

DATE 07/16/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026025

APPLICANT CHARESE NORTON PHONE 386 752-3331

ADDRESS 3367 S US HWY 441, STE 101 LAKE CITY FL 32025

OWNER NORTON HOME IMP. CO., INC. PHONE 386 752-3331

ADDRESS 181 SW BRIARBROOK PLACE LAKE CITY FL 32024

CONTRACTOR JAMES H. NORTON PHONE 386 752-3331

LOCATION OF PROPERTY 47S, TR ON CR 242, TL ON MOCKINGBIRD WAY, TR ON BRIARBROOK PLACE, 3RD LOT ON RIGHT

TYPE DEVELOPMENT SFD,UTILITY ESTIMATED COST OF CONSTRUCTION 82350.00

HEATED FLOOR AREA 1647.00 TOTAL AREA 2440.00 HEIGHT 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB

LAND USE & ZONING RSF-2 MAX. HEIGHT 17

Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 25-4S-16-03121-055 SUBDIVISION PICCADILLY PARK SOUTH

LOT 11 BLOCK D PHASE UNIT TOTAL ACRES

RB0031780

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

EXISTING 07-511 BK JH Y

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE

Check # or Cash 23513

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic

Under slab rough-in plumbing Slab Sheathing/Nailing

Framing Rough-in plumbing above slab and below wood floor

Electrical rough-in Heat & Air Duct Peri. beam (Lintel)

Permanent power C.O. Final Culvert

M/H tie downs, blocking, electricity and plumbing Pool

Reconnection Pump pole Utility Pole

M/H Pole Travel Trailer Re-roof

BUILDING PERMIT FEE \$ 415.00 CERTIFICATION FEE \$ 12.20 SURCHARGE FEE \$ 12.20

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 514.40

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

CK# 23513

Columbia County Building Permit Application

For Office Use Only Application # 0707-02 Date Received 7/2 By JW Permit # 26025
Application Approved by - Zoning Official BLK Date 10.07.07 Plans Examiner OK JTH Date 7-5-07
Flood Zone X Development Permit N/A Zoning RSF-2 Land Use Plan Map Category Res. Low Dev.
Comments _____
☒ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # ☐ Development Permit

Name Authorized Person Signing Permit Charese Norton Fax 386-752-6427
Address 3367 S US Hwy 441, Ste 101, Lake City, FL 32025 Phone 386-752-3331
Owners Name Norton Home Improvement Co., Inc. Phone 386-752-3331
911 Address 181 SW Briarbrook Pl, Lake City, FL 32025
Contractors Name James H. Norton Phone 386-752-3331
Address 3367 S. US Hwy 441, Ste 101, Lake City, FL 32025
Fee Simple Owner Name & Address N/A
Bonding Co. Name & Address N/A
Architect/Engineer Name & Address Tim Deibene, 192 SW Sagewood Gln, Lake City, FL 32024
Mark Disoway, P.O. Box 868, Lake City, FL 32056
Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
Property ID Number 25-45-16-03121-055 Estimated Cost of Construction \$ 115000.00
Subdivision Name Precidally Park South Lot 11 Block D Unit - Phase -
Driving Directions SR 47 South, TR on CR 242, TL on SW Mockingbird Way, TR on Briarbrook Pl, Lot on right

Type of Construction SFD, New home construction Number of Existing Dwellings on Property 0
Total Acreage 1/2 Lot Size - Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
Actual Distance of Structure from Property Lines - Front 50' Side 39.5' Side 41.8' Rear 72'
Total Building Height 17'4" Number of Stories 1 Heated Floor Area 11647 Roof Pitch 12/12
10746 2440

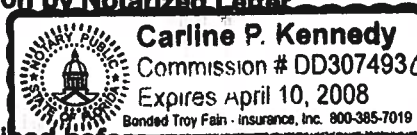
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

James H. Norton
Owner Builder or Authorized Person by Notarized Letter

STATE OF FLORIDA
COUNTY OF COLUMBIA



James H. Norton
Contractor Signature
Contractors License Number RB0031780
Competency Card Number _____
NOTARY STAMP/SEAL

Sworn to (or affirmed) and subscribed before me
this 26 day of June 2007.

Personally known L or Produced Identification

Carline P. Kennedy
Notary Signature
(Revised Sept. 2006)

Columbia County Property Appraiser

DB Last Updated: 5/11/2007

Parcel: 25-4S-16-03121-055

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	NORTON HOME IMP CO INC		
Site Address			
Mailing Address	3367 S US HWY 441 SUITE 101 LAKE CITY, FL 32025		
Use Desc. (code)	VACANT (000000)		
Neighborhood	25416.02	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.000 ACRES		
Description	LOTS 3, 5, 11, 13 BLOCK D PICCADILLY PARK SOUTH S/D. ORB 903-2437, 906-1897,		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$65,600.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$65,600.00

Just Value	\$65,600.00
Class Value	\$0.00
Assessed Value	\$65,600.00
Exempt Value	\$0.00
Total Taxable Value	\$65,600.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
NONE						

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

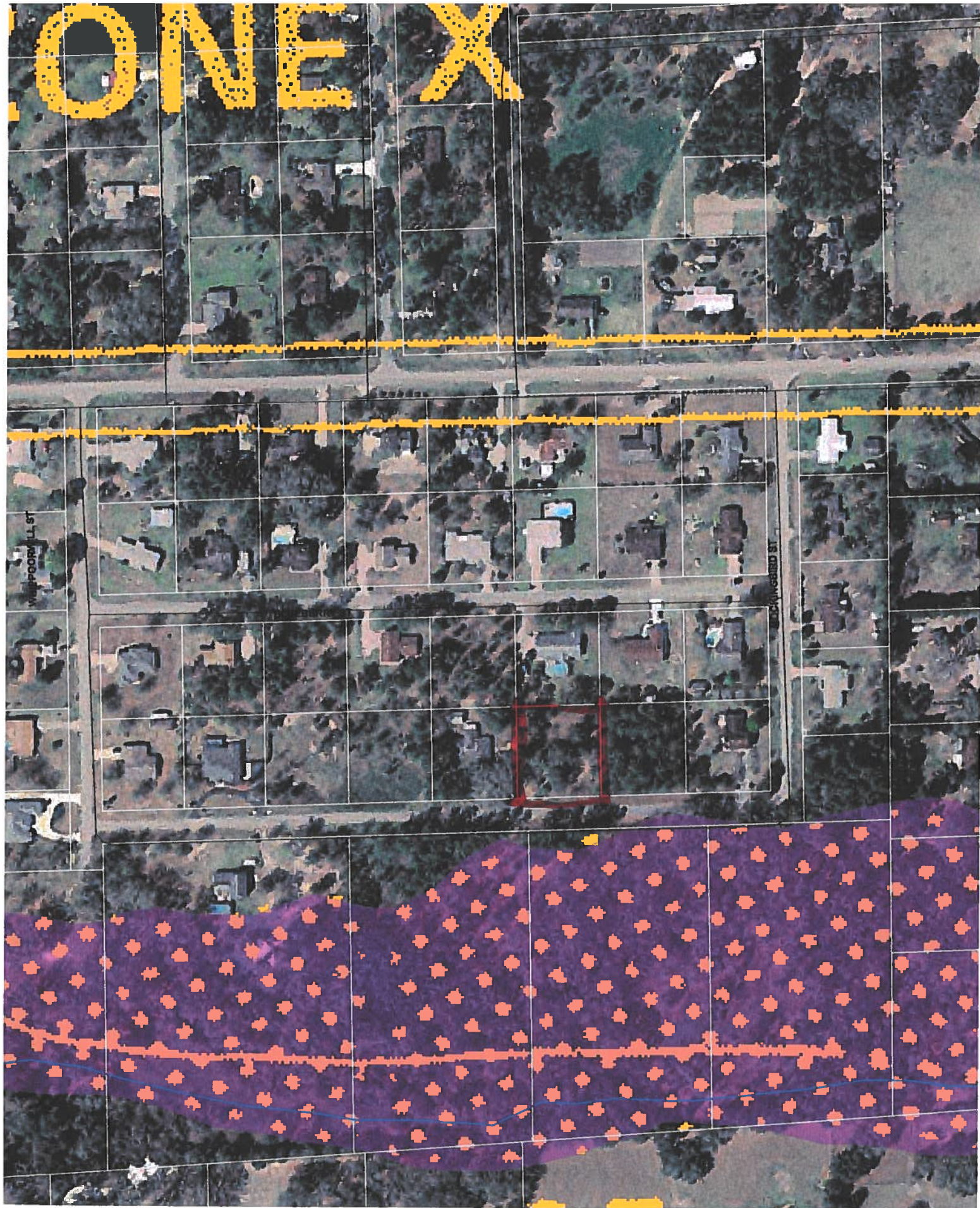
Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	4.000 LT - (.000AC)	1.00/1.00/.80/1.00	\$16,400.00	\$65,600.00

Columbia County Property Appraiser

DB Last Updated: 5/11/2007

1 of 1

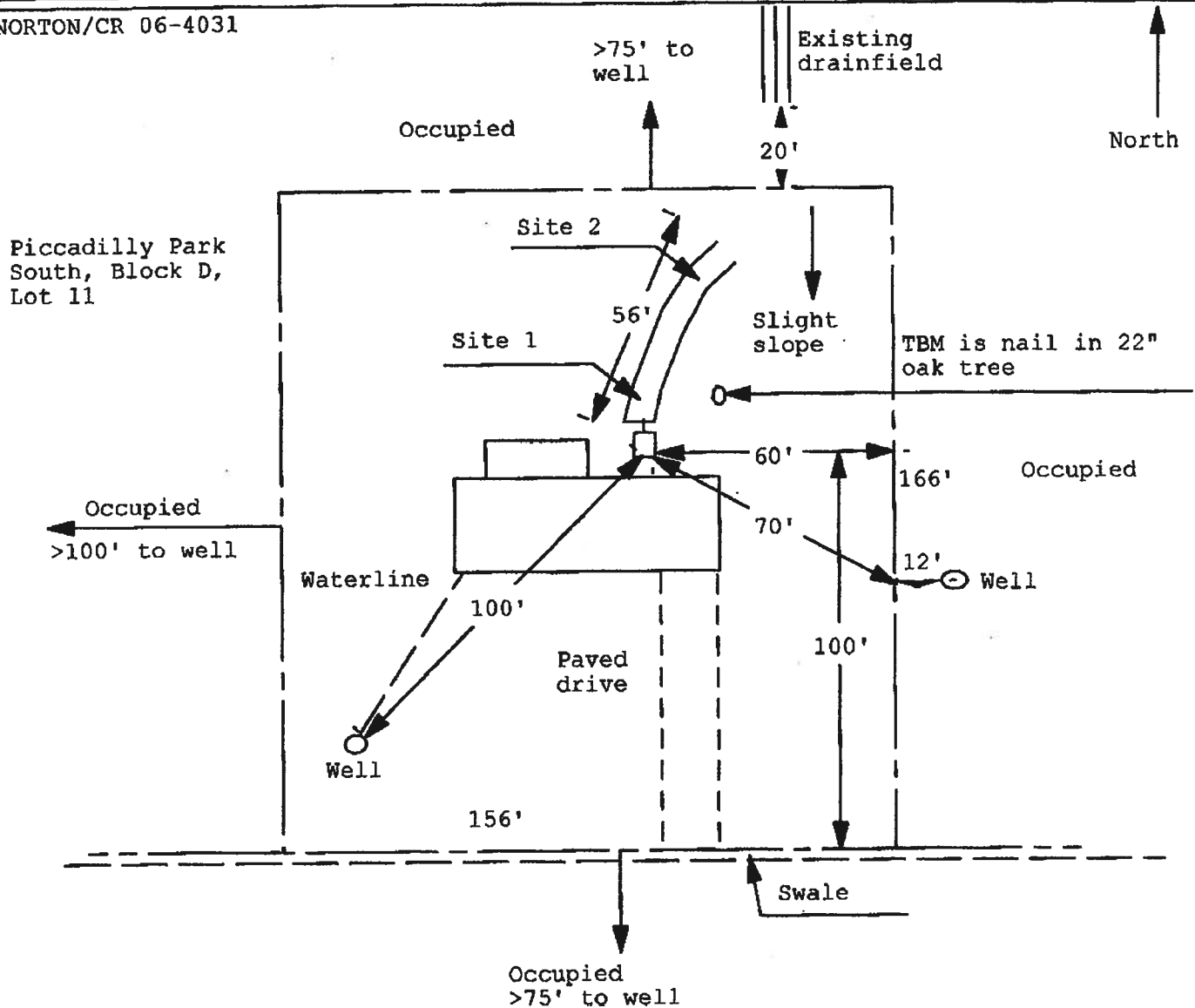


0707-02

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 07-0511

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

NORTON/CR 06-4031



1 inch = 40 feet

Site Plan Submitted By Paul Lopez Date 6/19/07
Plan Approved ☒ Not Approved ☐ Date 6/27/06
By M. A. H. Columbia CPHU

Notes: _____

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

*****THIS DOCUMENT MUST BE RECORDED AT THE COUNTY
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.*****

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 25-4S-16-03121-055

1. Description of property: (legal description of the property and street address or 911 address)

181 SW Briarbrook Place, Lake City, FL 32024

Lot #11, Block D Picadilly Park South Subdivision

2. General description of improvement: New Home Construction

3. Owner Name & Address Norton Home Improvement Co., Inc., 3367 S US Hwy 441, Suite 101,
Lake City, FL 32025

Interest in Property OWN

4. Name & Address of Fee Simple Owner (if other than owner): NA

5. Contractor Name James H. Norton Phone Number 386-752-3331

Address 3367 S US Hwy 441, Suite 101, Lake City, FL 32025

6. Surety Holders Name NA Phone Number _____

Address _____

Amount of Bond _____

7. Lender Name NA

Address _____

Inst: 200712013739 Date: 6/21/2007 Time: 10:36 AM

JP DC, P. DeWitt Cason, Columbia County Page 1 of 1

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name NA

Phone Number _____

Address _____

9. In addition to himself/herself the owner designates NA of _____
to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording,
(Unless a different date is specified) _____

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

James H. Norton
Signature of Owner



Sworn to (or affirmed) and subscribed before
day of June 21, 2007

NOTARY STAMP/SEAL

Carline P. Kennedy
Signature of Notary

LYNCH WELL DRILLING, INC.

173 SW Tustenuggee Ave
Lake City, FL. 32025
Phone 386-752-6677
Fax 386-752-1477

Building Permit # _____ Owner's Name Piccadilly Park South lot 11-D
Norton Home Improvement

Well Depth _____ Ft. Casing Depth _____ Ft. Water Level _____ Ft.

Casing Size 4 inch Steel Pump Installation: Deep Well Submersible

Pump Make Aermotro Pump Model S20-100 HP 1

System Pressure (PSI) _____ On 30 Off 50 Average Pressure 40

Pumping System GPM at average pressure and pumping level 20 (GPM)

Tank Installation: Bladder /Galvanized Make Challenger
Model PC244 Size 81

Tank Draw-down per cycle at system pressure 25.1 gallons

**I HEREBY VERIFY THAT THIS WATER WELL SYSTEM HAS BEEN
INSTALLED AS PER THE ABOVE INFORMATION.**

Linda Newcomb
Signature

Linda Newcomb
Print Name

2609
License Number

6-19-07
Date

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Whole Building Performance Method A

Project Name: **Ferguson Residence**
Address: **181 Briarbrook Place**
City, State: **Lake City, FL 32055-**
Owner: **Ferguson**
Climate Zone: **North**

Builder: **Norton Home Imp.**
Permitting Office: **Columbia Co**
Permit Number: **26025**
Jurisdiction Number: **221000**

- | | | |
|--|--------------------------------|-----------------------|
| 1. New construction or existing | New | ___ |
| 2. Single family or multi-family | Single family | ___ |
| 3. Number of units, if multi-family | 1 | ___ |
| 4. Number of Bedrooms | 3 | ___ |
| 5. Is this a worst case? | No | ___ |
| 6. Conditioned floor area (ft ²) | 1647 ft ² | ___ |
| 7. Glass area & type | Single Pane | Double Pane |
| a. Clear glass, default U-factor | 0.0 ft ² | 120.0 ft ² |
| b. Default tint | 0.0 ft ² | 0.0 ft ² |
| c. Labeled U or SHGC | 0.0 ft ² | 0.0 ft ² |
| 8. Floor types | | |
| a. Slab-On-Grade Edge Insulation | R=0.0, 179.0(p) ft | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 9. Wall types | | |
| a. Frame, Wood, Exterior | R=13.0, 1249.0 ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| d. N/A | | ___ |
| e. N/A | | ___ |
| 10. Ceiling types | | |
| a. Under Attic | R=30.0, 1647.0 ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 11. Ducts | | |
| a. Sup: Unc. Ret: Unc. AH: Interior | Sup. R=6.0, 10.0 ft | ___ |
| b. N/A | | ___ |

- | | | |
|-------------------------|--|-----|
| 12. Cooling systems | | |
| a. Central Unit | Cap: 35.0 kBtu/hr | ___ |
| | SEER: 14.00 | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 13. Heating systems | | |
| a. Electric Heat Pump | Cap: 35.0 kBtu/hr | ___ |
| | HSPF: 7.90 | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 14. Hot water systems | | |
| a. Electric Resistance | Cap: 30.0 gallons | ___ |
| | EF: 0.90 | ___ |
| b. N/A | | ___ |
| c. Conservation credits | | ___ |
| | (HR-Heat recovery, Solar | |
| | DHP-Dedicated heat pump) | |
| 15. HVAC credits | PT, CF, ___ | |
| | (CF-Ceiling fan, CV-Cross ventilation, | |
| | HF-Whole house fan, | |
| | PT-Programmable Thermostat, | |
| | MZ-C-Multizone cooling, | |
| | MZ-H-Multizone heating) | |

Glass/Floor Area: 0.07

Total as-built points: 18805

Total base points: 25626

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Tim Delbene
DATE: 11/9/06

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____
DATE: _____



SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 181 Briarbrook Place, Lake City, FL, 32055-

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	1647.0	20.04	5941.1	Double, Clear	N	10.0	7.0	9.0	19.20	0.66	114.1
				Double, Clear	N	2.0	7.0	30.0	19.20	0.92	531.2
				Double, Clear	E	2.0	3.0	6.0	42.06	0.63	159.2
				Double, Clear	S	2.0	7.0	45.0	35.87	0.82	1323.7
				Double, Clear	S	10.0	7.0	30.0	35.87	0.48	514.2
				As-Built Total:					120.0		2642.3
WALL TYPES Area X BSPM = Points				Type	R-Value		Area X SPM			=	Points
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0		1249.0	1.50			1873.5
Exterior	1249.0	1.70	2123.3								
Base Total:				As-Built Total:					1249.0		1873.5
DOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM			=	Points
Adjacent	21.0	2.40	50.4	Exterior Insulated			21.0	4.10			86.1
Exterior	42.0	6.10	256.2	Exterior Insulated			21.0	4.10			86.1
				Adjacent Insulated			21.0	1.60			33.6
Base Total:				As-Built Total:					63.0		205.8
CEILING TYPES Area X BSPM = Points				Type	R-Value		Area X SPM X SCM			=	Points
Under Attic	1647.0	1.73	2849.3	Under Attic	30.0		1647.0	1.73 X 1.00			2849.3
Base Total:				As-Built Total:					1647.0		2849.3
FLOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM			=	Points
Slab	179.0(p)	-37.0	-6623.0	Slab-On-Grade Edge Insulation	0.0		179.0(p)	-41.20			-7374.8
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total:					179.0		-7374.8
INFILTRATION Area X BSPM = Points							Area X SPM			=	Points
	1647.0	10.21	16815.9				1647.0	10.21			16815.9

SUMMER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: 181 Briarbrook Place, Lake City, FL, 32055-

PERMIT #:

BASE					AS-BUILT										
Summer Base Points: 21413.1					Summer As-Built Points: 17012.0										
Total Summer Points	X	System Multiplier	=	Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier (DM x DSM x AHU)	X	System Multiplier	X	Credit Multiplier	=	Cooling Points
21413.1		0.4266		9134.8	17012.0		1.000		(1.090 x 1.147 x 0.91)		0.244		0.902		4258.4
					17012.0		1.00		1.138		0.244		0.902		4258.4

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 181 Briarbrook Place, Lake City, FL, 32055-

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Points			
.18	1647.0	12.74	3776.9	Double, Clear	N	10.0	7.0	9.0	24.58	1.02	226.1
				Double, Clear	N	2.0	7.0	30.0	24.58	1.00	739.8
				Double, Clear	E	2.0	3.0	6.0	18.79	1.18	133.3
				Double, Clear	S	2.0	7.0	45.0	13.30	1.17	700.7
				Double, Clear	S	10.0	7.0	30.0	13.30	3.22	1285.0
				As-Built Total:			120.0			3084.9	
WALL TYPES											
Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0			1249.0	3.40	4246.6	
Exterior	1249.0	3.70	4621.3								
Base Total:				As-Built Total:			1249.0			4246.6	
DOOR TYPES											
Area X BWPM = Points				Type				Area X WPM = Points			
Adjacent	21.0	11.50	241.5	Exterior Insulated				21.0	8.40	176.4	
Exterior	42.0	12.30	516.6	Exterior Insulated				21.0	8.40	176.4	
				Adjacent Insulated				21.0	8.00	168.0	
Base Total:				As-Built Total:			63.0			520.8	
CEILING TYPES											
Area X BWPM = Points				Type	R-Value			Area X WPM X WCM = Points			
Under Attic	1647.0	2.05	3376.3	Under Attic	30.0			1647.0	2.05 X 1.00	3376.3	
Base Total:				As-Built Total:			1647.0			3376.3	
FLOOR TYPES											
Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Slab	179.0(p)	8.9	1593.1	Slab-On-Grade Edge Insulation	0.0			179.0(p)	18.80	3365.2	
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total:			179.0			3365.2	
INFILTRATION											
Area X BWPM = Points							Area X WPM = Points				
	1647.0	-0.59	-971.7				1647.0	-0.59	-971.7		

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: 181 Briarbrook Place, Lake City, FL, 32055-

PERMIT #:

BASE				AS-BUILT									
Winter Base Points:		13154.0		Winter As-Built Points:		13622.1							
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X	Duct Multiplier (DM x DSM x AHU)	X	System Multiplier	X	Credit Multiplier	= Heating Points
13154.0		0.6274	8252.8	13622.1		1.000		(1.069 x 1.169 x 0.93)		0.432		0.950	6491.9
				13622.1		1.00		1.162		0.432		0.950	6491.9

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: 181 Briarbrook Place, Lake City, FL, 32055-

PERMIT #:

BASE				AS-BUILT					
WATER HEATING									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X Tank Ratio	Multiplier X Credit	= Total Multiplier
3		2746.00	8238.0	30.0	0.90	3	1.00	2684.98	1.00 8054.9
				As-Built Total:					8054.9

CODE COMPLIANCE STATUS									
BASE					AS-BUILT				
Cooling Points	+	Heating Points	+	Hot Water Points = Total Points	Cooling Points	+	Heating Points	+	Hot Water Points = Total Points
9135		8253		8238 25626	4258		6492		8055 18805

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: 181 Briarbrook Place, Lake City, FL, 32055-

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	✓
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	✓
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	✓
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	✓
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	✓
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	N/A
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	✓

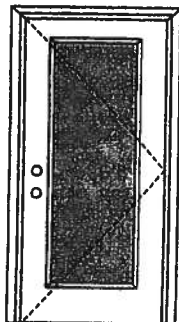
6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	✓
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	N/A
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	✓
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	✓
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	✓
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	✓

X

Glazed Inswing Unit

COP-WL-JH4141-02

WOOD-EDGE STEEL DOORS**APPROVED ARRANGEMENT:****Note:**

Units of other sizes are covered by this report as long as the panel used does not exceed 3'0" x 6'8".



Test Data Review Certificate #3026447A and COP/Test Report Validation Matrix #3026447A-001 provides additional information - available from the ITS/WH website (www.itswh.com), the Masonite website (www.masonite.com) or the Masonite technical center.

Single Door

Maximum unit size = 3'0" x 6'8"

Design Pressure

+40.5/-40.5

Limited water unless special threshold design is used.

Large Missile Impact Resistance

Hurricane protective system (shutters) is REQUIRED.

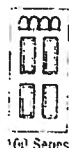
Actual design pressure and impact resistant requirements for a specific building design and geographic location is determined by ASCE 7-national, state or local building codes specify the edition required.

MINIMUM ASSEMBLY DETAIL:

Compliance requires that minimum assembly details have been followed - see MAD-WL-MA0001-02 and MAD-WL-MA0041-02.

MINIMUM INSTALLATION DETAIL:

Compliance requires that minimum installation details have been followed - see MID-WL-MA0001-02.

APPROVED DOOR STYLES:**1/4 GLASS:**

160 Series



133, 135 Series



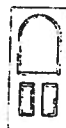
136 Series



680 Series



622 Series

1/2 GLASS:

105 Series*



106, 160 Series*



129 Series*



200 Series*



12 R/L, 23 R/L, 24 R/L Series*



107 Series*



108 Series



304 Series

*This glass kit may also be used in the following door styles: 6-panel; 6-panel with scroll; Eyebrow 6-panel; Eyebrow 6-panel with scroll.

Johnson™
EntrySystems

June 17, 2002

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Premium Quality Doors



Exclusively from

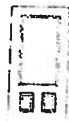
Masonite®

Masonite International Corporation

X

Glazed Inswing Unit

COP-WL-JH4141-02

WOOD-EDGE STEEL DOORS**APPROVED DOOR STYLES:****3/4 GLASS:**

404 Series



410 Series



450 Series

FULL GLASS:

108 Series

114, 120, 122
Series

152 Series



149 Series



300 Series

CERTIFIED TEST REPORTS:

NCTL 210-1897-7, 8, 9, 10, 11, 12; NCTL 210-1861-4, 5, 6, 10, 11, 12; NCTL 210-2185-1, 2, 3

Certifying Engineer and License Number: Barry D. Portney, P.E. / 16258.

Unit Tested in Accordance with Miami-Dade BCCO PA202.

Evaluation report NCTL-210-2794-1

Door panels constructed from 26-gauge 0.017" thick steel skins. Both stiles constructed from wood. Top end rails constructed of 0.041" steel. Bottom end rails constructed of 0.021" steel. Interior cavity of slab filled with rigid polyurethane foam core. Slab glazed with insulated glass mounted in a rigid plastic lip lite surround.

Frame constructed of wood with an extruded aluminum threshold.

PRODUCT COMPLIANCE LABELING:

TESTED IN
ACCORDANCE WITH
MIAMI-DADE BCCO PA202

COMPANY NAME
CITY, STATE

To the best of my knowledge and ability the above side-hinged exterior door unit conforms to the requirements of the 2001 Florida Building Code, Chapter 17 (Structural Tests and Inspections).

Kurt L Balthaz

State of Florida, Professional Engineer
Kurt Balthazor, P.E. - License Number 56533



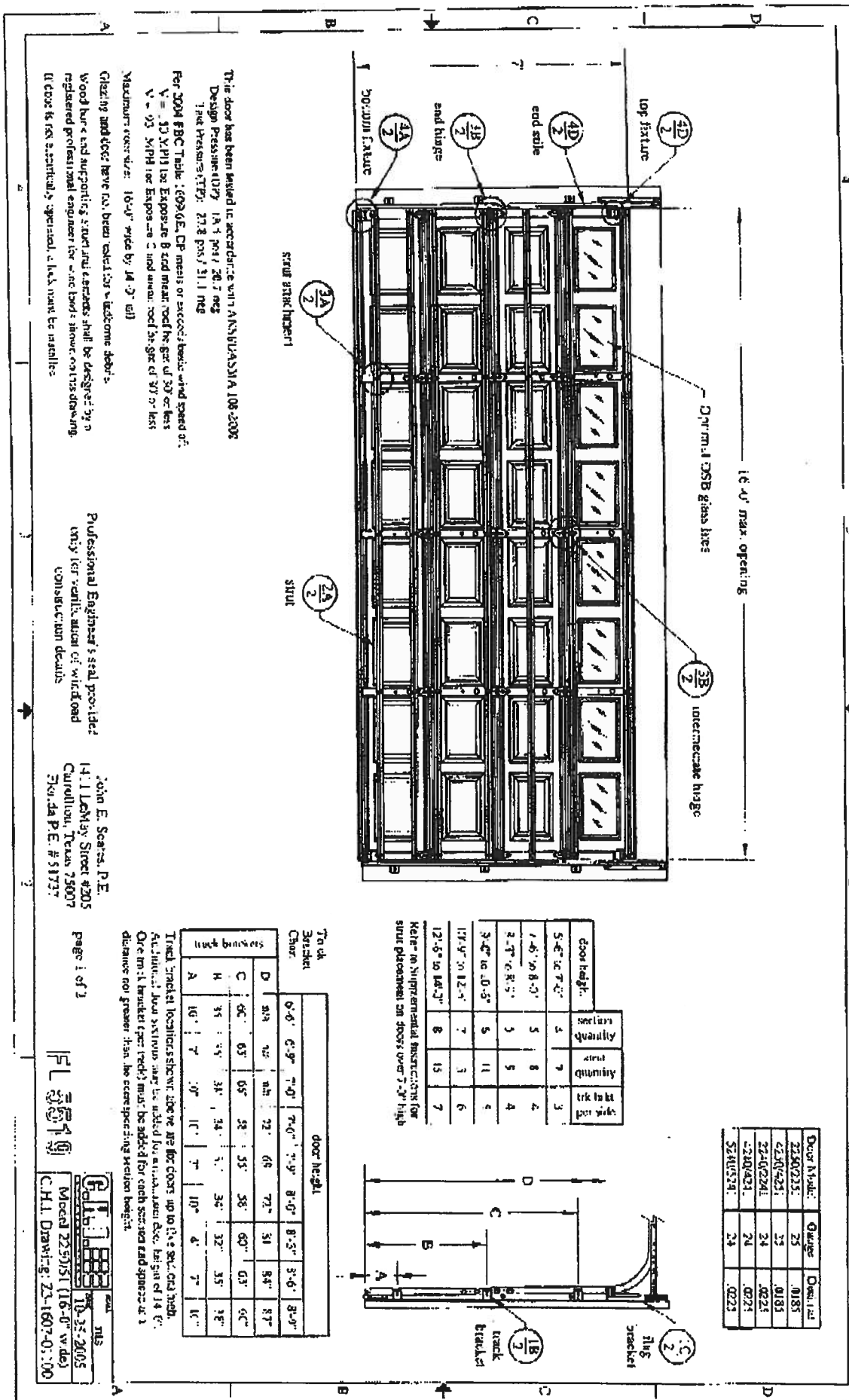
Test Data Review Certificate #3028447A and COP/Test Report Validation Matrix #3028447A-001 provides additional information - available from the ITSAWH website (www.itsamko.com), the Masonite website (www.masonite.com) or the Masonite technical center.

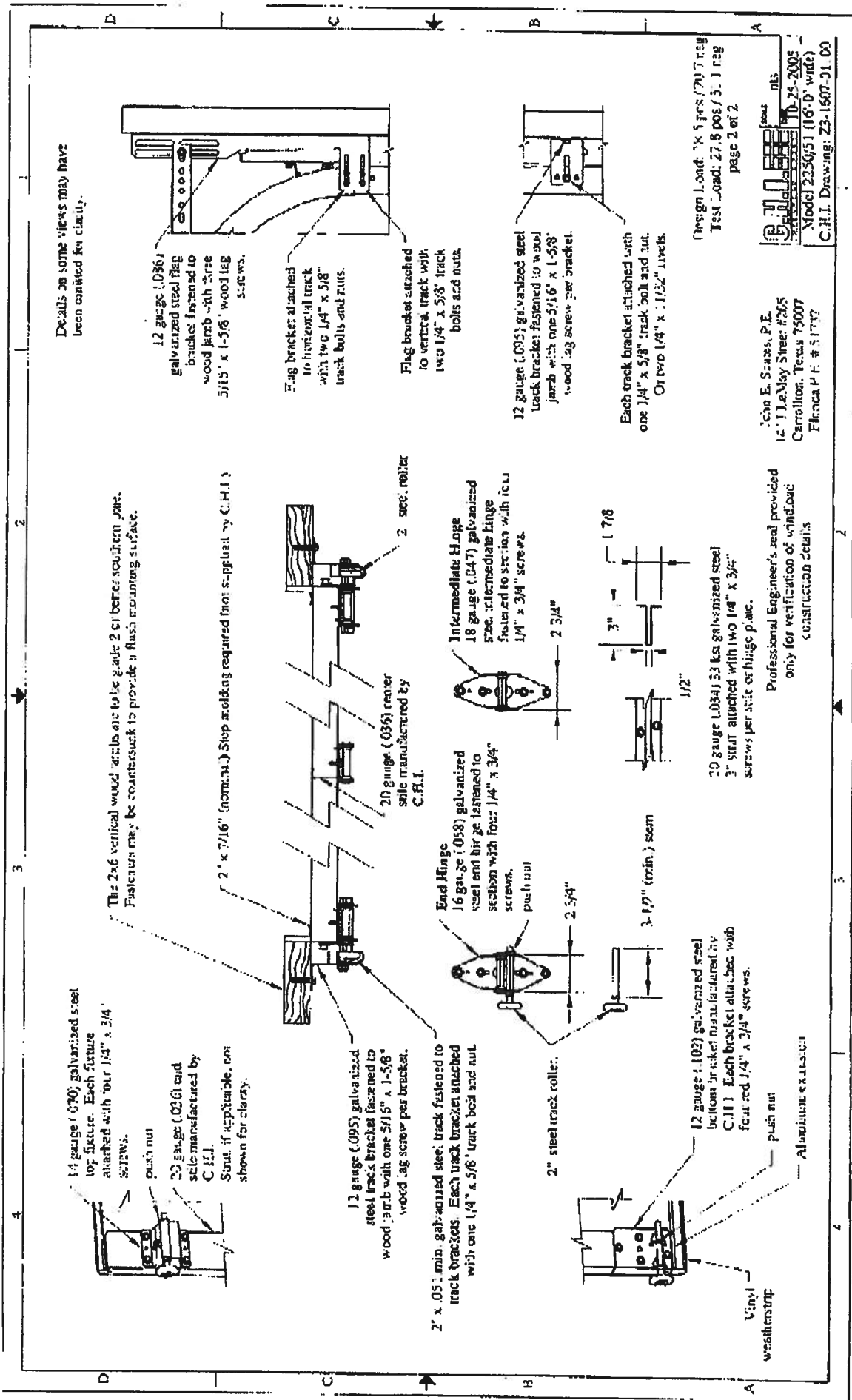
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Masonite International Corporation





Details on some views may have been omitted for clarity.

12 gauge (036) galvanized steel flag bracket fastened to wood jamb with three 5/16" x 1-5/8" wood lag screws.

Flag bracket attached to horizontal track with two 1/4" x 5/8" track bolts and nuts.

Flag bracket attached to vertical track with two 1/4" x 5/8" track bolts and nuts.

12 gauge (095) galvanized steel track bracket fastened to wood jamb with one 5/16" x 1-5/8" wood lag screw per bracket.

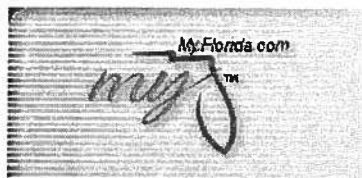
Each track bracket attached with one 1/4" x 5/8" track bolt and nut. Or two 1/4" x 1/32" rivets.

Design Load: 75 lbs per (70) 7 x 11
Test Load: 27.5 lbs per (3.1) 11
page 2 of 2

12" x 12" x 1/2" (16" x 16" x 1/2")
Model 235051 (16" x 16" x 1/2")
C.H.I. Drawing: 23-1607-01-00

John E. Swann, P.E.
1211 E. May Street #305
Carrollton, Texas 75007
Phone: 972-517-1737

Professional Engineer's seal provided only for verification of wind load construction details.

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Name: **NORTON, JAMES H (Primary Name)**
NORTON HOME IMPROVEMENT COMPANY
INC (DBA Name)
Main Address: **RT 28 BOX 388A**
LAKE CITY, Florida 32025
Lic. Location: **RT 28 BOX 388A**
LAKE CITY, FL 32025
Columbia

License Information

License Type: **Registered Building Contractor**
Rank: **Reg Building**
License Number: **RB0031780**
Status: **Current, Active**
Licensure Date: **02/16/1978**
Expires: **08/31/2005**

Special Qualifications

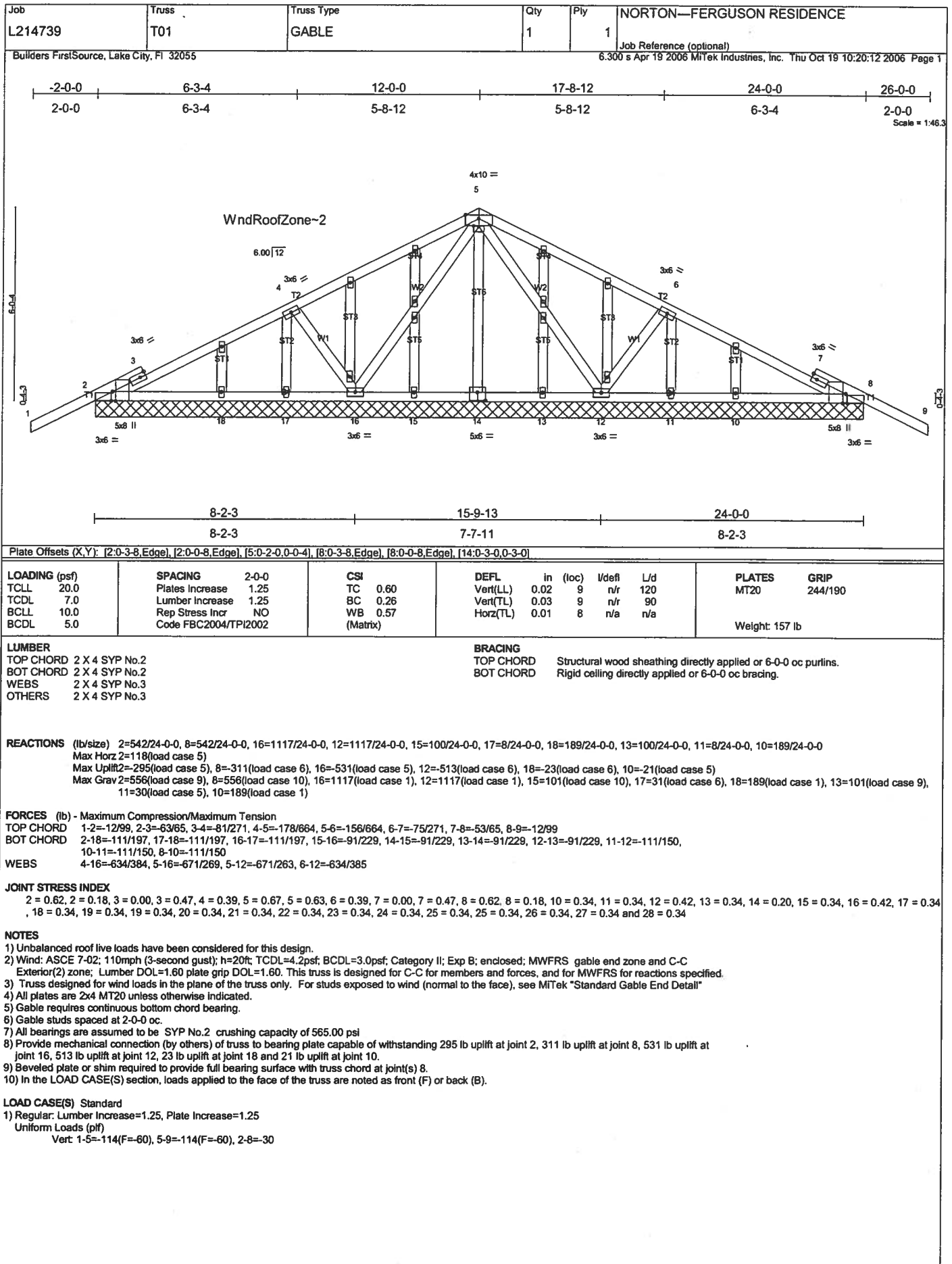
Effective Date

Bldg Code Core Course Credit

Qualified Business License Required

02/20/2004

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Job L214739	Truss T02	Truss Type COMMON	Qty 5	Ply 1	NORTON---FERGUSON RESIDENCE
Builders FirstSource, Lake City, FL 32055			6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Oct 19 10:20:26 2006 Page 1		
<div style="display: flex; justify-content: space-between;"> <div> -2-0-0 6-3-4 12-0-0 17-8-12 24-0-0 26-0-0 2-0-0 6-3-4 5-8-12 5-8-12 6-3-4 2-0-0 </div> <div style="text-align: right;"> Scale = 1/48.3 Camber = 1/16 in </div> </div>					
<div style="display: flex; justify-content: space-between;"> <div> 8-2-3 15-9-13 24-0-0 8-2-3 7-7-11 8-2-3 </div> </div>					
Plate Offsets (X,Y): [2-0-1-5,0-0-7], [6-0-1-5,0-0-7]					
LOADING (psf) TCLL 20.0 TCDL 7.0 BCLL 10.0 BCDL 5.0	SPACING 2-0-0 Plates Increase 1.25 Lumber Increase 1.25 Rep Stress Incr YES Code FBC2004/TPI2002	CSI TC 0.30 BC 0.46 WB 0.19 (Matrix)	DEFL in (loc) l/defl L/d Ver(LL) -0.13 6-8 >999 240 Ver(TL) -0.22 6-8 >999 180 Horz(TL) 0.05 6 n/a n/a	PLATES MT20 GRIP 244/190 Weight: 113 lb	
LUMBER TOP CHORD 2 X 4 SYP No.2 BOT CHORD 2 X 4 SYP No.2 WEBS 2 X 4 SYP No.3			BRACING TOP CHORD Structural wood sheathing directly applied or 4-7-4 oc purlins. BOT CHORD Rigid ceiling directly applied or 9-7-14 oc bracing.		
REACTIONS (lb/size) 2=1111/0-4-0, 6=1111/0-4-0 Max Horz 2=122(load case 5) Max Uplift 2=449(load case 5), 6=449(load case 6)					
FORCES (lb) - Maximum Compression/Maximum Tension TOP CHORD 1-2=0/47, 2-3=-1673/510, 3-4=-1496/508, 4-5=-1496/508, 5-6=-1673/511, 6-7=0/47 BOT CHORD 2-10=-428/1425, 9-10=-189/967, 8-9=-189/967, 6-8=-328/1425 WEBS 3-10=-301/253, 4-10=-192/591, 4-8=-192/591, 5-8=-301/253					
JOINT STRESS INDEX 2 = 0.77, 3 = 0.34, 4 = 0.48, 5 = 0.34, 6 = 0.77, 8 = 0.45, 9 = 0.44 and 10 = 0.45					
NOTES 1) Unbalanced roof live loads have been considered for this design. 2) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCCL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified. 3) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 449 lb uplift at joint 2 and 449 lb uplift at joint 6.					
LOAD CASE(S) Standard					

Job L214739	Truss T03	Truss Type COMMON	Qty 17	Ply 1	NORTON—FERGUSON RESIDENCE
Builders FirstSource, Lake City, FL 32055			Job Reference (optional) 6.300 s Apr 19 2006 Mitek Industries, Inc. Thu Oct 19 10:22:21 2006 Page 1		

Scale = 1:59.5
Camber = 1/8"

Plate Offsets (X,Y): [2:0-8-0,0-0-6], [3:0-3-0,0-3-4], [5:0-3-0,0-3-4], [6:0-8-0,0-0-6], [9:0-4-0,0-3-0]					
LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.48	in (loc) l/defl L/d	MT20	244/190
TCDL 7.0	Plates Increase 1.25	BC 0.68	Vert(LL) -0.18 6-8 >999 240		
BCLL 10.0	Lumber Increase 1.25	WB 0.31	Vert(TL) -0.30 6-8 >999 180		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.10 6 n/a n/a		
	Code FBC2004/TPI2002			Weight: 156 lb	

LUMBER TOP CHORD 2 X 4 SYP No.2 BOT CHORD 2 X 4 SYP No.2 WEBS 2 X 4 SYP No.3	BRACING TOP CHORD Structural wood sheathing directly applied or 3-6-5 oc purlins. BOT CHORD Rigid ceiling directly applied or 7-11-4 oc bracing. WEBS 1 Row at midpt 3-9, 5-9
--	---

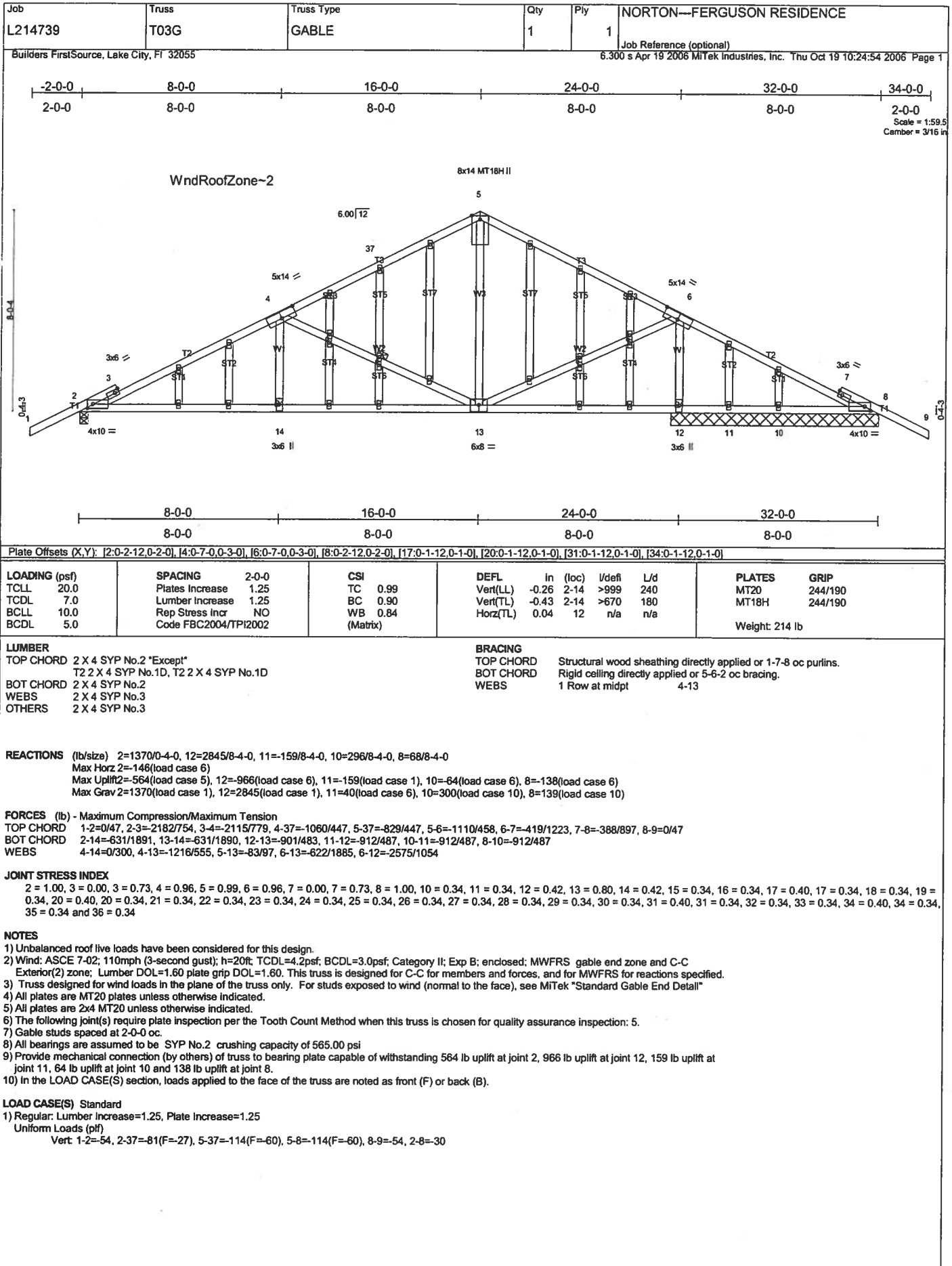
REACTIONS (lb/size) 2=1447/0-4-0, 6=1447/0-4-0
 Max Horz 2=150(load case 6)
 Max Uplift 2=558(load case 6), 6=558(load case 6)

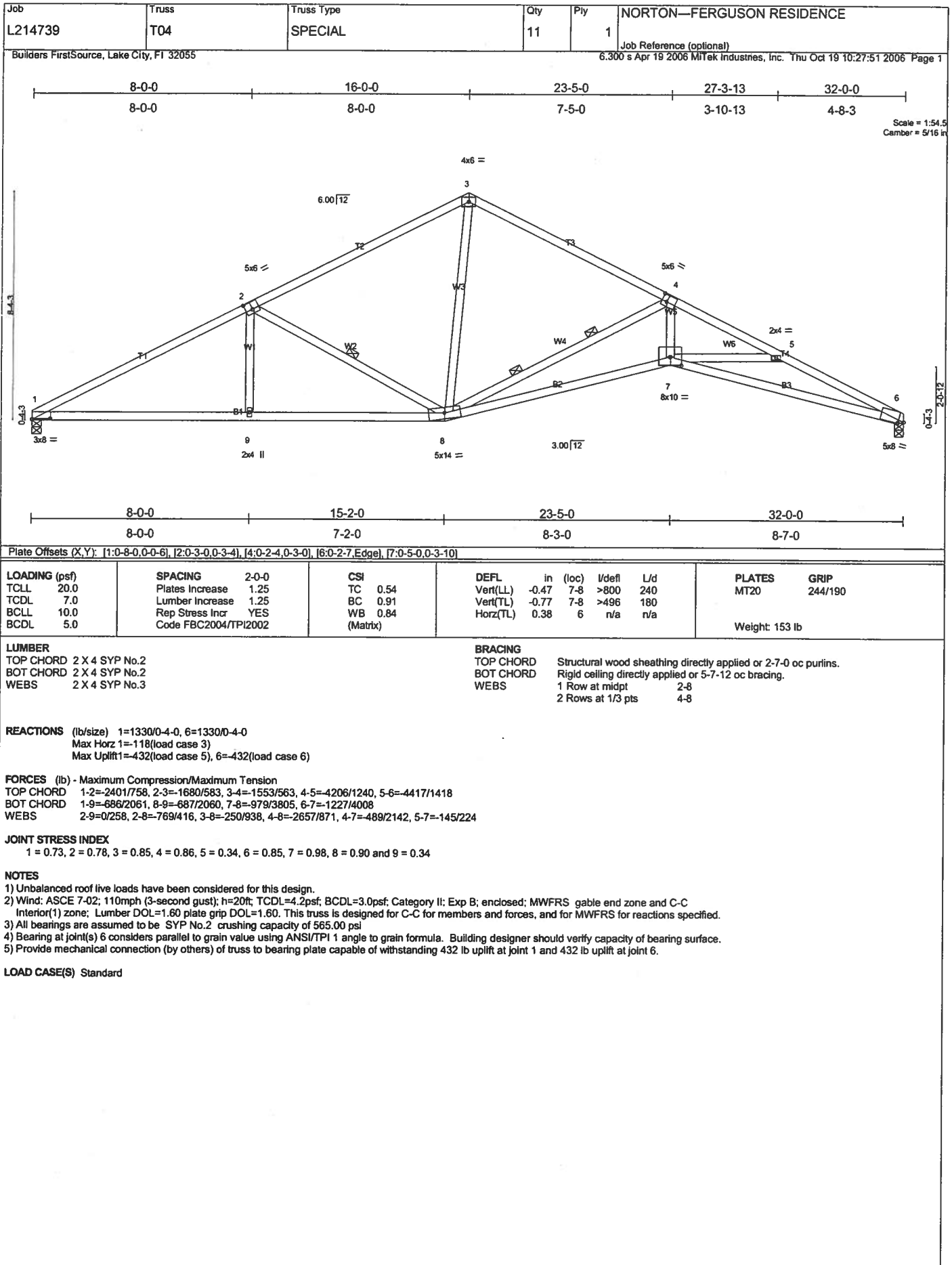
FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=0/47, 2-3=-2369/715, 3-4=-1604/557, 4-5=-1604/557, 5-6=-2369/715, 6-7=0/47
 BOT CHORD 2-10=-620/2029, 9-10=-620/2029, 8-9=-470/2029, 6-8=-470/2029
 WEBS 3-10=0/264, 3-9=-791/392, 4-9=-228/920, 5-9=-791/393, 5-8=0/264

JOINT STRESS INDEX
 2 = 0.75, 3 = 0.73, 4 = 0.62, 5 = 0.73, 6 = 0.75, 8 = 0.34, 9 = 0.55 and 10 = 0.34

NOTES
 1) Unbalanced roof live loads have been considered for this design.
 2) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C interior(1) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
 3) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi
 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 558 lb uplift at joint 2 and 558 lb uplift at joint 6.

LOAD CASE(S) Standard





Job: L214739 Truss: T05 Truss Type: GABLE Qty: 1 Ply: 1 Norton--FERGUSON RESIDENCE

Builders FirstSource, Lake City, FL 32055 6.300 s Apr 19 2006 MiTek Industries, Inc. Thu Oct 19 10:34:21 2006 Page 1

WndRoofZone-2

8x14 MT18H

Plate Offsets (X,Y): [2:0-3-8,Edge], [2:0-0-8,Edge], [8:0-3-8,Edge], [8:0-0-8,Edge], [24:0-1-12,0-1-0], [26:0-1-12,0-1-0], [33:0-1-12,0-1-0], [35:0-1-12,0-1-0]

LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase	1.25	TC 0.78	Vert(LL)	0.07	9	n/r	120	
TCCL 7.0	Lumber Increase	1.25	BC 0.62	Vert(TL)	0.12	9	n/r	90	
BCLL 10.0	Rep Stress Incr	NO	WB 0.49	Horz(TL)	0.01	8	n/a	n/a	
BCCL 5.0	Code FBC2004/TPI2002		(Matrix)						

Weight: 214 lb

LUMBER

TOP CHORD 2 X 4 SYP No.1D "Except"

T1 2 X 4 SYP No.2, T1 2 X 4 SYP No.2

BOT CHORD 2 X 4 SYP No.2

WEBS 2 X 4 SYP No.3

OTHERS 2 X 4 SYP No.3

BRACING

TOP CHORD Structural wood sheathing directly applied or 5-4-3 oc purlins.

BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.

REACTIONS (lb/size)

2=611/32-0-0, 8=611/32-0-0, 19=1895/32-0-0, 15=-708/32-0-0, 12=1895/32-0-0, 17=100/32-0-0, 18=36/32-0-0, 20=-59/32-0-0, 21=303/32-0-0, 14=100/32-0-0, 13=36/32-0-0, 11=-59/32-0-0, 10=303/32-0-0

Max Horz 2=-146(load case 6)

Max Uplift 2=-298(load case 5), 8=-319(load case 6), 19=-865(load case 5), 15=-708(load case 1), 12=-820(load case 6), 20=-59(load case 1), 21=-76(load case 6), 11=-59(load case 1), 10=-74(load case 6)

Max Grav 2=611(load case 1), 8=611(load case 1), 19=1895(load case 1), 15=311(load case 5), 12=1895(load case 1), 17=100(load case 1), 18=38(load case 10), 20=57(load case 6), 21=303(load case 1), 14=100(load case 1), 13=38(load case 9), 11=56(load case 6), 10=303(load case 1)

FORCES (lb) - Maximum Compression/Maximum Tension

TOP CHORD 1-2=-12/99, 2-3=-133/77, 3-4=-103/258, 4-5=-1210/531, 5-6=-1210/531, 6-7=-54/258, 7-8=-133/39, 8-9=-12/99

BOT CHORD 2-21=-43/187, 20-21=-43/187, 19-20=-43/187, 18-19=-43/187, 17-18=-43/187, 16-17=-43/187, 15-16=-43/187, 14-15=-43/161, 13-14=-43/161, 12-13=-43/161, 11-12=-43/161, 10-11=-43/161, 8-10=-43/161

WEBS 4-19=-1799/867, 4-15=-324/993, 6-15=-353/993, 6-12=-1799/821

JOINT STRESS INDEX

2 = 0.72, 2 = 0.18, 3 = 0.00, 3 = 0.93, 4 = 0.67, 5 = 1.00, 6 = 0.67, 7 = 0.00, 7 = 0.93, 8 = 0.72, 8 = 0.18, 10 = 0.34, 11 = 0.34, 12 = 0.66, 13 = 0.34, 14 = 0.34, 15 = 0.45, 16 = 0.15, 17 = 0.34, 18 = 0.34, 19 = 0.66, 20 = 0.34, 21 = 0.34, 22 = 0.34, 23 = 0.34, 24 = 0.40, 24 = 0.34, 25 = 0.34, 26 = 0.40, 26 = 0.34, 27 = 0.34, 28 = 0.34, 29 = 0.34, 30 = 0.34, 31 = 0.34, 32 = 0.34, 33 = 0.40, 33 = 0.34, 34 = 0.34, 35 = 0.40, 35 = 0.34, 36 = 0.34 and 37 = 0.34

NOTES

1) Unbalanced roof live loads have been considered for this design.

2) Wind: ASCE 7-02: 110mph (3-second gust); h=20ft; TCCL=4.2psf; BCCL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.

3) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see MiTek "Standard Gable End Detail"

4) All plates are MT20 plates unless otherwise indicated.

5) All plates are 2x4 MT20 unless otherwise indicated.

6) The following joint(s) require plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection: 5.

7) Gable requires continuous bottom chord bearing.

8) Gable studs spaced at 2-0-0 oc.

9) All bearings are assumed to be SYP No.2 crushing capacity of 565.00 psi

10) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 298 lb uplift at joint 2, 319 lb uplift at joint 8, 865 lb uplift at joint 19, 708 lb uplift at joint 15, 820 lb uplift at joint 12, 59 lb uplift at joint 20, 76 lb uplift at joint 21, 59 lb uplift at joint 11 and 74 lb uplift at joint 10.

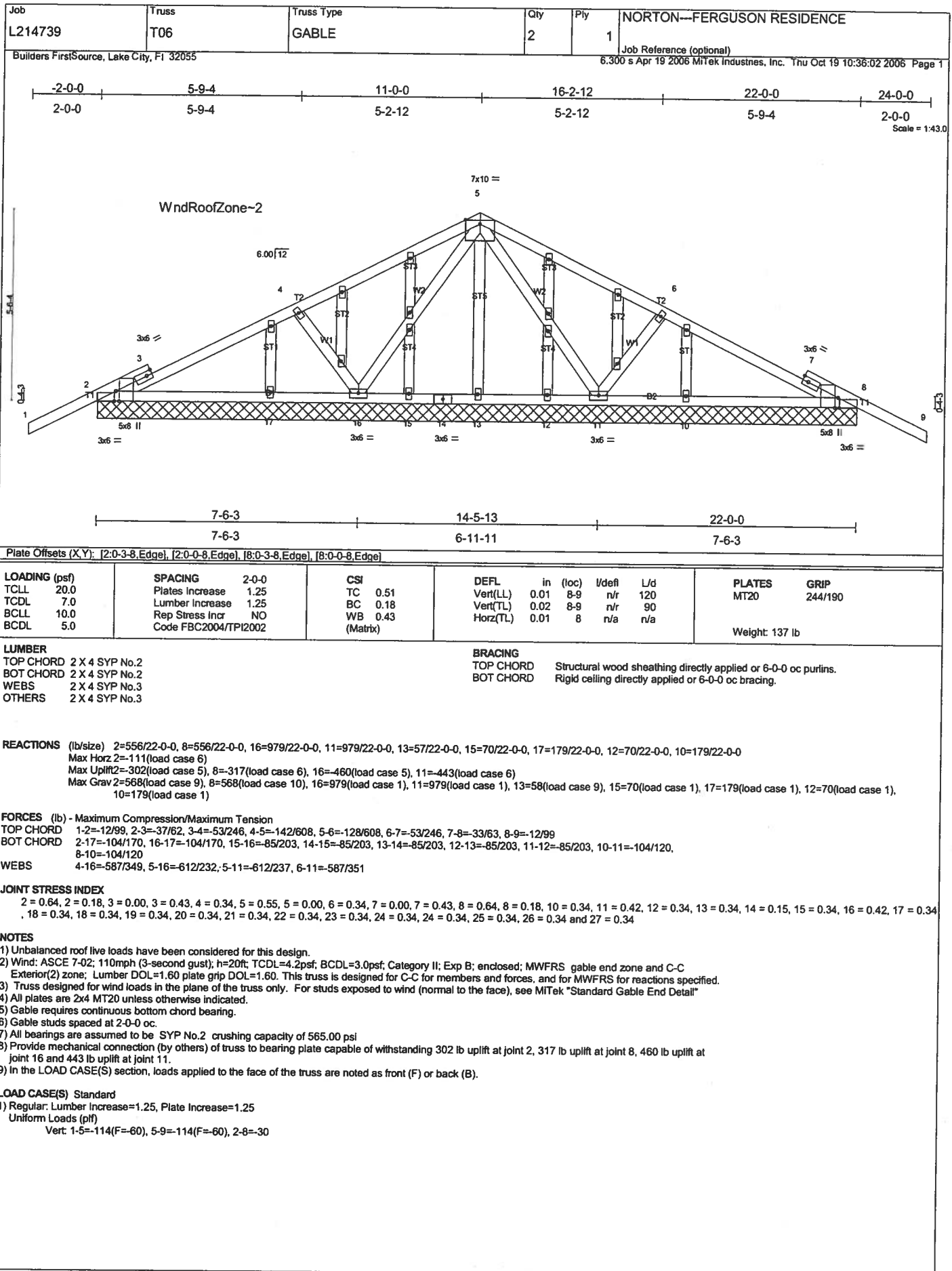
11) In the LOAD CASE(S) section, loads applied to the face of the truss are noted as front (F) or back (B).

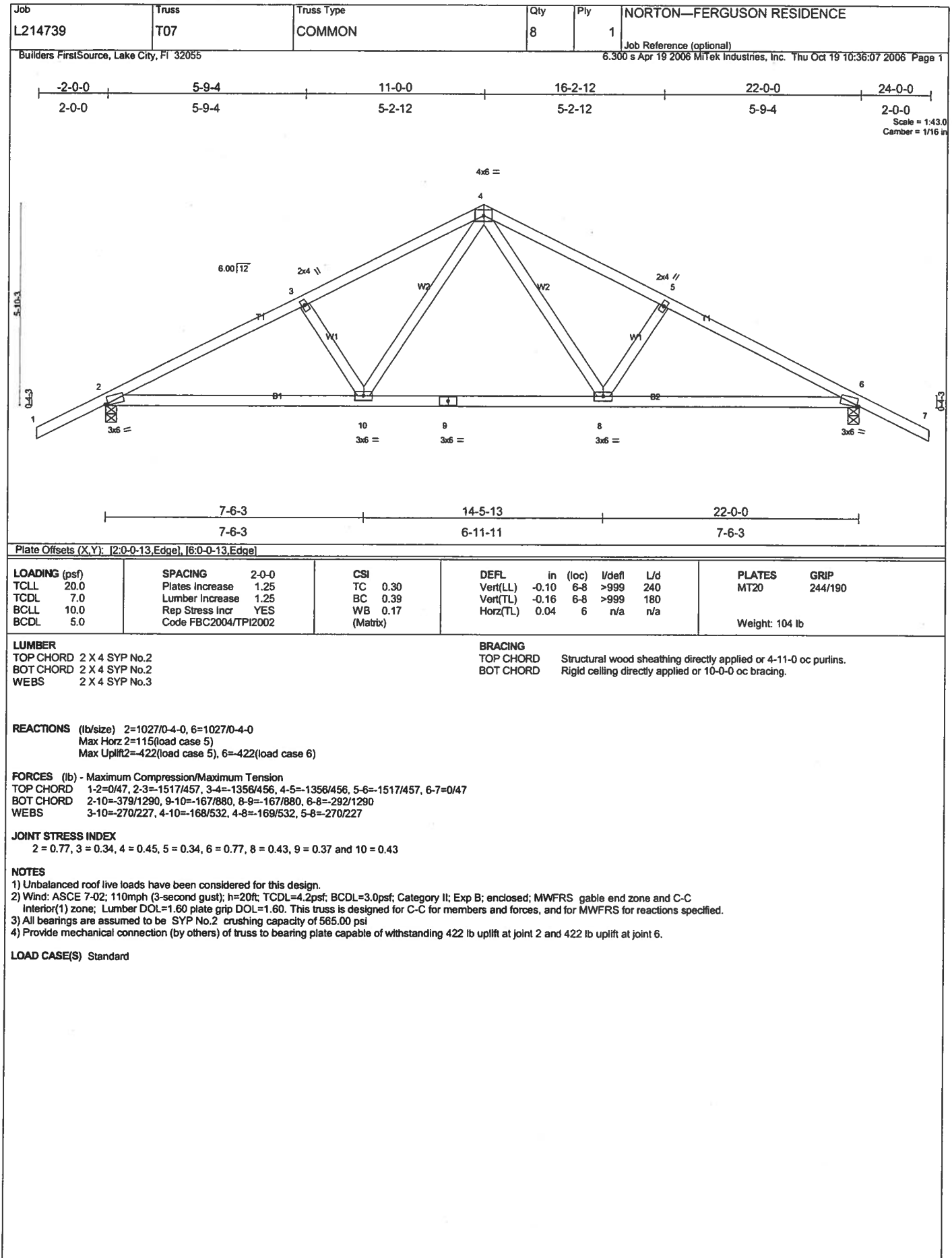
LOAD CASE(S) Standard

1) Regular: Lumber Increase=1.25, Plate Increase=1.25

Uniform Loads (plf)

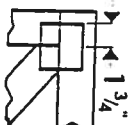
Vert 1-5=-114(F=-60), 5-9=-114(F=-60), 2-8=-30



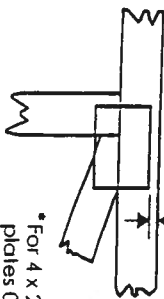


Symbols

PLATE LOCATION AND ORIENTATION



* Center plate on joint unless x, y offsets are indicated. Dimensions are in 1/16-in. sixteenths. Apply plates to both sides of truss and securely seal.



* For 4 x 2 orientation, locate plates 0 1/16" from outside edge of truss.

* This symbol indicates the required direction of slots in connector plates.

* Plate location details available in Mitek 20/20 software or upon request.

PLATE SIZE

4 X 4

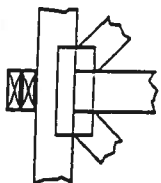
The first dimension is the width perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING



Indicated by symbol shown and/or by text in the bracing section of the output. Use T, L or Eliminator bracing if indicated.

BEARING



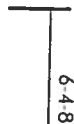
Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur.

Industry Standards:
ANSI/FP11:

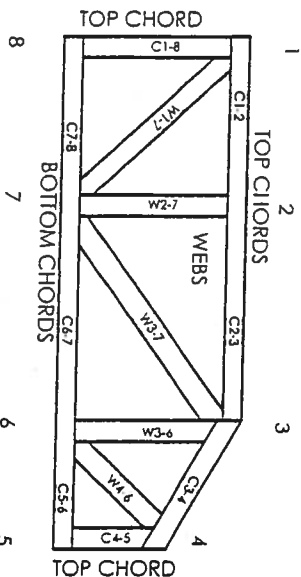
DSB-89:
BCS11:

National Design Specification for Metal Plate Connected Wood Truss Construction.
Design Standard for Bracing.
Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System



dimensions shown in 1/16-in. sixteenths



JOINTS ARE GENERALLY NUMBERED/LETTERED CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

CONNECTOR PLATE CODE APPROVALS

BOCA	96-31, 95-43, 96-20-1, 96-67, 84-32
ICBO	4922, 5243, 5363, 3907
SBCCI	9667, 9730, 9604B, 9511, 9432A

General Safety Notes

Failure to Follow Could Cause Properly Damage or Personal Injury

1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCS11.
2. Never exceed the design loading shown and never stack materials on inadequately braced trusses.
3. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
4. Cut members to bear tightly against each other.
5. Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by ANSI/FP11.
6. Design assumes trusses will be suitably protected from the environment in accord with ANSI/FP11.
7. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
8. Unless expressly noted, this design is not applicable for use with fire retardant or preservative treated lumber.
9. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
10. Plate type, size, orientation and location dimensions shown indicate minimum plating requirements.
11. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
12. Top chords must be sheathed or purlins provided at spacing shown on design.
13. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
14. Connections not shown are the responsibility of others.
15. Do not cut or alter truss member or plate without prior approval of a professional engineer.
16. Install and load vertically unless indicated otherwise.



Mitek Engineering Reference Sheet: Mil-7473

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**AAMA/WDMA 101/I.S. 2-97
TEST REPORT**

Rendered to:

JORDAN COMPANIES

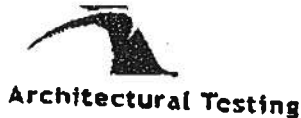
SERIES/MODEL: Series 8900

TYPE: PVC Fixed Window

Title of Test	Results
AAMA Rating	F-C50 60 x 78
Uniform Load Deflection Test Pressure	± 50.0 psf
Air Infiltration	< 0.01 cfm/ft^2
Water Resistance Test Pressure	7.5 psf
Uniform Load Structural Test Pressure	± 75.0 psf
Corner Weld Test	Pass
Forced Entry Resistance	Grade 40

Reference should be made to full report for test specimen description and data.

Report No: 02-46046.01
Report Date: 07/23/03
Expiration Date: 07/17/07



AAMA/WDMA 101/I.S. 2-97 TEST REPORT

Rendered to:

JORDAN COMPANIES
4661 Burbank Road, P.O. Box 18377
Memphis, Tennessee 38118

Report No: 02-46046.01
Test Date: 07/17/03
Report Date: 07/23/03
Expiration Date: 07/17/07

Project Summary: Architectural Testing, Inc. (ATI) was contracted by Jordan Companies, to perform testing on Series 8900 PVC Fixed window. The sample tested successfully met the performance requirements for a F-C50 60 x 78 rating. Test specimen description and results are reported herein.

Test Procedure: The test specimens were evaluated in accordance with AAMA/WDMA 101/I.S. 2-97, "Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors."

Test Specimen Description:

Series/Model: Series 8900

Type: PVC Fixed Window

Overall Size: 4' 11-3/4" wide by 6' 5-3/4" high

Area: 32.3 ft²

Finish: All vinyl was white.

Glazing Details: The window utilized a nominal 3/4" thick insulating glass unit fabricated from two nominal double strength sheets of annealed glass separated by a desiccant filled metal spacer system. The glass was set from the interior against a silicone sealant backbedding. PVC glazing stops were utilized on the interior.

Frame Construction: The frame corners were miter cut and welded.

Installation: The window was installed within a nominal 2" by 8" SPF wood test buck. The window was anchored to the buck with #8 by 1-5/8" wood screws spaced 6" from each corner and 8" to 10" on center. Silicone sealant was used to seal the window to the test buck.

849 Western Avenue North
Saint Paul, MN 55117-5245
phone: 651.636.3835
fax: 651.636.3843
www.archtest.com

Test Results: The results are tabulated as follows:

<u>Paragraph</u>	<u>Title of Test – Test Method</u>	<u>Results</u>	<u>Allowed</u>
2.1.2	Air Infiltration per ASTM E 283-91 (See Note #1) @ 1.57 psf (25 mph) @ 6.24 psf (50 mph)	<0.01 cfm/ft ² <0.01 cfm/ft ²	0.30 cfm/ft ² max. --

Note #1: The tested specimen meets (or exceeds) the performance levels specified in AAMA/WDMA 101/I.S. 2-97 for air infiltration.

2.1.3	Water Resistance per ASTM E 547-00 (See Note #2)		
2.1.4.1	Uniform Load Deflection per ASTM E 330-97 (See Note #2)		
2.1.4.2	Uniform Load Structural per ASTM E 330-97 (See Note #2)		

Note #2: The client opted to start at a pressure higher than the minimum required. Those results are listed under "Optional Performance."

2.1.7	Welded Corner Test	Pass	<100% break on weld
2.1.8	Forced Entry Resistance per ASTM F 588-97 Type D Grade 40 Lock Manipulation Test	No entry	No entry

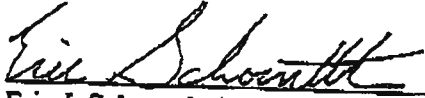
Optional Performance:

4.3	Water Resistance per ASTM E 547-00 and 331-00 WTP = 7.5 psf	No leakage	No leakage
4.4.1	Uniform Load Deflection per ASTM E 330-97 (See Note #3) (Measurements reported were taken in between the anchor points) (Loads were held for 60 seconds) @ 50.0 psf (positive) @ 50.0 psf (negative)	0.04" 0.03"	No Damage No Damage
4.4.2	Uniform Load Structural per ASTM E 330-97 (Measurements reported were taken in between the anchor points) (Loads were held for 10 seconds) @ 75.0 psf (positive) @ 75.0 psf (negative)	<0.01" <0.01"	0.16" max. 0.16" max.

Note #3: The Uniform Load Deflection test is not an AAMA/WDMA 101/I.S. 2-97 requirement for this product designation. The data is recorded in this report for information only.

Detailed drawings, representative samples of the test specimen, and a copy of this report will be retained by ATI for a period of four years. The above results were secured by using the designated test methods and they indicate compliance with the performance requirements of the above referenced specification. This report does not constitute certification of this product which may only be granted by the certification program administrator. This report may not be reproduced, except in full, without the approval of Architectural Testing, Inc.

For ARCHITECTURAL TESTING, INC.



Eric J. Schoenthaler
Technician



Daniel A. Johnson
Regional Manager

EJS/mb
02-46046.01



January 31, 2002

TO: OUR FLORIDA CUSTOMERS:

Effective February 1, 2002, the following TAMKO shingles, as manufactured at TAMKO's Tuscaloosa, Alabama, facility, comply with ASTM D-3161, Type I modified to 110 mph. Testing was conducted using four nails per shingle. These shingles also comply with Florida Building Code TAS 100 for wind driven rain.

- Glass-Seal AR
- Elite Glass-Seal AR
- ASTM Heritage 30 AR (formerly ASTM Heritage 25 AR)
- Heritage 40 AR (formerly Heritage 30 AR)
- Heritage 50 AR (formerly Heritage 40 AR)

All testing was performed by Florida State certified independent labs.

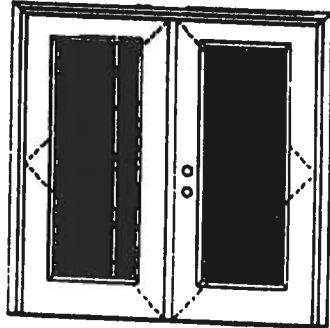
Please direct all questions to TAMKO's Technical Services Department at 1-800-641-4691.

TAMKO Roofing Products, Inc.

XX

Glazed Inswing Unit

COP-WL-JH4142-02

WOOD-EDGE STEEL DOORS**APPROVED ARRANGEMENT:****Note:**

Units of other sizes are covered by this report as long as the panels used do not exceed 3'0" x 6'8".

Double Door

Maximum unit size - 6'0" x 6'8"

Design Pressure**+40.5/-40.5**

Limited water values special threshold design is used.

Large Missile Impact Resistance**Hurricane protective system (shutters) is REQUIRED.**

Actual design pressure and impact resistant requirements for a specific building design and geographic location is determined by ASCE 7 national, state or local building codes specify the edition required.

MINIMUM ASSEMBLY DETAIL:

Compliance requires that minimum assembly details have been followed - see MAD-WL-MA0002-02 and MAD-WL-MA0041-02.

MINIMUM INSTALLATION DETAIL:

Compliance requires that minimum installation details have been followed - see MID-WL-MA0002-02.

APPROVED DOOR STYLES:**1/4 GLASS:**

100 Series



133, 135 Series



136 Series



680 Series



622 Series

1/2 GLASS:

106 Series*



106, 160 Series*



180 Series*



200 Series*



12 R/L, 23 R/L, 24 R/L Series*



107 Series*



108 Series



304 Series

*This glass kit may also be used in the following door styles: 6-panel; 6-panel with acrol; Eyebrow 6-panel; Eyebrow 6-panel with acrol.

Johnson
EntrySystems

March 28, 2002

Our continuing program of product improvement makes special offers, design and product changes without notice.



Continuously from
Masonite
Masonite International Corporation

XX

Glazed Inswing Unit

COP-WL-JH4142-02

WOOD-EDGE STEEL DOORS**APPROVED DOOR STYLES:
3/4 GLASS:**

404 Series



410 Series



480 Series

FULL GLASS:

100 Series

114, 120, 122
Series

152 Series



140 Series



300 Series

CERTIFIED TEST REPORTS:

NCTL 210-1897-7, 8, 9, 10, 11, 12; NCTL 210-1861-4, 5, 6, 10, 11, 12; NCTL 210-2185-1, 2, 3

Certifying Engineer and License Number: Barry D. Portney, P.E. / 16258.

Unit Tested In Accordance with Miami-Dade BCCO PA202.

Evaluation report NCTL-210-2794-1

Door panels constructed from 26-gauge 0.017" thick steel skins. Both stiles constructed from wood. Top end rails constructed of 0.041" steel. Bottom end rails constructed of 0.021" steel. Interior cavity of slab filled with rigid polyurethane foam core. Slab glazed with insulated glass mounted in a rigid plastic lip lite surround.

Frame constructed of wood with an extruded aluminum threshold.

PRODUCT COMPLIANCE LABELING:

TESTED IN
ACCORDANCE WITH
MIAMI-DADE BCCO PA202

COMPANY NAME
CITY, STATE

To the best of my knowledge and ability the above side-hinged exterior door unit conforms to the requirements of the 2001 Florida Building Code, Chapter 17 (Structural Tests and Inspections).

State of Florida, Professional Engineer
Kurt Balthazor, P.E. - License Number 56533

Johnson
EntrySystems

March 29, 2002

Our continuing program of product improvement makes specifications, design and product subject to change without notice.

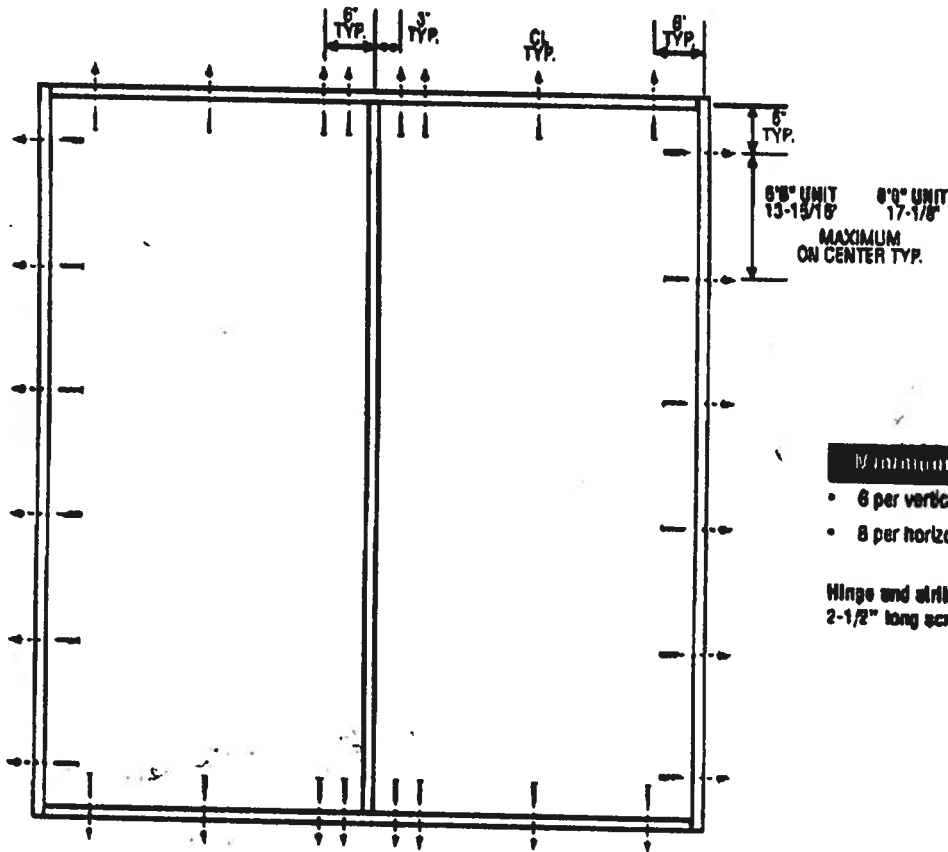
PREMIER Collection
Premium Quality Doors



Exclusively from
Masonite

Masonite International Corporation

DOUBLE DOOR



Minimum Fastener Count

- 6 per vertical framing member
- 8 per horizontal framing member

Hinge and strike plates require two 2-1/2" long screws per location.

Latching Hardware:

- Compliance requires that GRADE 2 or better (ANSI/BHMA A156.2) cylindrical and deadlock hardware be installed.

Notes:

1. Anchor calculations have been carried out with the lowest (least) fastener rating from the different fasteners being considered for use. Fasteners analyzed for this unit include #8 and #10 wood screws or 3/16" Tapcons.
2. The wood screw single shear design values come from Table 11.3A of ANS/AF & PA NDS for southern pine lumber with a side member thickness of 1-1/4" and penetration of minimum embedment. The 3/16" Tapcon single shear design values come from the ITW and ELCO Dad's Country approvals respectively, each with minimum 1-1/4" embedment.
3. Wood bucks by others, must be anchored properly to transfer loads to the structure.

March 29, 2002

Our continuing program of product improvement means specifications, design and product details subject to change without notice.



Exclusively from
Masonite

Masonite International Corporation

CLIENT INFORMATION: NAME: NORTON
 ADDRESS: CITY, STATE: LAKE CITY, FLORIDA
 900 EAST PUTNAM STREET 32055
 CLIENT: DATE: DESIGNER: LAMAR BOOZER
 NORTON 6 21 07

RESIDENTIAL/LIGHT COMMERCIAL HVAC LOADS

TOTAL BUILDING LOADS:

BLDG. LOAD	DESCRIPTIONS	AREA	SEN. LOSS	LAT. +	SEN. = TOTAL
3-C WINDOW DBL PANE CLR GLS METL FR	85	2,773	0	2,964	2,964
12-D WALL R-11 +1/2" ASPHLT BRD(R-1.3)	1,219	4,389	0	2,400	2,400
11-C DOOR METAL POLYSTYRENE CORE	40	846	0	462	462
16-G CEILING R-30 INSULATION	1,647	2,627	0	2,627	2,627
22-A SLAB ON GRADE NO EDGE INSUL	111	4,046	0	0	0
SUBTOTALS FOR STRUCTURE:					
PEOPLE	10	0	0	3,000	3,000
APPLIANCES	0	0	800	1,500	2,300
DUCTWORK	0	734	0	1,841	1,841
INFILTRATION W.CFM:	0.0	0	7,859	5,449	13,308
VENTILATION W.CFM:	0.0	0	0	0	0
SENSIBLE GAIN TOTAL				20,243	
TEMP. SWING MULTIPLIER				X 1.00	
BUILDING LOAD TOTALS		15,415	8,659	20,243	28,902

SUPPLY CFM AT 20 DEG DT: 920
 SQUARE FT. OF ROOM AREA: 1,647
 CFM PER SQUARE FOOT: 0.520
 SQUARE FOOT PER TON: 734.482
 TOTAL HEATING REQUIRED WITH OUTSIDE AIR: 15.415 MBH
 TOTAL COOLING REQUIRED WITH OUTSIDE AIR: 2.409 TONS

CALCULATIONS ARE BASED ON 7TH EDITION OF ACCA MANUAL J.
 ALL COMPUTED RESULTS ARE ESTIMATES AS BUILDING USE AND WEATHER MAY VARY.
 BE SURE TO SELECT A UNIT THAT MEETS BOTH SENSIBLE AND LATENT LOADS.

CHERRYBURN
OF
CALANDRA

O C C U P A N C Y

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 25-4S-16-03121-055

Building permit No. 000026025

Use Classification SFD, UTILITY

Fire: 70.62

Permit Holder JAMES H. NORTON

Waste: 184.25

Owner of Building NORTON HOME IMP. CO., INC.

Total: 254.87

Location: 181 SW BRIARBROOK PLACE, LAKE CITY, FL

Date: 11/16/2007

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



This agreement made this 16th day of NOVEMBER, in the year of 2007, in the City of LAKE CITY, State of Florida by and between Florida Pest Control & Chemical Co., hereinafter called the First Party or Florida Pest or FPC and NORTON HOME BUILDERS of age and a resident of City LAKE CITY, State of FL, who declares himself to be the owner, and/or agent of the owner, of the below named property, hereinafter called Owner or the Second Party. Second Party hereby asserts, confirms and warrants that he/she/it has read, understood, and agreed to this contract, and is/are the owner(s) of the subject property and covered structure(s), and/or the authorized agent or representative of any and all said owners, with full power and authority to execute this contract and forever bind all owners and their principals, agents, heirs, representatives, successors, and assigns.

Witnesseth:

1. FPC agrees to treat the following specifically identified Structure(s): DWELLING at the address 181 SW BRIARBROOK PL (Street) LAKE CITY (City), FLORIDA for the control and/or prevention of "ground-originating" subterranean termites, including Formosan Termites (*Coptotermes Formosanus*). This Contract does not cover detached garages, out buildings, fences, decks or other buildings, construction or improvements to the property located at the above address, unless specified in writing on this Contract. At no additional cost, other than the annual renewal fee, FPC will make visual re-inspections of the property yearly for as many years as the owner keeps this contract in force and FPC will give additional treatment at anytime during the life of this contract, if Subterranean Termite infestation is found. The inspection will be of readily accessible areas only. The inspection will not cover areas that are enclosed, inaccessible or concealed by wall coverings, floor coverings, furniture, equipment, stored articles, nor any portion of the Structure(s) in which the inspection would necessitate removing or detaching any part of Structure(s). FPC will not open any walls, remove any floor coverings or move any furniture, equipment or other obstructions during the inspection to access or inspect any portion of the Structure(s). Customer acknowledges and accepts that this visual inspection of the readily accessible areas of the Structure(s) is a reasonable inspection for purposes of this Contract. Customer understands and agrees that any inspection of Structure(s) undertaken by FPC, and any representations, statements or reports made by the inspector or FPC about the inspection or Structure(s) should not be construed as an opinion, guaranty, warranty or promise regarding the structural integrity or soundness of the Structures) nor as an opinion, guaranty, warranty or promise of the presence or absence of subterranean termites, or other wood destroying organisms or damage to any portion of the Structure(s). Owner also acknowledges FPC is not authorized, nor licensed to, and does not, and can not, inspect for mold, and FPC gives no treatment nor opinion on health related effects or indoor air quality related to any fungi, whatsoever.

2. Price: Second Party hereby agrees and binds himself to pay FPC upon completion of the initial work, as compensation for labor, material and service herein contracted for, the sum of \$ 461.00 dollars, plus sales tax, if required, to be paid as follows: Cash (), Check ☒ , Credit Card (), Other (). This contract expires at the end of one year unless the option to renew is elected. At the expiration of this one-year contract, the Second Party may take advantage of the yearly termite service offered with this contract by paying FPC the annual renewal fee of \$ 230.00 dollars, plus sales tax, if required, each year NO LATER THAN 30 days after the Anniversary Date of this contract. FPC reserves the absolute right to adjust the annual renewal fee at the end of any contract year.

3. Finance Charge on Unpaid Balances: Any unpaid balance to bear interest at the rate of one and one-half (1-1/2) % per month, which is a FINANCE CHARGE, with an ANNUAL PERCENTAGE RATE of 18% on the unpaid balance.

THIS CONTRACT CONTAINS DISCLAIMERS, CONDITIONS, LIMITATIONS AND EXCLUSIONS.

4. **Damage Repair Commitment/Limitation:** This contract provides protection against NEW subterranean termite damage, as defined herein, up to \$250,000.00 for all claims over the life of this Contract, including renewals, but subject to a \$200.00 deductible for each new claim, beginning and effective upon the effective date of structural protection, as more particularly explained on the reverse side of this contract in paragraph 8.
5. **Entire Agreement and Severability:** This contract is the sole and entire agreement between the parties, and supercedes, replaces, and/or is an accord and satisfaction of any and all prior understandings, agreement(s), or contract(s) for the subject property (structure(s)) or between the parties. Any and all modifications, changes, or waivers must be in writing and signed by both parties. Customer agrees that if any part of this Contract is held to be invalid or unenforceable for any reason, the remaining terms and conditions of the Contract shall remain in full force and effect.
6. **Specific Exclusions:** This Agreement does not cover, and FPC and Owner specifically agree, FPC will not be responsible for:
- Damage of any kind to other than the covered Structure(s), such as, but not limited to, personal property and items in or around the covered structure.
 - Personal injury or damage of any kind which result/resulted in any way from moisture conditions created or caused by, and including, but not limited to, alteration(s) or structural modifications, construction defects, design defects, masonry failure, or grade alterations, whether visible or not; and/or fungus, mold, or wood rot, whether visible or not.
 - Damage resulting from moisture or dampness problems associated with above ground moisture accumulation caused by any natural or man-made source, including, but not limited to, accumulation, condensation, or leaks from exterior walls, roofs, skylights, chimneys, gutters, down spouts, windows, doors, plumbing, plumbing fixtures, air conditioning and heating equipment and associated pipes, pans, and duct work, inadequate ventilation, poor drainage, soil washout, etc.
 - Protection against and/or damage by Drywood Termites, any aerial (not from ground) infestation of subterranean termites, or any form or specie of insect, pest, or wood destroying organism, other than "ground originating" subterranean termites. Any termite infestation and resulting damage which does not occur by access from the soil (ground originating) is excluded from this coverage.
 - Damage of any and every kind resulting from a construction with stucco on wire lath on frame and/or rigid foam board and/or expanded foam materials in contact with the soil or covering interior or exterior foundation walls in such a way as to provide termites with hidden and/or protected access to the structure, whether visible or not.
 - Damage of any and every kind of resulting where wood, such as, but not limited to, posts, form boards, form & grade stakes, lumber, trash, debris, etc., were/has been/are in direct contact with the soil, whether visible or not, and/or covered by or buried under the foundation, whether visible or not, or where open areas/spaces or cracks existed/exist in the foundation slab, whether visible or not.
 - Any damage to, or repair/replacement of, the Structure(s), or its contents, that existed prior to the date of this Contract or the date of the preconstruction treatment, or the repair effective date, as defined herein, whichever occurs later, regardless whether or not such damage is noted on the initial graph. Customer agrees that the damage disclosed on the initial graph may not represent all the existing damage to the Structure(s). Customer further agrees that FPC does not represent or guarantee that the initial graph represents all existing damage to the Structure(s).
 - FPC agrees to use all reasonable care when providing initial and subsequent termite treatment in order to avoid damage to shrubs, vegetation and other property, but under no circumstances or conditions will FPC be responsible for damages to shrubs, vegetation, sprinklers, plumbing, wiring, cable, well, etc., occurring during treatment and control work, other than that caused by negligence on the part of FPC.
 - Costs & expenses to determine whether or not damage exists or existed, and/or to determine the extent of any damage.
 - Personal expenses such as, but not limited to, lodging, meals, transportation, medical expenses, day care, moving and storage costs, etc., incurred as a result of treatment, retreatment and/or damage repair.
 - Loss of rental/income or any type business opportunity because of treatment, retreatment or damage repair.
7. **Disclaimer and Limitation:** The terms herein constitute the entire agreement, and is expressly limited to and by the provisions set forth herein. All other obligations, promises, warranties, or guarantees, either expressed or implied, are hereby expressly disclaimed.

I/WE HAVE READ BOTH SIDES OF THIS CONTRACT IN ITS ENTIRETY AND FULLY UNDERSTAND AND ACCEPT ITS CONTENT, INCLUDING THE GENERAL TERMS AND CONDITIONS AND ANY EXCLUSIONS, DISCLAIMERS, LIMITATIONS, OR CONDITIONS CONTAINED WITHIN THIS CONTRACT.

Owner: _____ Date: _____ By: Phillip Arnold
 Florida Pest Control & Chemical Co.

Second Party: _____ Date: _____ Treatment type: ☐ Pre-construction ☒ Post-construction



Scientific Pest Control Under
The Direction of
Graduate Entomologists

WOOD INFESTING ORGANISM INSPECTION REPORT AND ESTIMATE

Address of Property 181 SW Briarbrook PL
Lake City FL County Columbia
Owner's Name and Address Norton Home Builders
North Ferguson
Home Phone _____ Mobile Phone _____ Work Phone 365-5051

CONSTRUCTION DETAILS

Type Building Dwelling Type Piers N/A
Foundation Wall Segmented Crawl or Slab 100%
Space Between Joists and Ground N/A
Type Construction Frame / Brick
Total Sq Ft 2244 Total Linear Ft 202 Total Cu Ft N/A

Date 11-15-07
Requested by Janos
Inspected by PH/11/07
Office Lake City

AREA OF STRUCTURE(S) NOT INSPECTED: limited, foundation - Brick, (3) Fences Enclosed, (3) Attic - Construction (if applicable)

INSPECTION RESULTS: A visible inspection of the accessible areas of the above property shows:

Subterranean Termites None Visible @ time of inspection FLX COL Tu Jan 2

Drywood Termites None Visible @ time of inspection 752-6422

Powder Post Beetles None Visible @ time of inspection

Fungi (wood rot) None Visible @ time of inspection

Other Insects Spiders

Wood Debris None Visible @ time of inspection

Plumbing or Roof Leaks None Visible @ time of inspection

DAMAGE REPORT: (Report visible damage caused by any of the above)

Same As Above

Modifications or alterations required to qualify for service policy None (if yes, list on back)

REMARKS:

Recommend treating home for Subterranean Termites with 1 year
guarantee and 1 year optional renewal as indicated below

NOTE: THIS REPORT IS MADE ON THE BASIS OF WHAT WAS VISIBLE AND ACCESSIBLE AT THE TIME OF THE INSPECTION. THIS IS NOT A STRUCTURAL DAMAGE REPORT. This report shall not be construed to constitute a guarantee of the absence of wood destroying organisms or damage or other evidence. This report is not to be used for real estate transactions.

Type Policy	Type Treatment	Estimates for Control Work	Annual Contract Renewal
<u>Damage Repair</u>	<u>Subterranean Termites</u>	\$ <u>230.00</u> <u>4 units</u>	\$ <u>230.00</u>
		\$ <u>250.00</u>	\$ <u>175.00</u>
		Tax \$ _____	\$ _____
Retreat Follow Up Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Total \$ <u>711.00</u>	

James H. Norton
Accepted by Owner or Agent

Philip Howard
Florida Pest Control & Chemical Co

Accepted: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.



BRANCHES

• Crystal River • Daytona Beach • Ft. Walton Beach • Jacksonville South • Jacksonville West • Lake City • Milton • Ocala •
• Orlando • Palatka • Panama City • Pensacola • Starke • St. Augustine • Tallahassee • Winter Haven • Leesburg • Kissimmee •

MEMBER OF FLORIDA AND NATIONAL PEST CONTROL ASSOCIATIONS

Issued by 536 SE Baya Dr Lake City, FL 32025-6026 (Branch Office) Contract No. F-012836

DRYWOOD TERMITE RETREATMENT ONLY SERVICE CONTRACT

This agreement made this 16th day of NOVEMBER in the year of 2007, in the City of LAKE CITY, State of Florida by and between Florida Pest Control & Chemical Co., hereinafter called the First Party or Florida Pest or FPC and NORTON HOME BUILDERS of age and a resident of City LAKE CITY State of FL, who declares himself to be the owner, and/or agent of the owner, of the below named property, hereinafter called Owner or the Second Party. Second Party hereby asserts, confirms and warrants that he/she/it has read, understood, and agreed to this contract, and is/are the owner(s) of the subject property and covered structure(s), and/or the authorized agent or representative of any and all said owners, with full power and authority to execute this contract and forever bind all owners and their principals, agents, heirs, representatives, successors, and assigns.

THIS CONTRACT CONTAINS DISCLAIMERS, CONDITIONS, LIMITATIONS AND EXCLUSIONS

Witnesseth:

- Drywood Termite Treatment:** FPC agrees to treat the following specifically identified Structure(s): DWELLING at the address 181 SW BRIARBROOK PL (Street) LAKE CITY (City), FLORIDA for the prevention and/or control of only DRYWOOD termites. Treatment performed for the prevention of drywood termites during the dried in stage of new construction will be limited to only the wood members accessible at the time of treatment. Treatment performed to existing structure(s) for the prevention of drywood termites will be limited to specific areas. The areas to be treated will be determined by the type of construction. Treatment performed for an infestation or evidence of infestation of drywood termites will be limited to the area(s) in which live drywood termites or evidence of infestation of drywood termites is observed. All treatments will be limited to specific areas (localized/spot treatment) and are NOT to be considered a treatment of the entire structure(s). Due to the habits of drywood termites, more than one treatment may be required. This Contract does not cover detached garages, out buildings, fences, decks or other buildings, construction or improvements to the property located at the above address, unless specified in writing on this Contract. Annual Inspections: At no additional cost, other than the annual renewal fee, FPC will make visual re-inspections of the Structure(s) yearly for as many years as the owner keeps this contract in force and FPC will give additional treatment at anytime during the life of this contract, if drywood termite infestation is found. The inspection will be of readily accessible areas only. The inspection will NOT cover areas that are enclosed, inaccessible or concealed by wall coverings, floor coverings, furniture, equipment, stored articles, nor any portion of the Structure(s) in which the inspection would necessitate removing or defacing any part of the Structure(s). FPC will not open any walls, remove any floor coverings nor move any furniture, equipment or other obstructions during the inspection to access or inspect any portion of the Structure(s). Customer acknowledges and accepts that this visual inspection of the readily accessible areas of the Structure(s) is a reasonable inspection for purposes of this Contract. Customer understands and agrees that any inspection of the Structure(s) undertaken by FPC, and any representations, statements or reports made by the inspector or FPC about the inspection or Structure(s) should not be construed as an opinion, guaranty, warranty or promise regarding the structural integrity or soundness of the Structure(s) nor as an opinion, guaranty, warranty or promise of the presence or absence of drywood termites, or other wood destroying organisms or damage to any portion of the Structure(s). Owner also acknowledges FPC is not authorized, nor licensed to, and does not, and cannot, inspect for mold, and FPC gives no treatment nor opinion on health related effects or indoor air quality related to any fungi, whatsoever.
- Price:** Second Party hereby agrees and binds himself to pay FPC upon completion of the initial work, as compensation for labor, material and service herein contracted for, the sum of \$ 250.00 dollars, plus sales tax, if required, to be paid as follows: Cash (), Check (X), Credit Card (), Other (). This contract expires at the end of one year unless the option to renew is elected. At the expiration of this one-year contract, the Second Party may take advantage of the yearly termite service offered with this contract by paying FPC the annual renewal fee of \$ 175.00 dollars, plus sales tax, if required, each year NO LATER THAN 30 days after the Anniversary Date of this contract. FPC reserves the absolute right to adjust the annual renewal fee at the end of any contract year.
- Finance Charge on Unpaid Balances:** Any unpaid balance to bear interest at the rate of one and one-half (1-1/2) % per month, which is a FINANCE CHARGE, with an ANNUAL PERCENTAGE RATE of 18% on the unpaid balance.
- Terms of Limited Warranty:** This is a retreatment only contract for DRYWOOD termites only. FPC expressly limits its responsibility under this contract to only the retreatment of any subsequent infestation of drywood termites; such retreatment does not include the exploratory search for, nor repair nor replacement of, damaged woodwork (or any other type property or material), if any, which should or may result from any infestation.
- Entire Agreement and Severability:** This contract is the sole and entire agreement between the parties, and supersedes, replaces, and/or is an accord and satisfaction of any and all prior understandings, agreement(s) for drywood termite control, or contract(s) for the subject Structure(s) or between the parties. Any and all modifications, changes, or waivers to this contract must be in writing and signed by both parties. Customer agrees that if any part of this Contract is held to be invalid or unenforceable for any reason, the remaining terms and conditions of the Contract shall remain in full force and effect.
- Specific Exclusions:** This Agreement does not cover and FPC will not be responsible for:
 - Costs & expenses to determine whether or not damage or infestation exists or existed, and /or to determine the extent of any damage or infestation.
 - Personal Injury or damage of any kind which results/resulted in any way, or created or caused by, and including, but not limited to, moisture, dampness, alteration(s) or structural modifications, construction defects, design defects, masonry failure, or grade alterations, whether visible or not; and/or fungus, mold, or wood rot, whether visible or not.
 - Personal expenses such as, but not limited to, lodging, meals, transportation, medical expenses, day care, moving and storage costs, etc., incurred as a result of treatment, retreatment and/or damage repair.
 - Loss of rental/income or any type business opportunity because of treatment, retreatment or damage repair.
 - Protection against or damage by or from any and all species of Subterranean Termites, dampwood termites, or any form or specie of insect, pest or wood destroying organism, other than drywood termites.
 - Damage of any and all kinds to the covered structure(s), whether visible or not, or damage such as, but not limited to, personal property and items in or around the covered structure.
 - Matching existing wall coverings, wall paper, floor coverings, custom moldings, paneling, tile, etc., as a result of the treatment or retreatment.
 - Repairs of drywood termite damage or any other wood destroying organism damage.
 - FPC agrees to use all reasonable care when providing initial and subsequent termite treatment in order to avoid damage to shrubs, vegetation and other property, but under no circumstances or conditions will FPC be responsible for damages to shrubs, vegetation, sprinklers, plumbing, wiring, cable, well, etc., occurring during treatment and control work, other than that caused by negligence on the part of FPC.
- Disclaimer and Limitation:** The terms herein constitute the entire agreement, and are expressly limited to and by the provisions set forth herein. All other obligations, promises, warranties, or guarantees, either expressed or implied, are hereby expressly disclaimed.

TREATMENT WILL BE LIMITED TO SPECIFIC AREAS (LOCALIZED/SPOT TREATMENT) AND IS NOT TO BE CONSIDERED A TREATMENT OF THE ENTIRE STRUCTURE(S). THIS AGREEMENT DOES NOT COVER AND FPC WILL NOT BE RESPONSIBLE FOR REPAIRS OF DRYWOOD TERMITE DAMAGE OR ANY OTHER WOOD DESTROYING ORGANISM DAMAGE (See ¶ 4). THIS CONTRACT HAS AN ARBITRATION CLAUSE (See ¶13). (Owner's Initials)

I/WE HAVE READ BOTH SIDES OF THIS CONTRACT IN ITS ENTIRETY AND FULLY UNDERSTAND AND ACCEPT ITS CONTENT, INCLUDING THE GENERAL TERMS AND CONDITIONS, AND ANY EXCLUSIONS, DISCLAIMERS, LIMITATIONS, OR CONDITIONS CONTAINED WITHIN THIS CONTRACT.

Owner: _____ Date: _____ By: Philip Arnold Date: 11-16-07
Florida Pest Control & Chemical Co.

Second Party: _____ Date: _____