### CONSTRUCTION PLAN SHEET LIST SHEET SHEET NAME COVER SHEET E-1 FRONT & REAR ELEVATIONS E-2 LEFT & RIGHT ELEVATION E-3 ROOF OVERVIEW F-1 FOUNDATION F-1.1 MONOSLAB FOUNDATION DETAILS F-1.2 FOUNDATIONS DETAILS F-2 FIRST FLOOR PLAN H-1 FIRST FLOOR ELEC & HVAC S-1 DETAILS & SECTIONS FRAMING DETAILS S-2 S-3 COLUMN DETAILS S-4 FL-COLUMN HOLD DOWN DETAILS S-5 FL- HOLD DOWN DETAILS

## ABBREVIATIONS LEGEND-

GYPSUM BOARD

HOT DIPPED GALVANIZED

GYP. BD.-

HDG.-

5 SH	FIVE SHELVES	HDWD-	HARDWOOD
6 SH	SIX SHELVES	HDR	HEADER
A.F.F	ABOVE FINISHED FLOOR	HT	HEIGHT
B.C	BLIND CORNER (CABINET)	INT	INTERIOR
C.J	CEILING JOIST	K.S	KNEE SPACE
C.M.U	CONCRETE MASONRY UNIT	KDAT-	KILN DRIED AFTER TREAT
C.O	CASED OPENING	L.B.W	LOAD BEARING WALL
CONC	CONCRETE	L.S	LAUNDRY SINK or LAZY S
C.R.V	CONTINUOUS RIDGE VENT	LVP-	LUXURY VINYL PLANK
DBL SH-RD-	DOUBLE SHELF AND ROD	LVT-	LUXURY VINYL TILE
DH-	DOUBLE HUNG	O.C	ON CENTER
DR. or DRWR-	DRAWER	O.H	OVERHEAD
D.S	DRAWER SPACE	OPT	OPTIONAL
EXT	EXTERIOR	O.W.H	OVER THE WALL HEIGHT
F.J	FLOOR JOIST	P.T	PRESSURE TREATED
FS-	SUPPLY IN FLOOR (HVAC)	PANT	PANTRY
FTG	FOOTING	R/A-	RETURN AIR (HVAC)

REINF.

R.O.-

SC-

HEADER	SH-
HEIGHT	SH-RD-
INTERIOR	S.J
KNEE SPACE	SM/CO-
KILN DRIED AFTER TREATMENT	SPEC
LOAD BEARING WALL	SPF-
LAUNDRY SINK or LAZY SUSAN	S.R.O
LUXURY VINYL PLANK	SYP-
LUXURY VINYL TILE	T & G-
ON CENTER	TEMP
OVERHEAD	T.O.P
OPTIONAL	TRAP

REINFORCED

**ROUGH OPENING** 

SUPPLY IN CEILING (HVAC)

SD-	SMOKE DETECTOR
SH-	SINGLE HUNG
SH-RD-	SHELF AND ROD
S.J	SINGLE JOIST
SM/CO-	SMOKE AND CARBON I
SPEC	SPECIFIED
SPF-	SPRUCE/PINE/FIR
S.R.O	SHEETROCK OPENING
SYP-	SOUTHERN YELLOW P
T & G-	TONGUE AND GROOVE
TEMP	TEMPERED
T.O.P	TOP OF PLATE

VANITY

U.N.O.-

UTIL-

VAN.-

W/H-

W.H.H.-

W.I.C.-

-	SHELF AND ROD
	SINGLE JOIST
_	SMOKE AND CARBON MO
	SPECIFIED
	SPRUCE/PINE/FIR
	SHEETROCK OPENING
	SOUTHERN YELLOW PINE
	TONGUE AND GROOVE
	TEMPERED

WATER HEATER

WALK IN CLOSET

WINDOW HEADER HEIGHT

SHEET ROOK OF ENING	
SOUTHERN YELLOW PINE	
TONGUE AND GROOVE	
TEMPERED	
TOP OF PLATE	
TRAPEZOID (WINDOW)	
UNLESS NOTED OTHERWIS	SE.
UTILITY	

# 120 MPH Wind Velocity or as interpolated 2020 7th edition Florida Building Code

NOXIDE DETECTOR

Wind Exposure (s): B
Internal Pressure C

Building Category: ENCLOSED\_ Risk Category II

+/-.18

**GENERAL NOTES** 

18,655 CUBIC FEET	EET	
<u>AREAS:</u>		
FIRST FLOOR HEATED	2,025 SF	
	2,025 SF	
GARAGE	649 SF	
FRONT PORCH	147 SF	
	796 SF	
TOTAL UNDER ROOF	2,822 SF	
PATIO	192 SF	
TOTAL UNCOVERED	192 SF	

# REGINALD CHRISTIE GLENRIDGE

59-21-050

DUB

• 7/16" O.S.B. AND HOUSEWRAP REQUIRED

• MIN. 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR • ALL LOAD BEARING WALLS & EXT. OPENINGS TO

HAVE (2) 2X10 HEADERS UNLESS OTHERWISE

• STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS

- DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- · ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- ALL CLOSET SHELVING TO BE 12" DEEP U.N.O. HEIGHT OFF FLOOR: SINGLE-68" DOUBLE 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AND LOCATION ONLY.
  ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- PORCH, STOOP & DECK HANDRAILS NOT INCLUDED WITH SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH
- NOTE: SCHLUTER DITRA UNCOUPLING AND WATERPROOFING MEMBRANE TO BE USED ON ALL TILE SHOWER INSTALLATIONS

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## FRONT PERSPECTIVE



James Zaleski P.E 51544 2305 Haverhill Rd Tallahassee, Fl 32312 PH 850-766-7778

REAR PERSPECTIVE

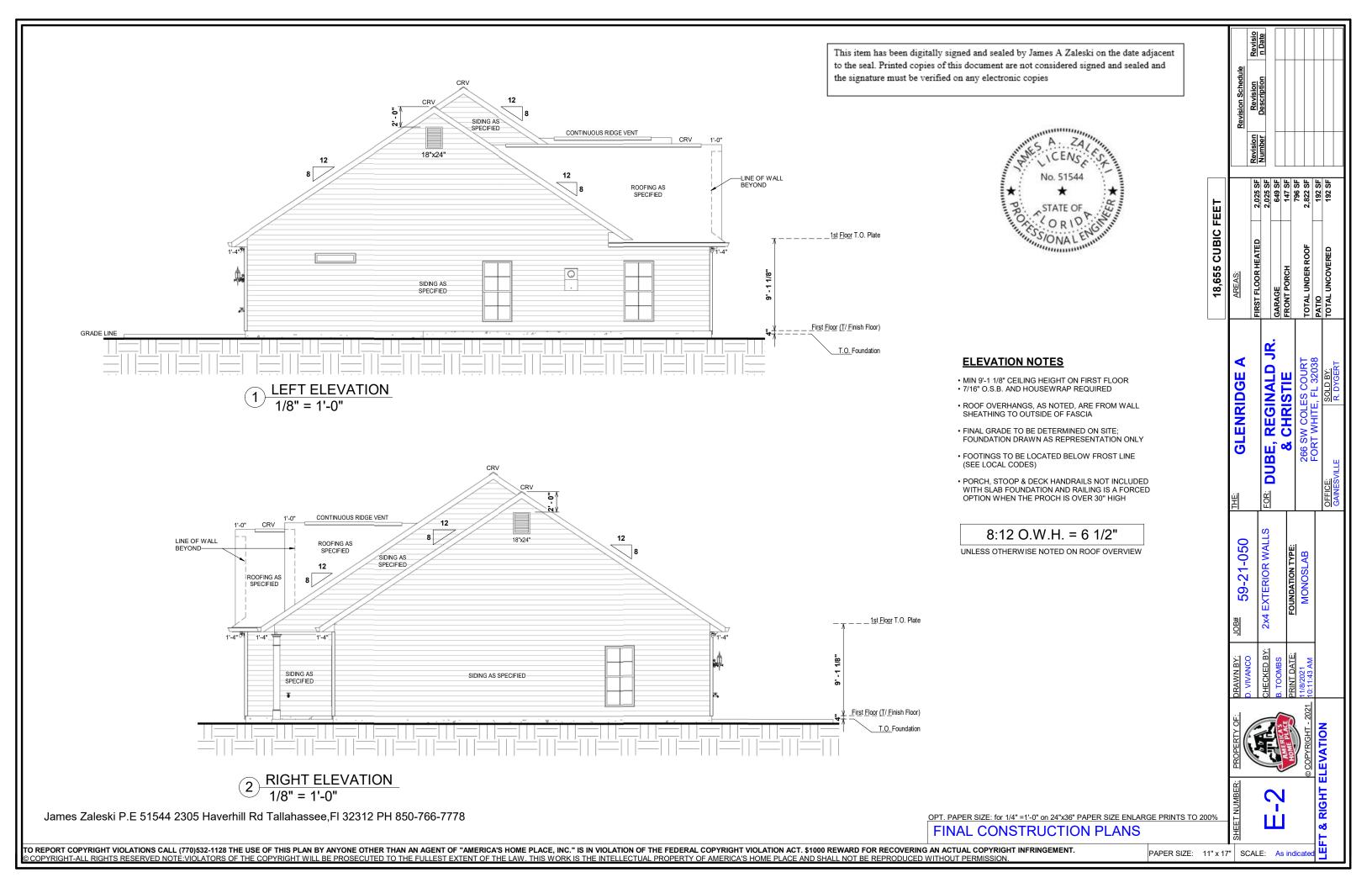
FINAL CONSTRUCTION PLANS

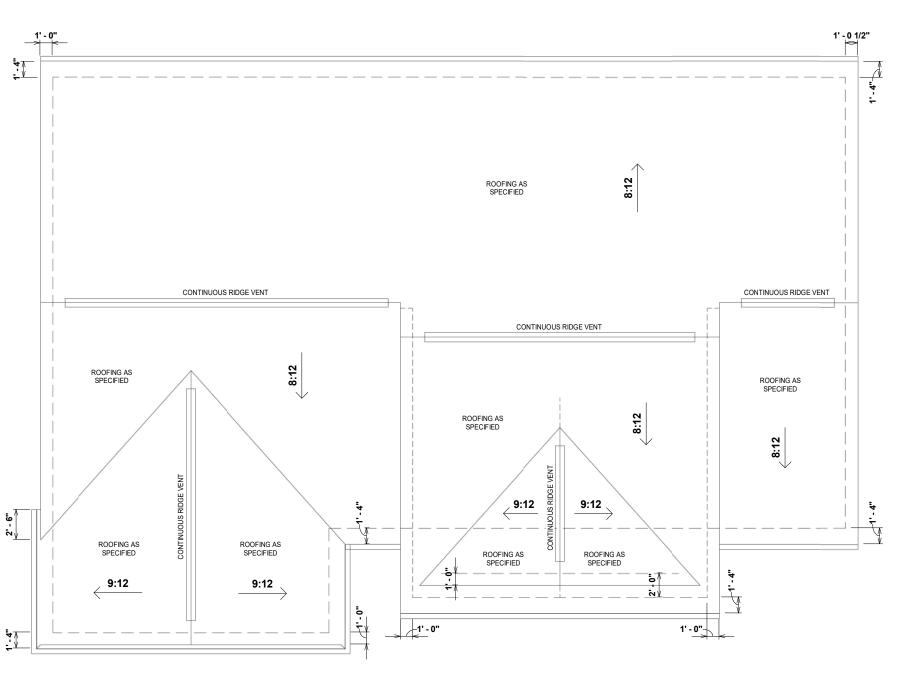
OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

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PAPER SIZE: 11" x 17" | SCALE:

This item has been digitally signed and sealed by James A Zaleski on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies CONTINUOUS RIDGE VENT CONTINUOUS RIDGE VENT CONTINUOUS RIDGE VENT -LINE OF WALL ROOFING AS SPECIFIED BEYOND -LINE OF WALL LINE OF WALL BEYOND—— ROOFING AS SPECIFIED 2840 SH 2,025 SF 649 SF 147 SF 796 SF 1,822 SF 192 SF ROOFING AS SPECIFIED 18"x24" TO FACE OF 18,655 CUBIC SIDING AS SPECIFIED TO FACE OF IRST FLOOR HEATED -BOARD AND BATTEN AS SPECIFIED ROOFING AS SPECIFIED \_1st Floor T.O. Plate SIDING AS SIDING AS First Floor (T/ Finish Floor) T.O. Foundation REGINALD CHRISTIE GLENRIDGE FRONT ELEVATION
1/8" = 1'-0" **ELEVATION NOTES** DUBE, • MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR • 7/16" O.S.B. AND HOUSEWRAP REQUIRED • ROOF OVERHANGS, AS NOTED, ARE FROM WALL LINE OF WALL SHEATHING TO OUTSIDE OF FASCIA CONTINUOUS RIDGE VENT -LINE OF WALL • FINAL GRADE TO BE DETERMINED ON SITE; CONTINUOUS RIDGE VENT CONTINUOUS RIDGE VENT FOUNDATION DRAWN AS REPRESENTATION ONLY • FOOTINGS TO BE LOCATED BELOW FROST LINE (SEE LOCAL CODES) **EXTERIOR WALLS** 59-21-050 LINE OF WALL BEYOND—— • PORCH, STOOP & DECK HANDRAILS NOT INCLUDED WITH SLAB FOUNDATION AND RAILING IS A FORCED OPTION WHEN THE PROCH IS OVER 30" HIGH ROOFING AS SPECIFIED -LINE OF WALL BEYOND 8:12 O.W.H. = 6 1/2" UNLESS OTHERWISE NOTED ON ROOF OVERVIEW 1st Floor T.O. Plate\_\_\_\_ SPECIFIED First Floor (T/Finish Floor) GRADE LINE T.O. Foundation James Zaleski P.E 51544 2305 Haverhill Rd Tallahassee Fl 32312 PH 850-766-7778 & REAR OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200% FINAL CONSTRUCTION PLANS TO REPORT COPYRIGHT VIOLATIONS CALL (770)532-1128 THE USE OF THIS PLAN BY ANYONE OTHER THAN AN AGENT OF "AMERICA'S HOME PLACE, INC." IS IN VIOLATION OF THE FEDERAL COPYRIGHT VIOLATION ACT. \$1000 REWARD FOR RECOVERING AN ACTUAL COPYRIGHT INFRINGEMENT. PAPER SIZE: 11" x 17" | SCALE: As indicate © COPYRIGHT-ALL RIGHTS RESERVED NOTÈ: VIÓLATORS OF THE COPYRIGHT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS WORK IS THE INTELLECTUAL PROPERTY OF AMERICA'S HOME PLACE AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION.





8:12 O.W.H. = 6 1/2"

UNLESS OTHERWISE NOTED ON ROOF OVERVIEW



2,025 SF 649 SF 147 SF 796 SF 2,822 SF 192 SF 192 SF **18,655 CUBIC FEET** FIRST FLOOR HEATED DUBE, REGINALD JR. & CHRISTIE SW COLES COURT F WHITE, FL 32038 GLENRIDGE A EXTERIOR WALLS 59-21-050

ROOF OVERVIEW
1/8" = 1'-0"

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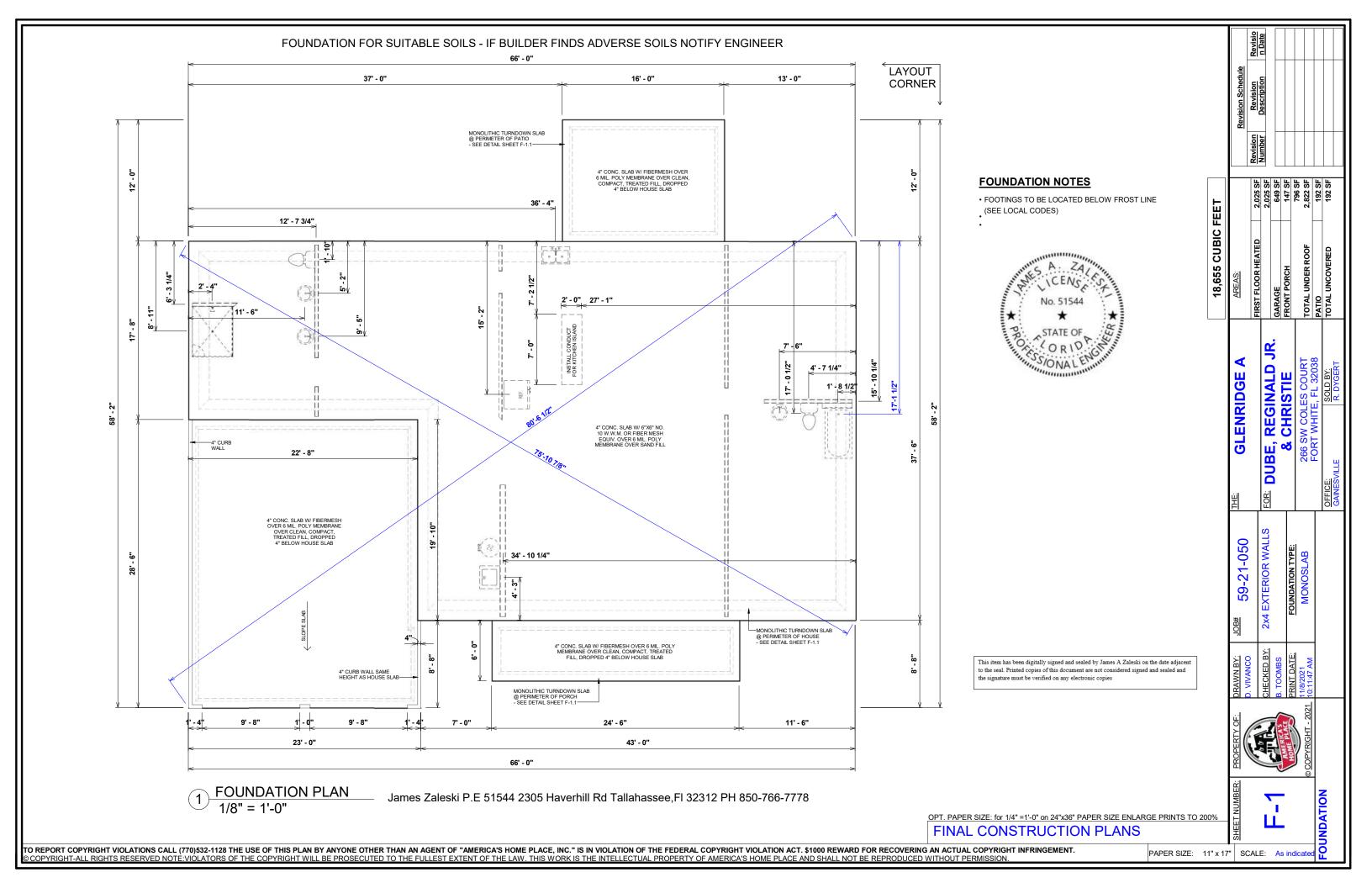
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FINAL CONSTRUCTION PLANS

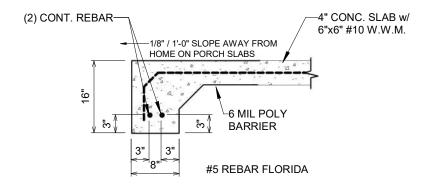
PAPER SIZE: 11" x 17" SCALE:

OVERVIE



10" 'J' BOLT MINIMUM 48" O.C. P.T. SILL 4" CONCRETE SLAB (SMOOTH FINISH) W/ FIBER MESH OVER 6 MIL. SILL VISQUÉEN VAPOR BARRIER ON INSULATION WELL COMPACTED FILL **GRADE** 1' - 0" -#5 REBAR IN FLORIDA

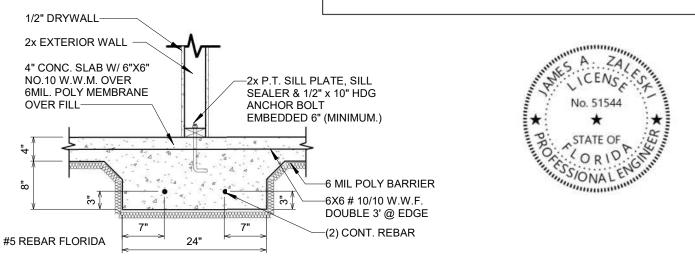
1 STORY MONOSLAB DETAIL 3/4" = 1'-0"



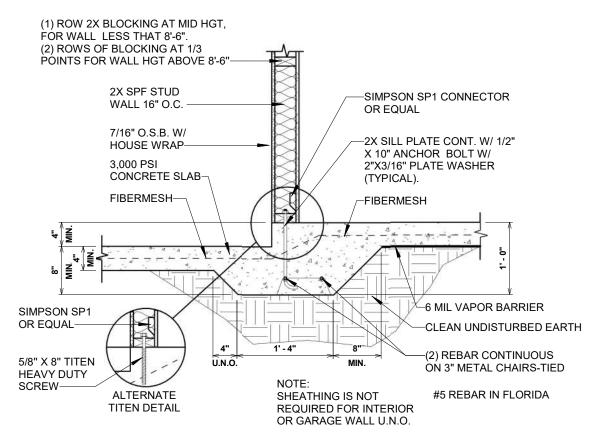
53.1-EDGE OF TURNED DOWN PATIO SLAB 3/4" = 1'-0"

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53.3-THICKENED SLAB UNDER LOAD BEARING WALL 3/4" = 1'-0"



BEARING WALL AT STEP 3/4" = 1'-0"

OPT. PAPER SIZE: for 1/4" =1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

FINAL CONSTRUCTION PLANS

PAPER SIZE: 11" x 17" SCALE:

Revision Schedule

FEET

CUBIC

18,655

FIRST FLOOR HEATED

2,025 SF 649 SF 147 SF 796 SF 2,822 SF 192 SF

W COLES COURT WHITE, FL 32038

REGINALD CHRISTIE

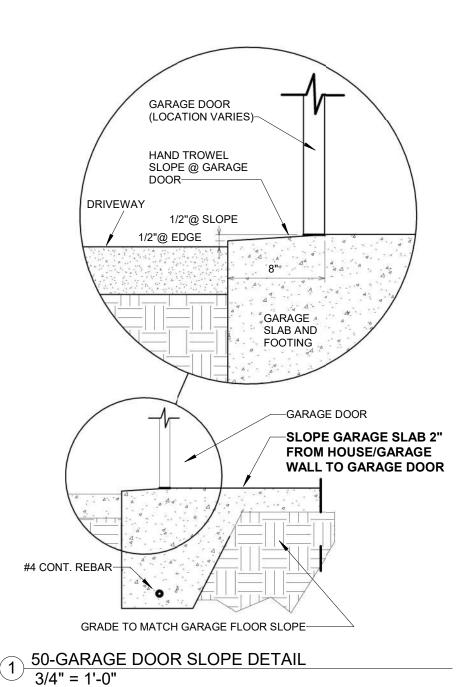
DUBE,

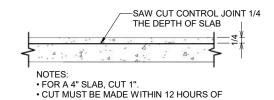
FOR:

**EXTERIOR WALLS** 

59-21-050

GLENRIDGE





CONCRETE PLACEMENT.

• AREAS SHOULD NOT EXCEED 300 SQ. FT.

50-CONTROL JOINT DETAIL 3/4" = 1'-0"



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FINAL CONSTRUCTION PLANS

PAPER SIZE: 11" x 17" | SCALE:

Revision Schedule

**18,655 CUBIC FEET** 

FIRST FLOOR HEATED

**GLENRIDGE A** 

2,025 SF 649 SF 147 SF 796 SF 2,822 SF 192 SF 192 SF

TOTAL UNDER ROOF
PATIO
TOTAL UNCOVERED

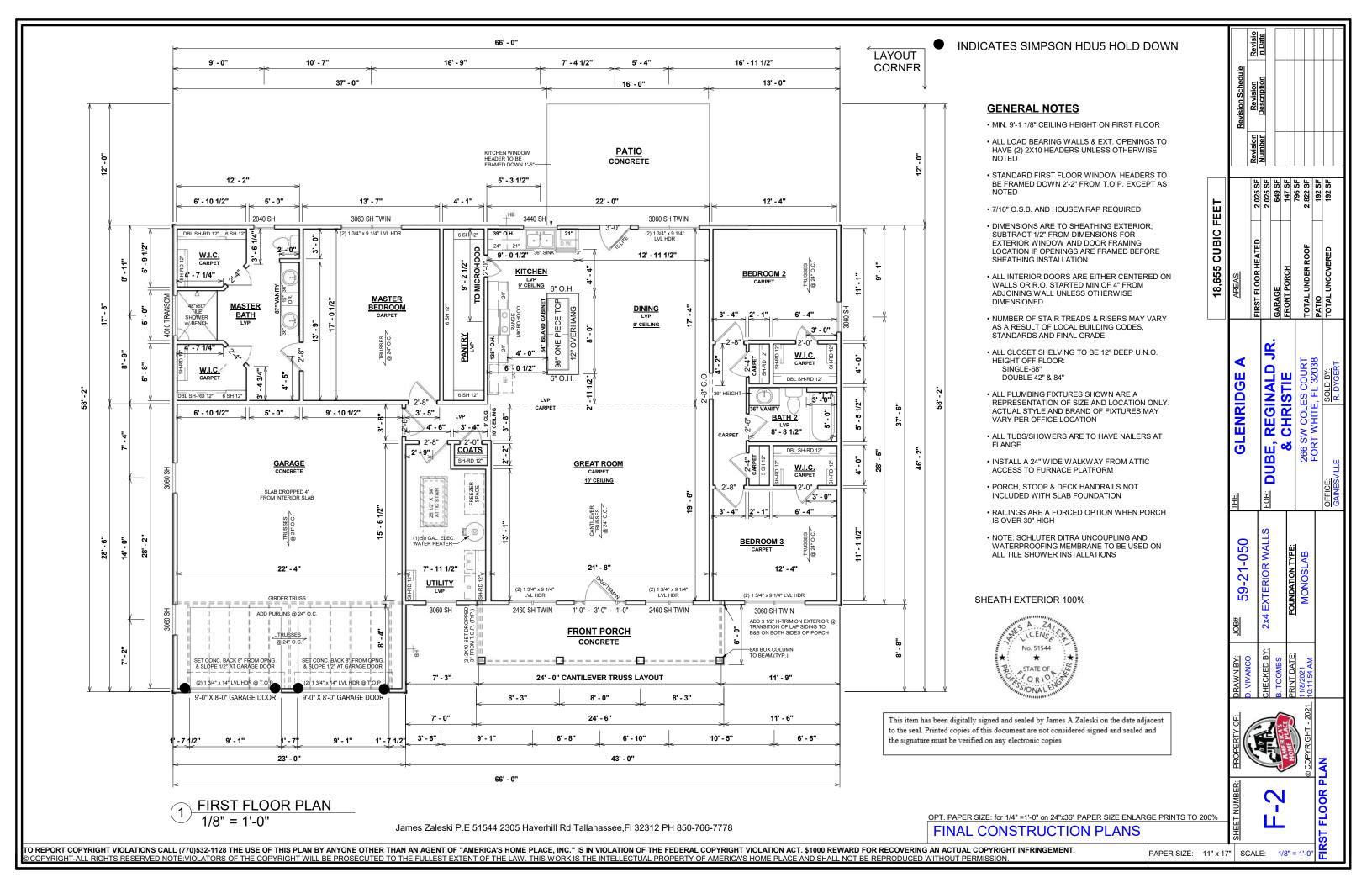
266 SW COLES COURT FORT WHITE, FL 32038

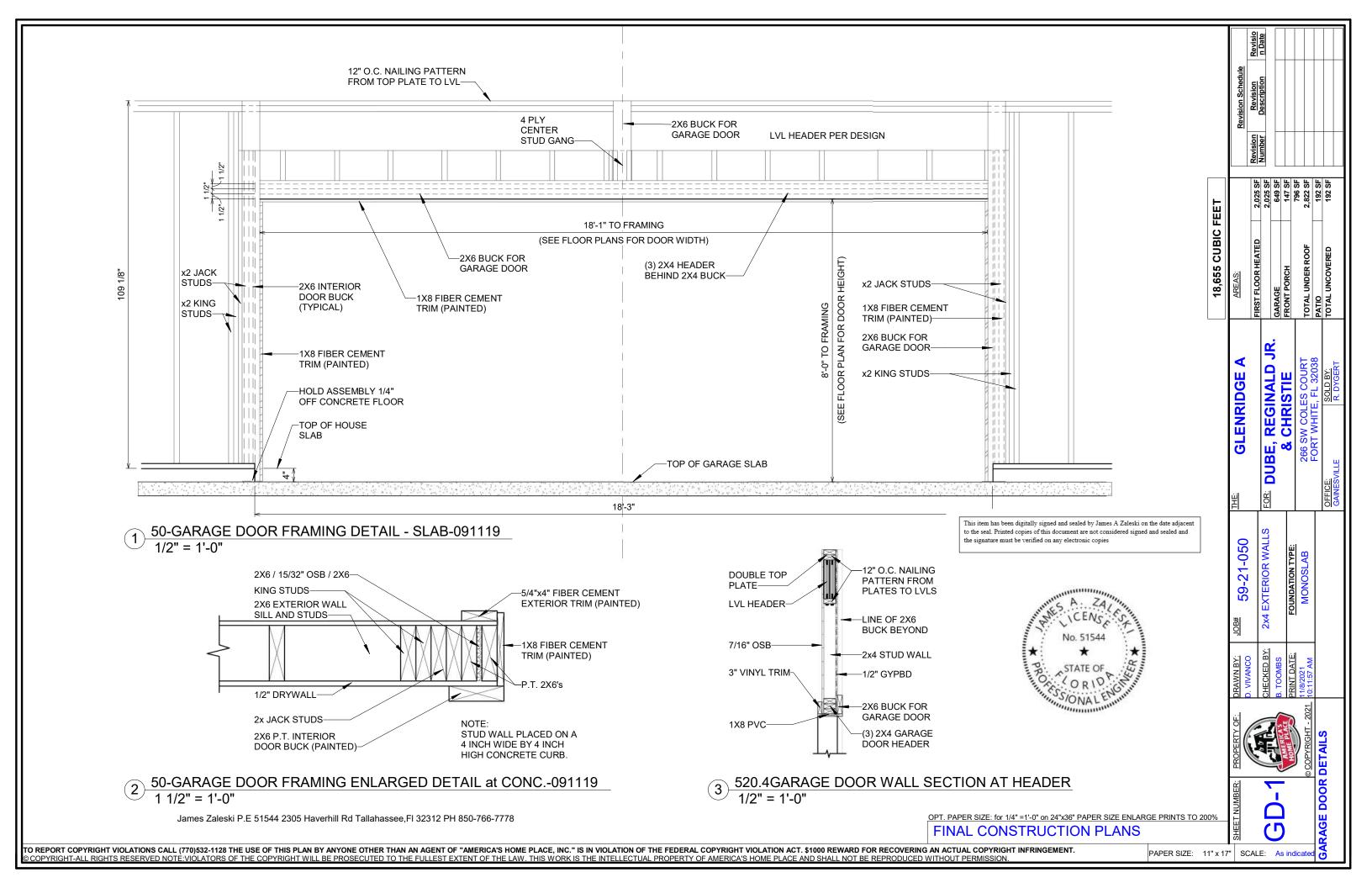
DUBE, REGINALD & CHRISTIE

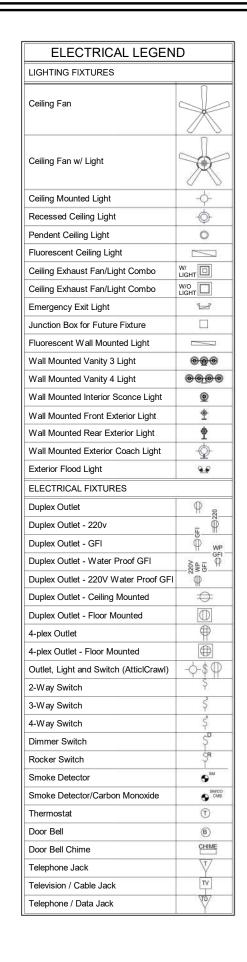
EXTERIOR WALLS

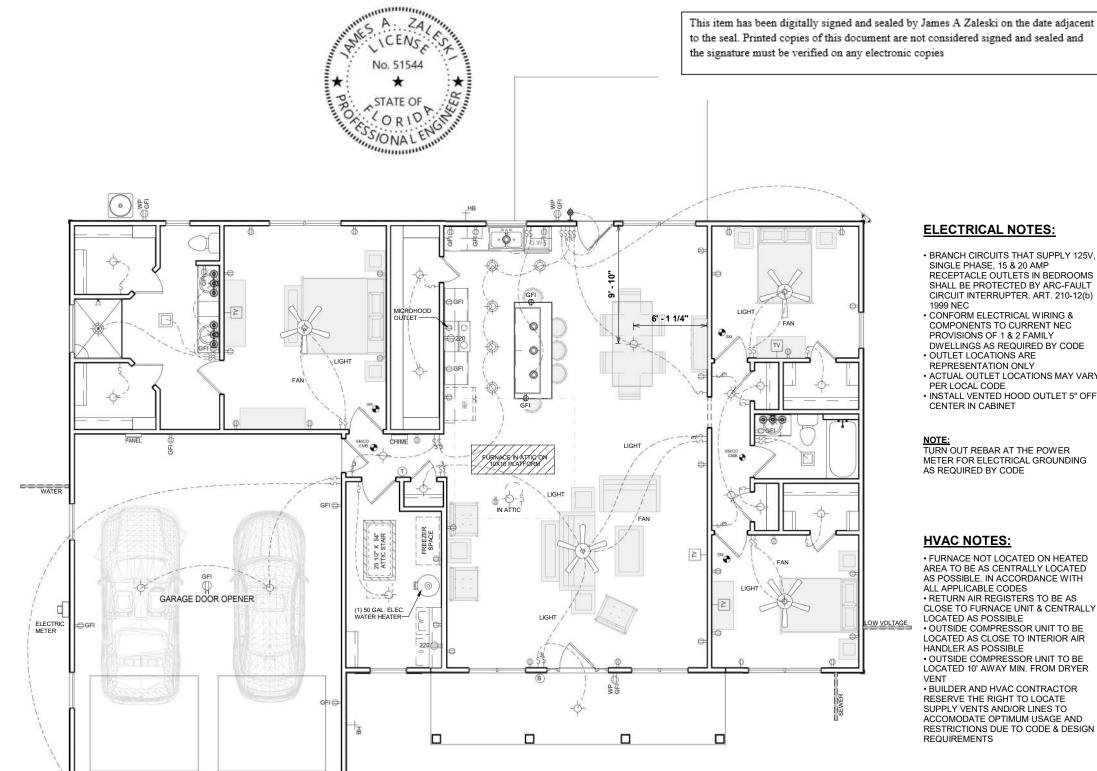
59-21-050

**-OUNDATIONS DETAILS** 









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## **ELECTRICAL NOTES:**

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER. ART. 210-12(b) 1999 NEC
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET LOCATIONS ARE REPRESENTATION ONLY
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE
- INSTALL VENTED HOOD OUTLET 5" OFF CENTER IN CABINET

NOTE: TURN OUT REBAR AT THE POWER METER FOR ELECTRICAL GROUNDING AS REQUIRED BY CODE

### **HVAC NOTES:**

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE OUTSIDE COMPRESSOR UNIT TO BE
- LOCATED 10' AWAY MIN. FROM DRYER
- BUILDER AND HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS AND/OR LINES TO ACCOMODATE OPTIMUM USAGE AND RESTRICTIONS DUE TO CODE & DESIGN

2 2 2 2 2 2 2 2 18,655 CUBIC FIRST FLOOR REGINALD CHRISTIE GLENRIDGE BE, 59-21-050

FIRST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

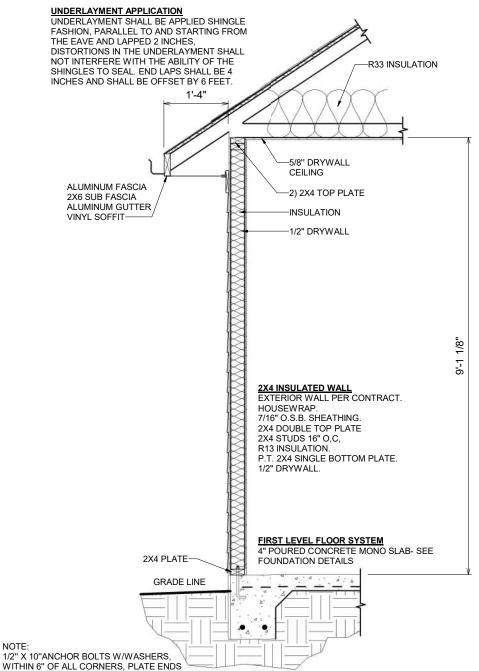
james

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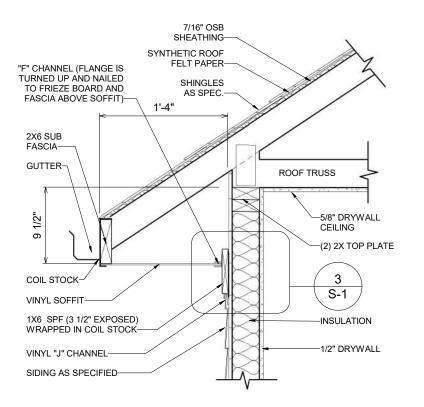
FINAL CONSTRUCTION PLANS

ROOF SYSTEM ROOF COVERING AS SPECIFIED SYNTHETIC ROOF FELT 3/8" PLYWOOD SHEATHING NAILED AND CLIPPED PRE ENGINEERED ROOF TRUSSES PER PRINT R-33 INSULATION IN FLAT AREAS R-30 INSULATION IN SLOPED AREAS

UNDERLAYMENT MATERIALS
UNDERLAYMENT MATERIALS TO COMPLY WITH ASTM D226, D1970, D4869 & D6757SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION.

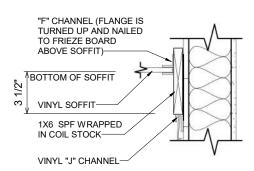


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ORID

400.1 RAFTER TAIL AT SIDING WALL - TYPICAL



400.2 FRIEZE DETAIL AT SIDING 1 1/2" = 1'-0"



AND EACH SIDE OF AN OPENING. THEN SPACED A MINIMUM OF 4'-0" O.C. OR AS REQUIRED.

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FINAL CONSTRUCTION PLANS

PAPER SIZE: 11" x 17" | SCALE: As indicate

SE

AILS &

2 2 2 2 2 2 2 2

2,025 2,025 649 649 796 796 192

V COLES COURT WHITE, FL 32038

REGINALD CHRISTIE

DUBE,

**EXTERIOR WALL** 

59-21-050

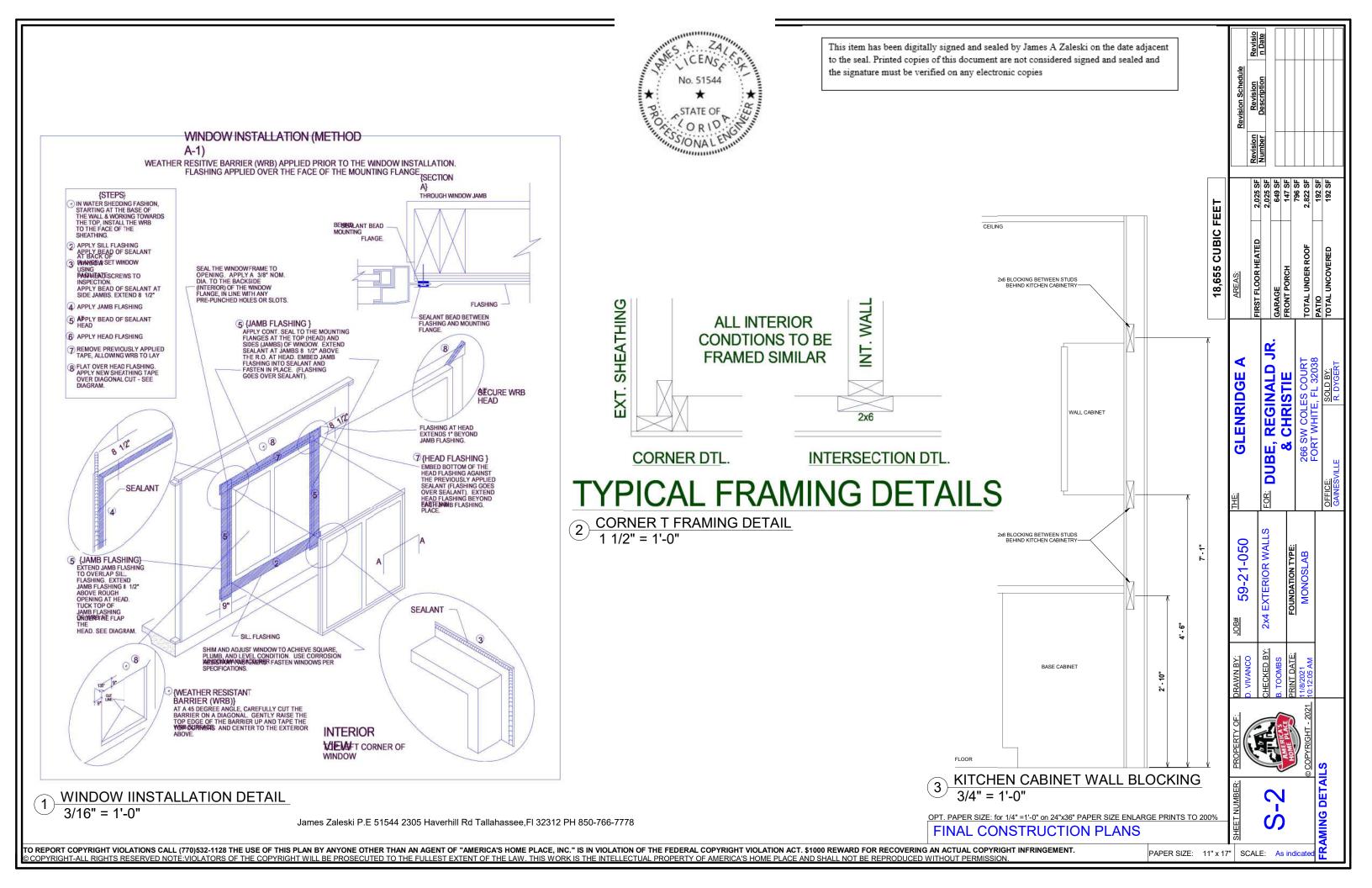
GLENRIDGE

FEET

CUBIC

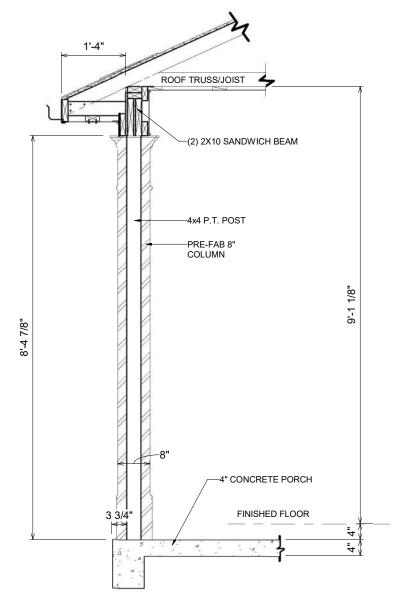
18,655

FIRST FLOOR HEATED

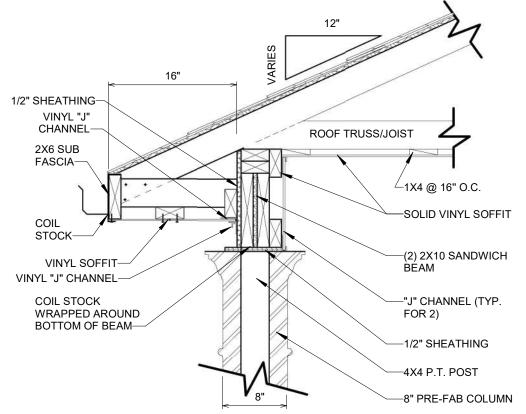


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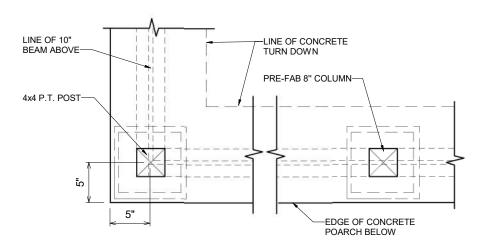




1 820.1 8" PORCH COLUMN - FL - ON CONC 1/2" = 1'-0"



8" COLUMN PORCH SOFFIT DETAIL - FL 1" = 1'-0"



3 820.2 PORCH 8" COLUMN FRAMING ON SLAB 1" = 1'-0"

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FINAL CONSTRUCTION PLANS

PAPER SIZE: 11" x 17" | SCALE: As indicate

COLUMN DETAILS

Revision Schedule

FEET

18,655 CUBIC

FIRST FLOOR HEATED

2,025 SF 649 SF 147 SF 796 SF 2,822 SF 192 SF

W COLES COURT WHITE, FL 32038

REGINALD CHRISTIE

DUBE,

FOR:

**EXTERIOR WALLS** 

59-21-050

GLENRIDGE

