to the roofs highest peak	<input checked="" type="checkbox"/>		

Floor Plan Including:

21	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	- ✓		
22	Raised floor surfaces located more than 30 inches above the floor or grade	-		✓
23	All exterior and interior shear walls indicated	-		✓
24	Shear wall opening shown (Windows, Doors and Garage doors)	- ✓		
25	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	✓ -		
26	Safety glazing of glass where needed	-		✓
27	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)	-		✓
28	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	-		✓
29	Identify accessibility of bathroom (see FBCR SECTION 320)	-		✓

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans
(see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
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FBCR 403: Foundation Plans

Select From Drop down

30	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing	- ✓		
31	All posts and/or column footing including size and reinforcing	- ✓		
32	Any special support required by soil analysis such as piling.	- ✓		
33	Assumed load-bearing value of soil _____ Pound Per Square Foot	-		
34	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	- ✓		

FBCR 506: CONCRETE SLAB ON GRADE

35	Show Vapor retarder (6mil. Polyethylene with joints sealed) _____	- ✓		
36	Show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and Supports	- ✓		

FBCR 318: PROTECTION AGAINST TERMITES

37	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides	- ✓		
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

38	Show all materials making up walls, wall height, and Block size, mortar type	-		✓
39	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	-		✓

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

40	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	-		
41	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	-		
42	Girder type, size and spacing to load bearing walls, stem wall and/or piers	-		
43	Attachment of joist to girder	-		
44	Wind load requirements where applicable	-		
45	Show required under-floor crawl space	-		
46	Show required amount of ventilation opening for under-floor spaces	-		
47	Show required covering of ventilation opening	-		
48	Show the required access opening to access to under-floor spaces	-		
49	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing	-		
50	Show Draftstopping, Fire caulking and Fire blocking	-		
51	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6	-		
52	Provide live and dead load rating of floor framing systems (psf).	-		

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		Select from Drop down		
53	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	-	✓	
54	Fastener schedule for structural members per table FBC-R602.3.2 are to be shown	-	✓	
55	Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	-	✓	
56	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	-	✓	
57	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBC-R602.7.	-	✓	
58	Indicate where pressure treated wood will be placed	-	✓	
59	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	-	✓	
60	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	-	✓	

FBCR :ROOF SYSTEMS:

61	Truss design drawing shall meet section FBC-R 802.10. 1 Wood trusses	-	✓	
62	Include a layout and truss details, signed and sealed by Florida Professional Engineer	-	✓	
63	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	-	✓	
64	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	-	✓	
65	Provide dead load rating of trusses	-	✓	

FBCR 802:Conventional Roof Framing Layout

66	Rafter and ridge beams sizes, span, species and spacing	-		✓
67	Connectors to wall assemblies' include assemblies' resistance to uplift rating	-		✓
68	Valley framing and support details	-		✓
69	Provide dead load rating of rafter system	-		✓

FBCR 803 ROOF SHEATHING

70	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	-	✓	
71	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	-	✓	

ROOF ASSEMBLIES FRC Chapter 9

72	Include all materials which will make up the roof assemblies covering	-	✓		
73	Submit Florida Product Approval numbers for each component of the roof assemblies covering	-	✓		

FBCR Chapter 11 Energy Efficiency Code for Residential Building

Residential construction shall comply with this code by using the following compliance methods in the FBCR Chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600.A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
Select from Drop Down				
74	Show the insulation R value for the following areas of the structure	-		✓
75	Attic space	-		✓
76	Exterior wall cavity	-		✓
77	Crawl space	-		✓

HVAC information

78	Submit two copies of a Manual J sizing equipment or equivalent computation study	-			✓
79	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required	-			✓
80	Show clothes dryer route and total run of exhaust duct	-			✓

Plumbing Fixture layout shown

81	All fixtures waste water lines shall be shown on the foundation plan	-			✓
82	Show the location of water heater	-			✓

Private Potable Water

83	Pump motor horse power	-			✓
84	Reservoir pressure tank gallon capacity	-			✓
85	Rating of cycle stop valve if used	-			✓

Electrical layout shown including

86	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	-	✓		
87	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	-	✓		
88	Show the location of smoke detectors & Carbon monoxide detectors	-	✓		
89	Show service panel, sub-panel, location(s) and total ampere ratings	-	✓		
90	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	-	✓		
91	Appliances and HVAC equipment and disconnects	-			✓
92	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter, Protection device.	-			✓

Notice Of Commencement:

A notice of commencement form RECORDED in the Columbia County Clerk Office is required to be filed with the Building Department BEFORE ANY INSPECTIONS can be performed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
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****ITEMS 95, 96, & 98 Are Required After APPROVAL from the ZONING DEPT.****

Select from Drop down

93	Building Permit Application A current Building Permit Application is to be completed, by following the Checklist all supporting documents must be submitted. There is a \$15.00 application fee. The completed application with attached documents and application fee can be mailed.	-		
94	Parcel Number The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also required. www.columbiacountyfla.com	-		
95	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	-		
96	City of Lake City A City Water and/or Sewer letter. Call 386-752-2031	-		
97	Toilet facilities shall be provided for all construction sites	-		
98	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.	-		
99	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations (Municode.com)	-		
100	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.	-		
101	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is \$50.00	-		
102	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	-		
103	911 Address: An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125.	-		

Ordinance Sec. 90-75. - Construction debris. (e) It shall be unlawful for any person to dispose of or discard solid waste, including construction or demolition debris at any place within the county other than on an authorized disposal site or at the county's solid waste facilities. The temporary storage, not to exceed seven days of solid waste (excluding construction and demolition debris) on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance, shall not be deemed a violation of this section. The temporary storage of construction and demolition debris on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance shall not be deemed in violation of this section, provided, however, such construction and demolition debris must be disposed of in accordance with this article prior to the county's issuance of a certificate of occupancy for the premises. The burning of lumber from a construction or demolition project or vegetative trash when done so with legal and proper permits from the authorized agencies and in accordance with such agencies' rules and regulations, shall not be deemed a violation of this section. No person shall bury, throw, place, or deposit, or cause to be buried, thrown, placed, or deposited, any solid waste, special waste, or debris of any kind into or on any of the public streets, road right-of-way, highways, bridges, alleys, lanes, thoroughfares, waters, canals, or vacant lots or lands within the county. No person shall bury any vegetative trash on any of the public streets, road right-of-way, highways, bridges, lanes, thoroughfares, waters, canals, or lots less than ten acres in size within the county.

Disclosure Statement for Owner Builders:

If you as the Applicant will be acting as your own contractor or owner/builder under section 489.103(7) Florida Statutes, you must submit the required notarized Owner Builder Disclosure Statement form.

**This form can be printed from the Columbia County Website on the Building and Zoning page under Documents. Web address is - <http://www.columbiacountyfla.com/BuildingandZoning.asp>

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

Notification:

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.



Lumber design values are in accordance with ANSI/TPI 1 section 6.3
These truss designs rely on lumber values established by others.

RE: 1953976 - AJ WARD - GARAGE

MiTek USA, Inc.

6904 Parke East Blvd.
Tampa, FL 33610-4115

Site Information:

Customer Info: AJ Ward Project Name: Ward Garage Model: Custom
Lot/Block: N/A Subdivision: N/A
Address: 187 SW Asheville Way, N/A
City: Columbia Cty State: FL

Name Address and License # of Structural Engineer of Record, If there is one, for the building.

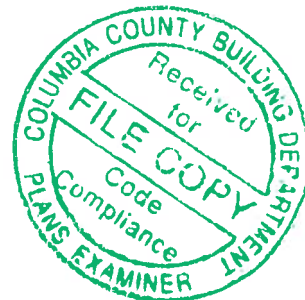
Name: License #:
Address:
City: State:

General Truss Engineering Criteria & Design Loads (Individual Truss Design Drawings Show Special Loading Conditions):

Design Code: FBC2017/TPI2014 Design Program: MiTek 20/20 8.2
Wind Code: ASCE 7-10 Wind Speed: 130 mph
Roof Load: 37.0 psf Floor Load: N/A psf

This package includes 3 individual, Truss Design Drawings and 0 Additional Drawings.
With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

No.	Seal#	Truss Name	Date
1	T17536357	T01	7/8/19
2	T17536358	T01G	7/8/19
3	T17536359	T02G	7/8/19

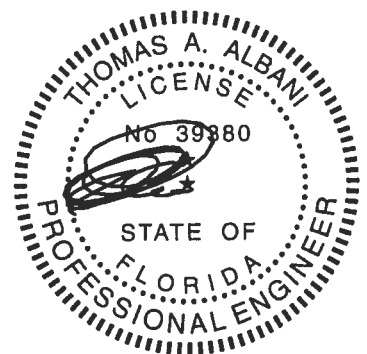


The truss drawing(s) referenced above have been prepared by MiTek USA, Inc. under my direct supervision based on the parameters provided by Builders FirstSource-Jacksonville.

Truss Design Engineer's Name: Albani, Thomas

My license renewal date for the state of Florida is February 28, 2021.

IMPORTANT NOTE: The seal on these truss component designs is a certification that the engineer named is licensed in the jurisdiction(s) identified and that the designs comply with ANSI/TPI 1. These designs are based upon parameters shown (e.g., loads, supports, dimensions, shapes and design codes), which were given to MiTek or TRENCO. Any project specific information included is for MiTek's or TRENCO's customers file reference purpose only, and was not taken into account in the preparation of these designs. MiTek or TRENCO has not independently verified the applicability of the design parameters or the designs for any particular building. Before use, the building designer should verify applicability of design parameters and properly incorporate these designs into the overall building design per ANSI/TPI 1, Chapter 2.



Thomas A. Albani PE No.39380
MiTek USA, Inc. FL Cert 6634
6904 Parke East Blvd. Tampa FL 33610
Date:

July 8, 2019

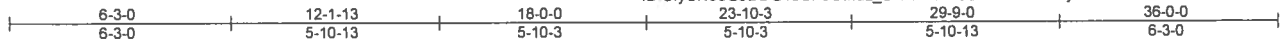
Albani, Thomas

1 of 1

Job	Truss	Truss Type	Qty	Ply	AJ WARD - GARAGE	T17536357
1953976	T01	Common	18	1		

Builders FirstSource, Jacksonville, FL - 32244,

8 240 s Jun 8 2019 MiTek Industries, Inc. Mon Jul 8 11 22 34 2019 Page 1
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Scale = 1/63 1

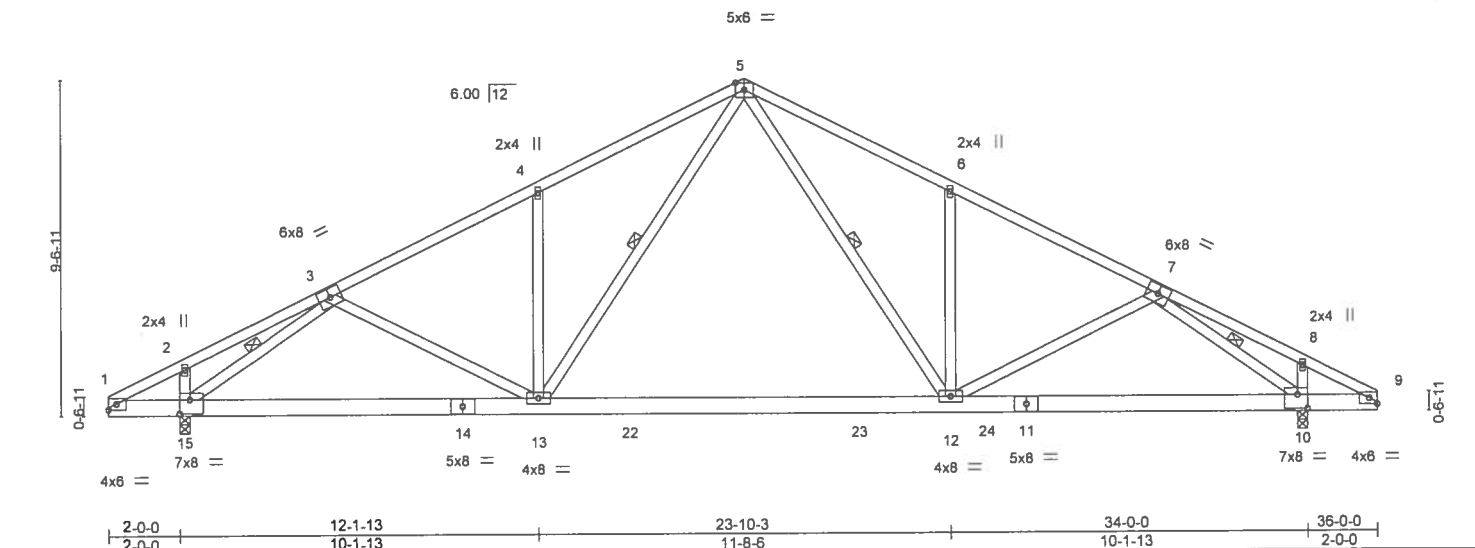


Plate Offsets (X,Y)--		[10'-0'-3'-8'-0'-4'-12']; [15'-0'-3'-8'-0'-4'-12']									
LOADING (psf)	SPACING-	2-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP		
TCCL 20.0	Plate Grip DOL	1.25	TC 0.80	Vert(LL)	0.66 12-13	>574	240	MT20	244/190		
TCDL 7.0	Lumber DOL	1.25	BC 0.49	Vert(CT)	-0.59 12-13	>644	180				
BCLL 0.0 *	Rep Stress Incr	NO	WB 0.80	Horz(CT)	0.04 10	n/a	n/a				
BCDL 10.0	Code FBC2017/TPI2014		Matrix-MS								
										Weight: 230 lb	FT = 20%

LUMBER-		BRACING-	
TOP CHORD	2x4 SP No.2	TOP CHORD	Structural wood sheathing directly applied or 3-5-13 oc purlins.
BOT CHORD	2x6 SP M 26	BOT CHORD	Rigid ceiling directly applied or 6-0-0 oc bracing.
WEBS	2x4 SP No.3	WEBS	1 Row at midpt 5-12, 5-13, 3-15, 7-10

REACTIONS.		(lb/size)	15=1689/0-3-8, 10=1695/0-3-8
		Max Horz	15=-189(LC 13)
		Max Uplift	15=-748(LC 9), 10=-752(LC 8)

FORCES.		(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD	3-4=-2257/2617, 4-5=-2267/2805, 5-6=-2278/2818, 6-7=-2268/2630	
BOT CHORD	13-15=-1829/1702, 12-13=-1373/1429, 10-12=-1838/1711	
WEBS	5-12=-1353/1046, 6-12=-352/372, 7-12=-299/409, 5-13=-1331/1027, 4-13=-352/372, 3-13=-297/407, 3-15=-2226/2354, 7-10=-2235/2365	

- NOTES-**
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph; TCDL=4.2psf, BCDL=3.0psf; h=18ft; Cat. II; Exp C; Encl., GCpi=0.18; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; cantilever left and right exposed; porch left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
 - All bearings are assumed to be SP No 2 crushing capacity of 565 psi.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 15=748, 10=752.
 - In the LOAD CASE(S) section, loads applied to the face of the truss are noted as front (F) or back (B).

LOAD CASE(S)		Standard
1) Dead + Roof Live (balanced):	Lumber Increase=1.25, Plate Increase=1.25	
Uniform Loads (plf)		
Vert:	1-5=-54, 5-9=-54, 13-16=-20, 13-24=-80(F=-60), 19-24=-20	



Thomas A. Albani PE No.39380
MiTek USA, Inc. FL Cert 6634
6904 Parke East Blvd. Tampa FL 33610
Date:

July 8, 2019

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITTEK REFERENCE PAGE MII-7473 rev. 10/03/2015 BEFORE USE.
Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see **ANSI/TPI1 Quality Criteria, DSB-89 and BCS1 Building Component Safety Information** available from Truss Plate Institute, 218 N. Lee Street, Suite 312, Alexandria, VA 22314.



6904 Parke East Blvd.
Tampa, FL 33610

Job	Truss	Truss Type	Qty	Ply	AJ WARD - GARAGE	T17536358
1953976	T01G	Common Supported Gable	1	1	Job Reference (optional)	

Builders FirstSource, Jacksonville, FL - 32244,

8 240 s Jun 8 2019 MiTek Industries, Inc Mon Jul 8 11 22 36 2019 Page 1
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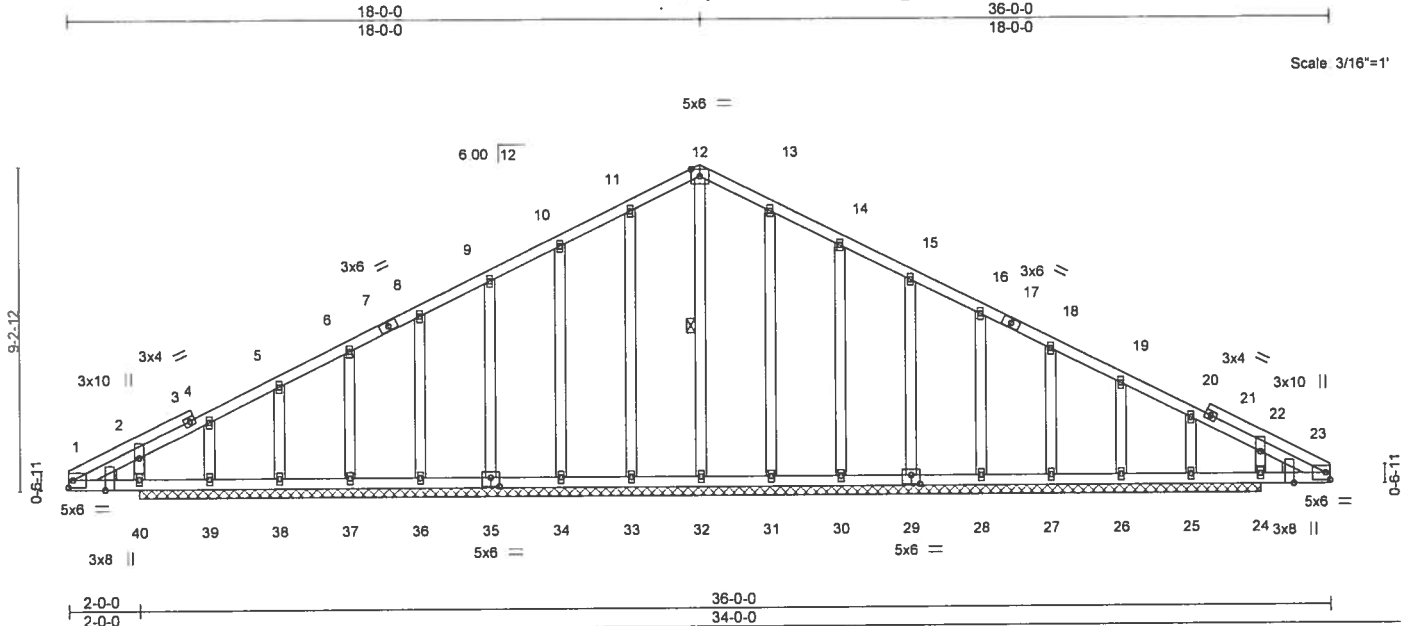


Plate Offsets (X,Y) - [1:0-3-8,Edge], [23:0-3-8,Edge], [29:0-3-0,0-3-0], [35:0-3-0,0-3-0]

LOADING (psf)	SPACING-	2-0-0	CSL	DEFL.	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plate Grip DOL	1.25	TC 0.09	Vert(LL)	n/a	-	n/a	999	MT20	244/190
TCDL 7.0	Lumber DOL	1.25	BC 0.08	Vert(CT)	n/a	-	n/a	999		
BCLL 0.0 *	Rep Stress Incr	YES	WB 0.14	Horz(CT)	0.01	24	n/a	n/a		
BCDL 10.0	Code FBC2017/TPI2014		Matrix-S						Weight: 239 lb	FT = 20%

LUMBER-
TOP CHORD 2x4 SP No.2
BOT CHORD 2x4 SP No.2
OTHERS 2x4 SP No.3
WEDGE
Left: 2x4 SP No.3, Right: 2x4 SP No.3

BRACING-
TOP CHORD Structural wood sheathing directly applied or 10-0-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.
WEBS 1 Row at midpt 12-32

REACTIONS. All bearings 32-0-0.
(lb) - Max Horz 40=-182(LC 13)
Max Uplift All uplift 100 lb or less at joint(s) 33, 34, 35, 36, 37, 38, 40, 31, 30, 29, 28, 27, 26, 24 except 39=-173(LC 12), 25=-152(LC 13)
Max Grav All reactions 250 lb or less at joint(s) 32, 33, 34, 35, 36, 37, 38, 39, 40, 31, 30, 29, 28, 27, 26, 25, 24

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 10-11=-101/283, 11-12=-121/338, 12-13=-121/338, 13-14=-101/283

- NOTES-**
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph; TCDL=4.2psf; BCDL=3.0psf; h=18ft; Cat. II; Exp C; Encl., GCpi=0.18; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; cantilever left and right exposed ;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
 - All plates are 2x4 MT20 unless otherwise indicated.
 - Gable studs spaced at 2-0-0 oc.
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - All bearings are assumed to be SP No.2 crushing capacity of 565 psi.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 32, 33, 34, 35, 36, 37, 38, 40, 31, 30, 29, 28, 27, 26, 24 except (it=lb) 39=173, 25=152.
 - Non Standard bearing condition. Review required.



Thomas A. Albani PE No.39380
MiTek USA, Inc. FL Cert 6634
6904 Parke East Blvd. Tampa FL 33610
Date:

July 8, 201

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 10/03/2015 BEFORE USE.
Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information available from Truss Plate Institute, 218 N. Lee Street, Suite 312, Alexandria, VA 22314.

MiTek

6904 Parke East Blvd
Tampa, FL 33610

Job	Truss	Truss Type	Qty	Ply	AJ WARD - GARAGE	T17536359
1953976	T02G	GABLE	1	1	Job Reference (optional)	

Builders FirstSource, Jacksonville, FL - 32244,

8 240 s Jun 8 2019 MiTek Industries, Inc Mon Jul 8 11 22 38 2019 Page 1
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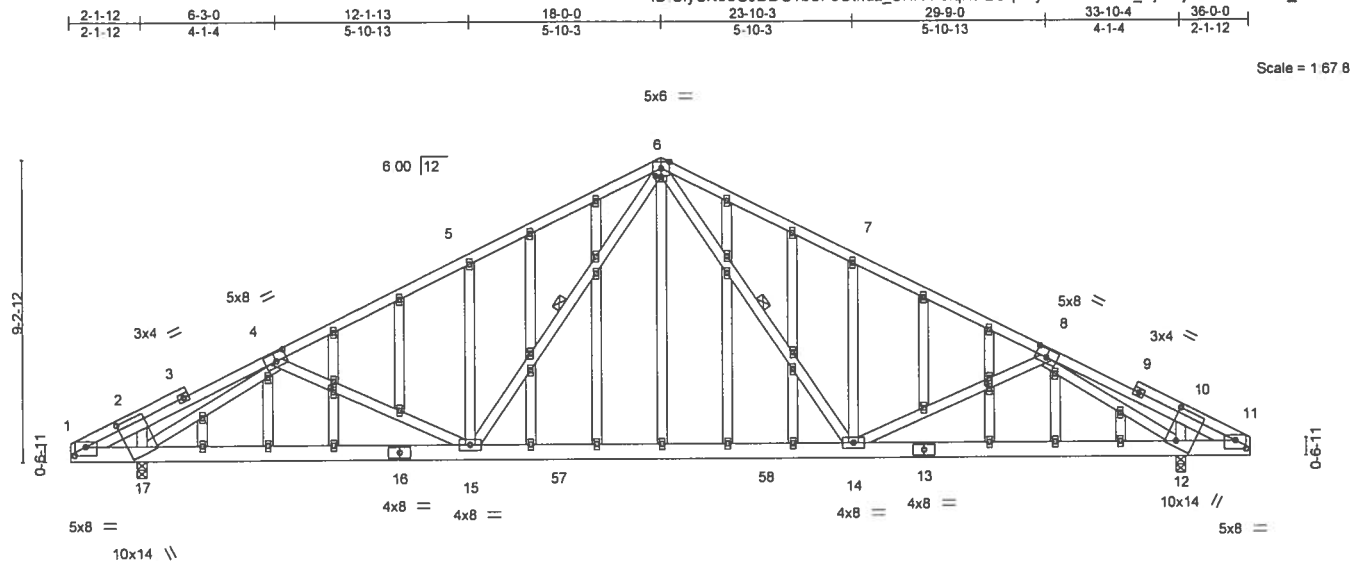


Plate Offsets (X,Y)-	[1:0-4-0,0-3-1], [2:0-0-0,0-1-15], [4:0-4-0,0-3-0], [6:0-2-0,0-0-4], [8:0-4-0,0-3-0], [10:0-0-0,0-1-15], [11:0-4-0,0-3-1], [12:0-11-12,0-3-12], [17:0-1-15,1-1-7], [27:0-1-14,0-1-0], [44:0-1-14,0-1-0]
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LOADING (psf)	SPACING-	2-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plate Grip DOL	1.25	TC 0.61	Vert(LL)	0.26 14-15	>999	240	MT20	244/190
TCDL 7.0	Lumber DOL	1.25	BC 0.64	Vert(CT)	-0.38 14-15	>995	180		
BCLL 0.0 *	Rep Stress Incr	YES	WB 0.75	Horz(CT)	0.04 12	n/a	n/a		
BCDL 10.0	Code FBC2017/TPI2014		Matrix-MS					Weight: 319 lb	FT = 20%

LUMBER-

TOP CHORD 2x4 SP No.2
BOT CHORD 2x6 SP No.2
WEBS 2x4 SP No.3
OTHERS 2x4 SP No.3

BRACING-

TOP CHORD Structural wood sheathing directly applied or 4-2-14 oc purlins.
BOT CHORD Rigid ceiling directly applied or 5-10-15 oc bracing.
WEBS 1 Row at midpt 6-14, 6-15

REACTIONS.

(lb/size) 12=1332/0-3-8, 17=1332/0-3-8
Max Horz 17=182(LC 12)
Max Uplift 12=564(LC 8), 17=564(LC 9)

FORCES.

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-4=-199/292, 4-5=-1622/1888, 5-6=-1633/2078, 6-7=-1633/2078, 7-8=-1622/1888, 8-10=-199/292
BOT CHORD 15-17=-1454/1364, 14-15=-923/1025, 12-14=-1454/1364
WEBS 6-14=-964/724, 7-14=-355/374, 8-12=-1545/1595, 10-12=-253/230, 6-15=-964/724, 5-15=-355/374, 4-17=-1545/1595, 2-17=-253/230

NOTES-

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph; TCDL=4.2psf; BCDL=3.0psf; h=18ft, Cat. II; Exp C; Encl., GCpi=0.18; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; cantilever left and right exposed; porch left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- All plates are 2x4 MT20 unless otherwise indicated.
- Gable studs spaced at 2-0-0 oc.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
- All bearings are assumed to be SP No.2 crushing capacity of 565 psi.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 12=564, 17=564.



Thomas A. Albani PE No.39380
MiTek USA, Inc. FL Cert 6634
6904 Parke East Blvd. Tampa FL 33610
Date:

July 8, 2019

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITTEK REFERENCE PAGE MI-7473 rev. 10/03/2015 BEFORE USE.

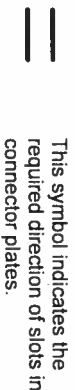
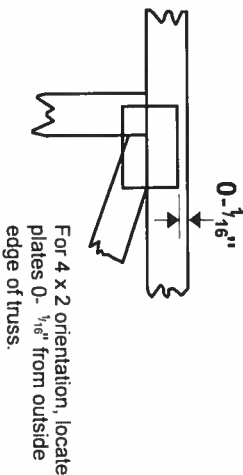
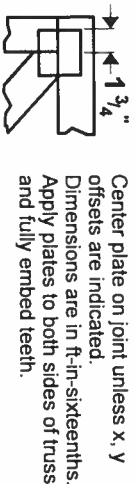
Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information available from Truss Plate Institute, 218 N. Lee Street, Suite 312, Alexandria, VA 22314.



6904 Parke East Blvd
Tampa, FL 33610

Symbols

PLATE LOCATION AND ORIENTATION



* Plate location details available in MITek 20120 software or upon request

PLATE SIZE

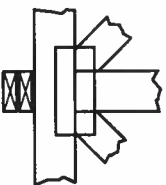
4 X 4

The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING LOCATION



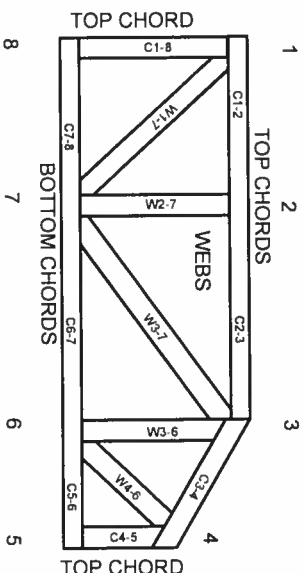
BEARING



Industry Standards:

ANSI/ITP1: National Design Specification for Metal Plate Connected Wood Truss Construction.
DSB-89: Design Standard for Bracing.
BCSI: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System



JOINTS ARE GENERALLY NUMBERED/CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

PRODUCT CODE APPROVALS

ICC-ES Reports:

ESR-1311, ESR-1352, ESR1988
ER-3907, ESR-2362, ESR-1397, ESR-3282

Trusses are designed for wind loads in the plane of the truss unless otherwise shown.

Lumber design values are in accordance with ANSI/TP1 1 section 6.3 These truss designs rely on lumber values established by others.

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MITek Engineering Reference Sheet: MII-7473 rev. 10/03/2015



General Safety Notes

Failure to Follow Could Cause Property Damage or Personal Injury

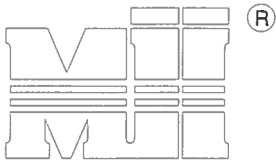
1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCSI.
2. Truss bracing must be designed by an engineer. For wide truss spacing, individual lateral braces themselves may require bracing, or alternative Tor I bracing should be considered.
3. Never exceed the design loading shown and never stack materials on inadequately braced trusses.
4. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
5. Cut members to bear tightly against each other.
6. Place plates on each face of truss at each joint and embed fully. Knots and ware at joint locations are regulated by ANSI/TP1 1.
7. Design assumes trusses will be suitably protected from the environment in accord with ANSI/TP1 1.
8. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
9. Unless expressly noted, this design is not applicable for use with fire retardant, preservative treated, or green lumber.
10. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
11. Plate type, size, orientation and location dimensions indicated are minimum plating requirements.
12. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
13. Top chords must be sheathed or purlins provided at spacing indicated on design.
14. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
15. Connections not shown are the responsibility of others.
16. Do not cut or alter truss member or plate without prior approval of an engineer.
17. Install and load vertically unless indicated otherwise.
18. Use of green or treated lumber may pose unacceptable environmental, health or performance risks. Consult with project engineer before use.
19. Review all portions of this design (front, back, words and pictures) before use. Reviewing pictures alone is not sufficient.
20. Design assumes manufacture in accordance with ANSI/TP1 1 Quality Criteria.

AUGUST 1, 2016

T-BRACE / I-BRACE DETAIL WITH 2X BRACE ONLY

MII-T-BRACE 2

MiTek USA, Inc. Page 1 of 1



MiTek USA, Inc.

ENGINEERED BY
TRENCO
A MiTek Affiliate

Note: T-Bracing / I-Bracing to be used when continuous lateral bracing is impractical. T-Brace / I-Brace must cover 90% of web length.

Note: This detail NOT to be used to convert T-Brace / I-Brace webs to continuous lateral braced webs.

Nailing Pattern

T-Brace size	Nail Size	Nail Spacing
2x4 or 2x6 or 2x8	10d (0.131" X 3")	6" o.c.

Note: Nail along entire length of T-Brace / I-Brace
(On Two-Ply's Nail to Both Plies)

Brace Size for One-Ply Truss

Specified Continuous Rows of Lateral Bracing

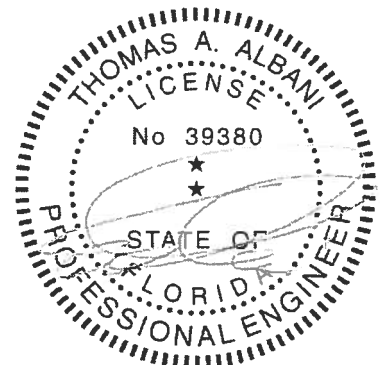
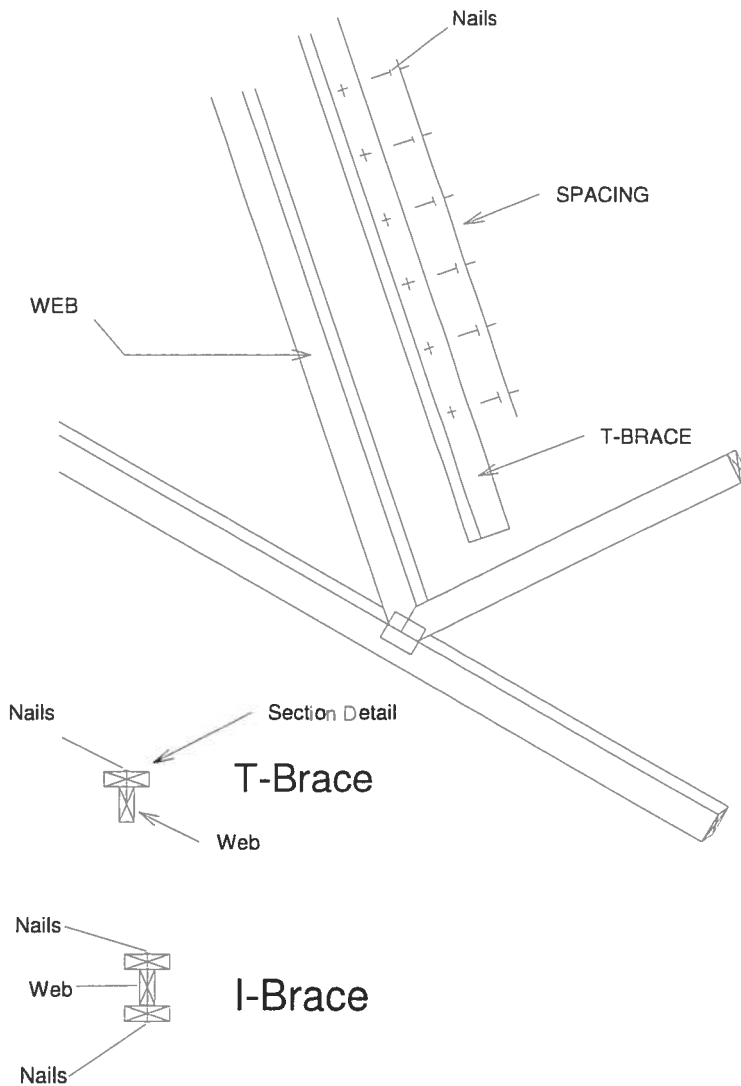
Web Size	1	2
2x3 or 2x4	2x4 T-Brace	2x4 I-Brace
2x6	2x6 T-Brace	2x6 I-Brace
2x8	2x8 T-Brace	2x8 I-Brace

Brace Size for Two-Ply Truss

Specified Continuous Rows of Lateral Bracing

Web Size	1	2
2x3 or 2x4	2x4 T-Brace	2x4 I-Brace
2x6	2x6 T-Brace	2x6 I-Brace
2x8	2x8 T-Brace	2x8 I-Brace

T-Brace / I-Brace must be same species and grade (or better) as web member.



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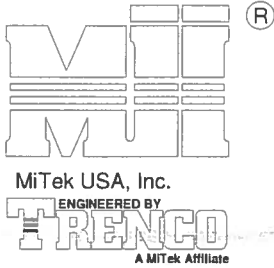
February 12, 2018

AUGUST 1, 2016

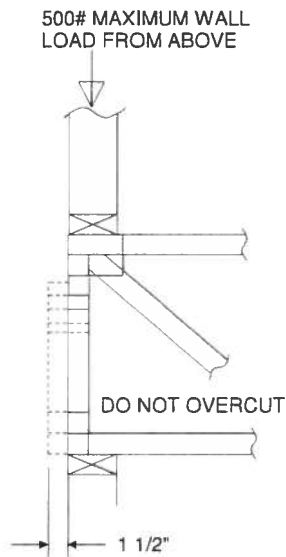
STANDARD REPAIR TO REMOVE END VERTICAL (RIBBON NOTCH VERTICAL)

MII-REP05

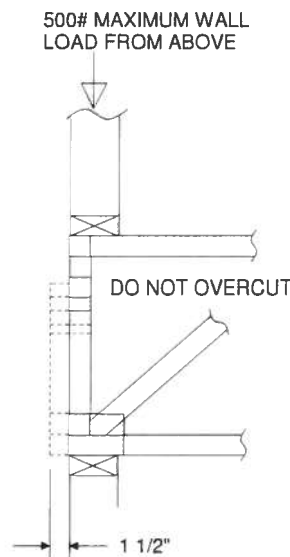
MiTek USA, Inc. Page 1 of 1



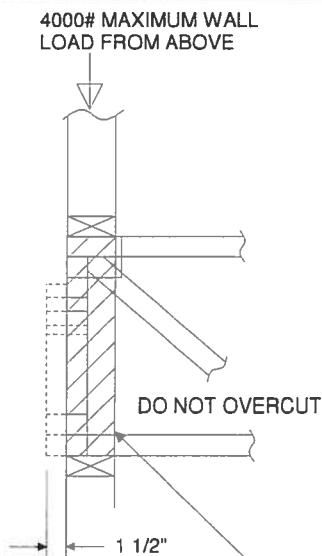
1. THIS IS A SPECIFIC REPAIR DETAIL TO BE USED ONLY FOR ITS ORIGINAL INTENTION. THIS REPAIR DOES NOT IMPLY THAT THE REMAINING PORTION OF THE TRUSS IS UNDAMAGED. THE ENTIRE TRUSS SHALL BE INSPECTED TO VERIFY THAT NO FURTHER REPAIRS ARE REQUIRED. WHEN THE REQUIRED REPAIRS ARE PROPERLY APPLIED, THE TRUSS WILL BE CAPABLE OF SUPPORTING THE LOADS INDICATED.
2. ALL MEMBERS MUST BE RETURNED TO THEIR ORIGINAL POSITIONS BEFORE APPLYING REPAIR AND HELD IN PLACE DURING APPLICATION OF REPAIR.
3. THE END DISTANCE, EDGE DISTANCE, AND SPACING OF NAILS SHALL BE SUCH AS TO AVOID SPLITTING OF THE WOOD.
4. LUMBER MUST BE CUT CLEANLY AND ACCURATELY AND THE REMAINING WOOD MUST BE UNDAMAGED.
5. THIS REPAIR IS TO BE USED FOR SINGLE PLY TRUSSES IN THE 4X ORIENTATION ONLY.
6. CONNECTOR PLATES MUST BE FULLY IMBEDDED AND UNDISTURBED.



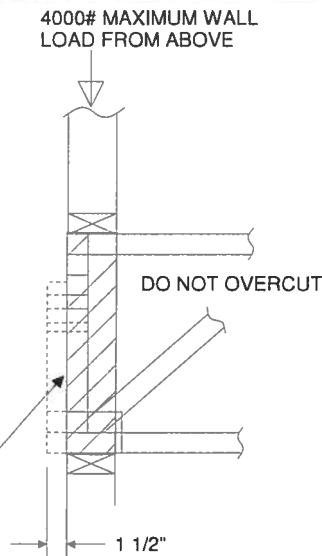
REFER TO INDIVIDUAL TRUSS DESIGN FOR PLATE SIZES AND LUMBER GRADES



TRUSSES BUILT WITH 4x2 MEMBERS

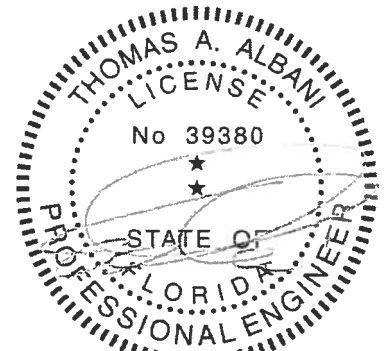


REFER TO INDIVIDUAL TRUSS DESIGN FOR PLATE SIZES AND LUMBER GRADES



TRUSSES BUILT WITH 4x2 MEMBERS

ATTACH 2x4 SQUASH BLOCK (CUT TO FIT TIGHTLY) TO BOTH SIDES OF THE TRUSS AS SHOWN WITH 10d (0.131" X 3") NAILS SPACED 3" O.C.



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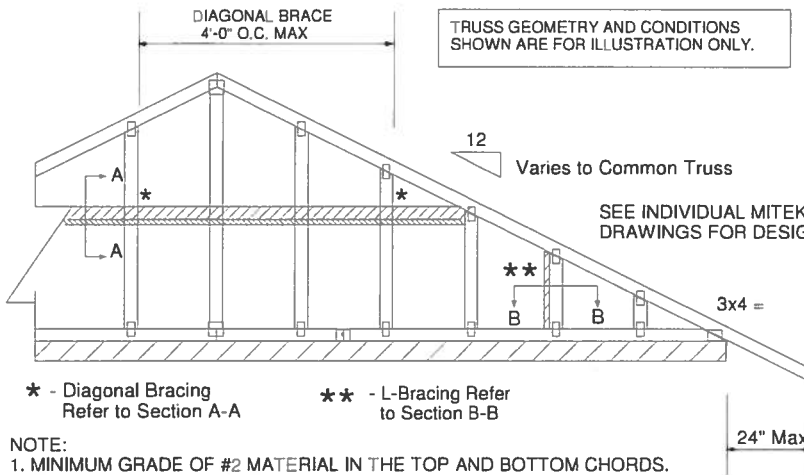
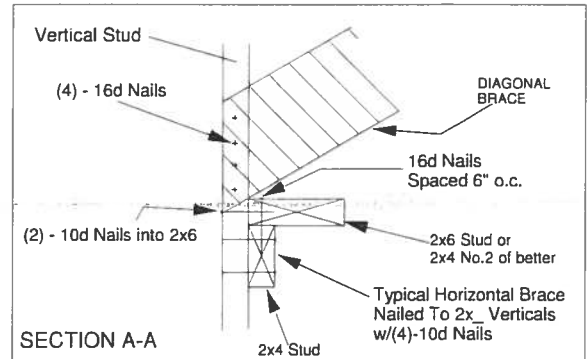
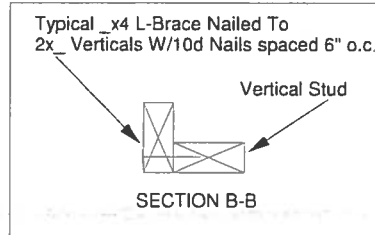
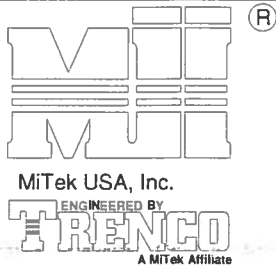
AUGUST 1, 2016

Standard Gable End Detail

MII-GE130-SP

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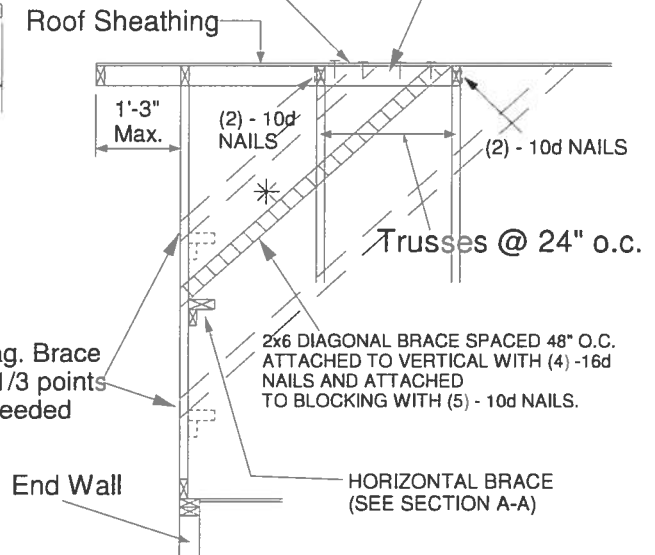


TRUSS GEOMETRY AND CONDITIONS SHOWN ARE FOR ILLUSTRATION ONLY.

SEE INDIVIDUAL MITTEK ENGINEERING DRAWINGS FOR DESIGN CRITERIA

PROVIDE 2x4 BLOCKING BETWEEN THE FIRST TWO TRUSSES AS NOTED. TOENAIL BLOCKING TO TRUSSES WITH (2) - 10d NAILS AT EACH END. ATTACH DIAGONAL BRACE TO BLOCKING WITH (5) - 10d NAILS.

(4) - 8d (0.131" X 2.5") NAILS MINIMUM, PLYWOOD SHEATHING TO 2x4 STD SPF BLOCK



NOTE:

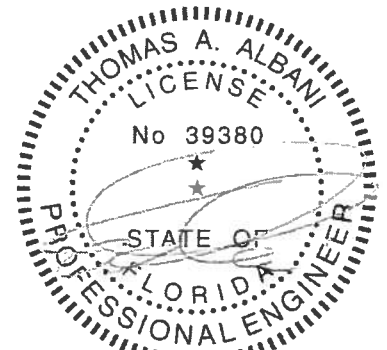
1. MINIMUM GRADE OF #2 MATERIAL IN THE TOP AND BOTTOM CHORDS.
2. CONNECTION BETWEEN BOTTOM CHORD OF GABLE END TRUSS AND WALL TO BE PROVIDED BY PROJECT ENGINEER OR ARCHITECT.
3. BRACING SHOWN IS FOR INDIVIDUAL TRUSS ONLY. CONSULT BLDG. ARCHITECT OR ENGINEER FOR TEMPORARY AND PERMANENT BRACING OF ROOF SYSTEM.
4. "L" BRACES SPECIFIED ARE TO BE FULL LENGTH. GRADES: 1x4 SRB OR 2x4 STUD OR BETTER WITH ONE ROW OF 10d NAILS SPACED 6" O.C.
5. DIAGONAL BRACE TO BE APPROXIMATELY 45 DEGREES TO ROOF DIAPHRAM AT 4'-0" O.C.
6. CONSTRUCT HORIZONTAL BRACE CONNECTING A 2x6 STUD AND A 2x4 STUD AS SHOWN WITH 16d NAILS SPACED 6" O.C. HORIZONTAL BRACE TO BE LOCATED AT THE MIDSPAN OF THE LONGEST STUD. ATTACH TO VERTICAL STUDS WITH (4) 10d NAILS THROUGH 2x4. (REFER TO SECTION A-A)
7. GABLE STUD DEFLECTION MEETS OR EXCEEDS L/240.
8. THIS DETAIL DOES NOT APPLY TO STRUCTURAL GABLES.
9. DO NOT USE FLAT BOTTOM CHORD GABLES NEXT TO SCISSOR TYPE TRUSSES.
10. SOUTHERN PINE LUMBER DESIGN VALUES ARE THOSE EFFECTIVE 06-01-13 BY SPIB/ALSC.
11. NAILS DESIGNATED 10d ARE (0.131" X 3") AND NAILS DESIGNATED 16d ARE (0.131" X 3.5")

Minimum Stud Size Species and Grade	Stud Spacing	Without Brace	1x4 L-Brace	2x4 L-Brace	DIAGONAL BRACE	2 DIAGONAL BRACES AT 1/3 POINTS
2x4 SP No. 3 / Stud	12" O.C.	4-0-7	4-5-6	6-3-8	8-0-15	12-1-6
2x4 SP No. 3 / Stud	16" O.C.	3-8-0	3-10-4	5-5-6	7-4-1	11-0-1
2x4 SP No. 3 / Stud	24" O.C.	3-0-10	3-1-12	4-5-6	6-1-5	9-1-15

- * Diagonal braces over 6'-3" require a 2x4 T-Brace attached to one edge. Diagonal braces over 12'-6" require 2x4 l-braces attached to both edges. Fasten T and l braces to narrow edge of diagonal brace with 10d nails 8" o.c., with 3" minimum end distance. Brace must cover 90% of diagonal length.

MAX MEAN ROOF HEIGHT = 30 FEET
CATEGORY II BUILDING
EXPOSURE B or C
ASCE 7-98, ASCE 7-02, ASCE 7-05 130 MPH
ASCE 7-10 160 MPH
DURATION OF LOAD INCREASE : 1.60

STUD DESIGN IS BASED ON COMPONENTS AND CLADDING.
CONNECTION OF BRACING IS BASED ON MWFRS.



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February 12, 2018

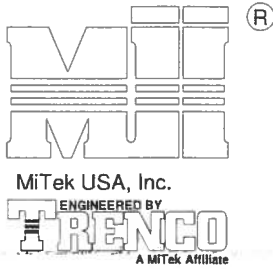
AUGUST 1, 2016

Standard Gable End Detail

MII-GE170-D-SP

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Typical 2x4 L-Brace Nailed To
2x4 Verticals w/10d Nails spaced 6" o.c.

Vertical Stud

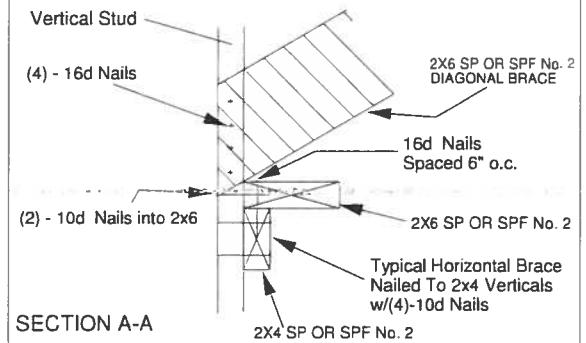
SECTION B-B

TRUSS GEOMETRY AND CONDITIONS
SHOWN ARE FOR ILLUSTRATION ONLY.

12
Varies to Common Truss

SEE INDIVIDUAL MITEK ENGINEERING
DRAWINGS FOR DESIGN CRITERIA

(4) - 8d (0.131" X 2.5") NAILS MINIMUM, PLYWOOD
SHEATHING TO 2x4 STD SPF BLOCK



PROVIDE 2x4 BLOCKING BETWEEN THE FIRST
TWO TRUSSES AS NOTED. TOENAIL BLOCKING
TO TRUSSES WITH (2) - 10d NAILS AT EACH END.
ATTACH DIAGONAL BRACE TO BLOCKING WITH
(5) - 10d NAILS.

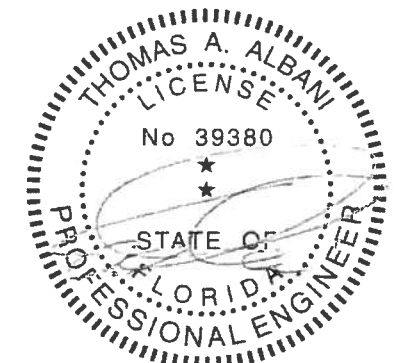
Roof Sheathing

Diag. Brace
at 1/3 points
if needed

End Wall

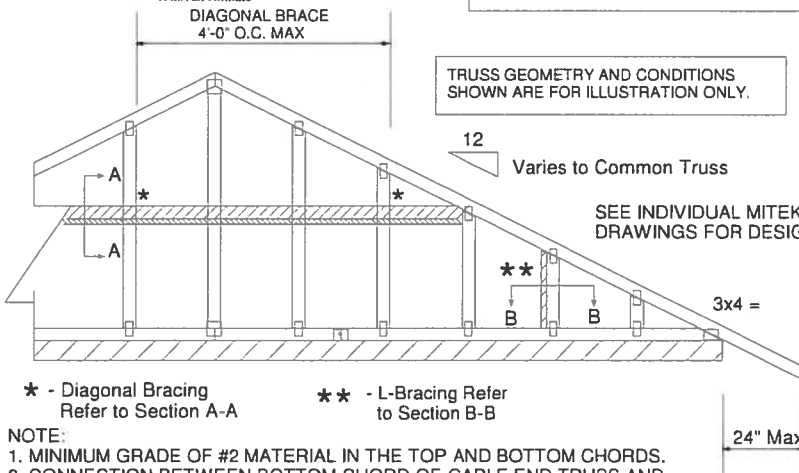
Trusses @ 24" o.c.

2x6 DIAGONAL BRACE SPACED
48" O.C. ATTACHED TO VERTICAL WITH
(4) - 16d NAILS, AND ATTACHED TO
BLOCKING WITH (5) - 10d NAILS.



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* - Diagonal Bracing
Refer to Section A-A

** - L-Bracing Refer
to Section B-B

NOTE:

1. MINIMUM GRADE OF #2 MATERIAL IN THE TOP AND BOTTOM CHORDS.
2. CONNECTION BETWEEN BOTTOM CHORD OF GABLE END TRUSS AND WALL TO BE PROVIDED BY PROJECT ENGINEER OR ARCHITECT.
3. BRACING SHOWN IS FOR INDIVIDUAL TRUSS ONLY. CONSULT BLDG. ARCHITECT OR ENGINEER FOR TEMPORARY AND PERMANENT BRACING OF ROOF SYSTEM.
4. "L" BRACES SPECIFIED ARE TO BE FULL LENGTH, SPF or SP No. 3 OR BETTER WITH ONE ROW OF 10d NAILS SPACED 6" O.C.
5. DIAGONAL BRACE TO BE APPROXIMATELY 45 DEGREES TO ROOF DIAPHRAM AT 4'-0" O.C.
6. CONSTRUCT HORIZONTAL BRACE CONNECTING A 2x6 AND A 2x4 AS SHOWN WITH 16d NAILS SPACED 6" O.C. HORIZONTAL BRACE TO BE LOCATED AT THE MIDSPAN OF THE LONGEST GABLE STUD. ATTACH TO VERTICAL GABLE STUDS WITH (4) 10d NAILS THROUGH 2x4. (REFER TO SECTION A-A)
7. GABLE STUD DEFLECTION MEETS OR EXCEEDS L/240.
8. THIS DETAIL DOES NOT APPLY TO STRUCTURAL GABLES.
9. DO NOT USE FLAT BOTTOM CHORD GABLES NEXT TO SCISSOR TYPE TRUSSES.
10. SOUTHERN PINE LUMBER DESIGN VALUES ARE THOSE EFFECTIVE 06-01-13 BY SPIB/ALSC.
11. NAILS DESIGNATED 10d ARE (0.131" X 3") AND NAILS DESIGNATED 16d ARE (0.131" X 3.5")

Minimum Stud Size Species and Grade	Stud Spacing	Without Brace	2x4 L-Brace	DIAGONAL BRACE	2 DIAGONAL BRACES AT 1/3 POINTS
		Maximum Stud Length			
2x4 SP No. 3 / Stud	12" O.C.	3-9-7	5-8-8	6-11-1	11-4-4
2x4 SP No. 3 / Stud	16" O.C.	3-4-12	4-11-15	6-9-8	10-2-3
2x4 SP No. 3 / Stud	24" O.C.	2-9-4	4-0-7	5-6-8	8-3-13
2x4 SP No. 2	12" O.C.	3-11-13	5-8-8	6-11-1	11-11-7
2x4 SP No. 2	16" O.C.	3-7-7	4-11-5	6-11-1	10-10-5
2x4 SP No. 2	24" O.C.	3-1-15	4-0-7	6-3-14	9-5-14

- * Diagonal braces over 6'-3" require a 2x4 T-Brace attached to one edge. Diagonal braces over 12'-6" require 2x4 I-braces attached to both edges. Fasten T and I braces to narrow edge of diagonal brace with 10d nails 6" o.c., with 3" minimum end distance. Brace must cover 90% of diagonal length. T or I braces must be 2x4 SPF No. 2 or SP No. 2.

MAX MEAN ROOF HEIGHT = 30 FEET
EXPOSURE D
ASCE 7-10 170 MPH
DURATION OF LOAD INCREASE : 1.60

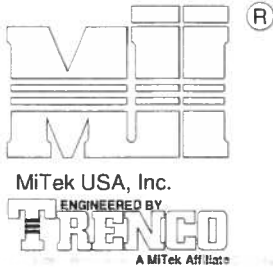
STUD DESIGN IS BASED ON COMPONENTS AND GLADDING.
CONNECTION OF BRACING IS BASED ON MWFRS.

AUGUST 1, 2016

STANDARD PIGGYBACK TRUSS CONNECTION DETAIL

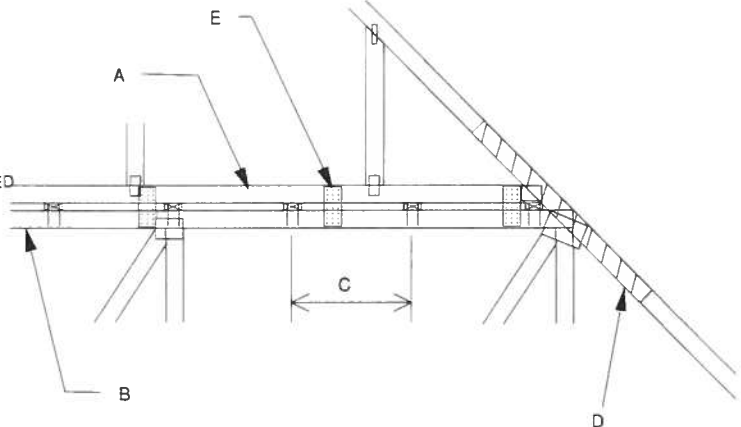
MII-PIGGY-7-10

MiTek USA, Inc. Page 1 of 1



MAXIMUM WIND SPEED = REFER TO NOTES D AND OR E
 MAX MEAN ROOF HEIGHT = 30 FEET
 MAX TRUSS SPACING = 24" O.C.
 CATEGORY II BUILDING
 EXPOSURE B or C
 ASCE 7-10
 DURATION OF LOAD INCREASE : 1.60
 DETAIL IS NOT APPLICABLE FOR TRUSSES
 TRANSFERRING DRAG LOADS (SHEAR TRUSSES).
 ADDITIONAL CONSIDERATIONS BY BUILDING
 ENGINEER/DESIGNER ARE REQUIRED.

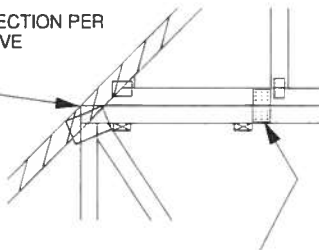
- A - PIGGYBACK TRUSS, REFER TO MITEK TRUSS DESIGN DRAWING. SHALL BE CONNECTED TO EACH PURLIN WITH (2) (0.131" X 3.5") TOE-NAILED.
- B - BASE TRUSS, REFER TO MITEK TRUSS DESIGN DRAWING.
- C - PURLINS AT EACH BASE TRUSS JOINT AND A MAXIMUM 24" O.C. UNLESS SPECIFIED CLOSER ON MITEK TRUSS DESIGN DRAWING. CONNECT TO BASE TRUSS WITH (2) (0.131" X 3.5") NAILS EACH.
- D - 2 X 4'-0" SCAB, SIZE TO MATCH TOP CHORD OF PIGGYBACK TRUSS, MIN GRADE #2, ATTACHED TO ONE FACE, CENTERED ON INTERSECTION, WITH (2) ROWS OF (0.131" X 3") NAILS @ 4" O.C. SCAB MAY BE OMITTED PROVIDED THE TOP CHORD SHEATHING IS CONTINUOUS OVER INTERSECTION AT LEAST 1 FT. IN BOTH DIRECTIONS AND:
1. WIND SPEED OF 115 MPH OR LESS FOR ANY PIGGYBACK SPAN, OR
 2. WIND SPEED OF 116 MPH TO 160 MPH WITH A MAXIMUM PIGGYBACK SPAN OF 12 ft.
- E - FOR WIND SPEEDS BETWEEN 126 AND 160 MPH, ATTACH MITEK 3X8 20 GA Nail-On PLATES TO EACH FACE OF TRUSSES AT 72" O.C. W/ (4) (0.131" X 1.5") NAILS PER MEMBER. STAGGER NAILS FROM OPPOSING FACES. ENSURE 0.5" EDGE DISTANCE. (MIN. 2 PAIRS OF PLATES REQ. REGARDLESS OF SPAN)



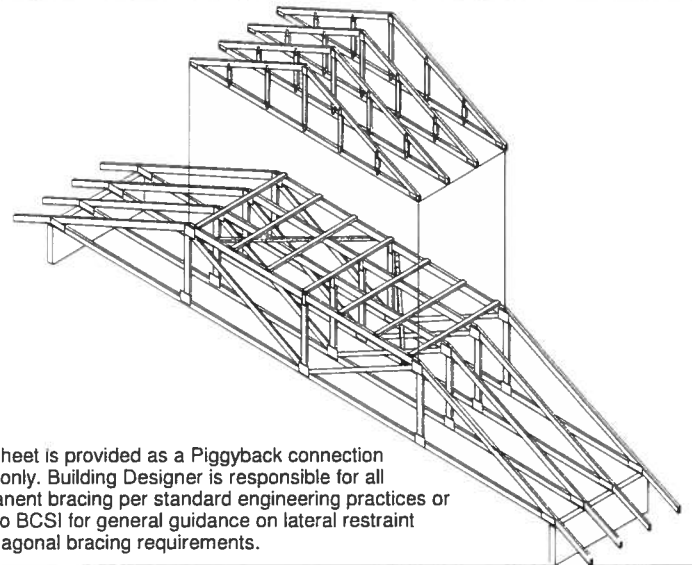
WHEN NO GAP BETWEEN PIGGYBACK AND BASE TRUSS EXISTS:

REPLACE TOE NAILING OF PIGGYBACK TRUSS TO PURLINS WITH Nail-On PLATES AS SHOWN, AND INSTALL PURLINS TO BOTTOM EDGE OF BASE TRUSS TOP CHORD AT SPECIFIED SPACING SHOWN ON BASE TRUSS MITEK DESIGN DRAWING.

SCAB CONNECTION PER NOTE D ABOVE

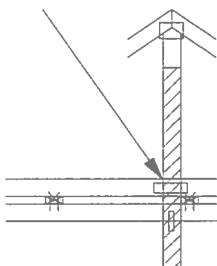


FOR ALL WIND SPEEDS, ATTACH MITEK 3X6 20 GA Nail-On PLATES TO EACH FACE OF TRUSSES AT 48" O.C. W/ (4) (0.131" X 1.5") PER MEMBER. STAGGER NAILS FROM OPPOSING FACES ENSURE 0.5" EDGE DISTANCE.



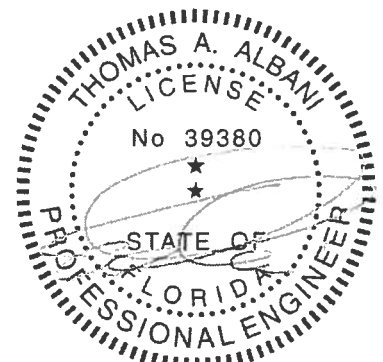
This sheet is provided as a Piggyback connection detail only. Building Designer is responsible for all permanent bracing per standard engineering practices or refer to BCSI for general guidance on lateral restraint and diagonal bracing requirements.

VERTICAL WEB TO EXTEND THROUGH BOTTOM CHORD OF PIGGYBACK



FOR LARGE CONCENTRATED LOADS APPLIED TO CAP TRUSS REQUIRING A VERTICAL WEB:

- 1) VERTICAL WEBS OF PIGGYBACK AND BASE TRUSS MUST MATCH IN SIZE, GRADE, AND MUST LINE UP AS SHOWN IN DETAIL.
- 2) ATTACH 2 x 4'-0" SCAB TO EACH FACE OF TRUSS ASSEMBLY WITH 2 ROWS OF 10d (0.131" X 3") NAILS SPACED 4" O.C. FROM EACH FACE. (SIZE AND GRADE TO MATCH VERTICAL WEBS OF PIGGYBACK AND BASE TRUSS.) (MINIMUM 2X4)
- 3) THIS CONNECTION IS ONLY VALID FOR A MAXIMUM CONCENTRATED LOAD OF 4000 LBS (@1.15). REVIEW BY A QUALIFIED ENGINEER IS REQUIRED FOR LOADS GREATER THAN 4000 LBS.
- 4) FOR PIGGYBACK TRUSSES CARRYING GIRDER LOADS, NUMBER OF PLYS OF PIGGYBACK TRUSS TO MATCH BASE TRUSS.
- 5) CONCENTRATED LOAD MUST BE APPLIED TO BOTH THE PIGGYBACK AND THE BASE TRUSS DESIGN.



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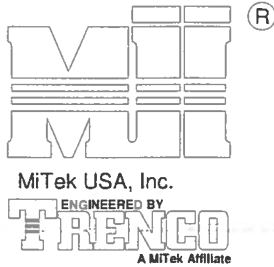
February 12, 2018

AUGUST 1, 2016

STANDARD REPAIR DETAIL FOR BROKEN CHORDS, WEBS
AND DAMAGED OR MISSING CHORD SPLICE PLATES

MII-REP01A1

MiTek USA, Inc. Page 1 of 1



TOTAL NUMBER OF NAILS EACH SIDE OF BREAK *		X INCHES	MAXIMUM FORCE (lbs) 15% LOAD DURATION							
			SP		DF		SPF		HF	
2x4	2x6		2x4	2x6	2x4	2x6	2x4	2x6	2x4	2x6
20	30	24"	1706	2559	1561	2342	1320	1980	1352	2028
26	39	30"	2194	3291	2007	3011	1697	2546	1738	2608
32	48	36"	2681	4022	2454	3681	2074	3111	2125	3187
38	57	42"	3169	4754	2900	4350	2451	3677	2511	3767
44	66	48"	3657	5485	3346	5019	2829	4243	2898	4347

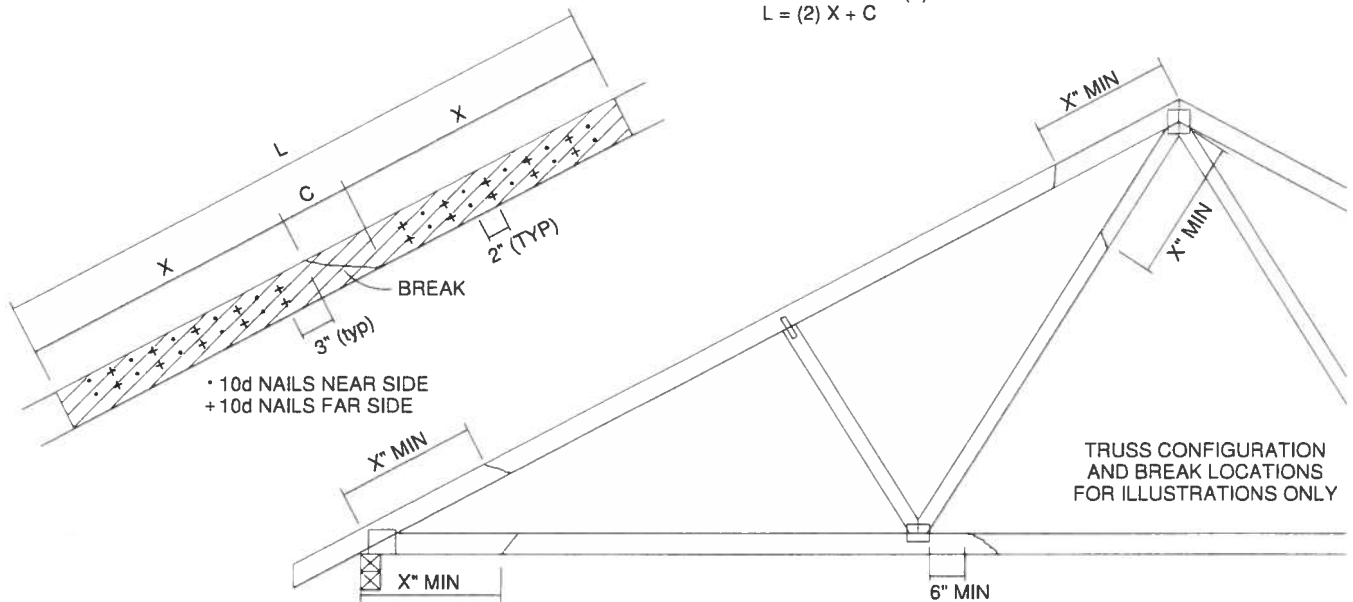
* DIVIDE EQUALLY FRONT AND BACK

ATTACH 2x SCAB OF THE SAME SIZE AND GRADE AS THE BROKEN MEMBER TO EACH
FACE OF THE TRUSS (CENTER ON BREAK OR SPLICE) WITH 10d (0.131" X 3") NAILS
(TWO ROWS FOR 2x4, THREE ROWS FOR 2x6) SPACED 4" O.C. AS SHOWN.

STAGGER NAIL SPACING FROM FRONT FACE AND BACK FACE FOR A NET 0-2-0 O.C.
SPACING IN THE MAIN MEMBER. USE A MIN. 0-3-0 MEMBER END DISTANCE.

THE LENGTH OF THE BREAK (C) SHALL NOT EXCEED 12". (C=PLATE LENGTH FOR SPLICE REPAIRS)
THE MINIMUM OVERALL SCAB LENGTH REQUIRED (L) IS CALCULATED AS FOLLOWS:

$$L = (2) X + C$$

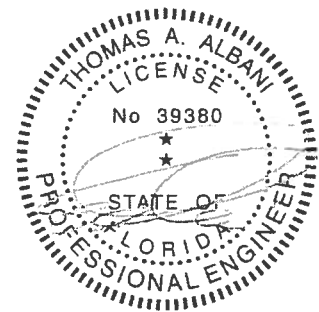


THE LOCATION OF THE BREAK MUST BE GREATER THAN OR EQUAL TO THE REQUIRED X DIMENSION FROM ANY
PERIMETER BREAK OR HEEL JOINT AND A MINIMUM OF 6" FROM ANY INTERIOR JOINT (SEE SKETCH ABOVE)

DO NOT USE REPAIR FOR JOINT SPLICES

NOTES:

1. THIS REPAIR DETAIL IS TO BE USED ONLY FOR THE APPLICATION SHOWN. THIS REPAIR DOES NOT IMPLY THAT THE REMAINING PORTION OF THE TRUSS IS UNDAMAGED. THE ENTIRE TRUSS SHALL BE INSPECTED TO VERIFY THAT NO FURTHER REPAIRS ARE REQUIRED. WHEN THE REQUIRED REPAIRS ARE PROPERLY APPLIED, THE TRUSS WILL BE CAPABLE OF SUPPORTING THE LOADS INDICATED.
2. ALL MEMBERS MUST BE RETURNED TO THEIR ORIGINAL POSITIONS BEFORE APPLYING REPAIR AND HELD IN PLACE DURING APPLICATION OF REPAIR.
3. THE END DISTANCE, EDGE DISTANCE AND SPACING OF NAILS SHALL BE SUCH AS TO AVOID UNUSUAL SPLITTING OF THE WOOD.
4. WHEN NAILING THE SCABS, THE USE OF A BACKUP WEIGHT IS RECOMMENDED TO AVOID LOOSENING OF THE CONNECTOR PLATES AT THE JOINTS OR SPLICES.
5. THIS REPAIR IS TO BE USED FOR SINGLE PLY TRUSSES IN THE 2x ORIENTATION ONLY.
6. THIS REPAIR IS LIMITED TO TRUSSES WITH NO MORE THAN THREE BROKEN MEMBERS.



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Date:

January 19, 2018

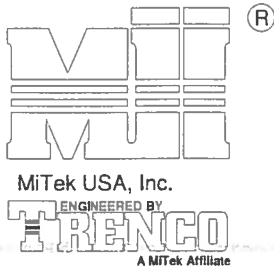
AUGUST 1, 2016

TRUSSED VALLEY SET DETAIL

MII-VALLEY HIGH WIND1

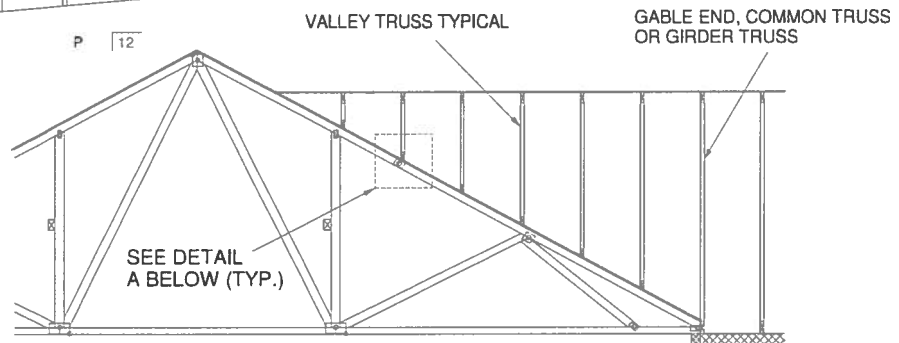
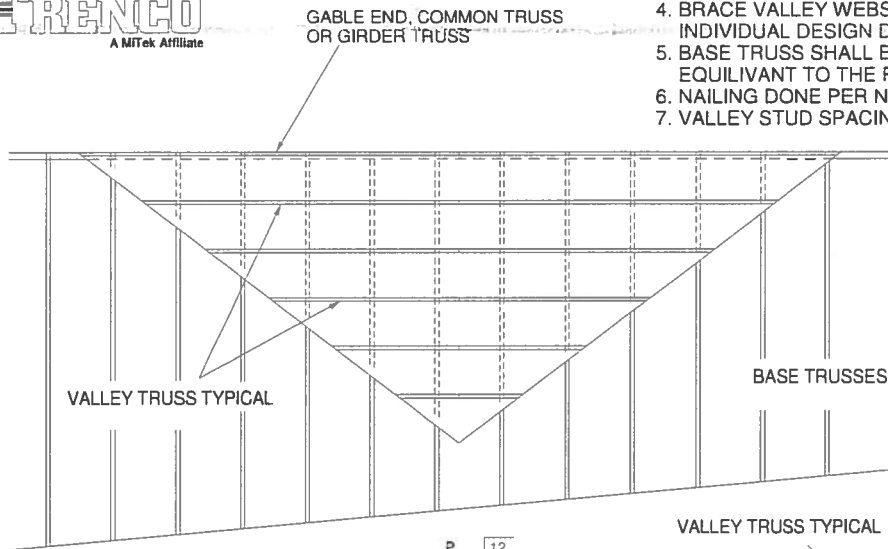
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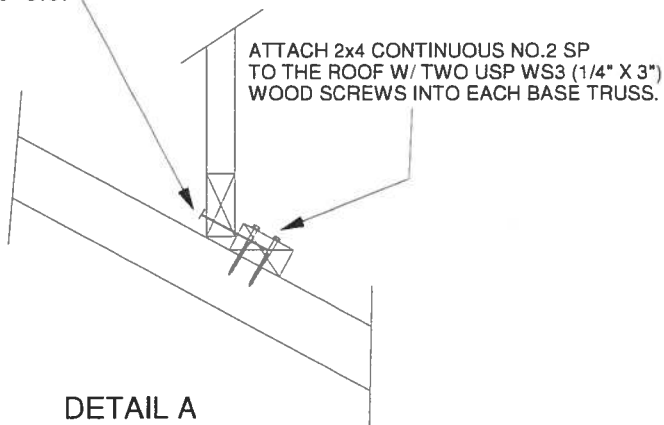


GENERAL SPECIFICATIONS

1. NAIL SIZE 10d (0.131" X 3")
2. WOOD SCREW = 3" WS3 USP OR EQUIVALENT
DO NOT USE DRYWALL OR DECKING TYPE SCREW
3. INSTALL VALLEY TRUSSES (24" O.C. MAXIMUM) AND SECURE PER DETAIL A
4. BRACE VALLEY WEBS IN ACCORDANCE WITH THE INDIVIDUAL DESIGN DRAWINGS.
5. BASE TRUSS SHALL BE DESIGNED WITH A PURLIN SPACING EQUIVARIANT TO THE RAKE DIMENSION OF THE VALLEY TRUSS SPACING.
6. NAILING DONE PER NDS - 01
7. VALLEY STUD SPACING NOT TO EXCEED 48" O.C.

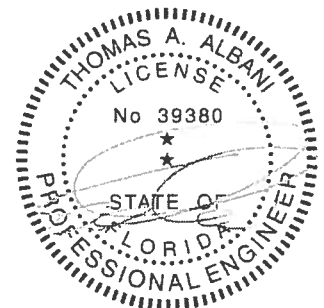


SECURE VALLEY TRUSS
W/ ONE ROW OF 10d
NAILS 6" O.C.



DETAIL A
(NO SHEATHING)
N.T.S.

WIND DESIGN PER ASCE 7-98, ASCE 7-02, ASCE 7-05 146 MPH
WIND DESIGN PER ASCE 7-10 160 MPH
MAX MEAN ROOF HEIGHT = 30 FEET
ROOF PITCH = MINIMUM 3/12 MAXIMUM 6/12
CATEGORY II BUILDING
EXPOSURE C
WIND DURATION OF LOAD INCREASE : 1.60
MAX TOP CHORD TOTAL LOAD = 50 PSF
MAX SPACING = 24" O.C. (BASE AND VALLEY)
MINIMUM REDUCED DEAD LOAD OF 6 PSF
ON THE TRUSSES



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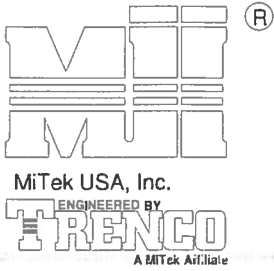
AUGUST 1, 2016

TRUSSED VALLEY SET DETAIL

MII-VALLEY SP

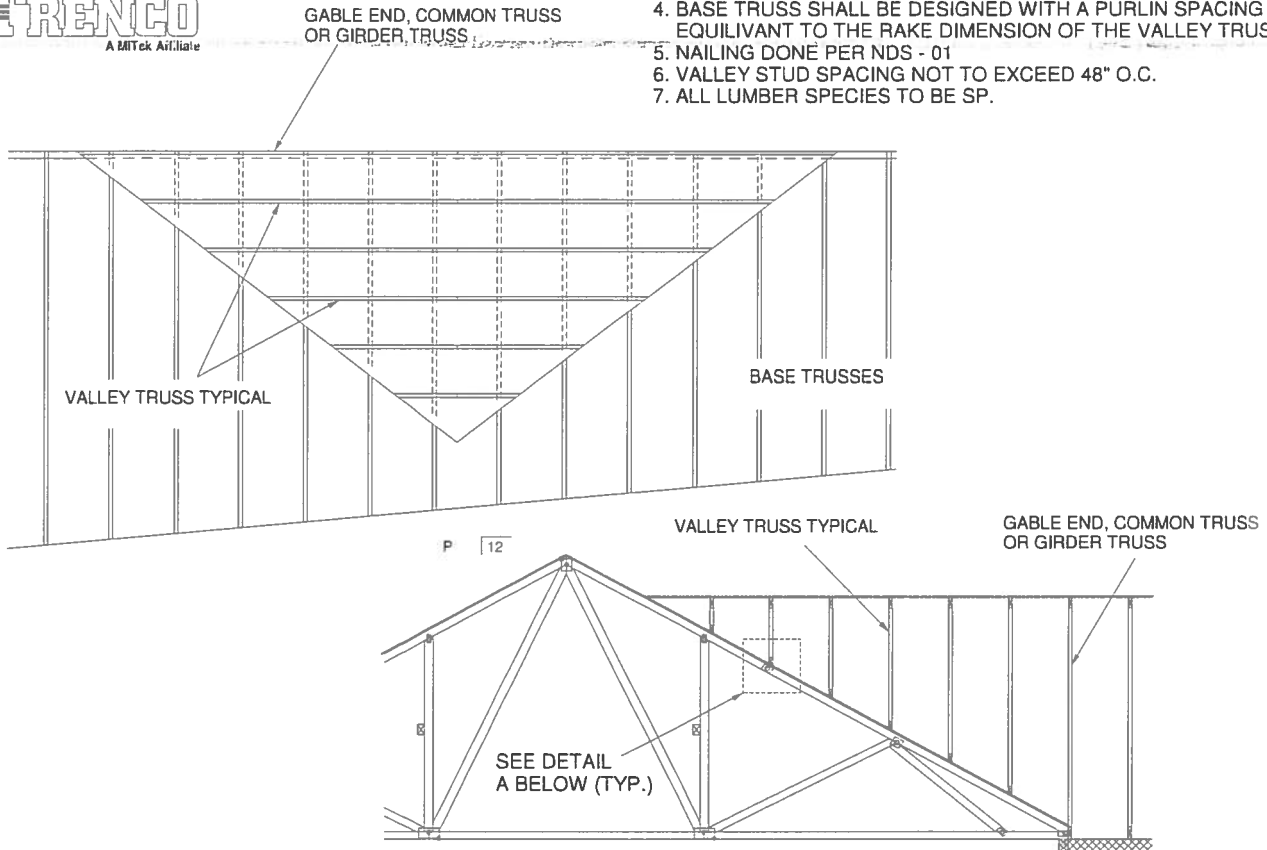
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GENERAL SPECIFICATIONS

1. NAIL SIZE 16d (0.131" X 3.5")
2. INSTALL VALLEY TRUSSES (24" O.C. MAXIMUM) AND SECURE PER DETAIL A
3. BRACE VALLEY WEBS IN ACCORDANCE WITH THE INDIVIDUAL DESIGN DRAWINGS.
4. BASE TRUSS SHALL BE DESIGNED WITH A PURLIN SPACING EQUIVARIANT TO THE RAKE DIMENSION OF THE VALLEY TRUSS SPACING.
5. NAILING DONE PER NDS - 01
6. VALLEY STUD SPACING NOT TO EXCEED 48" O.C.
7. ALL LUMBER SPECIES TO BE SP.

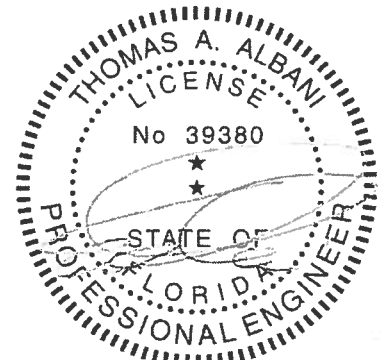


SECURE VALLEY TRUSS
W/ ONE ROW OF 16d
NAILS 6" O.C.

ATTACH 2x4 CONTINUOUS NO.2 SP
TO THE ROOF W/ TWO 16d NAILS
INTO EACH BASE TRUSS.

DETAIL A
(MAXIMUM 1" SHEATHING)
N.T.S.

WIND DESIGN PER ASCE 7-98, ASCE 7-02, ASCE 7-05 120 MPH
WIND DESIGN PER ASCE 7-10 150 MPH
MAX MEAN ROOF HEIGHT = 30 FEET
ROOF PITCH = MINIMUM 3/12 MAXIMUM 10/12
CATEGORY II BUILDING
EXPOSURE C OR B
WIND DURATION OF LOAD INCREASE : 1.60
MAX TOP CHORD TOTAL LOAD = 60 PSF
MAX SPACING = 24" O.C. (BASE AND VALLEY)
MINIMUM REDUCED DEAD LOAD OF 4.2 PSF
ON THE TRUSSES



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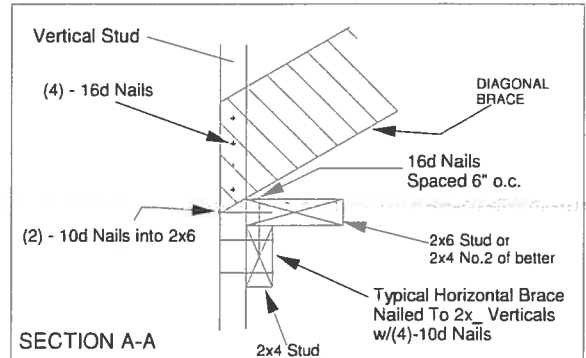
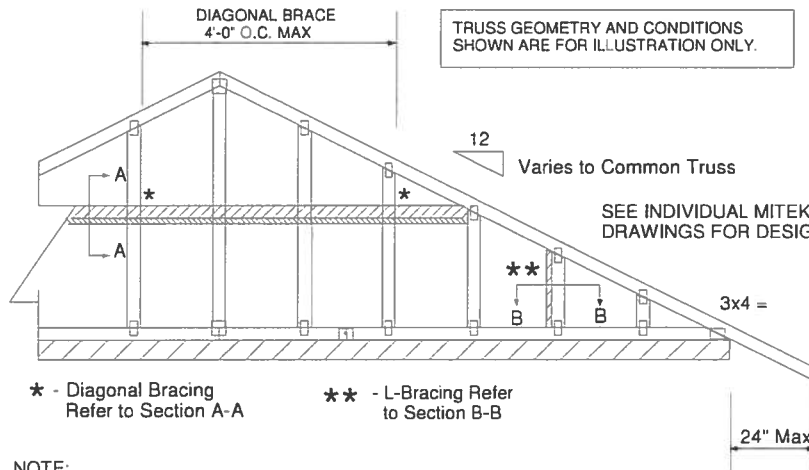
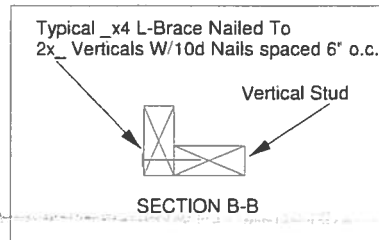
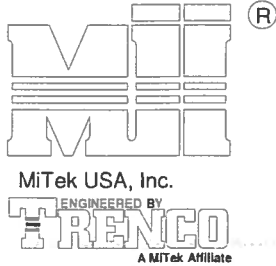
February 12, 2018

AUGUST 1, 2016

Standard Gable End Detail

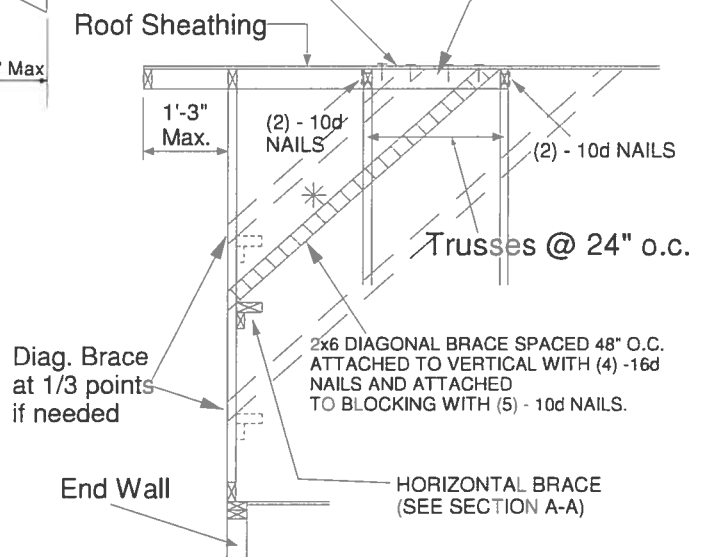
MII-GE146-001

MiTek USA, Inc. Page 1 of 2



PROVIDE 2x4 BLOCKING BETWEEN THE FIRST TWO TRUSSES AS NOTED. TOENAIL BLOCKING TO TRUSSES WITH (2) - 10d NAILS AT EACH END. ATTACH DIAGONAL BRACE TO BLOCKING WITH (5) - 10d NAILS.

(4) - 8d (0.131" X 2.5") NAILS MINIMUM, PLYWOOD SHEATHING TO 2x4 STD SP BLOCK



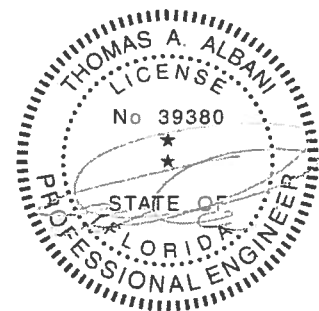
- NOTE:
1. MINIMUM GRADE OF #2 MATERIAL IN THE TOP AND BOTTOM CHORDS.
 2. CONNECTION BETWEEN BOTTOM CHORD OF GABLE END TRUSS AND WALL TO BE PROVIDED BY PROJECT ENGINEER OR ARCHITECT.
 3. BRACING SHOWN IS FOR INDIVIDUAL TRUSS ONLY. CONSULT BLDG. ARCHITECT OR ENGINEER FOR TEMPORARY AND PERMANENT BRACING OF ROOF SYSTEM.
 4. "L" BRACES SPECIFIED ARE TO BE FULL LENGTH. GRADES: 2x4 No 3/STUD SP OR BETTER WITH ONE ROW OF 10d NAILS SPACED 6" O.C.
 5. DIAGONAL BRACE TO BE APPROXIMATELY 45 DEGREES TO ROOF DIAPHRAM AT 4'-0" O.C.
 6. CONSTRUCT HORIZONTAL BRACE CONNECTING A 2x6 STUD AND A 2x4 STUD AS SHOWN WITH 16d NAILS SPACED 6" O.C. HORIZONTAL BRACE TO BE LOCATED AT THE MIDSPAN OF THE LONGEST STUD. ATTACH TO VERTICAL STUDS WITH (4) 10d NAILS THROUGH 2x4. (REFER TO SECTION A-A)
 7. GABLE STUD DEFLECTION MEETS OR EXCEEDS L/240.
 8. THIS DETAIL DOES NOT APPLY TO STRUCTURAL GABLES.
 9. DO NOT USE FLAT BOTTOM CHORD GABLES NEXT TO SCISSOR TYPE TRUSSES.
 10. NAILS DESIGNATED 10d ARE (0.131" X 3") AND NAILS DESIGNATED 16d ARE (0.131" X 3.5")

Minimum Stud Size Species and Grade	Stud Spacing	Without Brace	2x4 L-Brace	DIAGONAL BRACE	2 DIAGONAL BRACES AT 1/3 POINTS
		Maximum Stud Length			
2x4 SP No 3/Stud	12" O.C.	3-11-3	6-8-0	7-2-14	11-9-10
2x4 SP No 3/Stud	16" O.C.	3-6-14	5-9-5	7-1-13	10-8-11
2x4 SP No 3/Stud	24" O.C.	3-1-8	4-8-9	6-2-15	9-4-7

- * Diagonal braces over 6'-3" require a 2x4 T-Brace attached to one edge. Diagonal braces over 12'-6" require 2x4 I-braces attached to both edges. Fasten T and I braces to narrow edge of web with 10d nails 8" o.c., with 3" minimum end distance. Brace must cover 90% of diagonal length.

MAXIMUM WIND SPEED = 146 MPH
MAX MEAN ROOF HEIGHT = 30 FEET
CATEGORY II BUILDING
EXPOSURE B or C
ASCE 7-98, ASCE 7-02, ASCE 7-05
DURATION OF LOAD INCREASE : 1.60

STUD DESIGN IS BASED ON COMPONENTS AND CLADDING.
CONNECTION OF BRACING IS BASED ON MWFRS.



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January 19, 2018

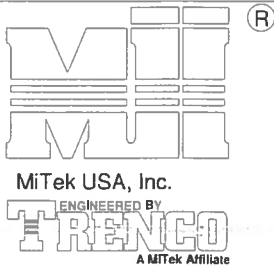
AUGUST 1, 2016

LATERAL BRACING RECOMMENDATIONS

MII-STRGBCK

MiTek USA, Inc.

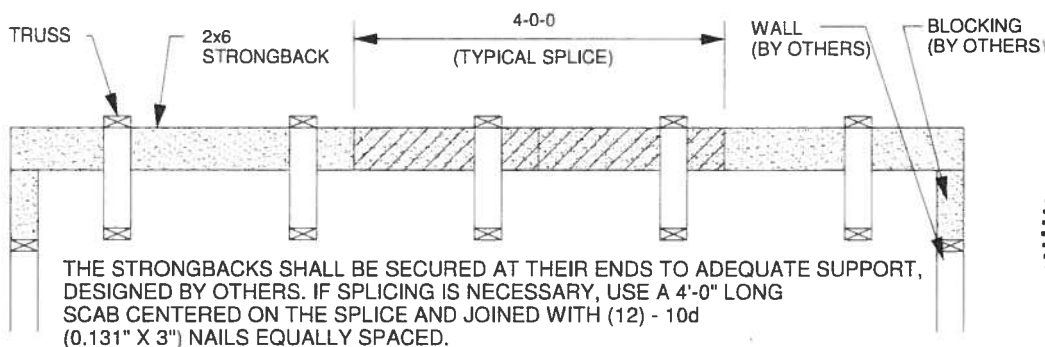
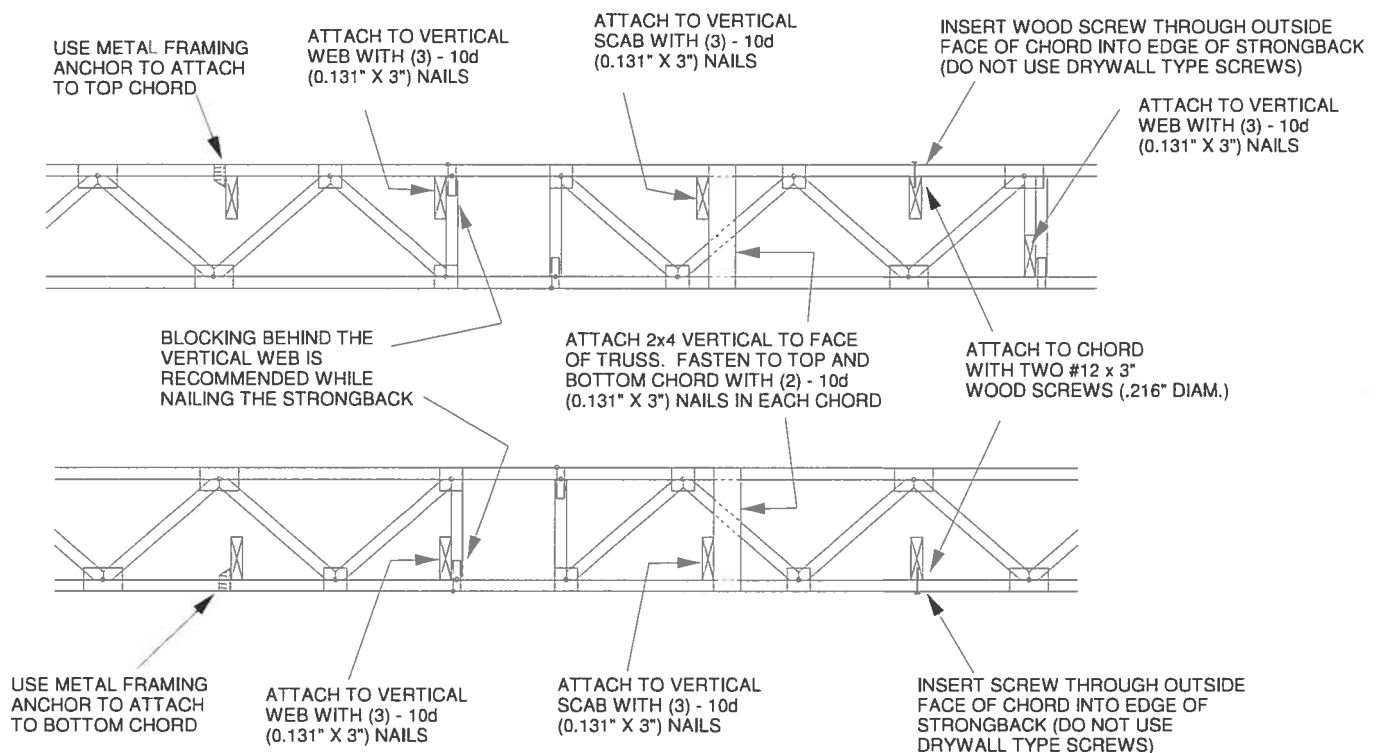
Page 1 of 1



TO MINIMIZE VIBRATION COMMON TO ALL SHALLOW FRAMING SYSTEMS, 2x6 "STRONGBACK" IS RECOMMENDED, LOCATED EVERY 8 TO 10 FEET ALONG A FLOOR TRUSS.

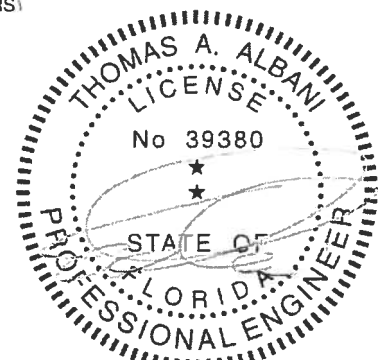
NOTE 1: 2X6 STRONGBACK ORIENTED VERTICALLY MAY BE POSITIONED DIRECTLY UNDER THE TOP CHORD OR DIRECTLY ABOVE THE BOTTOM CHORD. SECURELY FASTENED TO THE TRUSS USING ANY OF THE METHODS ILLUSTRATED BELOW.

NOTE 2: STRONGBACK BRACING ALSO SATISFIES THE LATERAL BRACING REQUIREMENTS FOR THE BOTTOM CHORD OF THE TRUSS WHEN IT IS PLACED ON TOP OF THE BOTTOM CHORD, IS CONTINUOUS FROM END TO END, CONNECTED WITH A METHOD OTHER THAN METAL FRAMING ANCHOR, AND PROPERLY CONNECTED, BY OTHERS, AT THE ENDS.



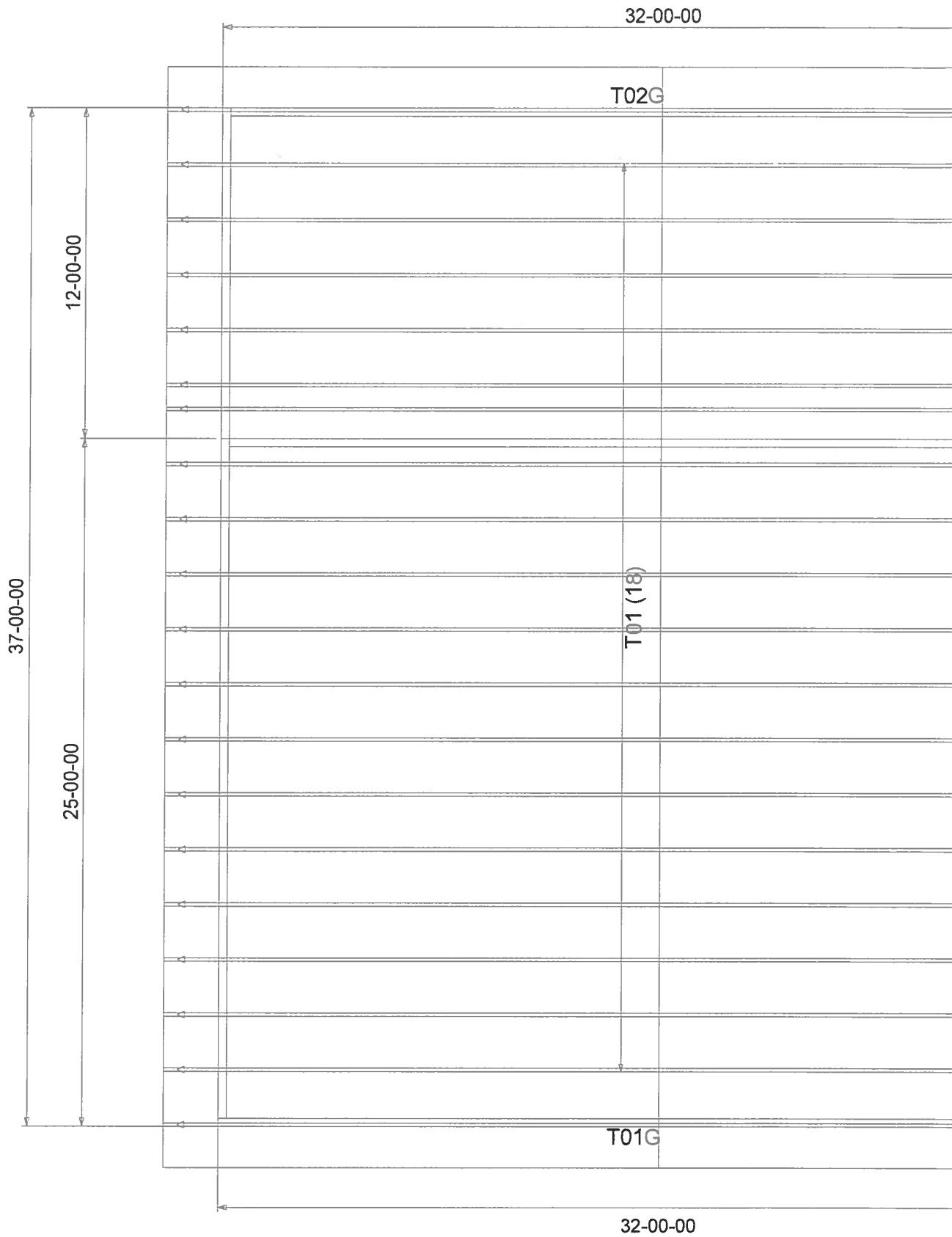
THE STRONGBACKS SHALL BE SECURED AT THEIR ENDS TO ADEQUATE SUPPORT, DESIGNED BY OTHERS. IF SPLICING IS NECESSARY, USE A 4'-0" LONG SCAB CENTERED ON THE SPLICE AND JOINED WITH (12) - 10d (0.131" X 3") NAILS EQUALLY SPACED.

ALTERNATE METHOD OF SPLICING: OVERLAP STRONGBACK MEMBERS A MINIMUM OF 4'-0" AND FASTEN WITH (12) - 10d (0.131" X 3") NAILS STAGGERED AND EQUALLY SPACED. (TO BE USED ONLY WHEN STRONGBACK IS NOT ALIGNED WITH A VERTICAL)



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February 12, 2018



FL Approval Codes - Mitek Plates #'s 2197.2 - 2197.4,



P.O. BOX 260
ARTHUR IL, 61911
800-677-2650

LAKE CITY GLASS From: CHI Overhead Doors Pages: 4

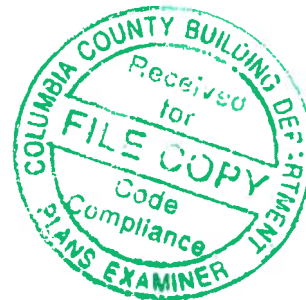
Acknowledgement - Please Review

Page .

If Incorrect, Call 800-677-2650

Wind-load Info

Po No: IC	Code #	1 - 18'0" x 8'0"	5250 White Glass	Line Drawing: Z6-16-013L6
Job Name: HART	OCD1282681	Zone: 3	ID #: FL-15012.20	Design Pressure: +23.8 / -26.5
Po No: LCGI	Code #	1 - 10'0" x 7'0"	2250 Almond	Line Drawing: Z3-10-01306
Job Name: RYAN	OCD1282676	Zone: 3	ID #: FL-15012.6	Design Pressure: +19.5 / -22

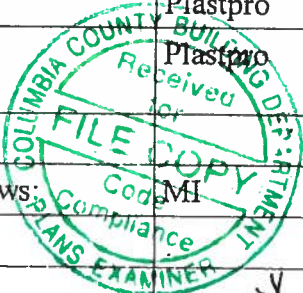


FLORIDA PRODUCT APPROVALS
10-16-15

Rogine Valley Wood

FL-13137

Item:	Manufacturer	Product Description:	Approval Number:
Exterior Doors:	Masonite	Inswing & Outswing Fiberglass	FL-8228-R7
	Masonite	Inswing & Outswing Steel	FL-4904-R7 ²²⁵¹³⁻⁶ _{W/AX55 22521}
	Plastpro	8'0" Inswing & Outswing Fiberglass	FL-15220-R1
	Plastpro	Inswing & Outswing Steel	FL-15962-R2
	Plastpro	6'8" Inswing & Outswing Fiberglass	FL-15215-R3 _{flush bleed}
		6'8" Fib - glazed door	FL-17347 ₁₁₋₁₇
Windows:	Aluimium	185 Single Hung	FL-17499
	Aluimium	185 Picture Window	FL-15349
		53" x 50" 3580 Hx slider	FL-13349-2
		Vinyl 3540 Single Hung	FL-17676-R1 R6
		Vinyl 3500 Picture Window	FL-18644
	Atrium	150/160	FL-11834
	Magnolia	Vinyl 400 Single Hung	FL-16475-R3
		Vinyl 400 Picture Window	FL-16474-R2
		63" x 44" 400 Hx slider	FL-10476-1
Soffit:	Kaycan	Vinyl/PVC & Aluminum Soffit	FL-16503
		Vinyl Siding	FL-15867-R1
Underlayment:	LCIHW (House wrap)	International Bdg Code	ESR-3774
	Woodland	30# Felt	FL-17206-R3
	Interwrap	Rhino	FL-15216
Roofing:	Certainteed	Asphalt Shingles	FL-5444
	GAF	Asphalt Shingles	FL-10124-R16 R20
	Tamko	Asphalt Shingles	FL-18355
	Certainteed	Flintlastic SBS & APP	FL-16709-1
Siding:	Allura of Plycem	Cement board lap siding	FL-17482-R2
	James Hardie	Cement board lap siding	FL-13192-R4
Simpson		LSTA - MSTA, SPH4	FL-13872-R2
	GAF	Tiger Paw Underlayment	FL-15487-R5
Metal Roofing		5V Roofing	FL-9555-R3
		Master Rib Roofing	FL-9557-R3



1-7-16

Finless covers flange
& finless per Jason

Hardie
Union

ComPlanck

13192.1