

**COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

**OWNER BUILDER DISCLOSURE STATEMENT****Florida Statutes Chapter 489.103:**

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at **850-487-1395** or **<http://www.myfloridalicense.com/>** for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

705 Bunn Drive SW Lake City FL 32024

(Write in the address of jobsite property)

12. I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

**Florida Statutes Chapter 489.503:**

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

An owner of property completing the requirements of a building permit, where the contractor listed on the permit substantially completed the project as determined by the local permitting agency, for a one-family or two family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is not required to occupy the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

**TYPE OF CONSTRUCTION**

☐ Single Family Dwelling    ☐ Two-Family Residence    ☐ Farm Outbuilding

☐ Addition, Alteration, Modification or other Improvement    ☐ Electrical

☐ Other metal Building

☐ Contractor substantially completed project, of a \_\_\_\_\_

☐ Commercial, Cost of Construction \_\_\_\_\_ for construction of \_\_\_\_\_

I Ronald J Corkum, have been advised of the above disclosure  
(Print Property Owners Name)

statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Signature: [Signature] Date: 8/15/2022  
(Signature of property owner)

**NOTARY OF OWNER BUILDER SIGNATURE**

The above signer is personally known to me or produced identification NH DL

Notary Signature M Garber Date 8/15/22 (Seal)



(45)

## Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 8/11/2022

Parcel: &lt;&lt; 31-4S-17-08915-104 (43770) &gt;&gt;

## Owner &amp; Property Info

Result: 1 of 1

Owner	CORKUM RONALD CORKUM LORRAINE 177 NORTH RD DEERFIELD, NH 03037		
Site	705 SW BUNN Dr, LAKE CITY		
Description*	HAWK'S LANDING LOT 4 WD 1463-1484,		
Area	5.16 AC	S/T/R	31-4S-17
Use Code**	VACANT (0000)	Tax District	3

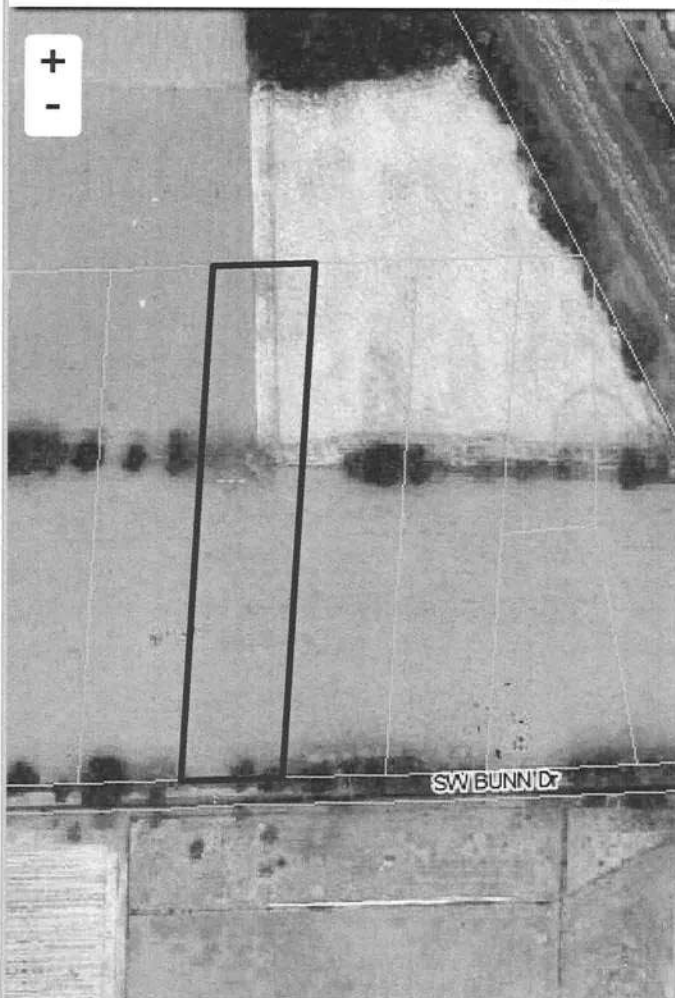
\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

## Property &amp; Assessment Values

2021 Certified Values	2022 Working Values	
There are no 2021 Certified Values for this parcel	Mkt Land	\$46,440
	Ag Land	\$0
	Building	\$0
	XFOB	\$0
	Just	\$46,440
	Class	\$0
	Appraised	\$46,440
	SOH Cap [?]	\$0
	Assessed	\$46,440
	Exempt	\$0
Total Taxable	county:	\$46,440
	city:	\$0
	other:	\$0
	school:	\$46,440

Aerial Viewer Pictometry Google Maps

☒ 2019
 ☐ 2016
 ☐ 2013
 ☐ 2010
 ☐ 2007
 ☐ 2005
 ☐ Sales


## Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
4/1/2022	\$64,900	1463/1484	WD	V	Q	01

## Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

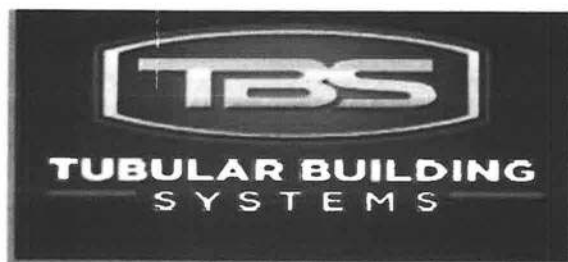
## Extra Features &amp; Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

## Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	5.160 AC	1.0000/1.0000 1.0000/ /	\$9,000 /AC	\$46,440

Search Result: 1 of 1



## STRUCTURAL DESIGN

# **OPEN STRUCTURE WITH ENCLOSED** **LEAN-TO BUILDING OPTION** **EXPOSURE B**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE  
AND BOW FRAME**

24 February 2021

Revision 2

M&A Project No. 16159S/18027S/20352S

Prepared for:

Tubular Building Systems, LLC  
P.O. Box 2254  
Lake City, Florida 32025

Prepared by:

Moore and Associates Engineering and Consul  
1009 East Avenue  
North Augusta, SC 29841

401 S. Main Street, Suite 200  
Mount Airy, NC 27030



**Wayne  
S Moore**

Digitally signed  
by Wayne S  
Moore  
Date: 2021.10.21  
08:27:38 -04'00'

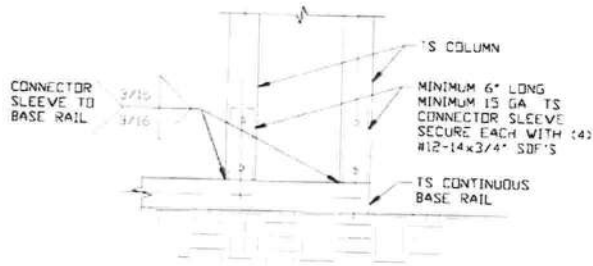


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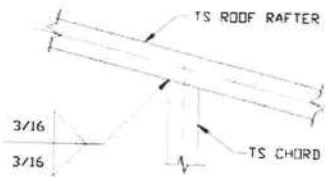
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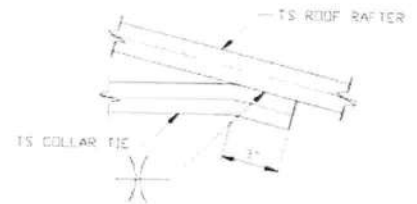
# CONNECTION DETAILS



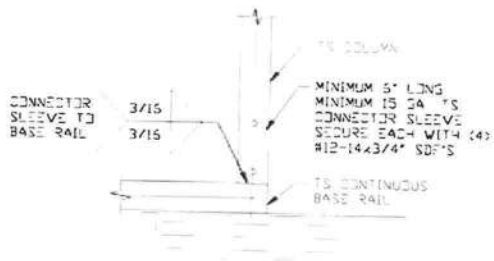
**10** COLUMN/BASE RAIL  
CONNECTION DETAIL  
SCALE: NTS



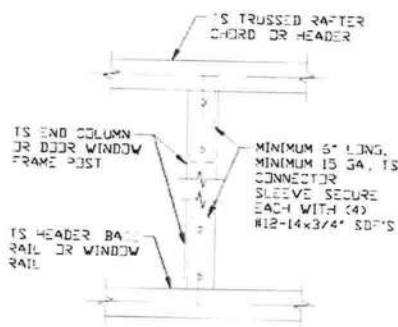
**11** RAFTER TO CHORD  
CONNECTION DETAIL  
SCALE: NTS



**12** COLLAR TIE  
CONNECTION DETAIL  
SCALE: NTS



**13** COLUMN/BASE RAIL  
CONNECTION DETAIL  
SCALE: NTS



**14** COLUMN TO HEADER,  
BASE RAIL  
CONNECTION DETAIL  
SCALE: NTS



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DRAWN BY: JG

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
631 SE INDUSTRIAL CIRCLE  
LAKE CITY, FLORIDA 32025  
30'-0"X20'-0" ENCLOSED BUILDING EXP. B

DATE: 7-29-21

SCALE: NTS

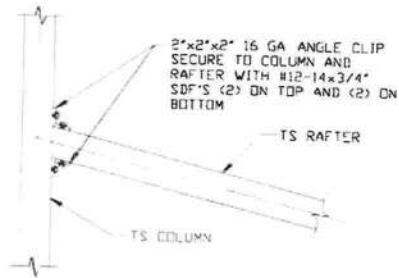
JOB NO: 16022S/  
17300S/20352S

SHT. 13

DWG. NO: SK-3

REV: 6

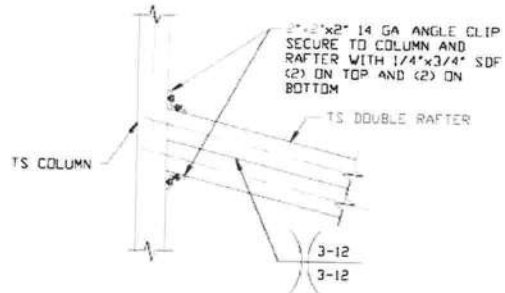
# BOX EAVE RAFTER LEAN-TO OPTIONS



LEAN-TO RAFTER TO RAFTER  
COLUMN CONNECTION DETAIL  
FOR RAFTER SPANS  $\leq 15'-0''$

16

SCALE: NTS



LEAN-TO RAFTER TO RAFTER  
COLUMN CONNECTION DETAIL  
FOR RAFTER SPANS  
 $15'-0'' < \text{TO} \leq 24'-0''$

16A

SCALE: NTS



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SHT. 14A

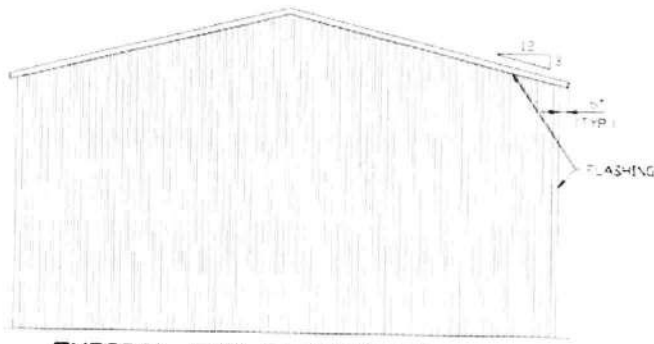
DWG. NO: SK-3

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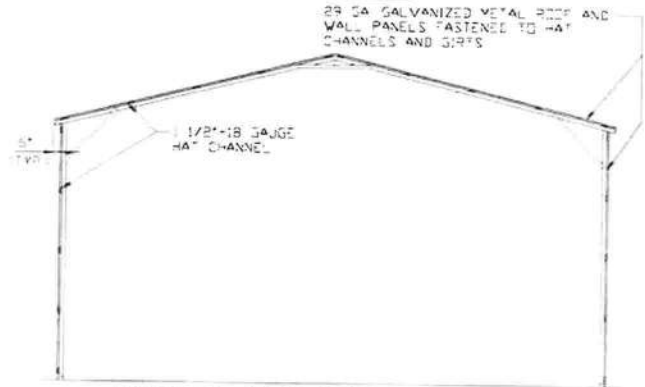


# BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



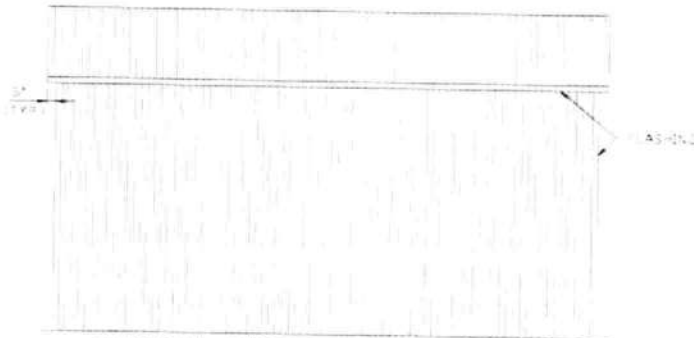
**TYPICAL END ELEVATION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



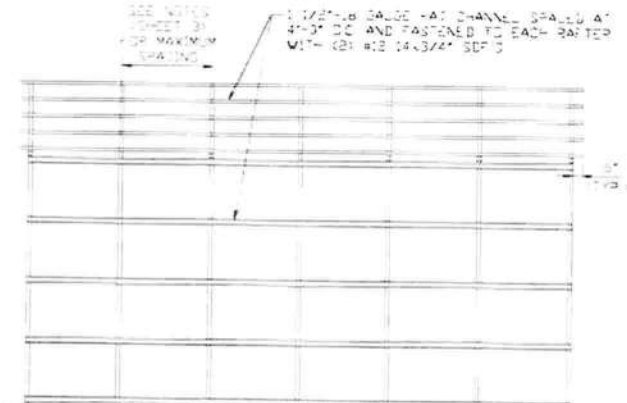
**TYPICAL SECTION VERTICAL  
ROOF/SIDING OPTION**

SCALE: NTS



**TYPICAL SIDE ELEVATION  
VERTICAL ROOF/SIDING OPTION**

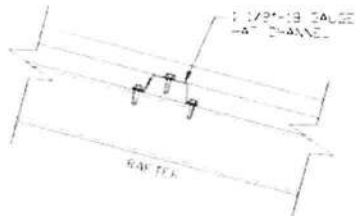
SCALE: NTS



**TYPICAL FRAMING SECTION  
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS

NOTE: 16 WALL GIRTS CAN BE USED AS AN OPTION IN PLACE OF 1/2\"/>



**ROOF PANEL ATTACHMENT**

(ALTERNATE FOR VERTICAL ROOF PANELS)  
SCALE: NTS



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PROJECT MGR: WSM

CLIENT: TBS

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LAKE CITY, FLORIDA 32025  
30'-0"X20'-0" ENCLOSED BUILDING EXP. B

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SHT. 16

SCALE: NTS

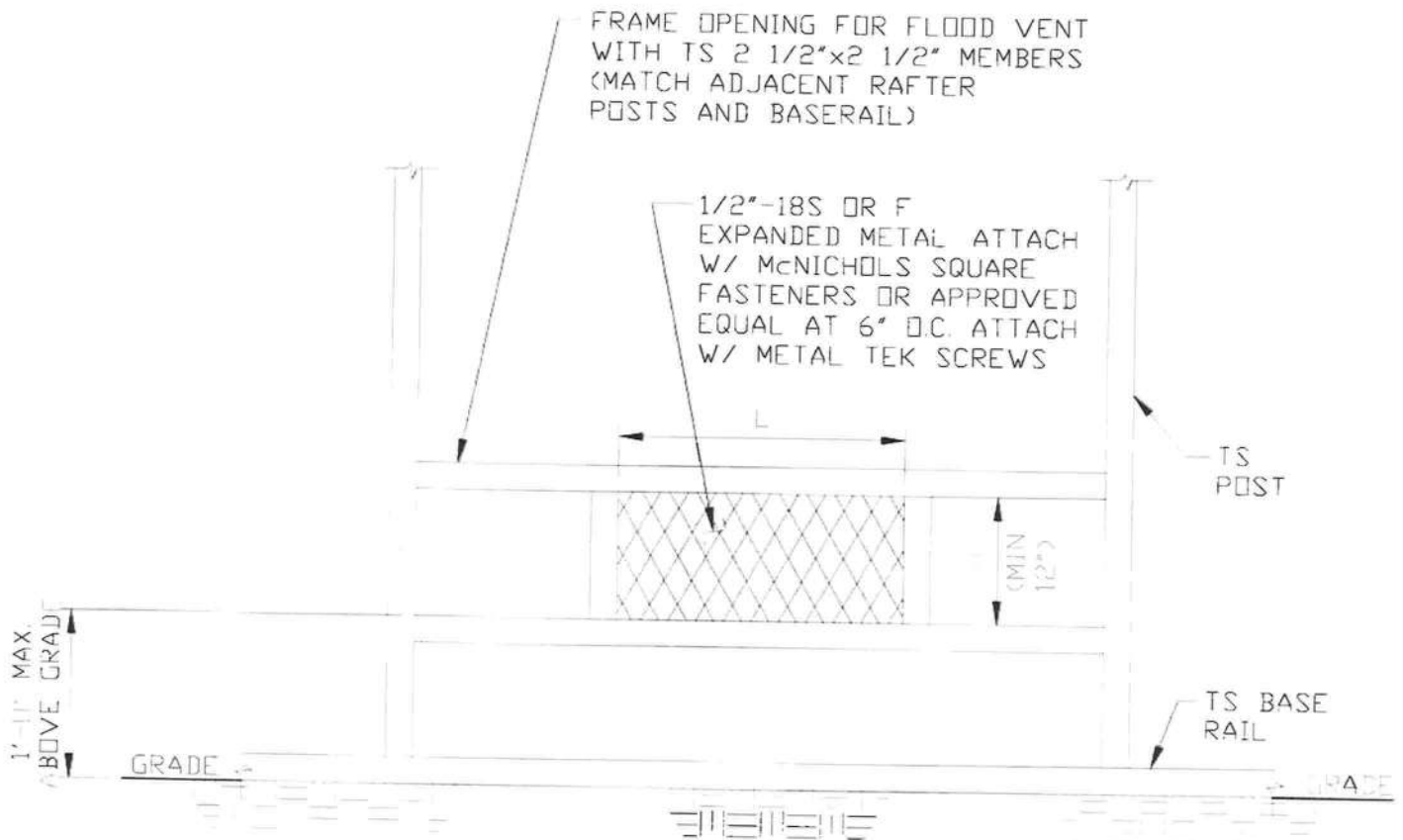
DWG. NO: SK-3

JOB NO: 16022S/  
17300S/20352S

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## FLOOD VENT DETAIL



### TYPICAL FLOOD VENT DETAIL

SCALE N'S

MINIMUM VENT SPACE REQUIRED = 1 SQ INCH OF OPEN VENT AREA PER SQ FOOT OF BUILDING AREA

THERE SHALL BE A MINIMUM OF TWO OPENINGS ON DIFFERENT SIDES FOR EACH ENCLOSED BUILDING

APPLY 13 FACTOR WHEN CALCULATING TOTAL OPEN AREA WHEN USING 1/2"-18GA S OR F EXPANDED METAL

TOTAL OPEN AREA OF VENT =  $L \times H(\text{MIN } 12")$

FLOOD VENT DETAIL COMPLIES WITH FEMA/NFIP

PREFABRICATED FLOOD VENTS MEETING THE REQUIREMENTS OF FEMA/NFIP MAY BE USED



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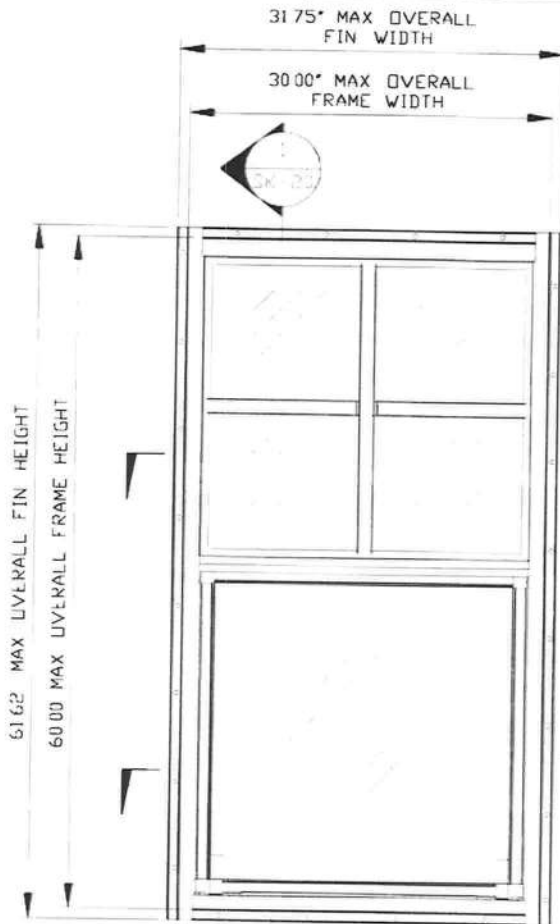
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# VERTICAL SLIDING WINDOW DETAIL



**ELEVATION VIEW**  
SCALE: NTS

#12x3/4" SELF-  
DRILLING  
FASTENERS  
(TYP)

EXTERIOR INTERIOR

TS POST  
OR RAIL  
14 GA  
(TYP)

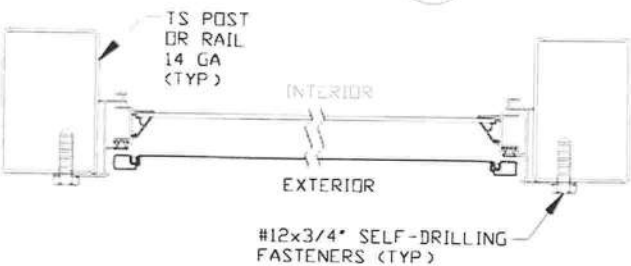
**SECTION**  
SCALE: 3"=1'-0"

NOTE: KINRO SERIES 18000-R VS OR  
EQUIVALENT WINDOW IS REQUIRED

**POSITIVE WALL PRESSURE: +40.0 PSF**  
**NEGATIVE WALL PRESSURE: -40.0 PSF**



**SECTION**  
SCALE: 3"=1'-0"



**SECTION**  
SCALE: 3"=1'-0"



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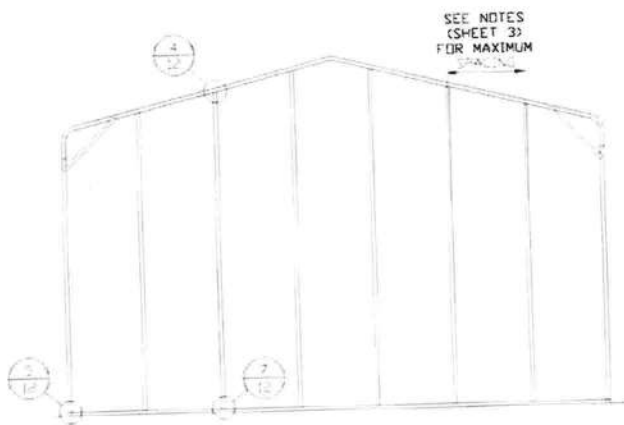
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REV: 6

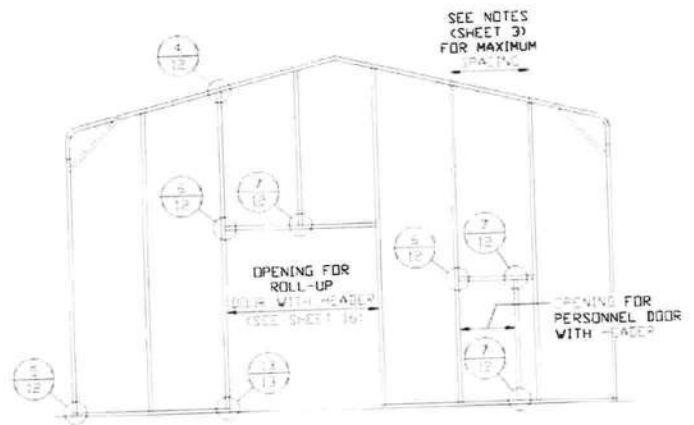
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# BOW RAFTER END WALL AND SIDE WALL OPENINGS



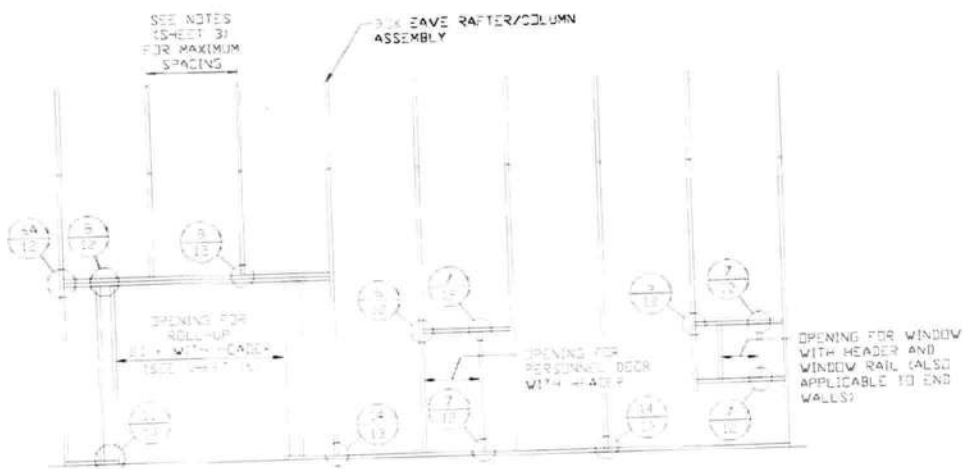
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



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SHT. 11

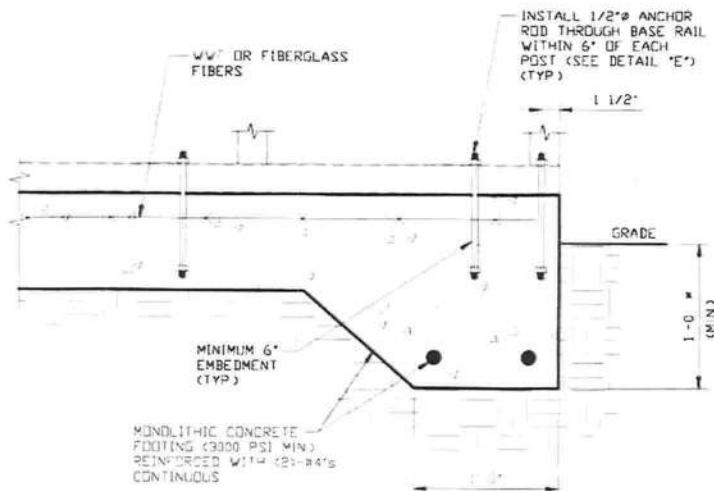
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DWG. NO: SK-3

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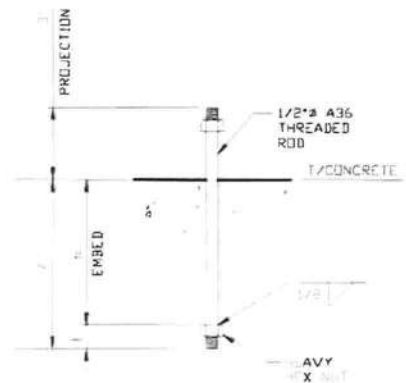
REV: 6

# OPTIONAL FOUNDATION ANCHORAGE FOR LOW AND HIGH WIND SPEED



## 3C CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS  
MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2"  
\* COORDINATE WITH LOCAL CODES/ORD  
REGARDING MINIMUM FROST DEPTH REQ



## 3D ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS

### GENERAL NOTES

NOTE CONCRETE MONOLITHIC SLAB DESIGN ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF

#### CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

#### COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318  
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

#### REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

#### REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT



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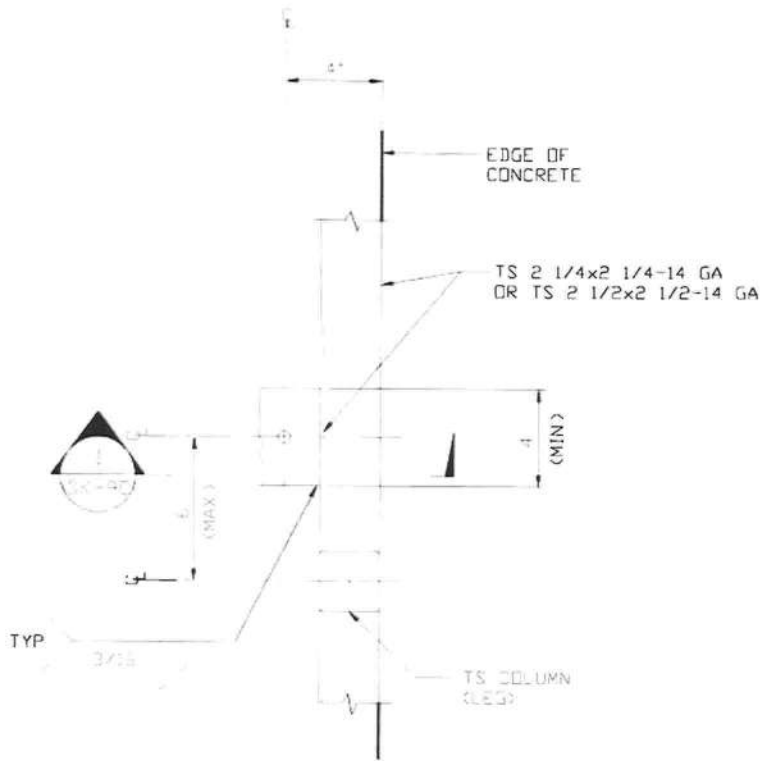
SHT. 9A

DWG. NO: SK-3

REV: 6

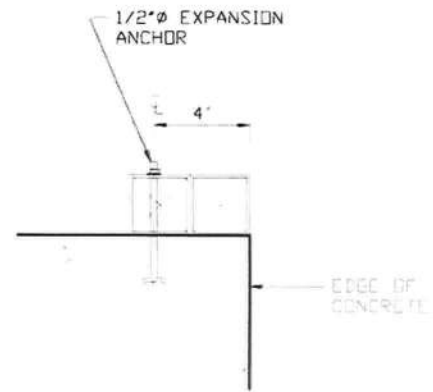
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## BASE RAIL ANCHORAGE OPTIONS



**TYPICAL ANCHOR DETAIL WHEN BASE  
RAIL IS NEAR EDGE OF CONCRETE**

SCALE: NTS



**SECTION I**  
SCALE: NTS



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**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
631 SE INDUSTRIAL CIRCLE  
LAKE CITY, FLORIDA 32025  
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 7-29-21**

**SCALE: NTS**

**SHT. 9C**

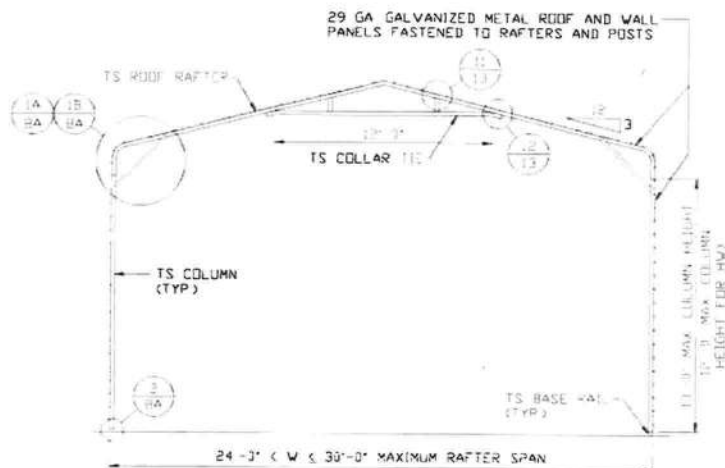
**DWG. NO: SK-3**

**JOB NO: 16022S/  
17300S/20352S**

**REV: 6**

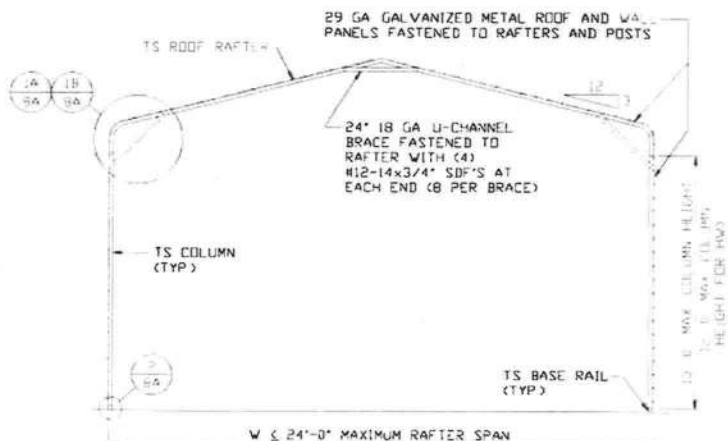
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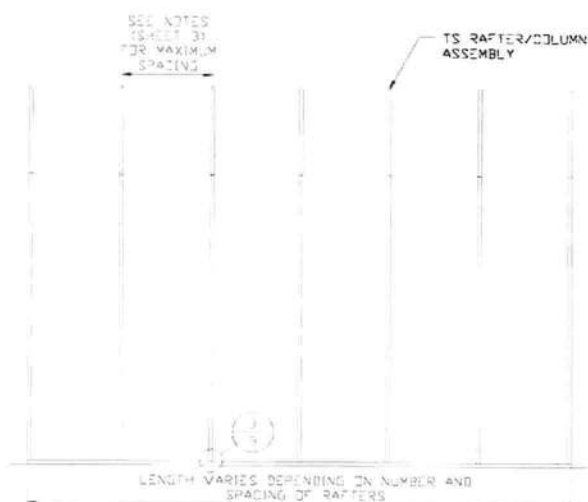
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**

SCALE: NTS



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CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
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LAKE CITY, FLORIDA 32025  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 7-29-21

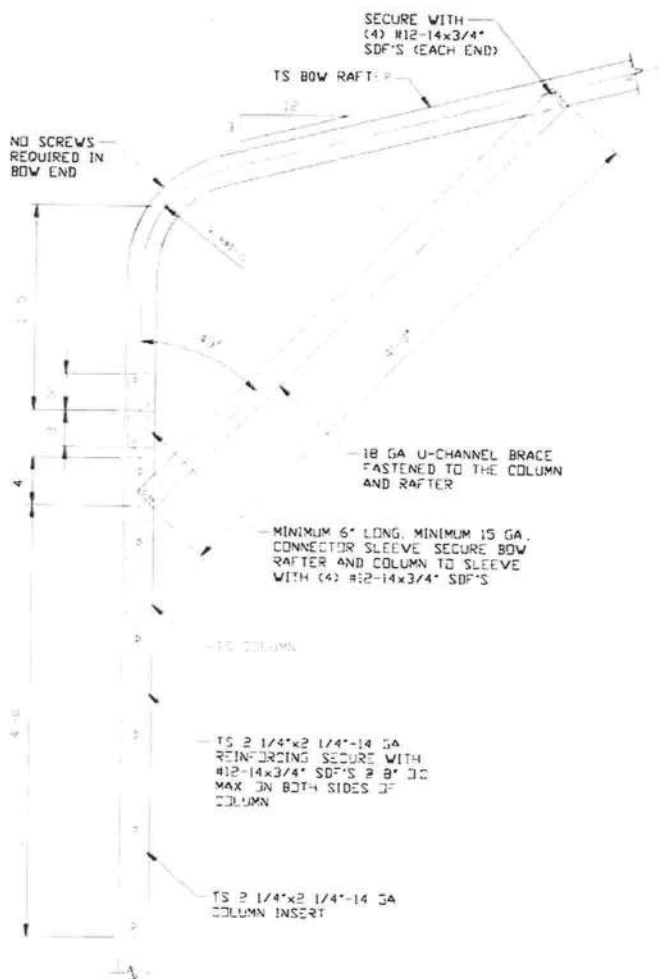
SCALE: NTS

DWG. NO: SK-3

JOB NO: 16022S/  
17300S/20352S

SHT. 7A

REV: 6

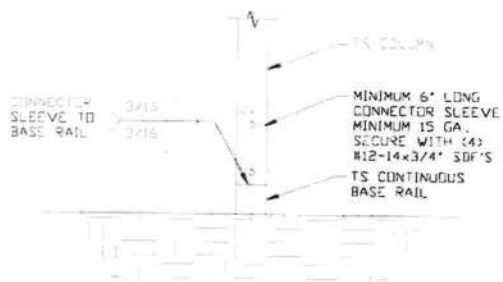


1A

### BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 10'-0" < TO ≤ 13'-0"

SCALE: NTS

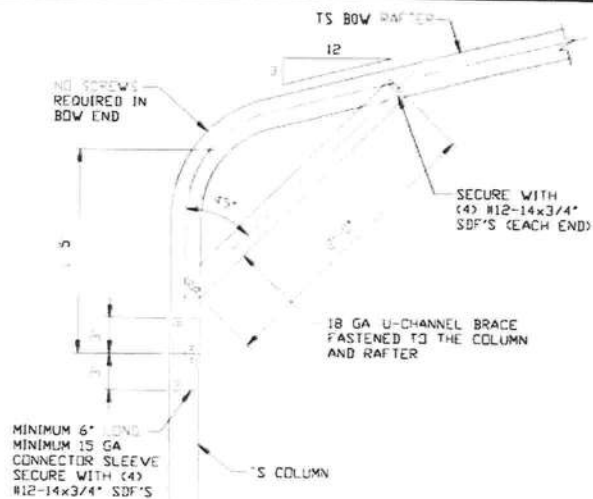
NOTE: MAXIMUM COLUMN HEIGHT IS 12'-0" FOR HIGH WIND



2

### RAFTER COLUMN/BASE RAIL CONNECTION DETAIL

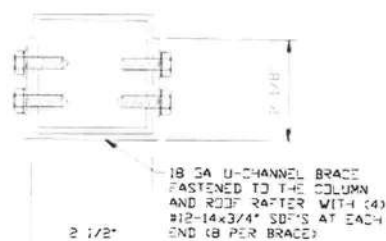
SCALE: NTS



1B

### BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 10'-0"

SCALE: NTS



### BRACE SECTION

SCALE: NTS



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CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
631 SE INDUSTRIAL CIRCLE  
LAKE CITY, FLORIDA 32025  
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B

DATE: 7-29-21

SCALE: NTS

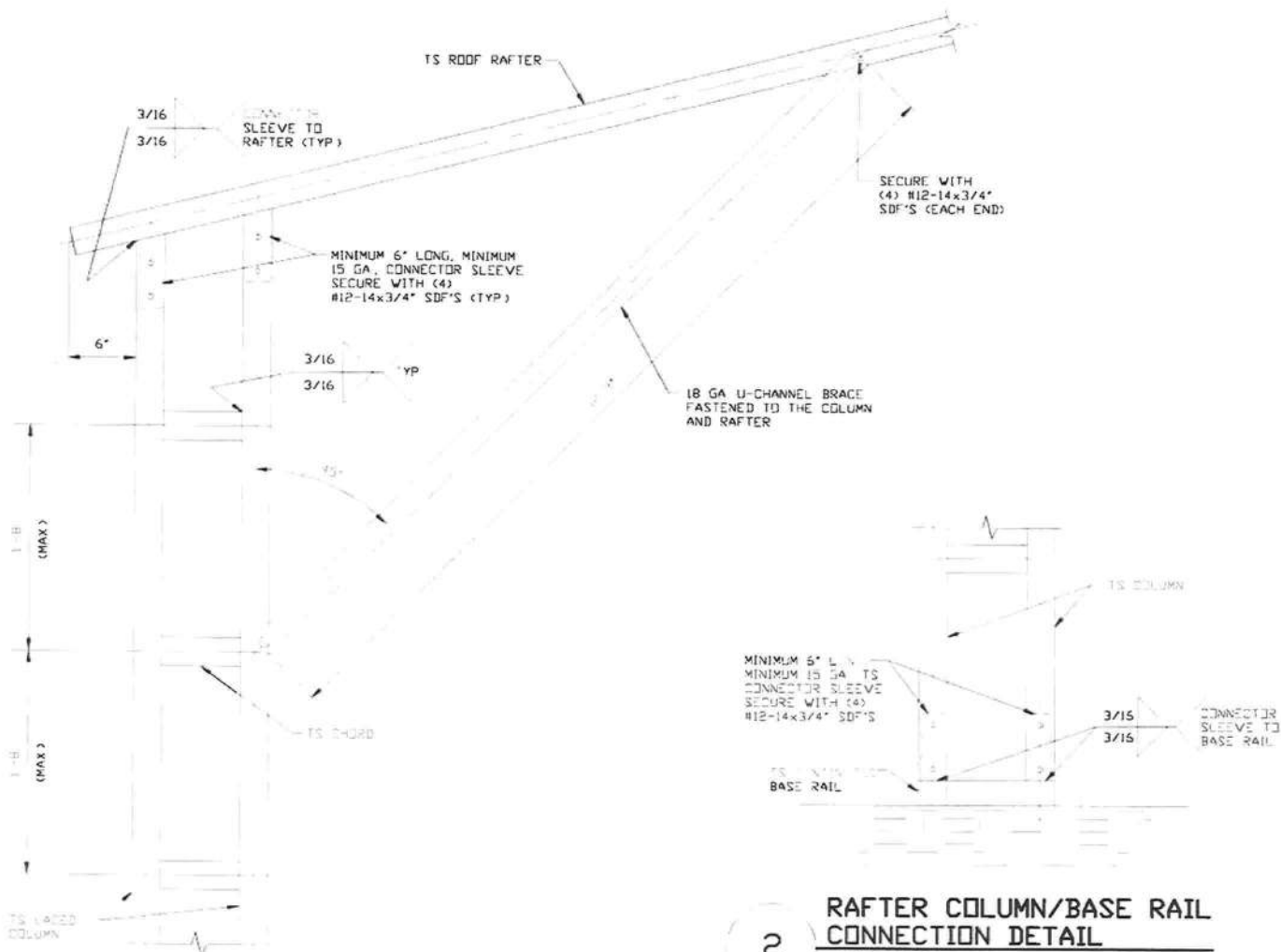
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17300S/20352S

SHT. 0A

DWG. NO: SK-3

REV: 6

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2

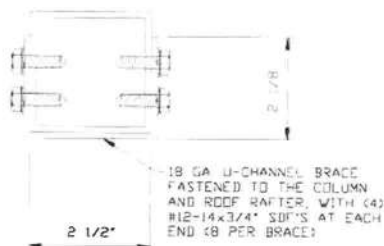
## RAFTER COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS

1

## BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 16'-0" < TO ≤ 20'-0"

SCALE: NTS



## BRACE SECTION

SCALE: NTS



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**DATE: 7-29-21**

**SHT. 6**

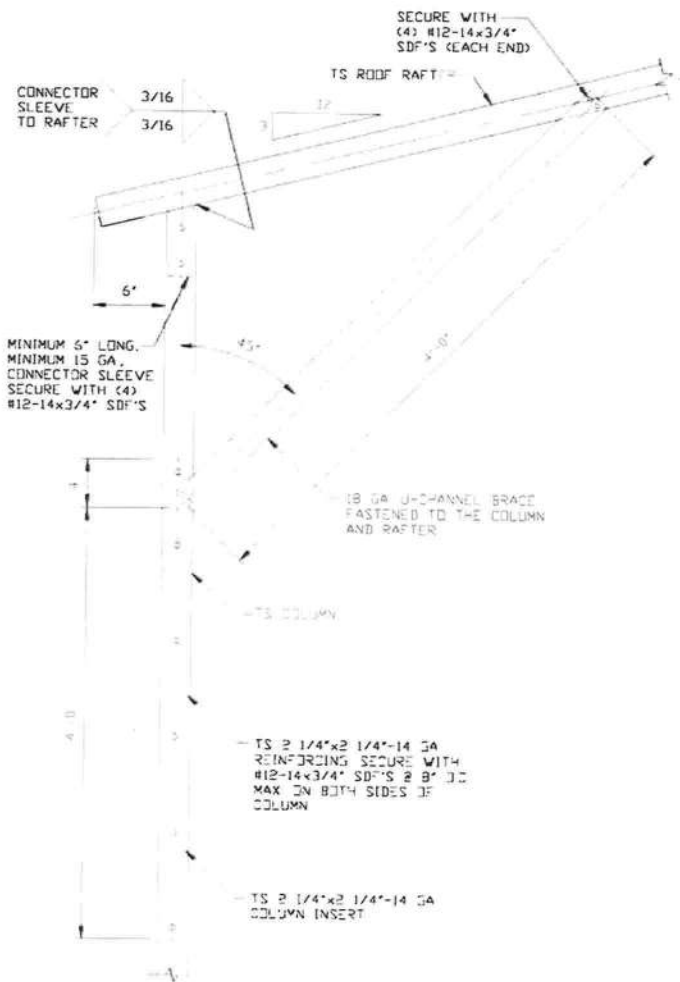
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**DWG. NO: SK-3**

**JOB NO: 16022S/  
17300S/20352S**

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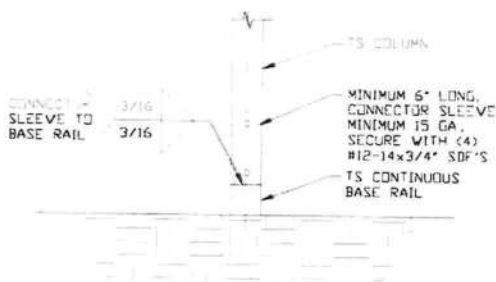


**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 10'-0" < TO ≤ 13'-0"**

1A

SCALE: NTS

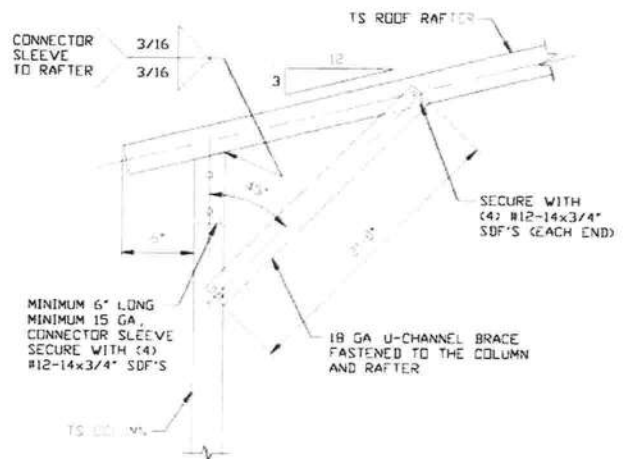
NOTE: MAXIMUM COLUMN HEIGHT IS 12'-0" FOR HIGH WIND



**RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL**

2

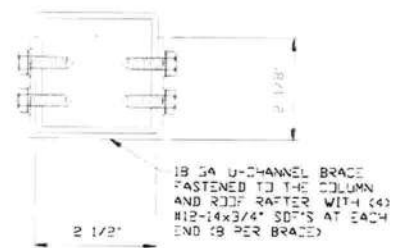
SCALE: NTS



**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS ≤ 10'-0"**

1B

SCALE: NTS



**BRACE SECTION**

SCALE: NTS



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SHT. 6B

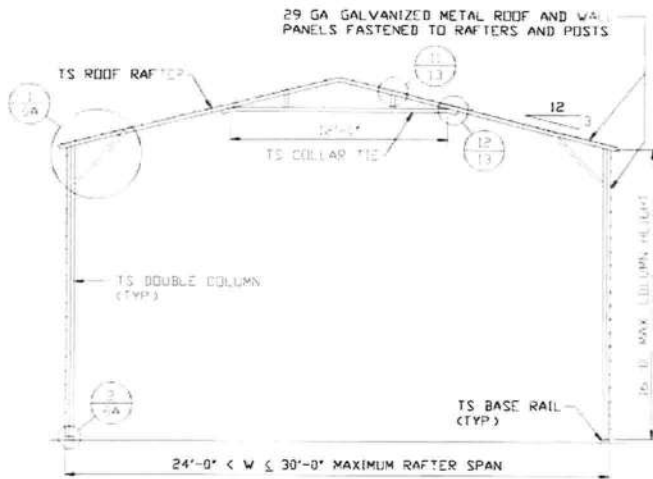
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DWG. NO: SK-3

JOB NO: 16022S/  
17300S/20352S

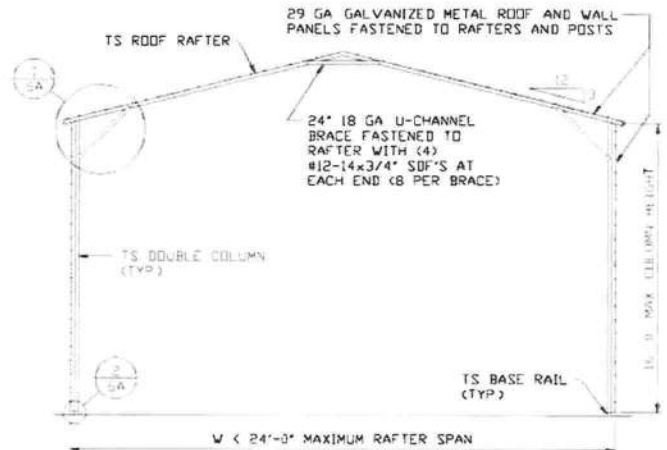
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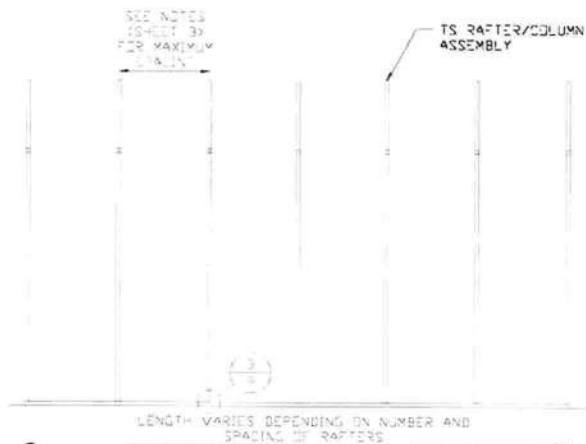
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**

SCALE: NTS



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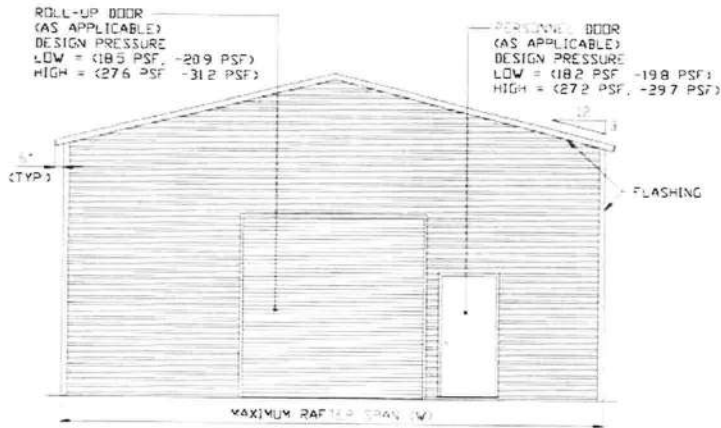
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DWG. NO: SK-3

JOB NO: 16022S/  
17300S/20352S

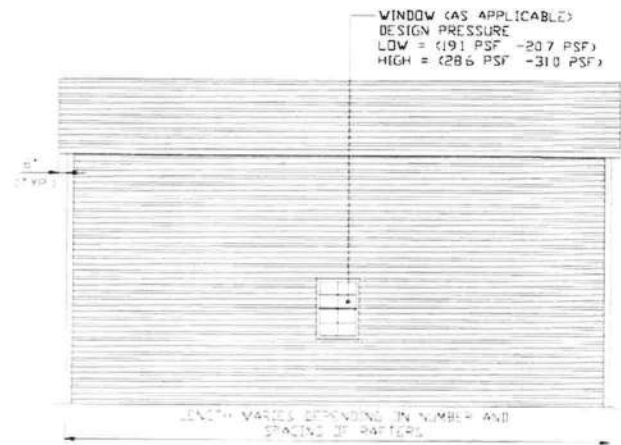
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## BOX EAVE FRAME RAFTER ENCLOSED BUILDING



**TYPICAL END ELEVATION**

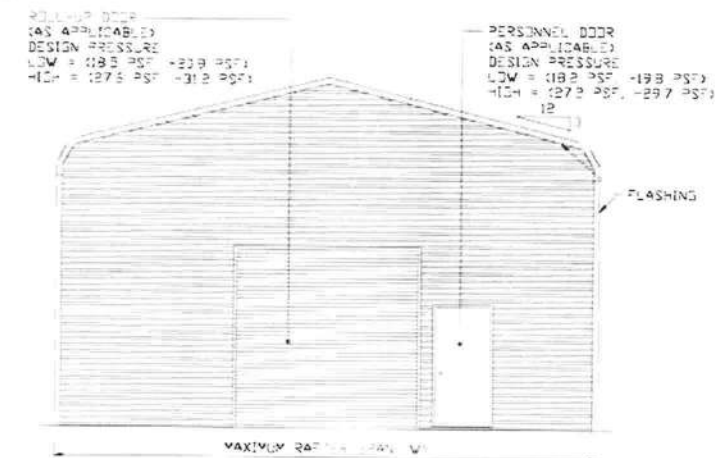
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**TYPICAL SIDE ELEVATION**

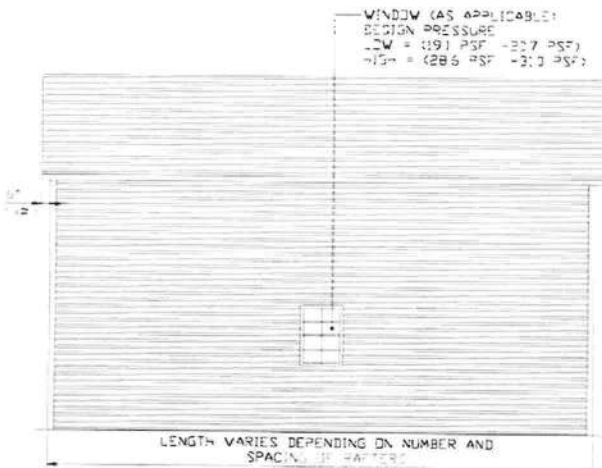
SCALE: NTS

## BOW FRAME RAFTER ENCLOSED BUILDING



**TYPICAL END ELEVATION**

SCALE: NTS



**TYPICAL SIDE ELEVATION**

SCALE: NTS



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TUBULAR BUILDING SYSTEMS  
631 SE INDUSTRIAL CIRCLE  
LAKE CITY, FLORIDA 32025  
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B

DATE: 7-29-21

SCALE: NTS

DWG. NO: SK-3

JOB NO: 16022S/  
17300S/20352S

REV: 6

SHT. 4



# DRAWING INDEX

SHEET 1	PE SEAL COVER SHEET
SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS
SHEET 4	TYPICAL SIDE AND END ELEVATIONS
SHEET 5	TYPICAL RAFTER COLUMN END AND SIDE FRAMING SECTIONS (BOX EAVE RAFTER)
SHEET 5A	TYPICAL RAFTER COLUMN END AND SIDE FRAMING SECTIONS (BOX EAVE RAFTER)
SHEET 5B	TYPICAL RAFTER COLUMN END AND SIDE FRAMING SECTIONS (BOX EAVE RAFTER)
SHEET 6	TYPICAL RAFTER COLUMN CONNECTION DETAILS (LACED COLUMN)
SHEET 6A	TYPICAL RAFTER COLUMN CONNECTION DETAILS (DOUBLE COLUMN)
SHEET 6B	TYPICAL RAFTER COLUMN CONNECTION DETAILS (SINGLE COLUMN)
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SHEET 9	BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED
SHEET 9A	OPTIONAL FOUNDATION ANCHORAGE FOR LOW AND HIGH WIND SPEED
SHEET 9B	BASE RAIL ANCHORAGE OPTION
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SHEET 11	BOW RAFTER END WALL AND SIDE WALL OPENINGS
SHEET 12	CONNECTION DETAILS
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SHEET 14	BOX EAVE RAFTER LEAN-TO OPTIONS
SHEET 14A	BOX EAVE RAFTER LEAN-TO OPTIONS
SHEET 15	BOW RAFTER LEAN-TO OPTIONS
SHEET 16	VERTICAL ROOF/SIDING OPTION
SHEET 17	OPTIONAL DOOR HEADER
SHEET 18	FLOOD VENT DETAIL
SHEET 19	STAND-ALONE STEM WALL DETAIL
SHEET 20	VERTICAL SLIDING WINDOW DETAIL
SHEET 21	STRIP FOOTING OPTION



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TUBULAR BUILDING SYSTEMS  
631 SE INDUSTRIAL CIRCLE  
LAKE CITY, FLORIDA 32025  
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B

DATE: 7-29-21

SCALE: NTS

JOB NO: 16022S/  
17300S/20352S

SHT. 2

DWG. NO: SK-3

REV: 6



**STRUCTURAL DESIGN**

**ENCLOSED BUILDING**

**EXPOSURE B**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE  
FRAME AND BOW FRAME**

**29 July 2021**

**Revision 6**

**M&A Project No. 16022S/17300S/20352S**

**Prepared for:**

**Tubular Building Systems, LLC  
631 SE Industrial Circle  
Lake City, Florida 32025**

**Prepared by:**

**Moore and Associates Engineering and Consulting, Inc.  
1009 East Avenue  
North Augusta, SC 29841**

**401 S. Main Street, Suite 200  
Mount Airy, NC 27030**

**Wayne  
S Moore**

**Digitally signed  
by Wayne S  
Moore  
Date: 2021.10.21  
08:30:02 -04'00'**

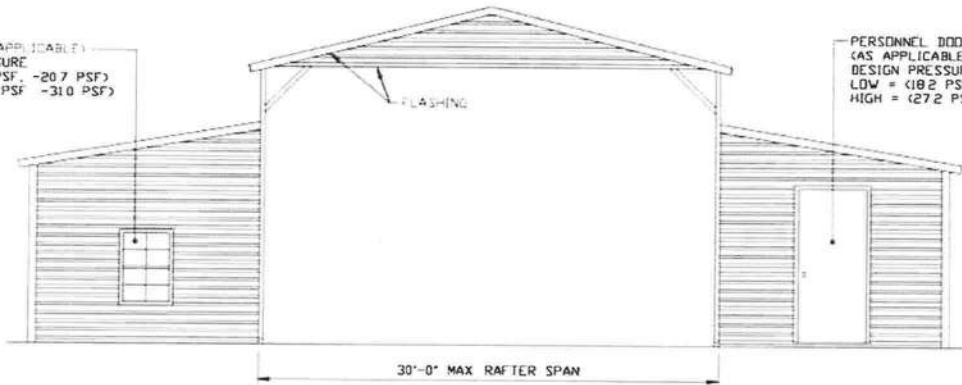


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## BOX EAVE RAFTER VERTICAL ROOF LEAN-TO OPTION

WINDOW (AS APPLICABLE)  
DESIGN PRESSURE  
LOW = (19.1 PSF, -20.7 PSF)  
HIGH = (28.6 PSF, -31.0 PSF)

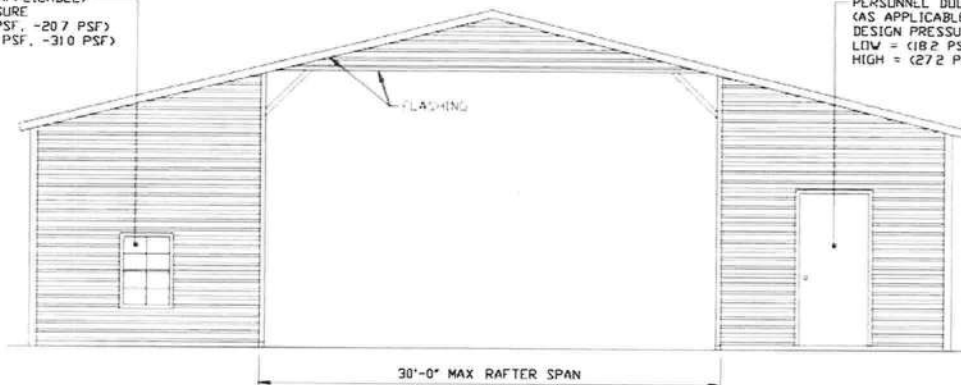


PERSONNEL DOOR  
(AS APPLICABLE)  
DESIGN PRESSURE  
LOW = (18.2 PSF, -19.8 PSF)  
HIGH = (27.2 PSF, -29.7 PSF)

### TYPICAL END ELEVATION VERTICAL ROOF-STANDARD LEAN-TO

SCALE: NTS

WINDOW (AS APPLICABLE)  
DESIGN PRESSURE  
LOW = (19.1 PSF, -20.7 PSF)  
HIGH = (28.6 PSF, -31.0 PSF)



PERSONNEL DOOR  
(AS APPLICABLE)  
DESIGN PRESSURE  
LOW = (18.2 PSF, -19.8 PSF)  
HIGH = (27.2 PSF, -29.7 PSF)

### TYPICAL END ELEVATION VERTICAL ROOF-ROOF EXTENSION LEAN-TO

SCALE: NTS

NOTE: SEE MASTER DESIGN FOR MAXIMUM 30'-0" WIDE x 13'-0" EAVE HEIGHT  
-BOX EAVE FRAME AND BOX FRAME OPEN BUILDING-EXPOSURE B  
(RISK CATEGORY 1) FOR STRUCTURAL PLAN, ELEVATION, SECTION AND  
DETAIL INFORMATION



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TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" LEAN-TO STRUCTURE  
OPTION EXP. B

DATE: 2-24-21

SHT. 4

SCALE: NTS

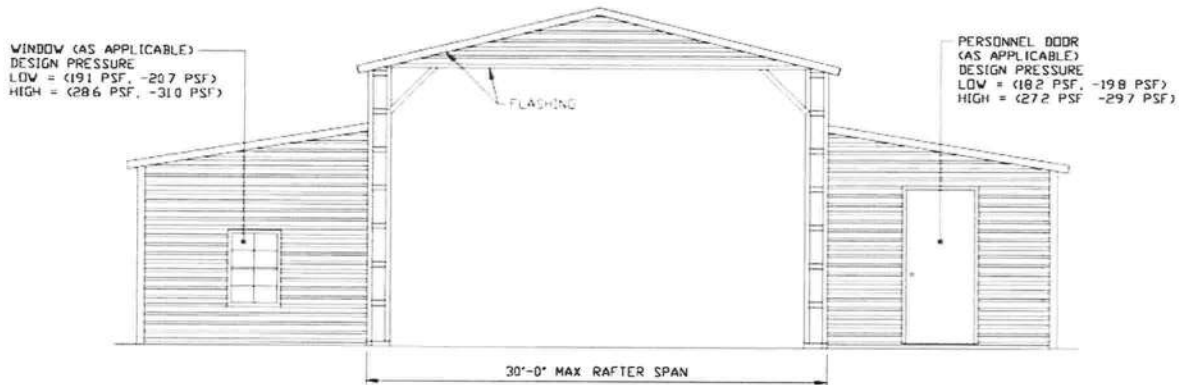
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JOB NO: 16159S/  
18027S/20352S

REV: 2

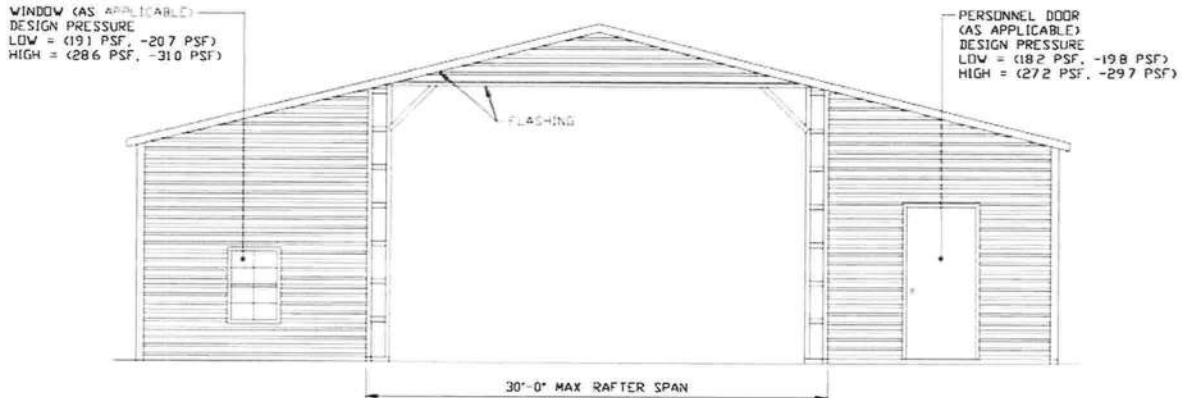
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## BOX EAVE RAFTER VERTICAL ROOF LEAN-TO OPTION



### TYPICAL END ELEVATION VERTICAL ROOF-STANDARD LEAN-TO

SCALE: NTS



### TYPICAL END ELEVATION VERTICAL ROOF-ROOF EXTENSION LEAN-TO

SCALE: NTS

NOTE: SEE MASTER DESIGN FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT  
-BOX EAVE FRAME AND BOW FRAME OPEN BUILDING-EXPOSURE B  
(RISK CATEGORY 1) FOR STRUCTURAL PLAN, ELEVATION, SECTION AND  
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TUBULAR BUILDING SYSTEMS  
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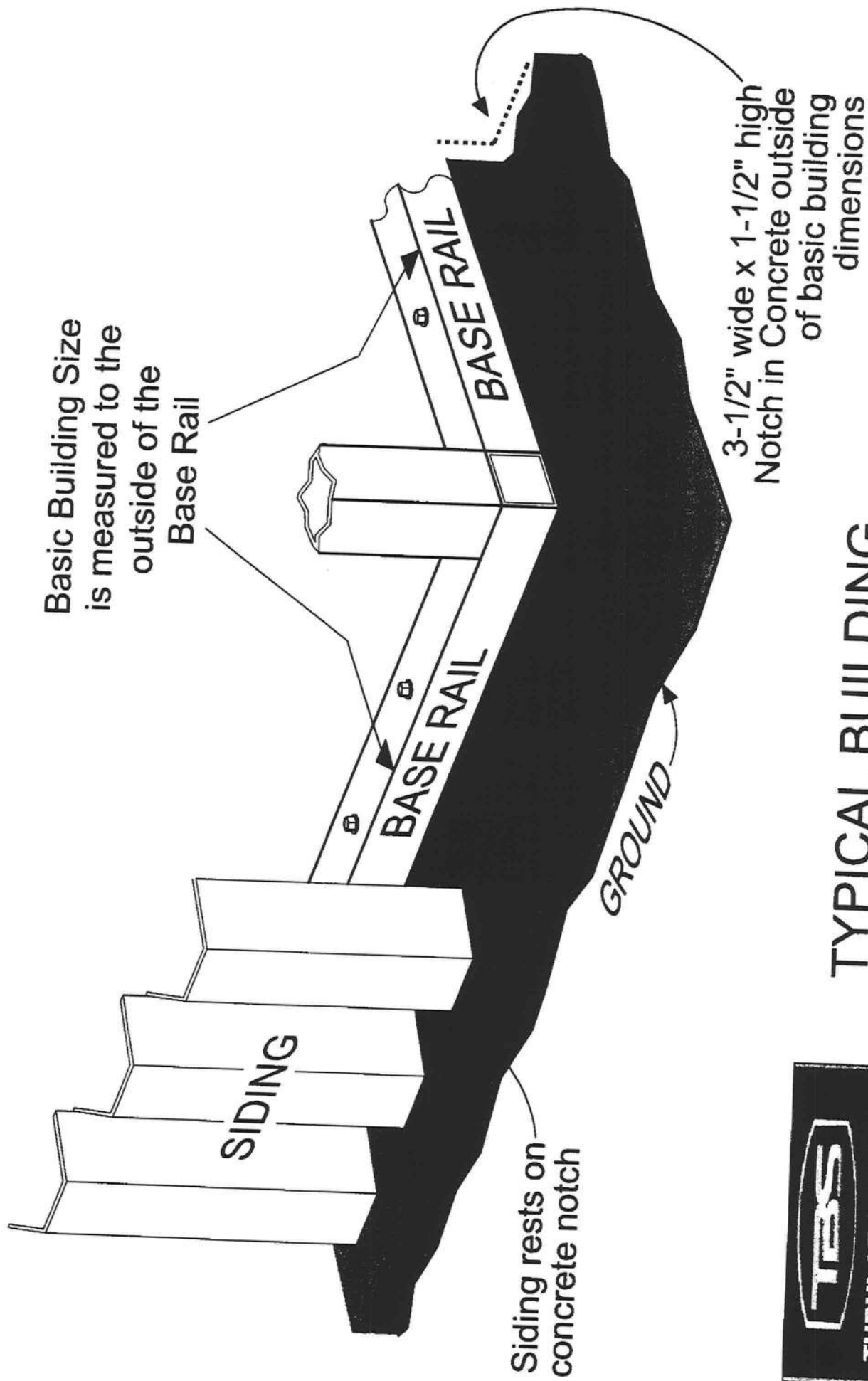
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## TYPICAL BUILDING CORNER DETAIL



Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches

25'7"

Basic Building  
Dimension  
to outside of Base Rail

25'

BUILDING SLAB

46'  
Basic Building  
Dimension  
to outside of Base Rail

46'7"

Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches

See Corner  
Detail Sheet 3

Building  
Base Rail  
3-1/2" wide x 1-1/2" high Notch  
in Concrete outside  
of basic building  
dimensions



# TYPICAL BUILDING FOUNDATION MEASUREMENTS

## IMPORTANT - NOTES

Record Measurements  
in these spaces provided

All basic building dimensions  
are to the outside of the  
frame Base Rail and DO NOT  
INCLUDE the 3-1/2" x 1-1/2"  
notch in the concrete footing

See Sheet 3 of 3  
for Detail of Building  
corner configuration

