

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 1-10-08) Zoning Official BLK 05 AUG 2011 Building Official T.C. 8-2-11
AP# 1108-03 **Date Received** 8-1-11 **By** UH **Permit #** 29616/1903
Flood Zone X **Development Permit** N/A **Zoning** A-3 **Land Use Plan Map Category** A-3
Comments _____

FEMA Map# N/A **Elevation** N/A **Finished Floor** 1' above RL **River** N/A **In Floodway** N/A

☒ **Site Plan with Setbacks Shown** ☒ **EH #** 11-0332 ☐ **EH Release** ☒ **Well letter** ☐ **Existing well**

☒ **Recorded Deed or Affidavit from land owner** ☒ **Letter of Auth. from installer** ☒ **State Road Access**

☐ **Parent Parcel #** _____ ☐ **STUP-MH** _____ ☒ **F W Comp. letter** APP fee

IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____

School _____ = **TOTAL** _____ **Impact Fees Suspended March 2009** 911 Address

Property ID # 31-6S-16-04013-001 **Subdivision** NA

☒ **New Mobile Home** ☐ **Used Mobile Home** **MH Size** 30x66 **Year** 2011

Applicant DALE BURDON PO Box 39, Fort White, FL 32038 **Phone #** 386-497-2311

Address PO Box 39, Fort White, FL 32038

Name of Property Owner CHRISTINE SANDQUIST **Phone #** 515-681-3498

911 Address 2009 SW Wilson Springs Rd, Fort White, FL 32038

Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progress Energy

Name of Owner of Mobile Home CHRISTINE SANDQUIST **Phone #** 515-681-3498

Address 2155 SW Wilson Springs Road, Fort White, FL 32038

Relationship to Property Owner SAME

Current Number of Dwellings on Property 1

Lot Size 1345 x 1295 **Total Acreage** 40

Do you : Have Existing Drive (Currently using) **or** Private Drive (Blue Road Sign) **or need** Culvert Permit (Putting in a Culvert) **or** Culvert Waiver (Not existing but do not need a Culvert) **(Circle one)**

Is this Mobile Home Replacing an Existing Mobile Home NO

Driving Directions to the Property 47 South, TR on Wilson Springs Road, 1.8 MILES ON RIGHT

Name of Licensed Dealer/Installer Florida Mobile Homes Werrell Crews **Phone #** 352-351-6100

Installers Address 4680 NE 35th STREET, Ocala, FL 34479

License Number IH102531611 **Installation Decal #** 6608

Spoke to Lisa 8-8-11

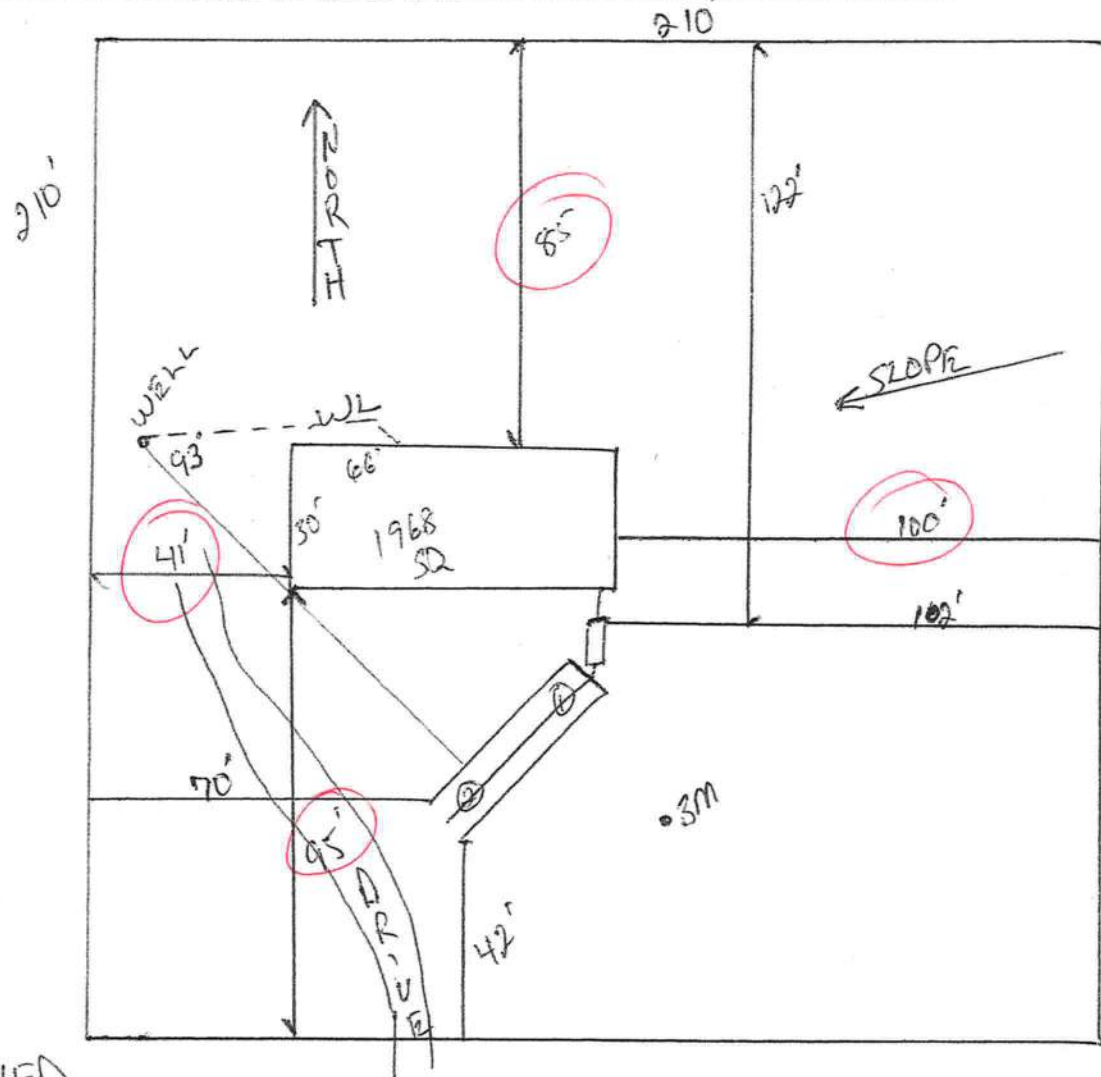
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

Sandquist

PART II - SITEPLAN

Scale: 1 inch = 40 feet.



Notes: SEE ATTACHED

Site Plan submitted by: *Rocky D F* MASTER CONTRACTOR
Plan Approved _____ Not Approved _____ Date _____
By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

COLUMBIA COUNTY PERMIT WORKSHEET

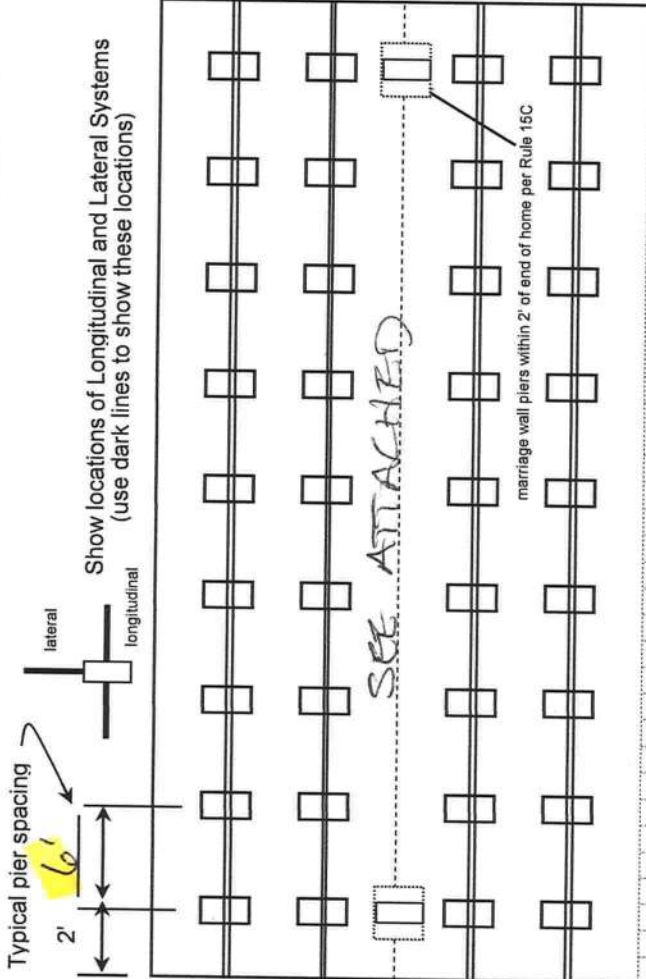
These worksheets must be completed and signed by the installer.
Submit the originals with the packet.

Installer Wendell Crews License # TH1025316
911 Address where home is being installed. SW Wilson Springs Road
Manufacturer Skyline Length x width 66 x 32
Fort White, FL 32038

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials WC



New Home ☒ Used Home ☐
Home installed to the Manufacturer's Installation Manual ☒
Home is installed in accordance with Rule 15-C ☐
Single wide ☐ Wind Zone II ☒ Wind Zone III ☐
Double wide ☒ Installation Decal # 6608
Triple/Quad ☐ Serial # 2T63-0207-VAB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 23x31
Perimeter pier pad size N/A
Other pier pad sizes (required by the mfg.) 16x16 Doors

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

SEE ATTACHED

ANCHORS

4 ft ☒ 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer Oliver 1101V
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer Oliver 1101V

OTHER TIES

Sidewall Longitudinal Marriage wall Shearwall
Number @Oliver's
@Lords

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil ☒ without testing.

X _____ X ☒ X _____

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X _____ X _____ X _____

TORQUE PROBE TEST

The results of the torque probe test is N/A inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

WC Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Wendell Crews
Date Tested 7-29-11

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 34

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 34

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 34

Site Preparation

Debris and organic material removed ☒
Water drainage: Natural ☒ Swale ☐ Pad ☒ Other _____

Fastening multi wide units

Floor: Type Fastener: Lag Length: 3/8x5 Spacing: 16" O.C.
Walls: Type Fastener: Screw Length: 8x4 Spacing: 16" O.C.
Roof: Type Fastener: Nut/Bolt Length: 6x6 Spacing: 24" O.C.
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials WC

Type gasket Foam
Pg. 13

Installed:
Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 13
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes ☒ No ☐
Dryer vent installed outside of skirting. Yes ☒ N/A ☐
Range downflow vent installed outside of skirting. Yes ☒ N/A ☐
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature Wendell Crews Date 7-29-11

Manufacturer Skyline
Width x length 32 x 64

Manufacturer Skyline
Width x length 32 x 64

Manufacturer Skyline
Width x length 32 x 64

Manufacturer Skyline
Width x length 32 x 64

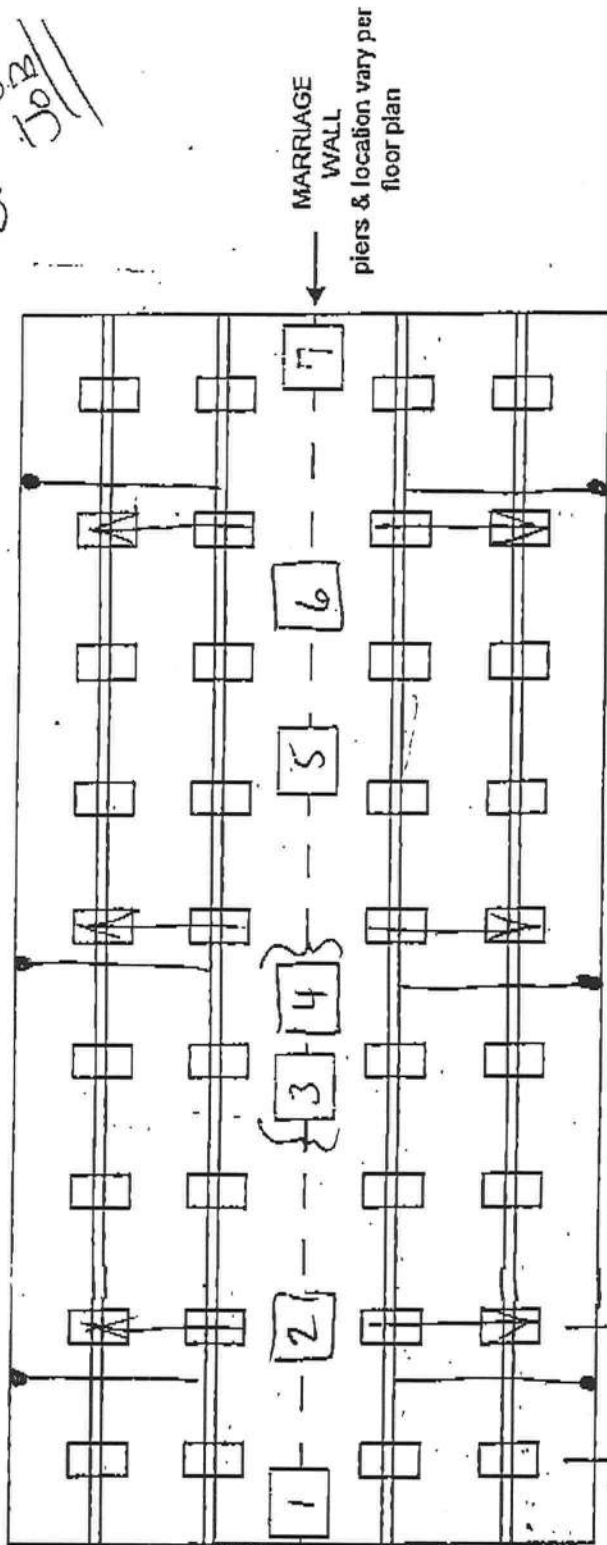


Diagram illustrating typical spacing for 6' and 2' dimensions.

Soil Bearing Capacity

Probe test / anchor length

I-beam Pier Pad size

Marriage Wall Pier Pad Sizes:

116x160 523x31

 $2.17 \times 25 \quad 6.21 \times 29$
$$2.17 \times 25 \quad 6.21 \times 29$$
 $323 \times 31 \quad 724 \times 29$ $323 \times 31 \quad 721 \times 29$

4 17x25 8

4 17x25 8

Perimeter Pier Pad Sizes

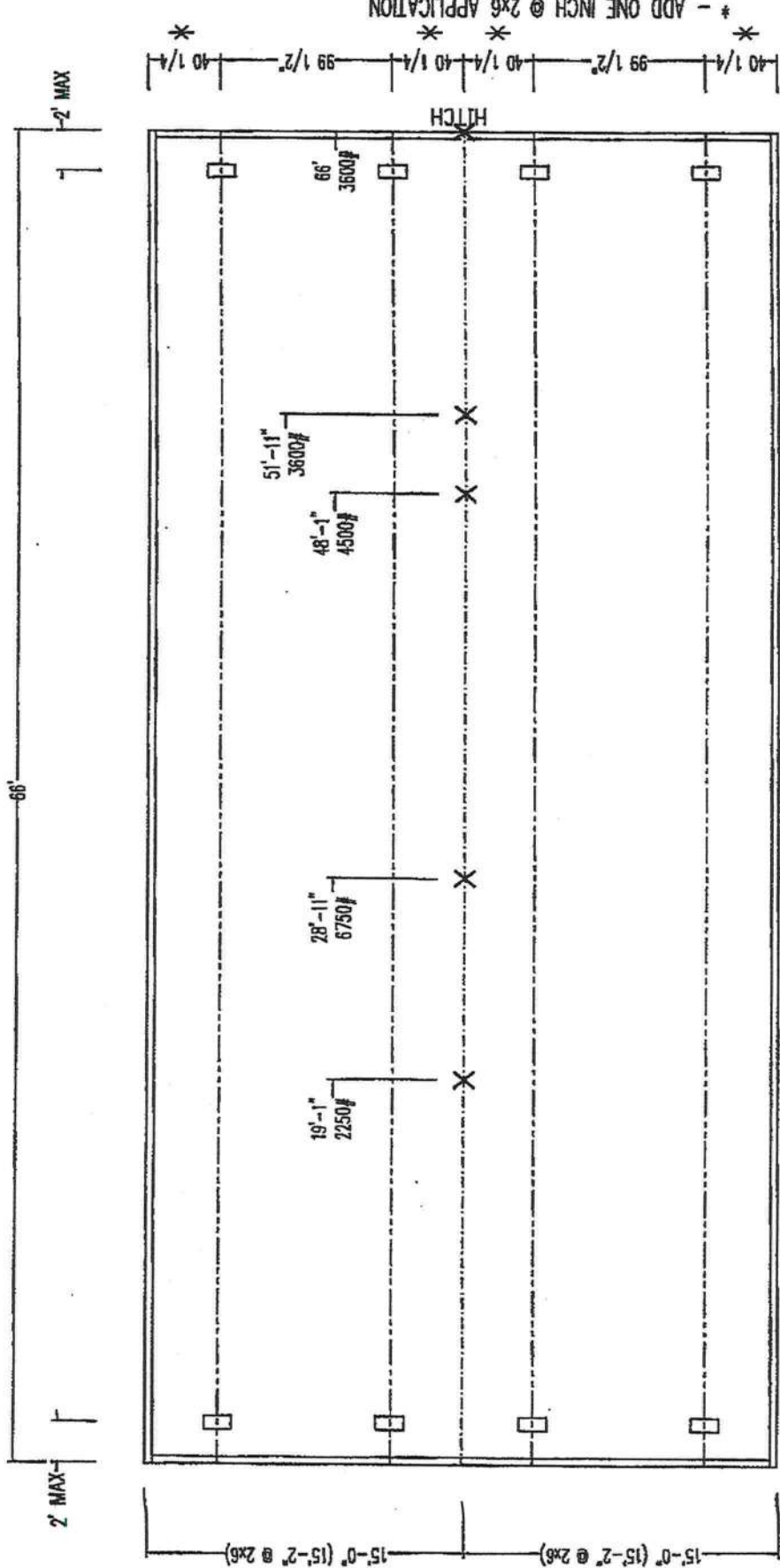
16x16

DOB 28

Pier Spacing based on set-up manual
for 1000 PSF Soil.

Model 1101 V All Steel Foundation system
by Oliver Technologies.

4 ft ground anchors except were loads exceed 3150 lbs then 5 ft anchors



FLORIDA ONLY PIER POINT LAYOUT (PIERS @ I-BEAM & CENTERLINE WITHOUT PERIMETER FOUNDATION)

20 PSF ROOF ZONE

NOTE: SEE ABOVE DIAGRAM FOR LOCATIONS & LOAD REQUIREMENTS @ 20# ROOF ZONE, SEE TABLE 4 OF INSTALLATION MANUAL FOR FOOTING SIZES.

X I-BEAM PIER SUPPORTS - 8" MAX. SPACING - SEE INSTALLATION MANUAL TABLE 2 FOR SPACING AND TABLE 4 FOR FOOTING SIZES.

SUNKEN AREA AND TRANSITION I-BEAM PIER SUPPORTS: TO BE 12" SHORTER THAN STANDARD PIERS.

SIDEWALL PIER SUPPORTS: SEE ABOVE DIAGRAM FOR LOC. OF STD. PATIO DOORS OR 48" OR LARGER OPENINGS.

NOTE: CONTACT MANUFACTURING DIVISION FOR LOCATION OF OPTIONAL PATIO DOORS OR 48" OR LARGER OPENINGS.

DIVISIONS	
111	341
112	344
115	345
125	355
131	358
143	531
163	535
171	536
181	538

SKYLINE

ENGINEERED BY: [Signature]
DATE APPROVED: 11-8-06

DRAWN BY: ELP
DATE: 02/24/2006

SHEET: [Blank] OF [Blank]
DRAWING NUMBER: 8523-C1

DESCRIPTION: 66'-0" BOX LENGTH
6632-3CK-2B-CATH



Installation Instructions for ABS Pads

For use on all Mobile and Manufactured Homes, including
HUD approved Homes and Modular Housing
patents 5509500 and other patents pending

GENERAL INSTRUCTIONS:

1. All pads are to be installed flat side down, ribbed side up.
2. The ground under the pads should be leveled as smooth as possible with all vegetation removed. Pads to be placed on fully compacted or undisturbed soil, at or below the frost-line, or per local jurisdiction.
3. Pier & pad spacing will be determined by the manufacturer's written set-up instructions or any local or state codes.
4. The open cells between the ribbing on the upper side of the pads may be filled with soil or sand after installation to prevent any accumulation of stagnant water in the pads.
5. A pocket penetrometer may be used to determine the actual soil bearing value. If soil-testing equipment is not available, use an assumed soil value of 1000 lbs. / square foot.
6. All pad sizes shown are nominal dimensions and may vary up to 1/8".
7. The maximum deflection in a single pad is 5/8" measured from the highest point to the lowest point of the top face. (NOTE: Actual test results were less than 5/8")
8. In frost areas, a 6" deep confined gravel base installed in well drained, non-frost susceptible soil is recommended.
9. Pad loads are the same when using single stack or double stack blocks.
10. The maximum load at any intermediate soil value may be determined as the average of the next lower and next higher soil value given in the table below.
11. Any configuration (see reverse side) may be used to replace a home manufacturer's recommended concrete or wood base pad.
12. If the home manufacturer shows soil densities greater than 3000 lb. when using ABS pads, do not exceed 3000 lb. soil pier spacings per set up manual.

Pad Size	ID No.	Pad Area	1000 PSF Soil	2000 PSF Soil	3000 PSF Soil
OVAL 16" x 18.5"	1055-23	288 sq. in.	2000 lbs.	4000 lbs.	6000 lbs.
OVAL 17" x 22"	1055-16	360 sq. in.	2500 lbs.	5000 lbs.	7500 lbs.
OVAL 17.5" x 22.5"	1055-21	384 sq. in.	2667 lbs.	5334 lbs.	8000 lbs. *
OVAL 17.5" x 25.5"	1055-17	432 sq. in.	3000 lbs.	6000 lbs.	9000 lbs. *
OVAL 21" x 29"	1055-22	576 sq. in.	4000 lbs.	8000 lbs. *	12000 lbs. *
OVAL 23.25" x 31.25"	1055-20	675 sq. in.	4694 lbs.	9388 lbs. *	14082 lbs. *

Pad Size	ID No.	Pad Area	1000 PSF Soil	2000 PSF Soil	3000 PSF Soil
16" x 16"	1055-14	256 sq. in.	1780 lbs.	3560 lbs.	5333 lbs.
18.5" x 18.5"	1055-9	342 sq. in.	2373 lbs.	4750 lbs.	7100 lbs. *
20" x 20"	1055-7	400 sq. in.	2750 lbs.	5500 lbs.	8250 lbs. *
24" x 24"	1055-13	576 sq. in.	4000 lbs.	8000 lbs. *	12000 lbs. *

* Concrete blocks are required to be double blocked.

13. ALABAMA ONLY: The 16" x 16" ID# 1055-14, 16" x 18.5" ID# 1055-23, 17" x 22" ID# 1055-16, 17.5" x 22.5" ID# 1055-21, 17.5" x 25.5" ID# 1055-17 are the only pads approved in the state of Alabama, and must not have more than 5/8" deflection. See chart below for details on correct installation in Alabama.

14. TEXAS ONLY: 17.5" x 22.5" ID# 1055-21 and 23.25" x 31.25" ID# 1055-20 may not be installed in the State of Texas.

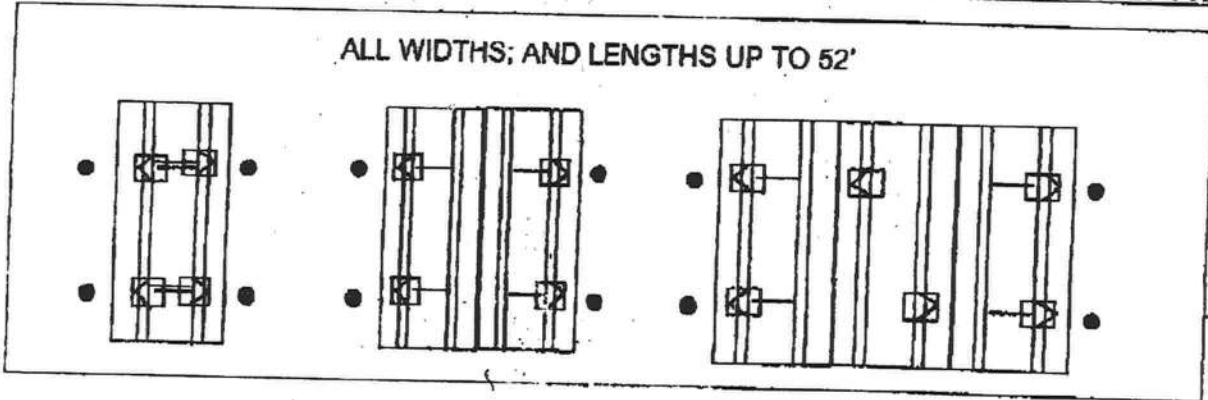
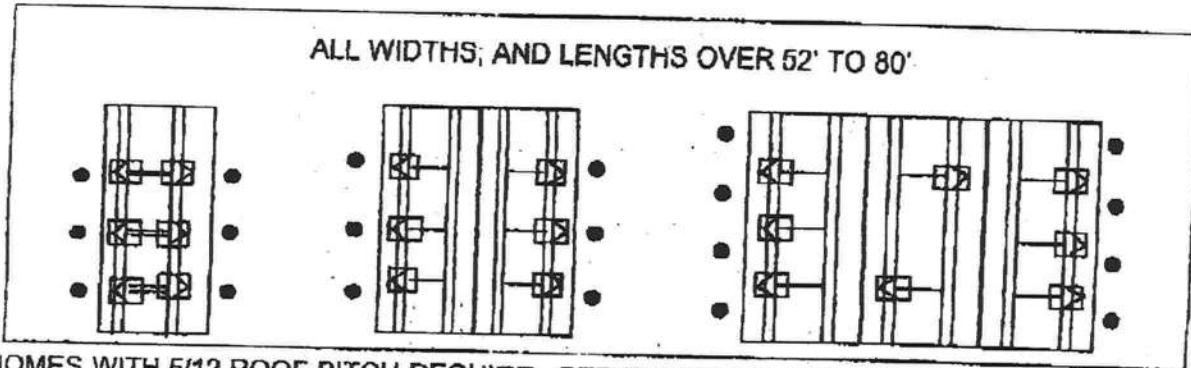
15. Steel Piers: All pads are tested with steel piers on 1000 PSF soil density unless otherwise noted. (#16)

16. Available pads tested on 2000 PSF soil density are: ID#s 1055-14, 1055-9, 1055-7 and 1055-13.

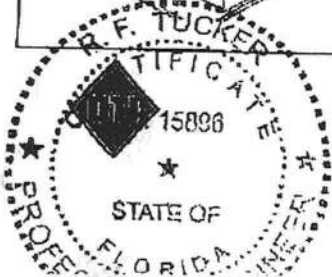
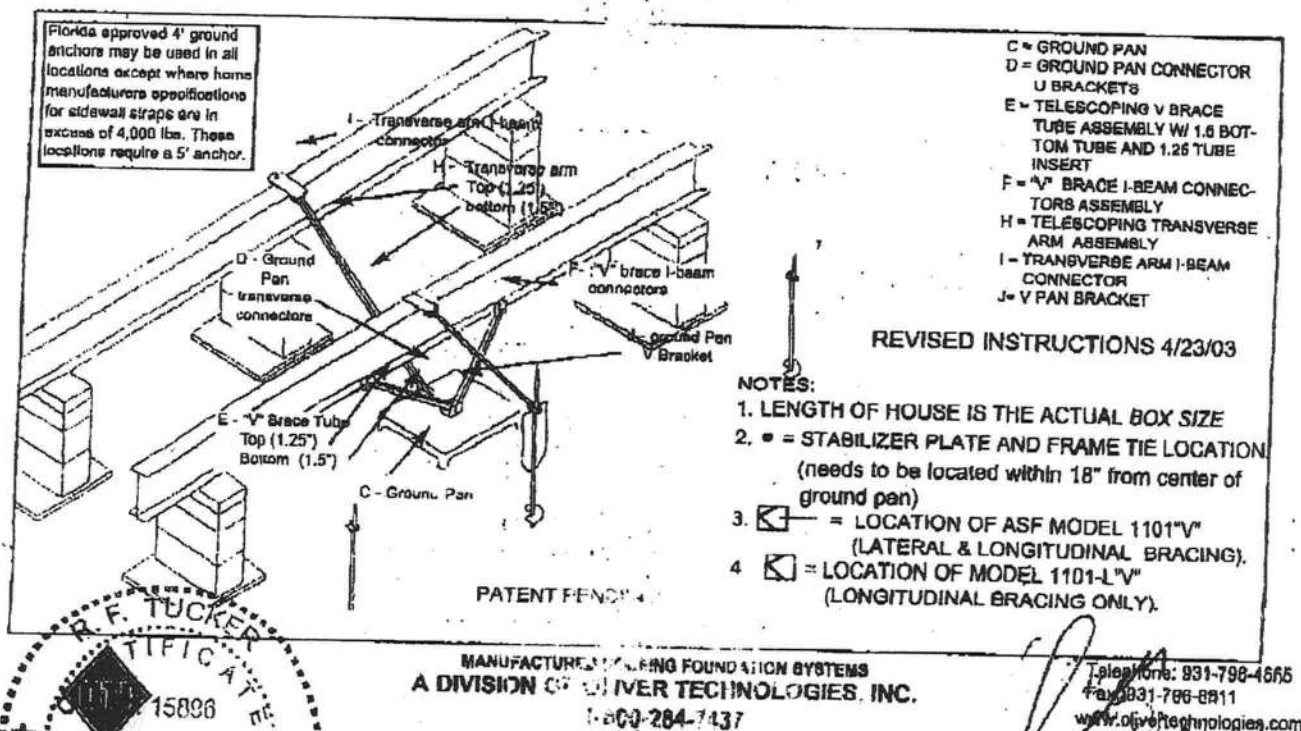
Example: 16" x 80' section

PAD SIZE	1000 Lb Psf	2000 Lb Psf
16" x 16" Pad	2'9"	5'6"
16" x 18.5" Oval Pad	3'0"	6'0"
17" x 22" Oval Pad	3'9"	7'6"
17.5" x 22.5" Oval Pad	4'0"	8'0"
17.5" x 25.5" Oval Pad	4'5"	8'0"
21" x 29" Oval Pad	6'0"	8'0"



REQUIRED NUMBER AND LOCATION OF MODEL 1101 "V" BRACES FOR UP TO 4/12 ROOF PITCH**ALL WIDTHS; AND LENGTHS UP TO 52'****ALL WIDTHS; AND LENGTHS OVER 52' TO 80'****HOMES WITH 5/12 ROOF PITCH REQUIRE: PER FLORIDA REGULATIONS**

6 systems for home lengths up to 52' and 8 systems for homes over 52' and up to 80'. One stabilizer plate and frame tie required at each lateral bracing system.





OLIVER TECHNOLOGIES, INC.
FLORIDA INSTALLATION INSTRUCTIONS FOR THE
MODEL 1101 "V" SERIES ALL STEEL FOUNDATION SYSTEM
MODEL 1101 "V" (STEPS 1-15)
MODEL 1101-L "V" LONGITUDINAL ONLY:
FOLLOW STEPS 1-9
FOR ADDING LATERAL ARM:
Follow Steps 10-15

ENGINEERS STAMP

1. SPECIAL CIRCUMSTANCES: If the following conditions occur - STOP! Contact Oliver Technologies at 1-800-284-7437:
a) Pier height exceeds 48" b) Length of home exceeds 78' c) Roof eaves exceed 16" d) Sidewall height exceed 96"
e) Location is within 1500 feet of coast

INSTALLATION OF GROUND PAN

2. Remove weeds and debris in an approximate two foot square to expose firm soil for each ground pan (C).
3. Place ground pan (C) directly below chassis I-beam. Press or drive pan firmly into soil until flush with or below soil.
SPECIAL NOTE: The longitudinal "V" brace system serves as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-half inch (1/2") before home is lowered completely on to piers, complete steps 4 through 9 below.

INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM

NOTE: WHEN INSTALLING THE MODEL 1101-L "V" LONGITUDINAL SYSTEM ONLY, A MINIMUM OF 2 SYSTEMS PER FLOOR SECTION IS REQUIRED. SOIL TEST PROBE SHOULD BE USED TO DETERMINE CORRECT TYPE OF ANCHOR PER SOIL CLASSIFICATION. IF PROBE TEST READINGS ARE BETWEEN 175 & 275 A 5 FOOT ANCHOR MUST BE USED. IF PROBE TEST READINGS ARE BETWEEN 275 & 350 A 4 FOOT ANCHOR MAY BE USED. USE GROUND ANCHORS WITH DIAGONAL TIES AND STABILIZER PLATES EVERY 5'4". VERTICAL TIES ARE ALSO REQUIRED ON HOMES SUPPLIED WITH VERTICAL TIE CONNECTION POINTS (PER FLORIDA REG.).

4. Select the correct square tube brace (E) length for set-up (pier) height at support location. (The 18" tube is always used as the bottom part of the longitudinal arm). Note: Either tube can be used by itself, cut and drilled to length as long as a 40 to 45 degree angle is maintained.

PIER HEIGHT (Approx. 45 degrees Max.)	1.25" ADJUSTABLE Tube Length	1.50" ADJUSTABLE Tube Length
7 3/4" to 25"	22"	18"
24 3/4" to 32 1/4"	32"	18"
33" to 41"	44"	18"
40" to 48"	54"	18"

5. Install (2) of the 1.50" square tubes (E {18" tube}) into the "U" bracket (J), insert carriage bolt and leave nut loose for final adjustment.
6. Place I-beam connector (F) loosely on the bottom flange of the I-beam.
7. Slide the selected 1.25" tube (E) into a 1.50" tube (E) and attach to I-beam connectors (F) and fasten loosely with bolt and nut.
8. Repeat steps 6 through 7 to create the "V" pattern of the square tubes loosely in place. The angle is not to exceed 45 degree and not below 40 degrees.
9. After all bolts are tightened, secure 1.25" and 1.50" tubes using four (4) 1/4"-14 x 3/4" self-tapping screws in pre-drilled holes.

INSTALLATION OF LATERAL TELESCOPING TRANSVERSE ARM SYSTEM

THE MODEL 1101 "V" (LONGITUDINAL & LATERAL PROTECTION) ELIMINATES THE NEED FOR MOST STABILIZER PLATES & FRAME TIES.

NOTE: THE USE OF THIS SYSTEM REQUIRES VERTICAL TIES SPACED AT 5'4".

FOUR FOOT (4') GROUND ANCHOR MAY BE USED EXCEPT WHERE THE HOME MANUFACTURER SPECIFIES DIFFERENT.

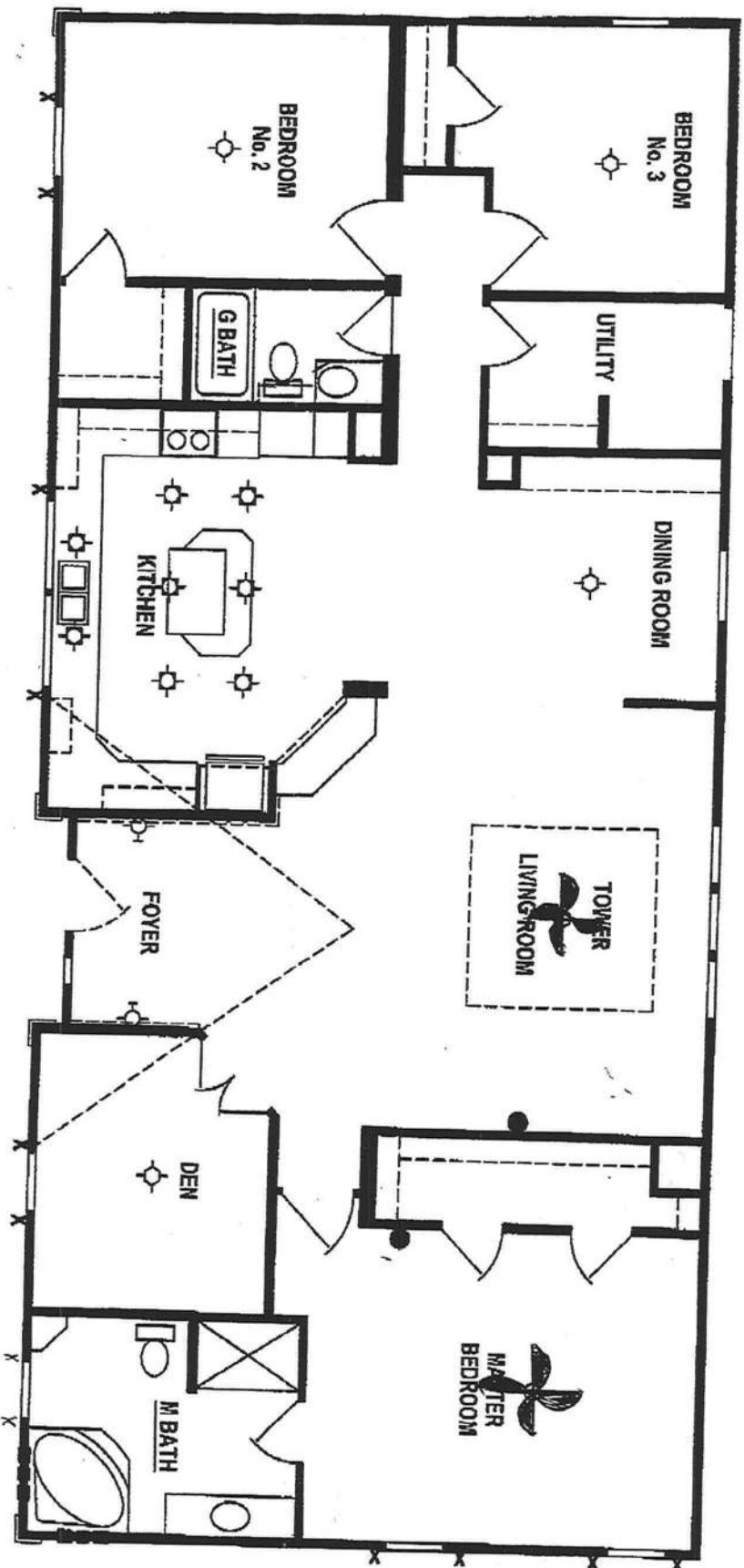
10. Install remaining vertical tie-down straps and 4' ground anchors per home manufacturer's instructions. **NOTE:** Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor.
11. **NOTE:** Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. This frame tie & stabilizer plate needs to be located within 18" from of center ground pan.
12. Select the correct square tube brace (H) length for set-up lateral transverse at support location. The lengths come in either 60" or 72" lengths. (With the 1.50" tube as the bottom tube, and the 1.25" tube as the inserted tube.)
13. Install the 1.50 transverse brace (H) to the ground pan connector (D) with bolt and nut.
14. Slide 1.25" transverse brace into the 1.50" brace and attach to adjacent I-beam connector (I) with bolt and nut.
15. Secure 1.50" transverse arm to 1.25" transverse arm using four (4) 1/4"-14 x 3/4" self-tapping screws in pre-drilled holes.



MANUFACTURED HOUSING FOUNDATION SYSTEMS
A DIVISION OF OLIVER TECHNOLOGIES, INC.
1-800-284-7437

Telephone: 931-798-4555
Fax: 931-798-8811
www.olivertechnologies.com

SABBOUST



8523CT/6632 (1,968 SQ. FT.) 3BEDROOM - 2BATHS - CATHEDRAL THRU-OUT

VINYL LAP SKIRTING

- THE FIRST ROW OF THE VINYL LAP SKIRTING WILL BE LED OFF THE BOTTOM ROW OF THE HOME LOCKING INTO THE INTEGRATED LOCKING SNAP RAIL AT THE TOP OF EACH PIECE OF SIDING
- THERE WILL BE ON ACCESS PANEL IN THE JOB SITE (16" X 24") LOCATED AT CLOSE PROXIMITY TO THE MAIN WATER INTAKE UNDER THE HOME... AND WILL BE VERY VISIBLE DUE TO CONSTRUCTION
- THE DEALER WILL HAVE VENTING PUNCHED INTO THE LAP SIDING ON THE TOP TWO ROWS OF SIDING ((EQUIVALENT TO 4.388 SQUARE INCHES FEET PER LINER FOOT OF PANEL))
- THE SIDING SUPPORT POSTS WILL BE MADE FROM 25 GAUGE METAL DRYWALL HAT RAILS AND WILL BE SPACED NO MORE THAN 16" ON CENTER, IN THE ABSENCE OF STRUCTURAL BACKING
- THE SIDING SUPPORT POST WILL BE BURIED INTO THE GROUND NO MORE THAN 16" BUT NO LESS THAN 8" TO HELP MAINTAIN STUCURAL INTEGRITY
- VINYL SIDING PANELS ARE SECURED BY 1 1/4" HEX HEAD SCREWS EVERY 16" AT THE TOP AND ARE SECURED BY THE LOCKING CHANNEL OF THE NEXT PIECE AT THE BOTTOM
- THE BOTTOM PIECE OF VINYL LAP SIDING SHALL BE BURIED A MINIMUM 5" BUT NOT TO EXCEED 50% OF THE PANELS WIDTH
- VINYL SIDING SUPPORT POSTS ARE SECURED BY 1 1/4" HEX HEAD SCREWS EVERY 16" AT THE TOP AND ARE SECURED BY BEING BURIED INTO THE GROUND AT THE BOTTOM

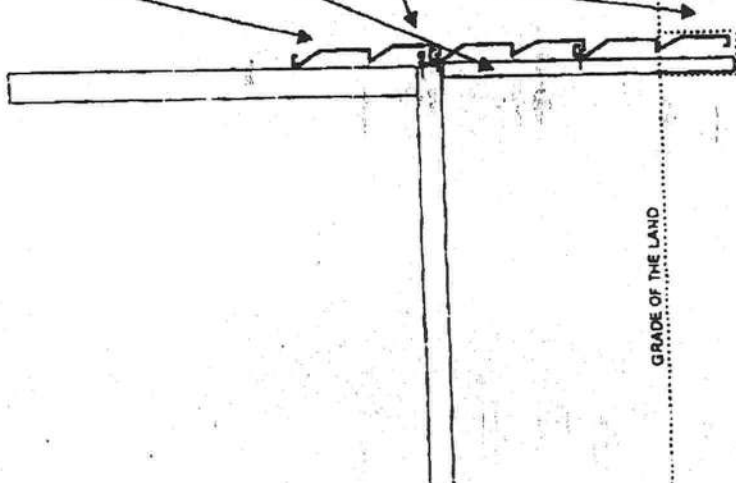
Average Height Of Each Panel From Ground To Home Is 42"

VENTING CALCULATIONS	
BOX SIZE OF HOME	28' x 76'
VENT AREA REQUIRED	14.19
PERIMETER	208
NO. OF 10" X 144" PANELS	34.87
NO. OF 10" X 144" VENTED PANELS	52.00
VENT AREA SUPPLIED	18.93

METAL STAKE CALCULATIONS	
BOX SIZE OF HOME	28' x 76'
PERIMETER	208
TOTAL AMOUNT OF 50' STAKES	156
TOTAL AMOUNT OF 12 STAKES	72.22



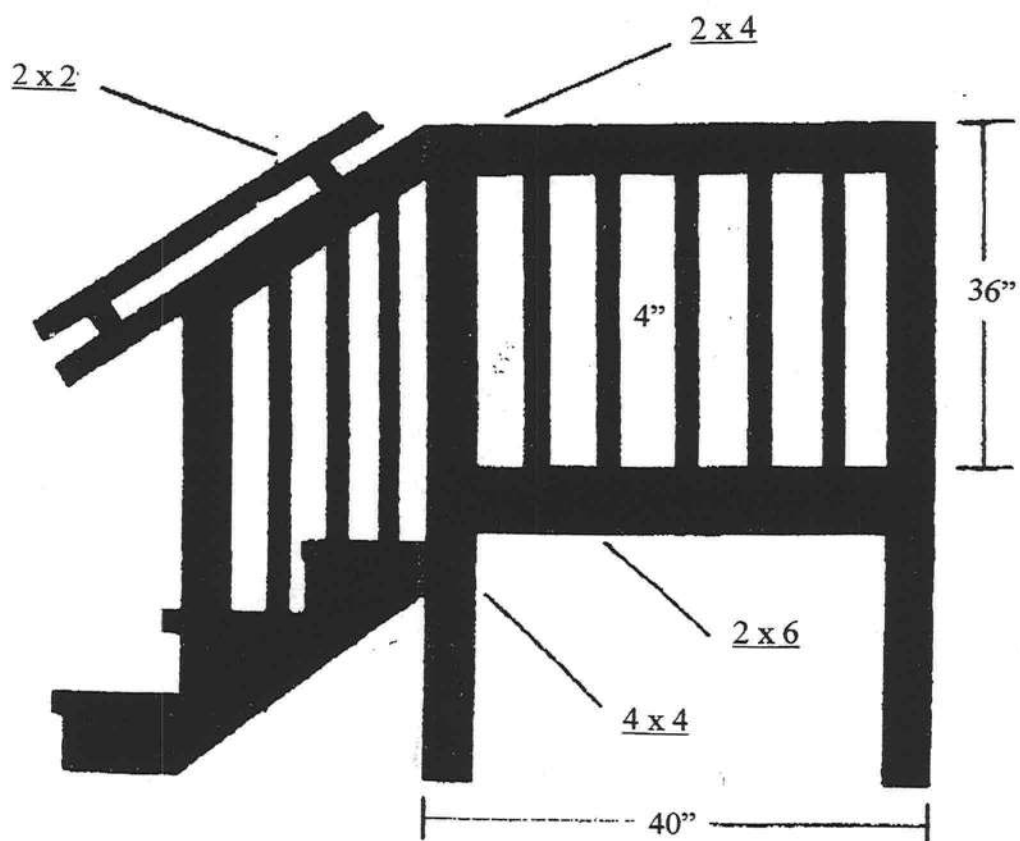
ELEVATION



GRADE OF THE LAND

WALL SECTION

4014
12
LENTH
12



SUBMITTED BY HALL SERVICES, INC.

ALL STEPS ARE CONSTRUCTED FROM PRESSURE TREATED PINE.

STEP PLATFORM IS 40" X 40".

PICKETTS ARE NO MORE THAN 4" APART.

THE SUM OF 1 TREAD AND 2 RISERS ARE BETWEEN 24" AND 25".

FASTENERS USED:

#8X3" GAL. DECK SCREWS

#10X4" GAL. DECK SCREWS

#8 GAL. RING SHANK NAILS

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR FLORIDA MOBILE HOMES PHONE 352-357-6100
for Smolquist

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name	<u>HOMMEWIER</u>	Signature	<u>[Signature]</u>
	License #:		Phone #:	<u>352-681-3498</u>
MECHANICAL/ A/C <u>b-878</u>	Print Name	<u>JAMES BRADSON</u>	Signature	<u>[Signature]</u>
	License #:	<u>CAC035587</u>	Phone #:	<u>352-605-5100</u>
PLUMBING/ GAS	Print Name		Signature	
	License #:		Phone #:	

Sub-Contractor License	License Number	Sub-Contractor Printed Name	Sub-Contractor Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; Identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Form: Subcontractor Form 1/11

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____

CONTRACTOR FLORIDA MOBILE MASTERS PHONE 352-351-6100
for Sandquist

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Homeowner</u>	Signature _____
	License #: _____	Phone #: <u>352-681-3498</u>
MECHANICAL/ A/C _____	Print Name _____	Signature _____
	License #: _____	Phone #: _____
PLUMBING/ GAS	Print Name <u>Wendell Crews</u>	Signature <u>Wendell Crews</u>
	License #: <u>TH1025316</u>	Phone #: <u>352-351-6100</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; Identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Form: Subcontractor form; 1/11

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1107-68CONTRACTOR FLORIDA MOBILE MASTERS PHONE 352-357-6100
For Sandquist

1107-03

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

☒ ELECTRICAL	Print Name <u>CHRISTINE Sandquist</u>	Signature <u>Christine Sandquist</u>	Phone #: <u>315-6810-3498</u>
	License #: <u>N/A</u>		
☐ MECHANICAL/ A/C	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
☒ PLUMBING/ GAS	Print Name _____	Signature _____	Phone #: _____
	License #: _____		

NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE002925
Expires 7/16/2014

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Form: Subcontractor form: 1/11



CAPITAL OUTLAY	1.5000	80,582	25,000	\$55,582	\$83.37
SUWANNEE RIVER WATER MGT DIST	0.4399	80,582	50,000	\$30,582	\$13.45
LAKE SHORE HOSPITAL AUTHORITY	0.9620	80,582	50,000	\$30,582	\$29.42
COLUMBIA COUNTY INDUSTRIAL	0.1240	80,582	50,000	\$30,582	\$3.79

Total Millage	17.3289	Total Taxes	\$727.74
---------------	---------	-------------	----------

Non-Ad Valorem Assessments

Code	Levying Authority	Amount
FEIR	FIRE ASSESSMENTS	\$146.58
GGAR	SOLID WASTE - ANNUAL	\$201.00

Total Assessments	\$347.58
-------------------	----------

Taxes & Assessments		\$1,075.32
If Paid By	Amount Due	\$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
11/27/2010	PAYMENT	9974648.0001	2010	\$1,032.31

[Prior Years Payment History](#)

Prior Year Taxes Due
NO DELINQUENT TAXES

[Print](#) | [<< First](#) < [Previous](#) [Next](#) > [Last](#) >>



COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 8/1/2011 DATE ISSUED: 8/3/2011

ENHANCED 9-1-1 ADDRESS:

2009 SW WILSON SPRINGS RD
FORT WHITE FL 32038
PROPERTY APPRAISER PARCEL NUMBER:
31-6S-16-04013-001

Remarks:

ADDRESS FOR PROPOSED NEW STRUCTURE ON PARCEL, 2ND
LOCATION ON PARCEL.

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

Columbia County Property

Appraiser

DB Last Updated: 6/22/2011

2010 Tax Year

Parcel: 31-6S-16-04013-001

Search Result: 1 of 1

Owner & Property Info

Owner's Name	SWARTZ CAMILLE &		
Mailing Address	PAUL M STEVENS & CHRISTINE SANDQUIST (JTWS) 2155 SW WILSON SPRINGS ROAD FT WHITE, FL 32038		
Site Address	2155 SW WILSON SPRINGS RD		
Use Desc. (code)	IMPROVED A (005000)		
Tax District	3 (County)	Neighborhood	31616
Land Area	40.000 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
SE1/4 OF SE1/4. ORB 488-290, WD 1017-2312.			

Property & Assessment Values

2010 Certified Values		
Mkt Land Value	cnt: (1)	\$27,702.00
Ag Land Value	cnt: (2)	\$6,200.00
Building Value	cnt: (1)	\$45,480.00
XFOB Value	cnt: (1)	\$1,200.00
Total Appraised Value		\$80,582.00
Just Value		\$169,800.00
Class Value		\$80,582.00
Assessed Value		\$80,582.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value		Cnty: \$30,582 Other: \$30,582 Schl: \$55,582

2011 Working Values
NOTE: 2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Sales History

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
5/20/2004	1017/2312	WD	V	U	01	\$0.00
4/1/1982	488/290	WD	V	Q		\$40,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SFR MANUF (000200)	1999	(31)	1944	1944	\$43,753.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0190	FPLC PF	2005	\$1,200.00	0000001.000	0 x 0 x 0	(000.00)

Inst: [REDACTED] Date: 06/08/2004 Time: 15:44
Doc Stamp-Deed : 0.00
mk DC, P. DeWitt Cason, Columbia County B: 1017 P: 2312

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 2041615 2 PGS
04 MAY 26 01:23 PM BK 2920 PG 1388
J. K. "BUDDY" IRBY
CLERK OF CIRCUIT COURT
ALACHUA COUNTY, FLORIDA
CLERK18 Receipt#191484

Doc Stamp-Deed: 997.50



2041615

[Space Above This Line For Recording Data]

Prepared by and return to:

Kelley D Jones
Attorney at Law
Kelley D. Jones, P.A.
5800 N.W. 39th Avenue Ste 102
Gainesville, FL 32606
352-377-2004
File Number: 04-078

Warranty Deed

This Warranty Deed made this 20th day of May, 2004 between Peter J. Finch and Mary C. Finch, husband and wife whose post office address is 184 Quiet Place, Todd, NC 28684, grantor, and Camille Swartz and Paul M. Stevens, wife and husband, and Christine Sandquist, a married woman, as joint tenants with right of survivorship whose post office address is 17970 N.E. 75th Street, Williston, FL 32696, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia and Alachua Counties, Florida to-wit:

The SE 1/4 of the SE 1/4 of Section 31, Township 6 South, Range 16 East, Columbia County, Florida, less and except any right-of-way for Wilson Springs Road.

Parcel Identification Number: R04013-001

Subject to taxes for 2004 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2003.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

DoubleTimes

Signed, sealed and delivered in our presence:

Sandra C. Patrick
Witness Name: Sandra C. Patrick

Myronna P. Ring
Witness Name: Myronna P. Ring

Michelle Nelson
Witness Name: MICHELLE NELSON

David Jacobson
Witness Name: DAVID JACOBSON

Peter J. Finch (Seal)
Peter J. Finch

Mary C. Finch (Seal)
Mary C. Finch
MARY C. FINCH

INSTRUMENT # 2041615
2 PGS

State of North Carolina Washington
County of Ashe Pierce

The foregoing instrument was acknowledged before me this 20th day of May, 2004 by Peter J. Finch and Mary C. Finch, who
☐ are personally known to me and have produced a driver's license as identification.

[Notary Seal]



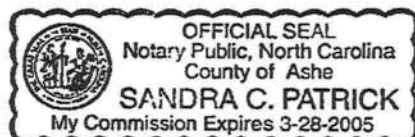
Karl J. Jacobson
Notary Public

Printed Name: Karl J. Jacobson

My Commission Expires: 12-09-2007

State of North Carolina
County of Ashe

The foregoing instrument was acknowledged before me this 18th day of May, 2004 by Peter J. Finch, who produced a driver's license as identification.



Sandra C. Patrick
Notary Public

Printed Name: Sandra C. Patrick

My Commission Expires: 3-28-2005

Inst:2004013304 Date:06/08/2004 Time:15:44
Doc Stamp-Deed : 0.00
DC,P.Dewitt Cason,Columbia County B:1017 P:2313



Ronnie Brannon
Proudly Serving Columbia County,
Florida

Site Provided by...
governmax.com l,14

Tax Record

print Account Number
1 of 1

Last Update: 8/1/2011 2:39:30 PM EDT

Details

Tax Record

» Print View

- Legal Desc.
- Appraiser Data
- Tax Payment
- Payment History
- Print Tax Bill **NEW!**

Ad Valorem Taxes and Non-Ad Valorem Assessments
The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R04013-001	REAL ESTATE	2010
Mailing Address SWARTZ CAMILLE & PAUL M STEVENS & CHRISTINE SANDQUIST (JTWRS) 2155 SW WILSON SPRINGS ROAD FT WHITE FL 32038		
Property Address 2155 SW WILSON SPRINGS RD FTW		
GEO Number 316S16-04013-001		

Searches

Account Number

- GEO Number
- Owner Name
- Property Address
- Mailing Address

Exempt Amount	Taxable Value
See Below	See Below
Exemption Detail	
HX 25000	Millage Code 003
H3 25000	Escrow Code 651
Legal Description (click for full description) 16-6S-31 5000/5000 40.00 Acres SE1/4 OF SE1/4. ORB 488-290, WD 1017-2312.	

Site Functions

- Tax Search**
- Local Business Tax
- Tax Sale List
- Contact Us
- County Login
- Home

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8910	80,582	50,000	\$30,582	\$241.32
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.9980	80,582	25,000	\$55,582	\$55.47
LOCAL	5.4140	80,582	25,000	\$55,582	\$300.92

GERMANIC AVENUE
OF

M/H O C C U P A N C Y

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 31-6S-16-04013-001

Building permit No. 000029616

Permit Holder WENDELL CREWS

Owner of Building CHRISTINE SANDQUIST

Location: 2009 SW WILSON SPRINGS ROAD, FT. WHITE, FL 32038

Date: 08/31/2011

Greg C.

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



DATE 08/10/2011

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000029616

APPLICANT DALE BURD PHONE 497-2311
ADDRESS PO BOX 39 FORT WHITE FL 32038
OWNER CHRISTINE SANDQUIST (JTWS) PHONE 515-681-3498
ADDRESS 2009 SW WILSON SPRINS ROAD FT. WHITE FL 32038
CONTRACTOR WENDELL CREWS PHONE 352-351-6100
LOCATION OF PROPERTY 47-S TO WILSON SPRINGS ROAD, 1.8 MILES ON R, JUST PAST POWER
LINES ON R.
TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING AG-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 31-6S-16-04013-001 SUBDIVISION
LOT BLOCK PHASE UNIT 0 TOTAL ACRES 5.00

000001903 IH10253161
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
CULVERT 11-0332 BK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

DESIGNATING 5 ACRES TO MOBILE HOME

Check # or Cash 7944

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 12.84 WASTE FEE \$ 33.50
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ 25.00 TOTAL FEE 446.34

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.