Columbia County Building Permit

DATE 10/24/2005

This Permit Expires One Year From the Date of Issue

PERMIT 000023755

APPLICANT DIANE KILLEBREW PHONE 397-2778

ADDRESS 380 NW LANDRESS TERR WHITE SPRINGS FL 32096

OWNER DENNIS & DIANE KILLEBREW PHONE 397-2778

ADDRESS 380 NW LANDRESS TERR WHITE SPRINGS FL 32096

CONTRACTOR SAME AS APPLICANT PHONE

LOCATION OF PROPERTY 41N, TR ON CR 246, 1ST HOUSE ON LEFT

TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 62000.00

HEATED FLOOR AREA 1240.00 TOTAL AREA 1240.00 HEIGHT .00 STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 4/12 FLOOR SLAB

LAND USE & ZONING A-3 MAX. HEIGHT 14

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 16-2S-16-01631-034 SUBDIVISION SUWANNEE HIGHLANDS

LOT 34 BLOCK PHASE UNIT TOTAL ACRES

Culvert Permit No. | Culvert Waiver | Contractor's License Number | X Diane H. Killebrew Applicant/Owner/Contractor

EXISTING Driveway Connection | X05-0266 Septic Tank Number | BK LU & Zoning checked by | JH Approved for Issuance | N New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 685

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power ________ date/app. by
Foundation ________ date/app. by
Monolithic (footer/Slab) ________ date/app. by
Under slab rough-in plumbing ________ date/app. by
Slab ________ date/app. by
Sheathing/Nailing ________ date/app. by
Framing ________ date/app. by
Rough-in plumbing above slab and below wood floor ________ date/app. by
Electrical rough-in ________ date/app. by
Heat & Air Duct ________ date/app. by
Peri. beam (Lintel) ________ date/app. by
Permanent power ________ date/app. by
C.O. Final ________ date/app. by
Culvert ________ date/app. by
M/H tie downs, blocking, electricity and plumbing ________ date/app. by
Pool ________ date/app. by
Reconnection ________ date/app. by
Pump pole ________ date/app. by
Utility Pole ________ date/app. by
M/H Pole ________ date/app. by
Travel Trailer ________ date/app. by
Re-roof ________ date/app. by

BUILDING PERMIT FEE $ 310.00 CERTIFICATION FEE $ 6.20 SURCHARGE FEE $ 6.20

MISC. FEES $ .00 ZONING CERT. FEE $ 50.00 FIRE FEE $ .00 WASTE FEE $

FLOOD DEVELOPMENT FEE $ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ **TOTAL FEE** 397.40

INSPECTORS OFFICE [signature] CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Ck#6185

Columbia County Building Permit Application

Ltr + Message

Revised 9-23-04

For Office Use Only Application # 0509-70 Date Received 9/26/05 By GT Permit # 23755

Application Approved by - Zoning Official BLK Date 9.30.05 Plans Examiner OK-JTH Date 10-20-05

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments NOC needed Existing well

Applicants Name Diane ~~Smith~~ Dennis R. Killebrew Phone 386-397-2778

Address 380 NW Landress Terrace, White Springs, FL 32096

Owners Name Same Phone

911 Address Same

Contractors Name Owner builder Phone

Address Same

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address

Mortgage Lenders Name & Address none

Circle the correct power company – FL Power & Light – Clay Elec. – (Suwannee Valley Elec.) – Progressive Energy

Property ID Number 16-2S-16-01631-034 Estimated Cost of Construction 10,000

Subdivision Name Suwannee Highlands Lot 34 Block ____ Unit ____ Phase ____

Driving Directions North on US 41, turn right on CR-246 (Lassie Black) 1st house on the left.

Type of Construction Addition family room Number of Existing Dwellings on Property 1

Total Acreage 1.17 Lot Size ____ Do you need a - Culvert Permit or Culvert Waiver or (Have an Existing Drive)

Actual Distance of Structure from Property Lines - Front 64'5" Side 38'9" Side 51'5" Rear 133'6"

Total Building Height 14'5" Number of Stories 1 Heated Floor Area 1240 Roof Pitch 4-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

S/ Killebrew

Owner Builder or Agent (Including Contractor)

Contractor Signature

Contractors License Number

Competency Card Number

STATE OF FLORIDA
COUNTY OF COLUMBIA

NOTARY STAMP/SEAL

Pamela B. Hyde
Commission # DD311776
Expires June 26, 2008
Bonded Troy Fain - Insurance, Inc. 800-385-7019

Sworn to (or affirmed) and subscribed before me this 2nd day of September 2005.

Personally known ✓ or Produced Identification ____

Pamela B Hyde

Notary Signature

DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THER OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed $25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

(✓) Single Family Dwelling
( ) Farm Outbuilding
( ) New Construction
( ) Two-Family Residence
( ) Other_____
(X) Addition, Alteration, Modification or other Improvement

NEW CONSTRUCTION OR IMPROVEMENT

I Dennis R. Killebrew, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number_____

D. Killebrew
Signature

Sept. 25, 2005
Date

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date_____ Building Official/Representative_____

24.75

Printed for Lawyers' Title Guaranty Fund, Orlando, Florida

This instrument was prepared by:

TERRY McDAVID
McDAVID & MURPHY
200 North Marion Street
LAKE CITY, FLORIDA 32055

Warranty Deed (STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 7th day of November 1977, **Between** E. W. TODD, a married man not residing on the property described below,

of the County of Columbia, State of Florida, grantor*, and

DENNIS ROY KILLEBREW and his wife, SARAH D. KILLEBREW

whose post office address is

of the County of Columbia, State of Florida, grantee*,

BOOK 389 PAGE 596 OFFICIAL RECORDS

Witnesseth, That said grantor, for and in consideration of the sum of Ten and no/100---------- Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 34 of SUWANNEE HIGHLANDS, a Subdivision as recorded in Plat Book 4, Page 26 of the public records of Columbia County, Florida.

SUBJECT TO: Power line easement.

SUBJECT TO: Restrictions recorded in Official Record Book 358, Pages 339-340 of the public records of Columbia County, Florida.

COLUMBIA COUNTY 016179 STATE OF FLORIDA DOCUMENTARY STAMP TAX DEPT. OF REVENUE NOV-7-77 P.B. 11120 67.50

COLUMBIA COUNTY 014275 FLORIDA DOCUMENTARY SUR TAX DEPT. OF REVENUE NOV-7-77 P.B. 11110 24.75

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Winnie S. Ball

Michael C. Murphy

E. W. Todd (Seal)
E. W. Todd

(Seal)

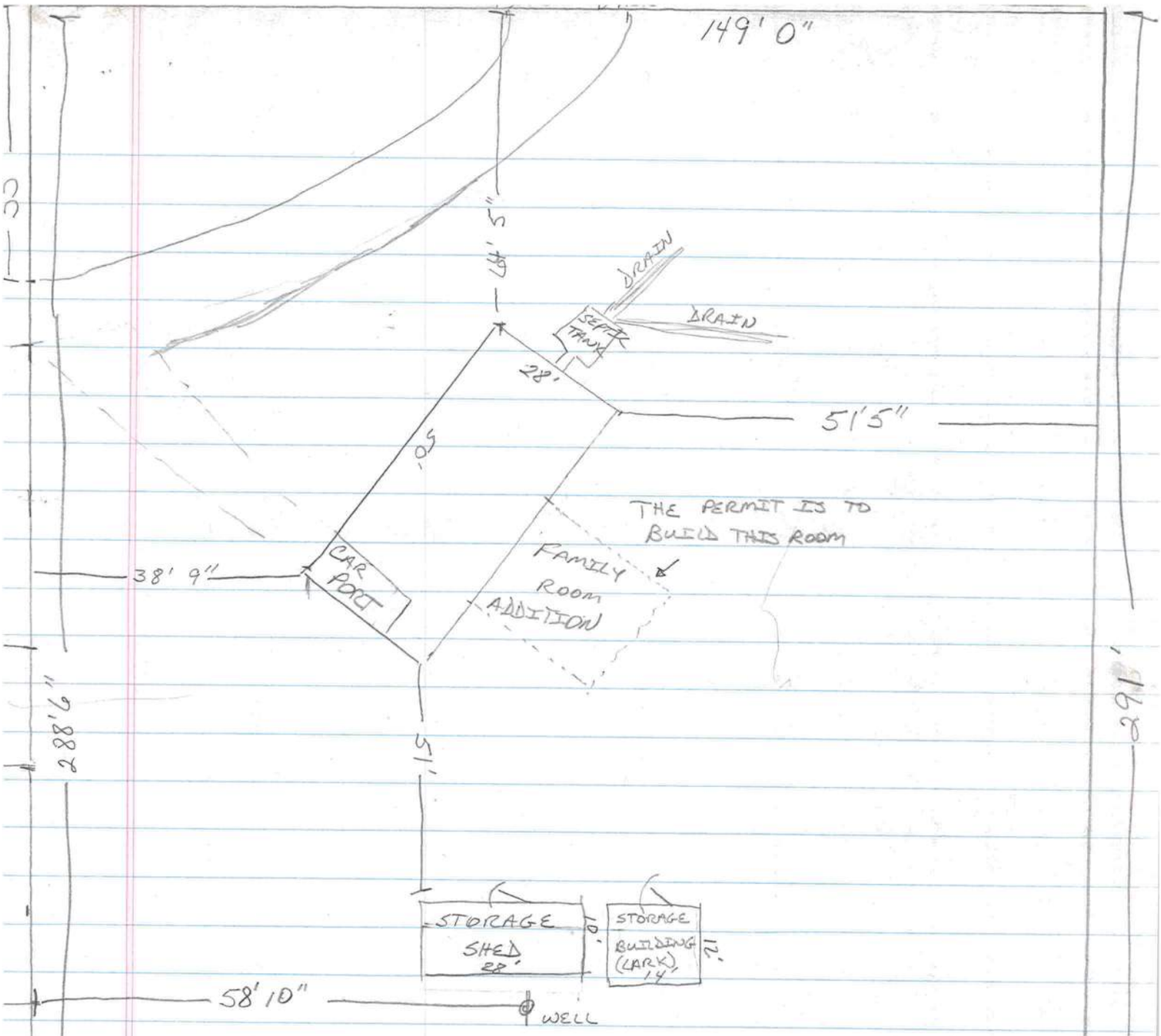
(Seal)

(Seal)

FILED 778 RECORDED BOOK 389 PAGE 59[illegible] 1977 NOV -7 AM 11:2[illegible] CLERK OF CIRCUIT COURT COLUMBIA COUNTY, FLORIDA

STATE OF FLORIDA
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared



OWNERS: DENNIS & DIANE KILLEBREW NEED: DEED, PUMP OUT LETTER

ADDRESS: 380 NW LANDRESS TERRACE

WHITE SPRINGS, FL 32096

SUB-DIVISION: SUWANNEE HIGHLANDS LOT 34

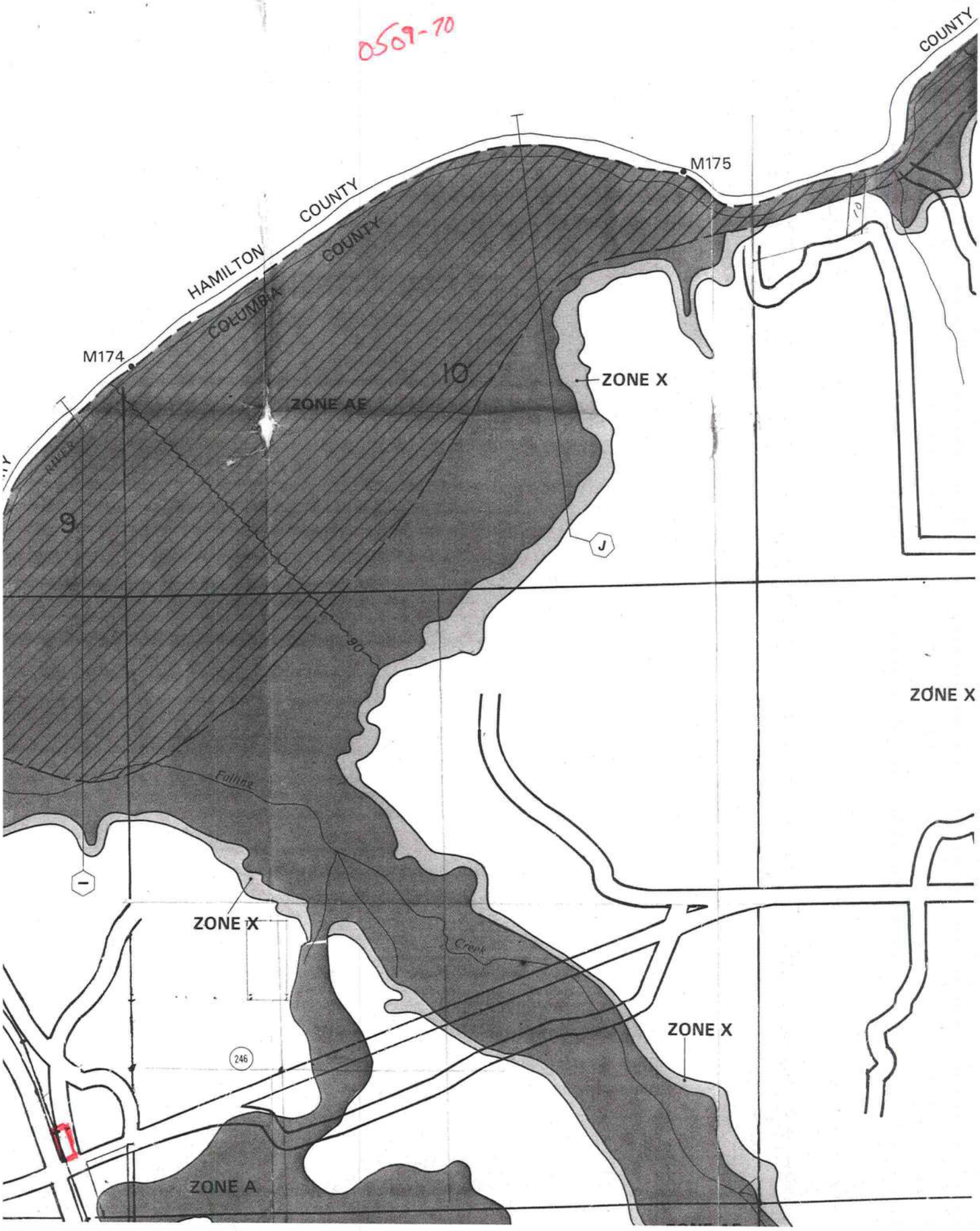
BUILT: 1977 BY E.W. TODD

758-1058 CALLED ENVIRONMENTAL 6-24-05 @ 11:10 AM

SPOKE 2 BARBARA OLD PERMIT ON HER DESK

NEW PERMIT #110.00

0509-70


COUNTY
M175
HAMILTON
COUNTY
COLUMBIA
COUNTY
M174
ZONE AE
10
ZONE X
J
9
90
ZONE X
Falling
Creek
ZONE X
246
ZONE X
ZONE A

From: The Columbia County Building Department
Plans Review
135 NE Hernando Av.
P. O Box 1529
Lake City Florida, 32056-1529

Reference to: Build permit application Number: **0509- 70 Dennis R. Killebrew Owner/Builder lot 34 of Suwannee Highlands**

On the date of September 27, 2005 application 0509-70 and plans for construction of an addition on to an existing single family dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

Please include application number 0509-70 when making reference to this application.

1. Please submit a recorded notice of commencement with this department prior to requesting any inspections on this dwelling.

2. Please complete and submit the attached form 600C-04 (small additions, renovations & building systems) Florida Energy Efficiency Code for Building Construction.

3. Please provide approval of products by The Florida Building Commission for materials to be used in the sheer walls or roof systems for the following categories of products: (1) Panel Walls; (2) Exterior Doors; (3) Roofing Products; (4) Skylights; (5) Windows; (6) Shutters; (7) Structural components.

3. The information submitted on application 0509-70 indicates that the applicants requested an addition of 594 square feet of structure to be used as a family room on to an existing 1400 square foot single family dwelling (square footage obtained from site plan submitted with the application) The addition of this structure will be greater than of 25 percent of the existing dwelling therefore please review the attached code requirements of the Florida Building Code

2001 Chapter 34 sections 3401.8.2.3 Group R3 (residential structures) an advise this department the method in which these code requirement will be meet.

Thank you,

Joe Haltiwanger
Plan Examiner
Columbia County Building Department

3401.8.1.2 The requirements of this section shall not supersede specific requirements of the code for construction in Fire Zones.

3401.8.2 Additions

3401.8.2.1 Any addition or alterations increasing the floor area of the building, shall meet the requirements of this section. For purposes of this section, whether an addition falls within the stated percentages shall be calculated based on the cumulative increase of the building during the course of one calendar year.

3401.8.2.2 All except Group R3 occupancies shall comply with the following:

3401.8.2.2.1 When additions, or alterations increasing floor area, are made to an existing building, and the addition and existing building are separated by a fire rated wall, as defined in Section 704, the addition shall conform to all the requirements of the code applicable to a building of the area of the addition.

3401.8.2.2.2 Where the existing building and the addition are not separated by a fire rated wall and the area of the addition is 25 percent or more of the area of the existing building, the existing building and the addition shall be made to comply with all requirements of the code for a building of area equal to the combined area for the addition and existing building.

3401.8.2.2.3 Where the existing building and the addition are not separated by a fire rated wall or where the addition is vertically superimposed on an existing building, and the area of the addition is less than 25 percent of the area of the existing building, the following requirements shall apply:

1. The addition shall conform to all requirements of the code applicable to a building having the combined area and height of the existing building and the addition.
2. The existing building shall conform to all requirements of the means of egress for a building of the combined area and height of the addition and the existing building.
3. An approved detection, alarm and communications system, detecting products of combustion, shall be required for all public areas and means of egress within the existing building.

3401.8.2.3 Group R3 Occupancies shall comply with the following:

3401.8.2.3.1 When additions, or alterations increasing floor area, are made to an existing building and the addition constitutes 25 percent or more of the area of the existing building, the addition shall be made to comply with all the requirements of the code and the existing building shall comply with the following:

1. Impact resistance devices having a valid NOA shall be installed at openings to provide protection against storms.
2. Corners of buildings of masonry construction shall be checked for tie downs. If tie downs are not found in corners, testing shall be performed to locate tie downs in all walls. Proper installation of tie downs shall be done at 20 foot intervals and at each corner except that interior tie downs may be provided in each side not less than 2 feet on each side of each corner.
   2.1 Tie down refers to the anchorage from the foundation to the tie beam and shall provide the equivalent strength of a vertical #5 reinforcing bar properly attached to the foundation and tie beam encased in concrete or mortar and lapped a minimum of 30 inches or otherwise spliced in a manner which will develop the full strength of the bar.
   2.2 Alternate methods of providing anchorage of equivalent strength to that described in 2.1 may be used where design calculations which admit rational analysis are submitted by a Registered Engineer or Architect proficient in structural design.
3. Roof anchorage shall be checked at all walls where the addition connects to the existing building. If major deficiencies are found and the anchorage is not in compliance with the minimum requirements of the code, the roof anchorage shall be checked for all the existing roof. Minimum anchorage shall be provided to each member bearing on the exterior walls.
4. Permanent roof bracing shall be provided at all gable ends.
5. G.F.C.I. outlets shall be installed where required by the code.
6. Smoke detectors shall be installed where required by the code.

3401.8.2.3.2 The design professional shall conduct a site visit to ascertain the necessary work to be performed to comply with the requirements of this Section.

3401.8.2.3.3 The design professional shall provide an inspection report and indicate on the drawings all remedial actions to be performed on the building submittal as a part of the permit plans.

3401.8.3 Repairs and alterations

3401.8.3.1 Repairs and alterations not increasing the area of the building, made within any 12 month period, shall meet the requirements of this section.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

FORM 600C-04 — **Residential Limited Applications Prescriptive Method C** — **NORTH 1 2 3**

Small Additions, Renovations & Building Systems

Compliance with Method C of Sub-Chapter 8 of the Florida Energy Efficiency Code may be demonstrated by the use of Form 600C-04 for additions of 600 square feet or less, site-installed components of manufactured homes, and renovations to single- and multiple-family residences. Alternative methods are provided for additions by use of Form 600B-04 or 600A-04.

PROJECT NAME AND ADDRESS:	380 NW Landress WS	**BUILDER:** Self	
		PERMITTING OFFICE:	**CLIMATE ZONE:** 1 ☐ 2 ☐ 3 ☐
OWNER: Dennis Killebrew		**PERMIT NO.:** 23755	**JURISDICTION NO.:** 221000

SMALL ADDITIONS TO EXISTING RESIDENCES (600 square feet or less of conditioned area). Prescriptive requirements in Tables 6C-1, 6C-2, and 6C-3 apply only to the components of the addition, not to the existing building. Space heating, cooling, and water heating equipment efficiency levels must be met only when equipment is installed specifically to serve the addition or is being installed in conjunction with the addition construction. Components separating unconditioned spaces from conditioned spaces must meet the prescribed minimum insulation levels. RENOVATIONS (Residential buildings undergoing renovations costing more than 30% of the assessed value of the building). Prescriptive requirements in Tables 6C-1 and 6C-2 apply only to the components and equipment being renovated or replaced. MANUFACTURED HOMES AND BUILDINGS. Only site-installed components and features are covered by this form. BUILDING SYSTEMS. Comply when complete new system is installed.

	Please Print	CK
1. **Renovation, Addition, New System or Manufactured Home**	1. Addition	
2. **Single-family detached or Multiple-family attached**	2. Single-family	
3. **If Multiple-family–No. of units covered by this submission**	3. N/A	
4. **Conditioned floor area (sq. ft.)**	4. 594	
5. **Predominant eave overhang (ft.)**	5. 2ft	
6. **Glass type and area:**	Single Pane / Double Pane	
a. Clear glass	6a. ____ sq. ft. ____ sq. ft.	
b. Tint, film or solar screen	6b. ____ sq. ft. 24 sq. ft.	
7. **Percentage of glass to floor area**	7. 4 %	
8. **Floor type and insulation:**		
a. Slab-on-grade (R-value)	8a R = ____ ____ lin. ft.	
b. Wood, raised (R-value)	8b. R = N/A ____ sq. ft.	
c. Wood, common (R-value)	8c. R = N/A ____ sq. ft.	
d. Concrete, raised (R-value)	8d. R = N/A ____ sq. ft.	
e. Concrete, common (R-value)	8e. R = N/A ____ sq. ft.	
9. **Wall type and insulation:**		
a. Exterior: 1. Masonry (Insulation R-value)	9a-1 R = 7 524 sq. ft.	
2. Wood frame (Insulation R-value)	9a-2 R = 11 524 sq. ft.	
b. Adjacent: 1. Masonry (Insulation R-value)	9b-1 R = 7 115 sq. ft.	
2. Wood frame (Insulation R-value)	9b-2 R = ____ ____ sq. ft.	
c. Marriage Walls of Multiple Units* (Yes/No)	9c NO ____	
10. **Ceiling type and insulation:**		
a. Under attic (Insulation R-value)	10a. R = 19 594 sq. ft.	
b. Single assembly (Insulation R-value)	10b. R = N/A N/A sq. ft.	
11. **Cooling system***	11. Type: Central	
(Types: central, room unit, package terminal A.C., gas, existing, none)	SEER/EER: 13.1	
12. **Heating system***	12. Type: Heat Pump	
(Types: heat pump, elec. strip, natural gas, LP-gas, gas h.p., room or PTAC, existing, none)	HSPF/COP/AFUE: 7.1	
13. **Air distribution system***		
a. Backflow damper or single package systems* (Yes/No)	13a. N/A	
b. Ducts on marriage walls adequately sealed* (Yes/No)	13b. N/A	
14. **Hot water system:**	14. Type: Elec. Existing	
(Types: elec., natural gas, other, existing, none)	EF: .92	

* Pertains to manufactured homes with site-installed components.

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: D Killebrew **DATE:** 10/19/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ **DATE:** _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____

DATE: _____

Climate Zones 1, 2, 3

TABLE 6C-1: PRESCRIPTIVE REQUIREMENTS FOR SMALL ADDITIONS (300 Sq. Ft. and Less), RENOVATIONS TO EXISTING BUILDINGS AND SITE-INSTALLED COMPONENTS OF MANUFACTURED HOMES

	COMPONENT	MINIMUM INSULATION	INSULATION INSTALLED
WALLS	Concrete Block	R-7	_____
	Frame, 2' x 4'	R-11	_____
	Frame, 2' x 6'	R-19	_____
	Common, Frame	R-11	_____
	Common, Masonry	R-3	_____
CEILINGS	Under Attic	R-30	_____
	Single Assembly; Enclosed		_____
	Frame	R-19	_____
	Metal Pans	R-13	_____
	Single Assembly; Open	R-10	_____
	Common, Frame	R-11	_____
FLOORS	Slab-on-grade	No Minimum	_____
	Raised Wood	R-19	_____
	Raised Concrete	R-7	_____
	Common, Frame	R-11	_____
DUCT	In unconditioned space	R-6	_____
	In conditioned space	No minimum	_____

	EQUIPMENT	MINIMUM EFFICIENCY	INSTALLED EFFICIENCY
COOLING	Central A/C - Split	SEER = 10.0	SEER = _____
	- Single Pkg.	SEER = 9.7	SEER = _____
	Room unit or PTAC	EER = 8.5*	EER = _____
SPACE HEATING	Electric Resistance	ANY	
	Heat pump - Split	HSPF = 6.8	HSPF = _____
	- Single Pkg.	HSPF = 6.6	HSPF = _____
	Room unit or PTHP	COP = 2.7*	HSPF/ COP = _____
	Gas, natural or propane	AFUE = .78	AFUE = _____
	Fuel Oil	AFUE = .78	AFUE = _____
HOT WATER	Electric Resistance	EF = .92	EF = _____
	Gas; natural or LP	EF = .59	EF = _____
	Fuel Oil	EF = .54	EF = _____

* See Table 13-607.1.ABC.3.2 and 13-608.1.ABC.3.2

TABLE 6C-2: PRESCRIPTIVE REQUIREMENTS FOR GLASS AREAS IN ADDITIONS ONLY

Maximum percentage glass to floor area allowed is selected by type, overhang length, and solar heat gain coefficient. Maximum % = ____ Installed % = _____

GLASS TYPE, OVERHANG, AND SOLAR HEAT GAIN COEFFICIENT REQUIRED FOR GLASS PERCENTAGE ALLOWED

UP TO 20%		UP TO 30%		UP TO 40%		UP TO 50%	
Single	Double	Single	Double	Single	Double	Single	Double
OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC	OH-SHGC
1' - .87 0' - .75	0' - .78	2' - .87 1' - .75 0' - .57	1' - .78 0' - .61	NOT ALLOWED	2' - .78 1' - .61 0' - .44	NOT ALLOWED	3' - .78 2' - .61 1' - .44 0' - .35

Get certified SHGC from the manufacturer or use defaults: Single clear SHGC = .75, double clear SHGC = .66, and single tint SHGC = .64

TABLE 6C-3 MINIMUM REQUIREMENTS FOR ALL PACKAGES

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Exterior Joints & Cracks	606.1	To be caulked, gasketed, weather-stripped or otherwise sealed.	
Exterior Windows & Doors	606.1	Max. 0.3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Sole & Top Plates	606.1	Sole plates and penetrations through top plates of exterior walls must be sealed.	
Recessed Lighting	606.1	Type IC rated with no penetrations (two alternatives allowed).	
Multistory Houses	606.1	Air barrier on perimeter of floor cavity between floors.	
Exhaust Fans	606.1	Exhaust fans vented to unconditioned space shall have dampers, except for combustion devices with integral exhaust ductwork.	
Combustion Heating	606.1	Combustion space and water heating systems must be provided with outside combustion air, except for direct vent appliances.	
Water Heaters	612.1	Comply with efficiency requirements in Table 612 1.ABC.3.2. Switch or clearly marked circuit breaker electric or cutoff (gas) must be provided. External or built-in heat trap required for vertical pipe risers.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Noncommercial pools must have a pump timer. Gas spa & pool heaters must have minimum thermal efficiency of 78%.	
Hot Water Pipes	612.1	Insulation is required for hot water circulating systems (including heat recovery units).	
Shower Heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 psig.	
HVAC Duct Construction, Insulation & Installation	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 610.1. Ducts in attics must be insulated to a minimum of R-6.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	

GENERAL DIRECTIONS:

1. On Table 6C-1 indicate the R-value of the insulation being added to each component and the efficiency levels of the equipment being installed. All R-values and efficiencies installed must meet or exceed the minimum values listed. Components and equipment neither being added nor renovated may be left blank.
2. ADDITIONS ONLY. Determine the percentage of new glass to conditioned floor area in the addition as follows. Total the areas of all glass windows, sliding glass doors and glass door panels. Double the area of all nonvertical roof glass and add it to the previous total. When glass in existing exterior walls is being removed or enclosed by the addition, an amount equal to the total area of this glass may be subtracted from the total glass area. Divide the adjusted glass area total by the conditioned floor area of the addition. Multiply by 100 to get the percent. Find the largest glass percentage under which your calculated percentage falls on Table 6C-2. Prescriptives are given by the type of glass (single or double pane) and the overhang (OH) paired with a solar heat gain coefficient (SHGC). For a given glass type and overhang, the minimum solar heat gain coefficient allowed is specified. Actual glass windows and doors previously in the exterior walls of the house and being reinstalled in the addition do not have to comply with the overhang and solar heat gain coefficient requirements on Table 6C-2. All new glass in the addition must meet the requirement for one of the options in the glass percentage category you indicated. The overhang (OH) distance is measured perpendicularly from the face of the glass to a point directly under the outermost edge of the overhang.
3. RENOVATIONS ONLY. Replacement glass needs to meet the following requirements. Any glass type and solar heat gain coefficient may be used for glass areas which are under at least a 2-foot overhang and whose lowest edge does not extend further than 8 feet from the overhang. Glass areas being renovated that do not meet this criteria must be either single-pane tinted, double-pane clear or double-pane tinted.
4. BUILDING SYSTEMS. Comply when new system is installed for system installed.
5. Complete the information requested on the top half of page 1.
6. Read "Minimum Requirements for Small Additions and Renovations," Table 6C-3, and check all applicable items.
7. Read, sign and date the "Owner/Agent" certification statement on page 1.

OTICE OF COMMENCEMENT FORM
OLUMBIA COUNTY, FLORIDA

******THIS DOCUMENT MUST BE RECORDED AT THE COUNTY CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.******

HE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance ith Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

ix Parcel ID Number ~~16-25-16-01631-034~~ 16-25-16-01631-034

Description of property: (legal description of the property and street address or 911 address)

16-25-16 0100/0100
Lot 34 Suwannee Highlands S/D
ORB 389-596
380 NW Landress Terrace, White Springs, FL 32096

General description of improvement: Add a family room onto house 22'x27'

Owner Name & Address Dennis R. Killebrew & Diane H. Killebrew

Interest in Property

Name & Address of Fee Simple Owner (if other than owner):

Contractor Name Dennis Killebrew **Phone Number**

Address

Surety Holders Name

Address

Amount of Bond

Inst:2005026414 Date:10/24/2005 Time:11:41
DC,P.DeWitt Cason,Columbia County B:1062 P:2121

Lender Name

Address

Persons within the State of Florida designated by the Owner upon whom notices or other documents may be erved as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name **Phone Number**

Address

In addition to himself/herself the owner designates **of** **to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) – (a) 7. Phone Number of the designee**

0. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified)

OTICE AS PER CHAPTER 713, Florida Statutes:
ne owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

D Killebrew
Signature of Owner

Sworn to (or affirmed) and subscribed before 2nd **day of** September **, 20** 05

NOTARY STAMP/SEAL Pamela B. Hyde
Commission # DD311776
Expires June 26, 2008
Bonded Troy Fain - Insurance, Inc. 800-385-7019

Pamela B Hyde
Signature of Notary

MF 0707-10 permit 05133

NICHOLAS
PAUL
GEISLER
ARCHITECT
N.C.A.R.B. Certified

1758 NW Brown Rd.
Lake City, FL 32055
386/755-6608

03 DEC 2005

BUILDING OFFICIAL
COLUMBIA COUNTY BUILDING DEPARTMENT
COLUMBIA COUNTY COURTHOUSE ANNEX
LAKE CITY, FLORIDA

KILLEBREW RESIDENCE ADDITION
PERMIT Nr.: _____

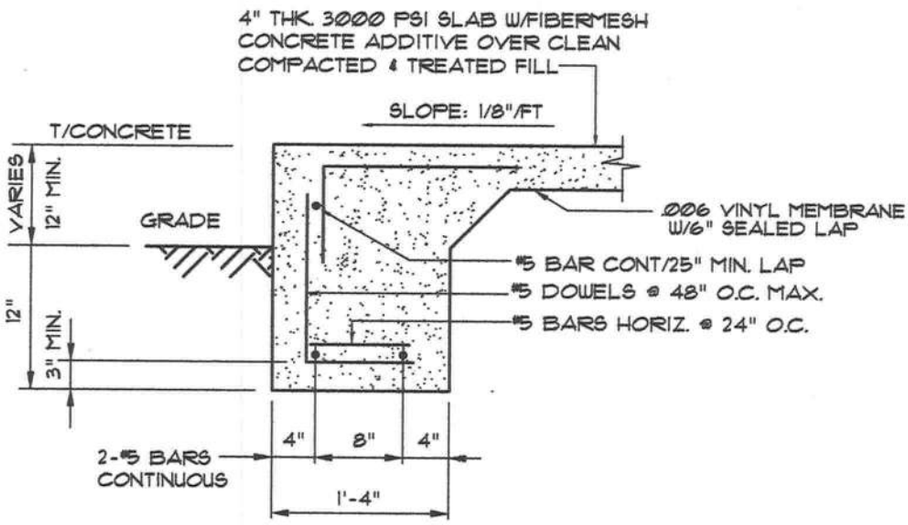
DEAR SIR:

PLEASE BE ADVISED THAT THE FTG. & STEMWALL FOR THE ABOVE REFERENCED PROJECT MAY BE SUBSTITUTED WITH A MONOLITHIC SLAB / FTG AS DETAILED ON ATTACHMENT 'A'.

THE TIE-IN TO EXISTING CONCRETE BLOCK WALL AND FTG., SHALL BE ACCOMPLISHED BY DRILLING AND EPOXY SETTING #5 DOWELS @ 30" O.C. IN VERT. C.M.U. WALLS AND (2) #5 DOWELS INTO THE EXISTING FTG. (6" MINIMUM EMBEDMENT FOR ALL DOWELS)

SHOULD YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CALL FOR ANY ASSISTANCE.

YOURS TRULY,
NICHOLAS PAUL GEISLER, ARCHITECT AR0007005



TYP. FTG. SECTION

OPT. MONOLITHIC FOOTING

ATTACHMENT 'A'

03 Dec 2005
AR7005

COLUMBIA COUNTY BUILDING DEPARTMENT

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2001 ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE MARCH 1, 2002

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 1606 OF THE FLORIDA BUILDING CODE 2001 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1606 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE -------- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE --------110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS; Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner	
☑	☐	All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
☑	☐	Designers name and signature on document (FBC 104.2.1). If licensed architect or engineer, official seal shall be affixed.
☑	☐	**Site Plan including:**
		☑ a) Dimensions of lot
		☑ b) Dimensions of building set backs
		☑ c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements.
		d) Provide a full legal description of property.
☑	☐	**Wind-load Engineering Summary, calculations and any details required**
		a) Plans or specifications must state compliance with FBC Section 1606
		b) The following information must be shown as per section 1606.1.7 FBC
		☑ a. Basic wind speed (MPH)
		☑ b. Wind importance factor (I) and building category
		☑ c. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
		☑ d. The applicable internal pressure coefficient
		e. Components and Cladding. The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional
☑	☐	**Elevations including:**
☑	☐	a) All sides
☑	☐	b) Roof pitch
☐	☐	c) Overhang dimensions and detail with attic ventilation
☐	☐	d) Location, size and height above roof of chimneys
☐	☐	e) Location and size of skylights
☐	☐	f) Building height
☑	☐	e) Number of stories

Floor Plan including:

- ☑ ☐ a) Rooms labeled and dimensioned
- ☑ ☐ b) Shear walls
- ☑ ☐ c) Windows and doors (including garage doors) showing size, mfg., approval listing and attachment specs. (FBC 1707) and safety glazing where needed (egress windows in bedrooms to be shown)
- ☑ ☐ d) Fireplaces (gas appliance) (vented or non-vented) or wood burning with hearth
- ☐ ☐ e) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails
- ☐ ☐ f) Must show and identify accessibility requirements (accessible bathroom)

Foundation Plan including:

- ☑ ☐ a) Location of all load-bearing wall with required footings indicated as standard Or monolithic and dimensions and reinforcing
- ☑ ☐ b) All posts and/or column footing including size and reinforcing
- ☑ ☐ c) Any special support required by soil analysis such as piling
- ☐ ☐ d) Location of any vertical steel

Roof System:

- ☑ ☐ a) Truss package including:
  1. Truss layout and truss details signed and sealed by Fl. Pro. Eng.
  2. Roof assembly (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- ☑ ☐ b) Conventional Framing Layout including:
  1. Rafter size, species and spacing
  2. Attachment to wall and uplift
  3. Ridge beam sized and valley framing and support details
  4. Roof assembly (FBC 104.2.1 Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

Wall Sections including:

- ☑ ☐ a) Masonry wall
  1. All materials making up wall
  2. Block size and mortar type with size and spacing of reinforcement
  3. Lintel, tie-beam sizes and reinforcement
  4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
  5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation
  6. Roof assembly shown here or on roof system detail (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
  7. Fire resistant construction (if required)
  8. Fireproofing requirements
  9. Shoe type of termite treatment (termicide or alternative method)
  10. Slab on grade
      a. Vapor retardant (6mil. Polyethylene with joints lapped 6 inches and sealed)
      b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
  11. Indicate where pressure treated wood will be placed
  12. Provide insulation R value for the following:
      a. Attic space
      b. Exterior wall cavity
      c. Crawl space (if applicable)

☑ ☐ **b) Wood frame wall**

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
7. Roof assembly shown here or on roof system detail (FBC104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termicide or alternative method)
11. Slab on grade
    - ✓a. Vapor retardant (6Mil. Polyethylene with joints lapped 6 inches and sealed
    - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
    - ✓a. Attic space
    - ✓b. Exterior wall cavity
    - c. Crawl space (if applicable)

☐ ☐ c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

☐ ☐ a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer

☐ ☐ b) Floor joist size and spacing

☐ ☐ c) Girder size and spacing

☐ ☐ d) Attachment of joist to girder

☐ ☐ e) Wind load requirements where applicable

☐ ☐ **Plumbing Fixture layout**

Electrical layout including:

☑ ☐ a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified

☑ ☐ b) Ceiling fans

☑ ☐ c) Smoke detectors

☐ ☐ d) Service panel and sub-panel size and location(s)

☐ ☐ e) Meter location with type of service entrance (overhead or underground)

☐ ☐ f) Appliances and HVAC equipment

☐ ☐ g) Arc Fault Circuits (AFCI) in bedrooms

HVAC information

☐ ☐ a) Manual J sizing equipment or equivalent computation

☐ ☐ b) Exhaust fans in bathroom

☐ ☐ **Energy Calculations** (dimensions shall match plans)

☐ ☐ **Gas System** Type (LP or Natural) Location and BTU demand of equipment

☐ ☐ **Disclosure Statement for Owner Builders**

☐ ☐ ***Notice Of Commencement Required Before Any Inspections Will Be Done**

☐ ☐ **Private Potable Water**

a) Size of pump motor

b) Size of pressure tank

c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.

2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.

3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued.
   (386) 758-1058 **(Toilet facilities shall be provided for construction workers)**

4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321

5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
   A development permit will also be required. Development permit cost is **$50.00**

6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (**$25.00**) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (**$50.00**). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.

7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK

NOTICE:

ADDRESSES BY APPOINTMENT ONLY!

TO OBTAIN A 9-1-1 ADDRESS THE REQUESTER MUST CONTACT THE COLUMBIA COUNTY 9-1-1 ADDRESSING DEPARTMENT AT (386) 752-8787 FOR AN APPOINTMENT TIME AND DATE:

YOU CAN NOT OBTAIN A NEW ADDRESS OVER THE TELEPHONE. MUST MAKE AN APPOINTMENT!

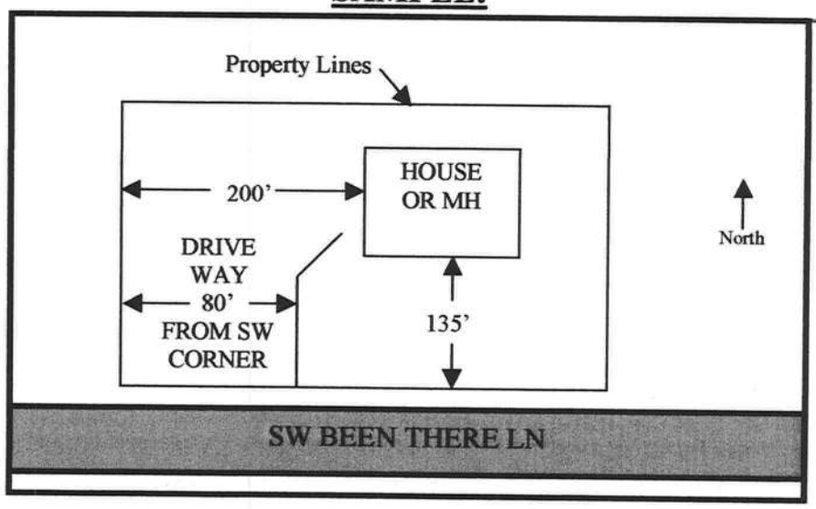
THE ADDRESSING DEPARTMENT IS LOCATED AT 263 NW LAKE CITY AVENUE (OFF OF WEST U.S. HIGHWAY 90 WEST OF INTERSTATE 75 AT THE COLUMBIA COUNTY EMERGENCY OPERATIONS CENTER).

THE REQUESTER WILL NEED THE FOLLOWING:

1. THE PARCEL OR TAX ID NUMBER (SAMPLE: "25-4S-17-12345-123" OR "R12345-123) FOR THE PROPERTY.
2. A PLAT, PLAN, SITE PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
   a. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
   b. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
   c. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

16-25-16-01631-034

SAMPLE:



R01631-034

NOTE: 5 TO 7 WORKING DAYS MAY BE REQUIRED IF ADDRESSING DEPARTMENT NEEDS TO CONDUCT AN ON SITE SURVEY.

Alpine Engineered Products, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 567
Florida Certificate of Product Approval # FL1999
 Document ID:1SQ4487-Z0506134111

Truss Fabricator:	Anderson Truss Company
Job Identification:	5-402-DENNIS KILLEBREW
Truss Count:	5
Model Code:	Florida Building Code 2001
Truss Criteria:	ANSI/TPI-1995(STD)/FBC
Engineering Software:	Alpine Software,Version 6.30.
Structural Engineer of Record:	
Address:	
Minimum Design Loads:	Roof - 40.0 PSF @ 1.25 Duration Floor - N/A Wind - 110 MPH ASCE 7-98 -Closed

Seal Date: 09/06/2005

-Truss Design Engineer-
Arthur R. Fisher
Florida License Number: 59687
1950 Marley Drive
Haines City, FL 33844

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1-1995 Section 2.2
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

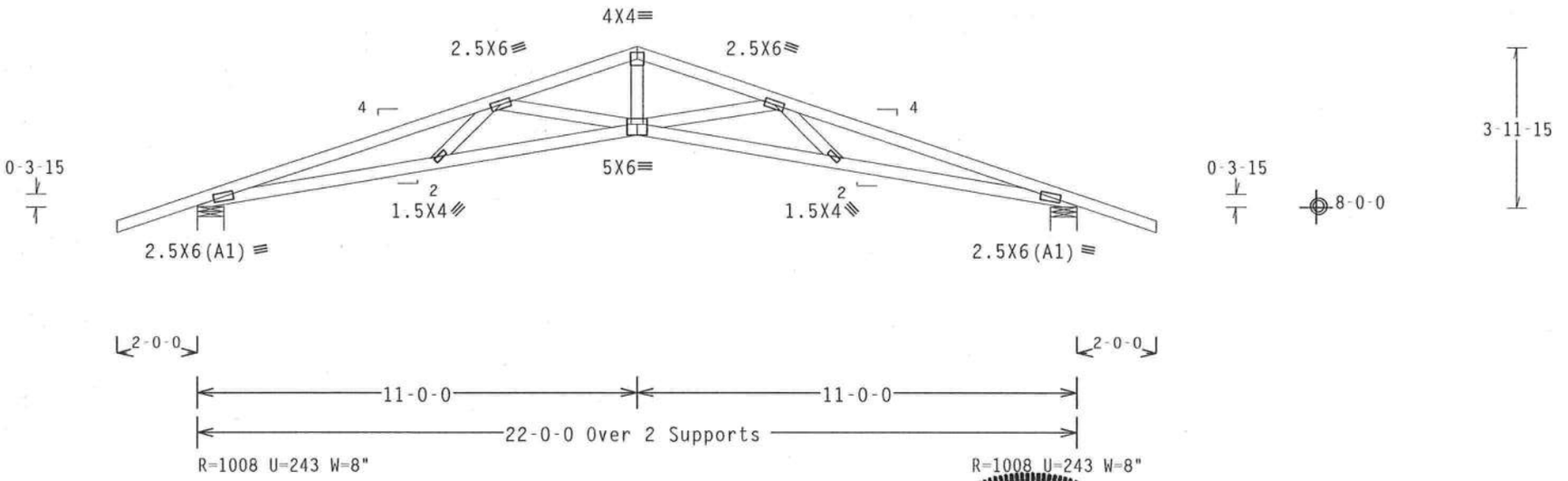
Details: VALTRUSS-A11015EC-GBLLETIN

#	Ref	Description	Drawing#	Date
1	26452--A		05245004	09/02/05
2	26453--V1		05245005	09/02/05
3	26454--V2		05245007	09/02/05
4	26455--V3		05245008	09/02/05
5	26456--V4		05245009	09/02/05

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Deflection meets L/360 live and L/240 total load.

110 mph wind, 9.83 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.



PLT TYP. Wave TPI | Design Crit: TPI-1995(STD)/FBC | 6.30.[illegible]17 | QTY.13 | FL/-/3/-/-/R/- | Scale =.25"/Ft.

ALPINE
Alpine Engineered Products, Inc.
1950 Marley Drive
Haines City, FL 33844
FL Certificate of Authorization # 567

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (W, K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (I) SHALL BE PER ANNEX A3 OF TPI1-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER LICENSE No. 59687 STATE OF FLORIDA PROFESSIONAL ENGINEER
[illegible] 05 '05

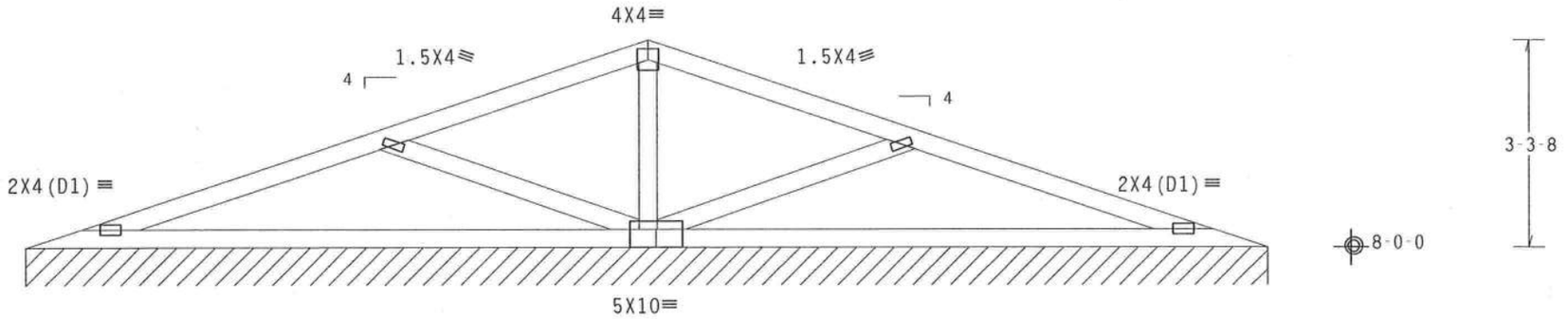
TC LL	20.0 PSF	REF R487-- 26452
TC DL	10.0 PSF	DATE 09/02/05
BC DL	10.0 PSF	DRW HCUSR487 05245004
BC LL	0.0 PSF	HC-ENG JB/AF *
TOT.LD.	40.0 PSF	SEQN- 53682
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1SQ4487_Z05

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Deflection meets L/360 live and L/240 total load.

110 mph wind, 9.79 ft mean hgt, ASCE 7-98, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

See DWG VALTRUSS1103 for valley details.



R=80 PLT U=12 PLT W=19-9-0

PLT TYP. Wave TPI | Design Crit: TPI-1995(STD)/FBC | 6.30 050 .17 | QTY:1 | FL/-/3/-/-/R/- | Scale =.375"/Ft.

ALPINE
Alpine Engineered Products, Inc.
1950 Marley Drive
Haines City, FL 33844
FL Certificate of Authorization # 567

ARTHUR R. FISHER LICENSE No. 59687 STATE OF FLORIDA PROFESSIONAL ENGINEER

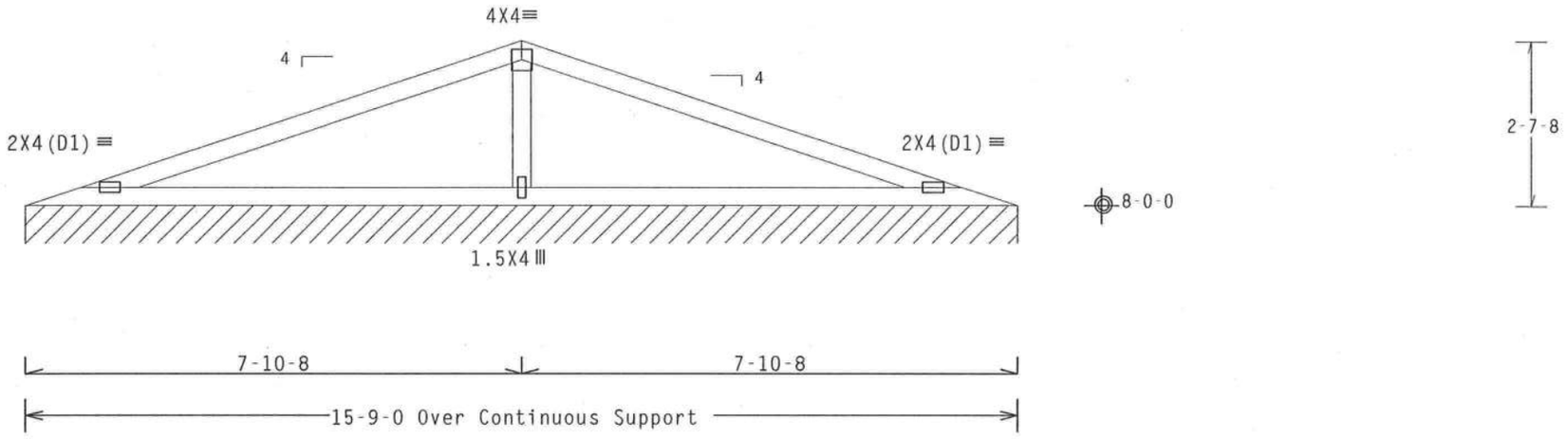
TC LL	20.0 PSF	REF R487-- 26453
TC DL	10.0 PSF	DATE 09/02/05
BC DL	10.0 PSF	DRW HCUSR487 05245005
BC LL	0.0 PSF	HC-ENG JB/AF *
TOT.LD.	40.0 PSF	SEQN- 53725
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1SQ4487_Z05

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

See DWGS A11015EC1103 & GBLLETIN0405 for more requirements.

110 mph wind, 9.46 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/360 live and L/240 total load.



R=80 PLF U=14 PLF W=15-9-0

PLT TYP. Wave TPI | Design Crit: TPI-1995(STD)/FBC | 6.30 050717 | QTY:1 | FL/-/3/-/-/R/- | Scale =.375"/Ft.

ALPINE
Alpine Engineered Products, Inc.
1950 Marley Drive
Haines City, FL 33844
FL Certificate of Authorization # 567

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN. MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (W, K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (I) SHALL BE PER ANNEX A3 OF TPI1-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER LICENSE No. 59687 STATE OF FLORIDA PROFESSIONAL ENGINEER

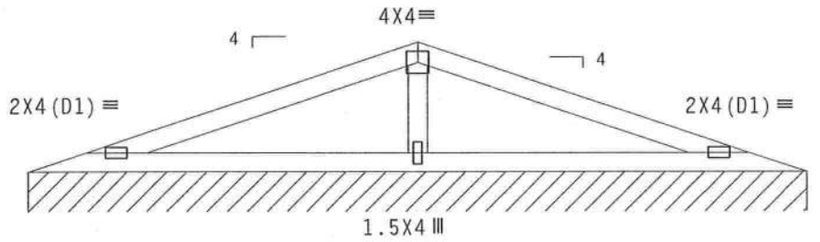
TC LL	20.0 PSF	REF R487-- 26454
TC DL	10.0 PSF	DATE 09/02/05
BC DL	10.0 PSF	DRW HCUSR487 05245007
BC LL	0.0 PSF	HC-ENG JB/AF *
TOT.LD.	40.0 PSF	SEQN- 53722
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1SQ4487_Z05

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

See DWGS A11015EC1103 & GBLLETIN0405 for more requirements.

110 mph wind, 9.13 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/360 live and L/240 total load.



R=80 PLF U=17 PLF W=11-9-0

PLT TYP. Wave TPI | Design Crit: TPI-1995(STD)/FBC | 6.30 050.17 | QTY:1 | FL/-/3/-/-/R/- | Scale =.375"/Ft.

ALPINE
Alpine Engineered Products, Inc.
1950 Marley Drive
Haines City, FL 33844
FL Certificate of Authorization # 567

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (W, K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A Z. ANY INSPECTION OF PLATES FOLLOWED BY (I) SHALL BE PER ANNEX A3 OF TPI1-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER LICENSE No.59687 STATE OF FLORIDA PROFESSIONAL ENGINEER

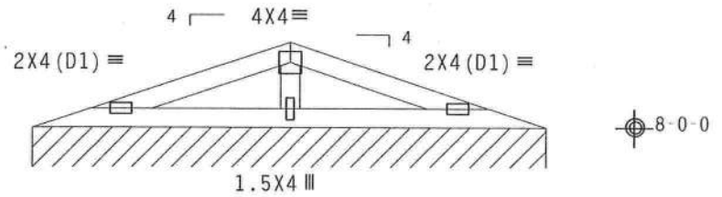
TC LL	20.0 PSF	REF R487-- 26455
TC DL	10.0 PSF	DATE 09/02/05
BC DL	10.0 PSF	DRW HCUSR487 05245008
BC LL	0.0 PSF	HC-ENG JB/AF *
TOT.LD.	40.0 PSF	SEQN- 53720
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1SQ4487_Z05

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

See DWGS A11015EC1103 & GBLLETIN0405 for more requirements.

110 mph wind, 8.79 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/360 live and L/240 total load.



PLT TYP. Wave TPI | Design Crit: TPI-1995(STD)/FBC | 6.30 | 50 | 17 | QTY 1 | FL/-/3/-/-/R/- | Scale =.375"/Ft.

ALPINE

Alpine Engineered Products, Inc.
1950 Marley Drive
Haines City, FL 33844
FL Certificate of Authorization # 567

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (W, K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI1-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER LICENSE No. 59687 STATE OF FLORIDA PROFESSIONAL ENGINEER

TC LL	20.0 PSF	REF R487-- 26456
TC DL	10.0 PSF	DATE 09/02/05
BC DL	10.0 PSF	DRW HCUSR487 05245009
BC LL	0.0 PSF	HC-ENG JB/AF *
TOT.LD.	40.0 PSF	SEQN- 53727
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1SQ4487_Z05

VALLEY TRUSS DETAIL

TOP CHORD 2X4 SP #2 OR SPF #1/#2 OR BETTER.
BOT CHORD 2X3(*) OR 2X4 SP #2N OR SPF #1/#2 OR BETTER.
WEBS 2X4 SP #3 OR BETTER.

* 2X3 MAY BE RIPPED FROM A 2X6 (PITCHED OR SQUARE).

** ATTACH EACH VALLEY TO EVERY SUPPORTING TRUSS WITH: (2) 16d BOX (0.135" X 3.5") NAILS TOE-NAILED FOR SBC 110 MPH, ASCE 7-93 110 MPH WIND OR ASCE 7-98 130 MPH WIND. 15' MEAN HEIGHT, ENCLOSED BUILDING, EXP. C, RESIDENTIAL, WIND TC DL=5 PSF.

UNLESS SPECIFIED ON ENGINEER'S SEALED DESIGN, APPLY 1X4 "T"-BRACE, 80% LENGTH OF WEB, VALLEY WEB, SAME SPECIES AND GRADE OR BETTER, ATTACHED WITH 8d BOX (0.113" X 2.5") NAILS AT 6" OC, OR CONTINUOUS LATERAL BRACING, EQUALLY SPACED, FOR VERTICAL VALLEY WEBS GREATER THAN 7'9".

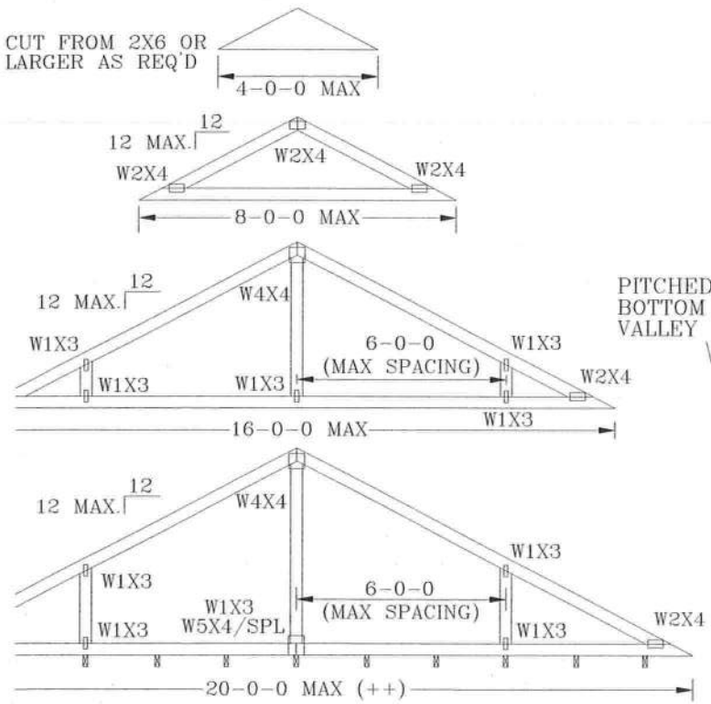
MAXIMUM VALLEY VERTICAL HEIGHT MAY NOT EXCEED 12'0".

TOP CHORD OF TRUSS BENEATH VALLEY SET MUST BE BRACED WITH:
PROPERLY ATTACHED, RATED SHEATHING APPLIED PRIOR TO VALLEY TRUSS INSTALLATION
OR
PURLINS AT 24" OC OR AS OTHERWISE SPECIFIED ON ENGINEERS' SEALED DESIGN
OR
BY VALLEY TRUSSES USED IN LIEU OF PURLIN SPACING AS SPECIFIED ON ENGINEERS' SEALED DESIGN.

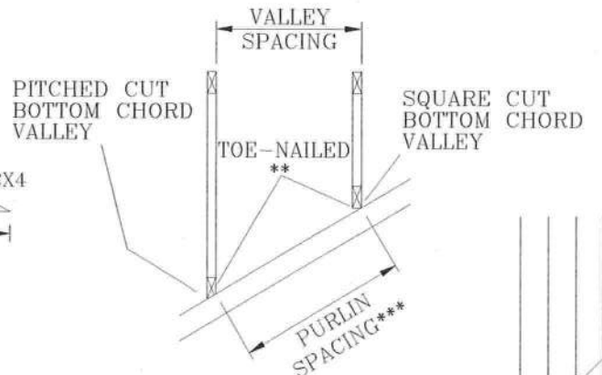
*** NOTE THAT THE PURLIN SPACING FOR BRACING THE TOP CHORD OF THE TRUSS BENEATH THE VALLEY IS MEASURED ALONG THE SLOPE OF THE TOP CHORD.

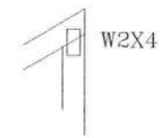
++ LARGER SPANS MAY BE BUILT AS LONG AS THE VERTICAL HEIGHT DOES NOT EXCEED 12'0".

BOTTOM CHORD MAY BE SQUARE OR PITCHED CUT AS SHOWN.

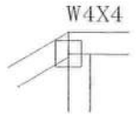


SUPPORTING TRUSSES AT 24" OC MAXIMUM SPACING.

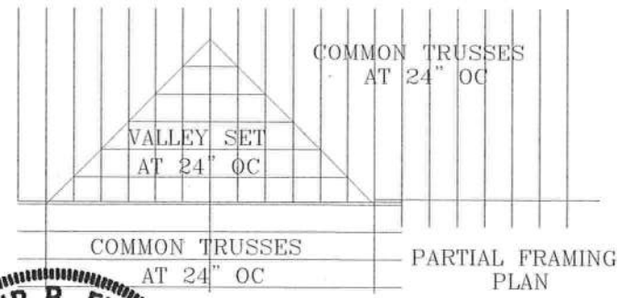




OPTIONAL STUB END DETAIL



OPTIONAL HIP JOINT DETAIL



PARTIAL FRAMING PLAN

THIS DRAWING REPLACES DRAWING A105

ALPINE
ALPINE ENGINEERED PRODUCTS, INC.
POMPANO BEACH, FLORIDA

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC., SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (W,K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 169A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (I) SHALL BE PER ANNEX A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER LICENSE No. 59687 STATE OF FLORIDA PROFESSIONAL ENGINEER

9/[illegible]/05

TC	LL	30	30	40 PSF
TC	DL	20	15	7 PSF
BC	DL	10	10	10 PSF
BC	LL	0	0	0 PSF
TOT. LD.		60	55	57 PSF
DUR.FAC.		1.25/1.33	1.15	1.15
SPACING			24"	

REF	VALLEY DETAIL
DATE	11/26/03
DRWG	VALTRUSS1103
-ENG	MLH/KAR

ASCE 7-98: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C

MAX GABLE VERTICAL LENGTH

2X4 GABLE VERTICAL SPACING	SPECIES	BRACE GRADE	NO BRACES	(1) 1X4 "L" BRACE * GROUP A	(1) 1X4 "L" BRACE * GROUP B	(1) 2X4 "L" BRACE * GROUP A	(1) 2X4 "L" BRACE * GROUP B	(2) 2X4 "L" BRACE ** GROUP A	(2) 2X4 "L" BRACE ** GROUP B	(1) 2X6 "L" BRACE * GROUP A	(1) 2X6 "L" BRACE * GROUP B	(2) 2X6 "L" BRACE ** GROUP A	(2) 2X6 "L" BRACE ** GROUP B
24" O.C.	SPF HF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
		#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
		STUD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"
		STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"
	SP DFL	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
		STUD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"
		STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
16" O.C.	SPF HF	#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"
	SP DFL	#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"
12" O.C.	SPF HF	#1 / #2	4' 11"	8' 5"	8' 8"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 9"	7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	SP DFL	#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	5' 0"	8' 5"	8' 7"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

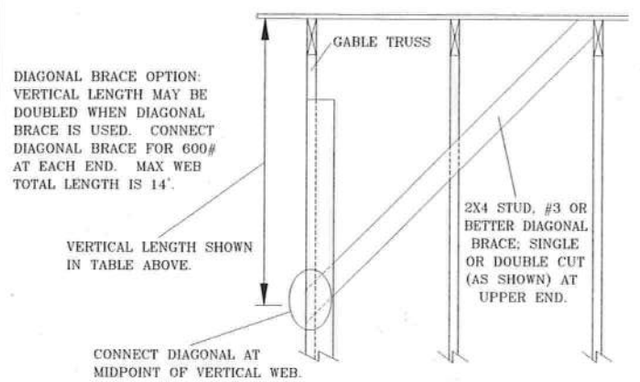
SPRUCE-PINE-FIR		HEM-FIR	
#1 / #2	STANDARD	#2	STUD
#3	STUD	#3	STANDARD

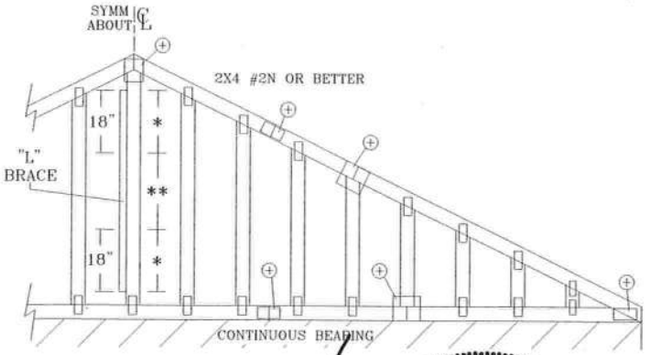
DOUGLAS FIR-LARCH	SOUTHERN PINE
#3	#3
STUD	STUD
STANDARD	STANDARD

GROUP B:

HEM-FIR
#1 & BTR
#1

SOUTHERN PINE	DOUGLAS FIR-LARCH
#1	#1
#2	#2





REFER TO CHART ABOVE FOR MAX G[illegible] VERTICAL LENGTH.

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS.
* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.
** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2X4
GREATER THAN 11' 6"	2.5X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

ALPINE

ALPINE ENGINEERED PRODUCTS, INC.
POMPANO BEACH, FLORIDA

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI. 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC., SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (W,K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (!) SHALL BE PER ANNEX A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER LICENSE No. 59687 STATE OF FLORIDA PROFESSIONAL ENGINEER

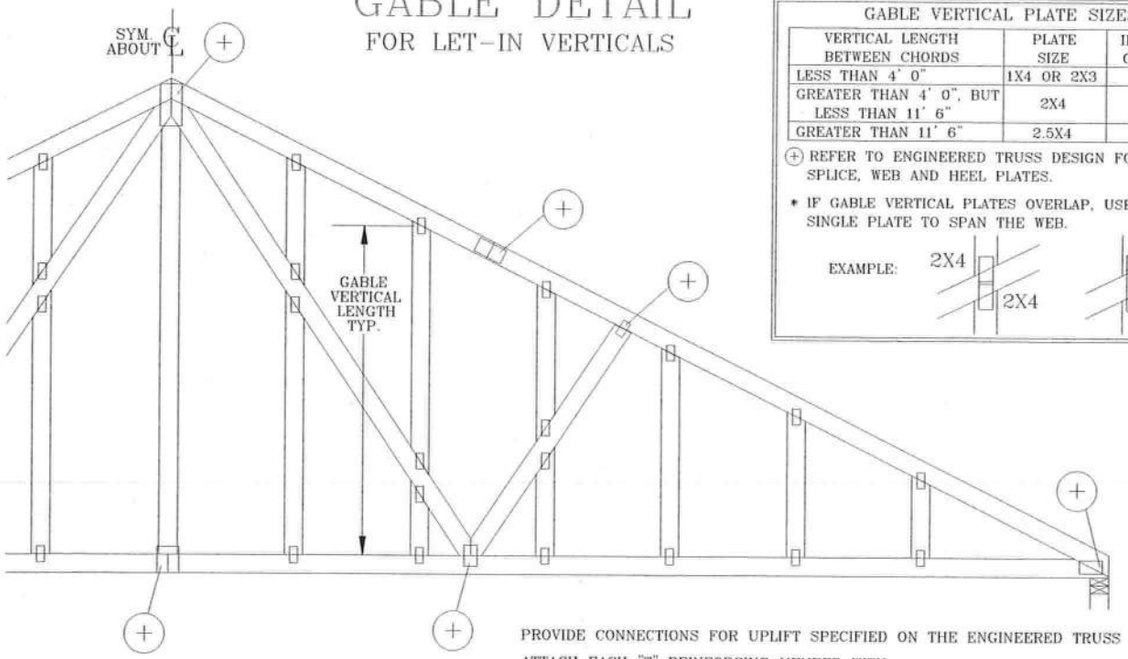
09/[illegible]/2005

[illegible]. TOT. LD. 60 PSF

MAX. SPACING 24.0"

REF	ASCE7-98-GABI1015
DATE	11/26/03
DRWG	A11015EC1103
-ENG	

GABLE DETAIL
FOR LET-IN VERTICALS

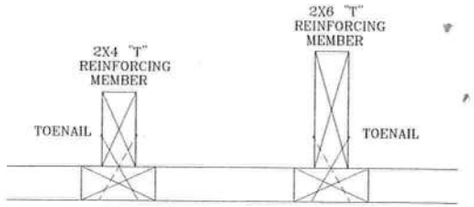


GABLE VERTICAL PLATE SIZES		
VERTICAL LENGTH BETWEEN CHORDS	PLATE SIZE	IF PLATES OVERLAP*
LESS THAN 4' 0"	1X4 OR 2X3	2X8
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2X4	2X8
GREATER THAN 11' 6"	2.5X4	2.5X8

⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

* IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE TO SPAN THE WEB.

EXAMPLE: 2X4 2X4 2X8



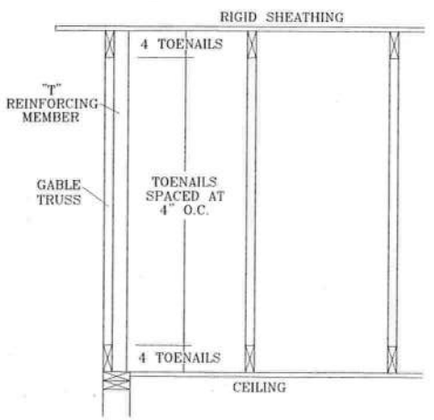
TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" FACTOR BY LENGTH (BASED ON GABLE VERTICAL SPECIES, GRADE AND SPACING) FOR (1) 2X4 "L" BRACE, GROUP A, OBTAINED FROM THE APPROPRIATE ALPINE GABLE DETAIL FOR ASCE OR SBCCI WIND LOAD.

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MRH	"T" REINF. MBR. SIZE	SBCCI	ASCE
110 MPH 15 FT	2x4	10 %	10 %
	2x6	40 %	50 %
110 MPH 30 FT	2x4	10 %	10 %
	2x6	50 %	50 %
100 MPH 15 FT	2x4	10 %	10 %
	2x6	30 %	50 %
100 MPH 30 FT	2x4	10 %	10 %
	2x6	40 %	40 %
90 MPH 15 FT	2x4	20 %	10 %
	2x6	20 %	40 %
90 MPH 30 FT	2x4	10 %	10 %
	2x6	30 %	50 %
80 MPH 15 FT	2x4	10 %	20 %
	2x6	10 %	30 %
80 MPH 30 FT	2x4	20 %	10 %
	2x6	20 %	40 %
70 MPH 15 FT	2x4	0 %	20 %
	2x6	0 %	20 %
70 MPH 30 FT	2x4	10 %	20 %
	2x6	10 %	30 %

EXAMPLE:
ASCE WIND SPEED = 100 MPH
MEAN ROOF HEIGHT = 30 FT
GABLE VERTICAL = 24" O.C. SP #3
"T" REINFORCING MEMBER SIZE = 2X4
"T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10
(1) 2X4 "L" BRACE LENGTH = 6' 7"
MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH
1.10 x 6' 7" = 7' 3"



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH
HAND DRIVEN NAILS:
10d COMMON TOENAILS AT 4" O.C. PLUS (4) 16d COMMON TOENAILS IN TOP AND BOTTOM CHORD.
GUN DRIVEN NAILS – 0.131" X 3":
TOENAILS AT 4" O.C. PLUS (4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ALPINE GABLE DETAIL FOR ASCE OR SBCCI WIND LOAD.
ASCE 7-93 GABLE DETAIL DRAWINGS
A11015EN1103, A10015EN1103, A09015EN1103, A08015EN1103, A07015EN1103
A11030EN1103, A10030EN1103, A09030EN1103, A08030EN1103, A07030EN1103
ASCE 7-98 GABLE DETAIL DRAWINGS
A13015EC1103, A12015EC1103, A11015EC1103, A10015EC1103, A08515EC1103
A13030EC1103, A12030EC1103, A11030EC1103, A10030EC1103, A08530EC1103
SBCCI GABLE DETAIL DRAWINGS
S11015EN1103, S10015EN1103, S09015EN1103, S08015EN1103, S07015EN1103
S11030EN1103, S10030EN1103, S09030EN1103, S08030EN1103, S07030EN1103

SEE APPROPRIATE ALPINE GABLE DETAIL (ASCE OR SBCCI WIND LOAD) FOR MAXIMUM UNREINFORCED GABLE VERTICAL LENGTH.

ALPINE
ALPINE ENGINEERED PRODUCTS, INC.
POMPANO BEACH, FLORIDA

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI. 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

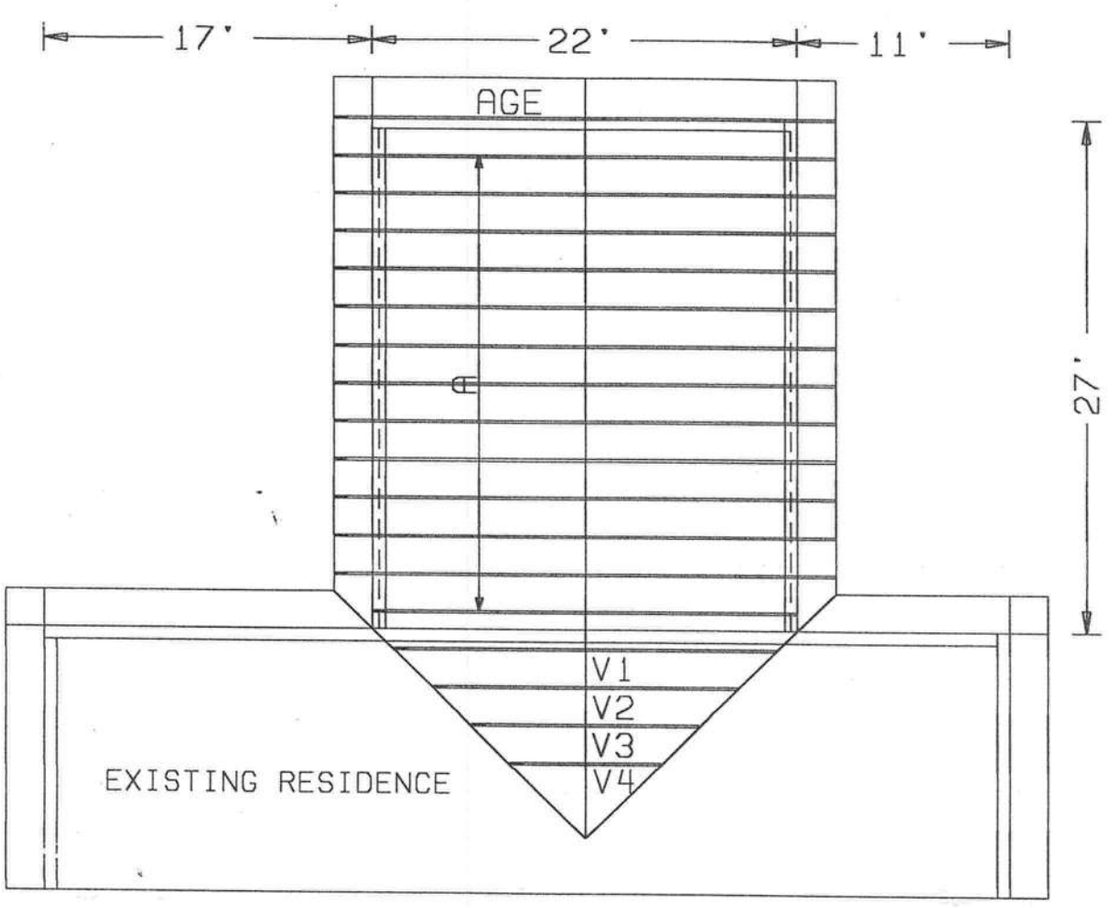
IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC., SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H,S/K) ASTM A653 GRADE 40/60 (W,K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (T) SHALL BE PER ANNEX A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER LICENSE No. 59687 STATE OF FLORIDA PROFESSIONAL ENGINEER

T[illegible] CES DRAWINGS GAB98117 876,719 & HC26294035

09/[illegible]/05 [illegible]OT. LD. 60 PSF
[illegible] FAC. ANY
[illegible]AX SPACING 24.0"

REF	LET-IN VERT
DATE	01/16/04
DRWG	GBLLETIN1103
-ENG	DLJ/KAR



DENNIS KILLEBREW

Roof Plane Sheathing Area = 1651 sq. ft

JOB LOCATION:

JOB DESCRIPTION: DENNIS KILLEBREW

DESIGNED BY:

JOB NO: 5-402

PAGE NO: 1 OF 1

CERTIFICATE OF OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 16-2S-16-01631-034 **Building permit No.** 000023755

Use Classification ADDITION TO SFD **Fire:** 0.00

Permit Holder SAME AS APPLICANT **Waste:** 0.00

Owner of Building DENNIS & DIANE KILLEBREW **Total:** 0.00

Location: 380 NW LANDRESS TERR, WHITE SPRINGS, FL

Date: 10/24/2006

John Kence

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

No Guarantee Contract

FLORIDA PEST CONTROL & CHEMICAL CO.

536 SE Baya Dr
Lake City, FL 32025

Phone (386) 752-1703
Fax (386) 752-0171

Permit #23755

PROPOSAL SUBMITTED TO:	DENNIS KILLEBRAW	DATE:	12/13/05
ADDRESS:	380 NW LANDRESS TERR	PHONE:	3868670390
	WHITE SPRINGS, FL	DATE OF PLANS:	12/13/05
JOB NAME AND LOCATION:	SAME AS ABOVE	REPRESENTATIVE:	HENDRICKS
		JOB PHONE:	

We hereby submit specifications and estimate, subject to all terms and conditions as set forth as follows:

PERFORM A CONTROL TREATMENT FOR: SUBTERRANEAN TERMITES

TO THE FOLLOWING AREAS: APPROX. 594 SQ FT ADDITION AT THE ABOVE LOCATION
THE COST FOR THIS TREATMENT WILL BE .35 (THIRTY FIVE CENTS) PER SQUARE FOOT
TO BE PAID IN FULL AT THE TIME OF SERVICE

THIS CONTRACT CONTAINS DISCLAIMERS, LIMITATIONS, CONDITIONS AND EXCLUSIONS. NO GUARANTEE, WARRANTY, RETREATMENT, REINSPECTION OR REPAIR OF ANY KIND IS OFFERED WITH THIS TREATMENT.

TREATMENT NOTICE POSTED: ELECTRICAL PANEL

We Propose hereby to furnish material and labor – complete in accordance with the above specifications, for the sum of THIRTY FIVE CENTS PER SQUARE FOOT dollars $207.90

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Authorized Signature

Accepted: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date _____

DISCOVER VISA MasterCard

BRANCHES:

• Crystal River • Daytona Beach • Ft. Walton Beach • Jacksonville South • Jacksonville West • Lake City • Milton • Ocala • Orlando • Palatka • Panama City • Pensacola • Starke • St. Augustine • Tallahassee • Winter Haven • Leesburg • Kissimmee •