

C#3825

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION**For Office Use Only**

(Revised 6-23-05)

Zoning Official BK 27-03-06Building Official OK JH 3-23-06AP# 0603-88Date Received 3/23/06By GPPermit # 24314Flood Zone X ^{Per Survey}Development Permit N/AZoning A-3Land Use Plan Map Category A3

Comments

SECTION 14.9 Special Family Lt Permit Mother-Daughter

FEMA Map#

Elevation

Finished Floor

River

In Floodway

☒ Site Plan with Setbacks Shown☒ EH Signed Site Plan☐ EH Release☒ Well letter☐ Existing well☒ Copy of Recorded Deed or Affidavit from land owner☒ Letter of Authorization from InstallerFLOODPLAIN MAP, SITE PLANProperty ID # 04-75-17-09894-002 Must have a copy of the property deedNew Mobile Home ☒ Used Mobile Home _____ Year 06Applicant PEGGY A. FIVENSON Phone # 752-3155
565-0035

Address _____

Name of Property Owner PEGGY A. FIVENSON Phone# _____911 Address 20548 S US Highway 441, High Springs, 32643Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy

Name of Owner of Mobile Home _____ Phone # _____

Address _____

Relationship to Property Owner _____

Current Number of Dwellings on Property _____

Lot Size _____ Total Acreage 1 ACREDo you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)Is this Mobile Home Replacing an Existing Mobile Home NO (ONE) 402.19Driving Directions to the Property U.S. Hwy 441 South of Lake City - Approx
1 mile from OLENA STATE PARK on right side of Hwy - just
past BEAUMY ROAD - Located behind white house (20490)Name of Licensed Dealer/Installer RODWIN NORRIS Phone # 752 3871Installers Address 1000 SW Chat Ter.License Number TH0000019 Installation Decal # 2594222

Inst: 2006002400 Date: 02/01/2006 Time: 12:21
Doc Stamp Deed : 0.70
mk DC, P. DeWitt Cason, Columbia County B: 1072 P: 1001

Above Space Reserved for Recording
[If required by your jurisdiction, list above the name & address of: 1) where to return this form; 2) preparer; 3) party requesting recording.]

Quitclaim Deed

Date of this Document: FEBRUARY 1st, 2006

Reference Number of Any Related Documents: _____

Grantor:

Name INEZ W. MADDOX
Street Address 20490 S Hwy 441
City/State/Zip HIGH SPRINGS, FL 32643

Grantee:

Name PEGGY A. FIVENSON
Street Address 480 S.W. DANTE TERR.
City/State/Zip LAKE CITY, FL 32024

Abbreviated Legal Description (i.e., lot, block, plat or section, township, range, quarter/quarter or unit, building and condo name): See attached ~~EXH~~ "A"

Assessor's Property Tax Parcel/Account Number(s): _____

THIS QUITCLAIM DEED, executed this 1st day of FEBRUARY
2006, by first party, Grantor, INEZ W. MADDOX, whose
mailing address is 480 S.W. DANTE TERR. LAKE CITY, FL 32024, to
second party, Grantee, PEGGY A. FIVENSON,
whose mailing address is 480 SW DANTE TERR. LAKE CITY, FL 32024.

WITNESSETH that the said first party, for good consideration and for the sum of \$10.00
Dollars (\$) paid by the said second party, the receipt whereof is hereby acknowledged,
does hereby remise, release and quitclaim unto the said second party forever, all the right, title, interest and claim,

which the said first party has in and to the following described parcel of land, and improvements and appurtenances thereto in the County of Columbia, State of Florida to wit: _____

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first written above. Signed, sealed and delivered in the presence of:

Signature of Witness

Print Name of Witness

Signature of Witness

Print Name of Witness

Signature of Grantor

Print Name of Grantor

State of

County of

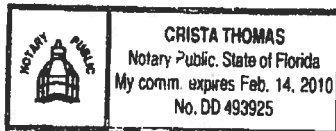
On

Feb 1st 2006, before me, Inez Maddox, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature of Notary

Affiant Known Produced ID
Type of ID FL/DL
(Seal)



Inst:2006002400 Date:02/01/2006 Time:12:21

Doc Stamp-Deed : 0.70

DC,P.DeMott Cason,Columbia County B:1072 P:1802

Attachment 'A'

BOUNDARY SURVEY IN SECTION 4, TOWNSHIP 7 SOUTH,
RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

SYMBOL LEGEND

■	4"X4" CONCRETE MONUMENT FOUND
□	4"X4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
⊕	POWER POLE
▲	WATER METER
⊙	CENTERLINE
*	WELL
⊙	SATELLITE DISH
⊙	TELEPHONE BOX
---	ELECTRIC LINES
---	WIRE FENCE
---	CHAIN LINK FENCE
---	WOODEN FENCE



SCALE: 1" = 100'

DESCRIPTION:

COMMENCE AT THE SW CORNER OF THE SE 1/4 OF THE SE 1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N.89°30'00"E., 1270.00 FEET; THENCE N.00°40'00"W., 903.00 FEET; THENCE N.75°52'00"W., 186.30 FEET; THENCE S.88°10'00"W., 152.71 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.88°10'00"W., 237.79 FEET; THENCE N.00°40'00"W., 186.65 FEET; THENCE N.89°30'00"E., 237.74 FEET; THENCE S.00°40'02"E., 181.12 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS LYING 30 FEET TO THE RIGHT OF THE FOLLOWING DESCRIBED LINE:

COMMENCE AT THE SW CORNER OF THE SE 1/4 OF THE SE 1/4 OF SECTION 4, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N.89°30'00"E., 1270.00 FEET; THENCE N.00°40'00"W., 903.00 FEET TO THE POINT OF BEGINNING OF SAID LINE; THENCE N.75°52'00"W., 186.30 FEET; THENCE S.88°10'00"W., 152.71 FEET TO THE POINT OF TERMINATION OF SAID LINE.

SAID EASEMENT IS TO EXTEND OR CONTRACT AS NEEDED TO CREATE THE BOUNDARIES THEREOF.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND.
2. BEARINGS ARE BASED ON A DEED OF RECORD AS HANDED THIS OFFICE.
3. THIS PARCEL IS IN ZONE 'X' AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 6 JANUARY, 1988 COMMUNITY PANEL NUMBER 120070 0280 B. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

ISSUE CHARGE AND MEETS THE MINIMUM
PROFESSIONAL SURVEYORS AND MAPPERS
SECTION 472.027, FLORIDA STATUTES.

[Signature]

BRITT SURVEYING, P.A.
TIFICATION # 5757

I, OF A FLORIDA LICENSED SURVEYOR AND
IMPOSES ONLY AND IS NOT VALID.



BRITT SURVEYING

LAND SURVEYORS AND MAPPERS

830 WEST DUVAL STREET LAKE CITY, FLORIDA 32835

(386)752-7163 FAX (386)752-5573

WORK ORDER # L-17013

Inst: 2006002400 Date: 02/01/2006 Time: 12:21
Doc Stamp-Deed : 0.70
DC, P. Dewitt Cason, Columbia County B: 1072 P: 1603

STATE ROAD NO. 25-6
(PAVED/PUBLIC)
34.45'
33.96'

Survey For Possible Location

RECEIVED

FEB 10 2006

911 Addressing

**Columbia County Property Appraiser**

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 04-7S-17-09894-000 HX SX - SINGLE FAM (000100)COMM SW COR OF SE1/4 OF SE1/4, RUN E 1270 FT TO W R/W US-41, N ALONG
R/W 903 FT FOR POB,

Name: MADDOX INEZ &	LandVal	\$29,520.00
Site: US HWY 441	BldgVal	\$45,426.00
PEGGY FIVENSON (JTWRS)	ApprVal	\$75,846.00
Mail: 480 SW DANTE TER	JustVal	\$75,846.00
LAKE CITY, FL 32024	Assd	\$75,846.00
Sales	Exmpt	\$50,000.00
Info	Taxable	\$25,846.00

0 190 380 570 ft

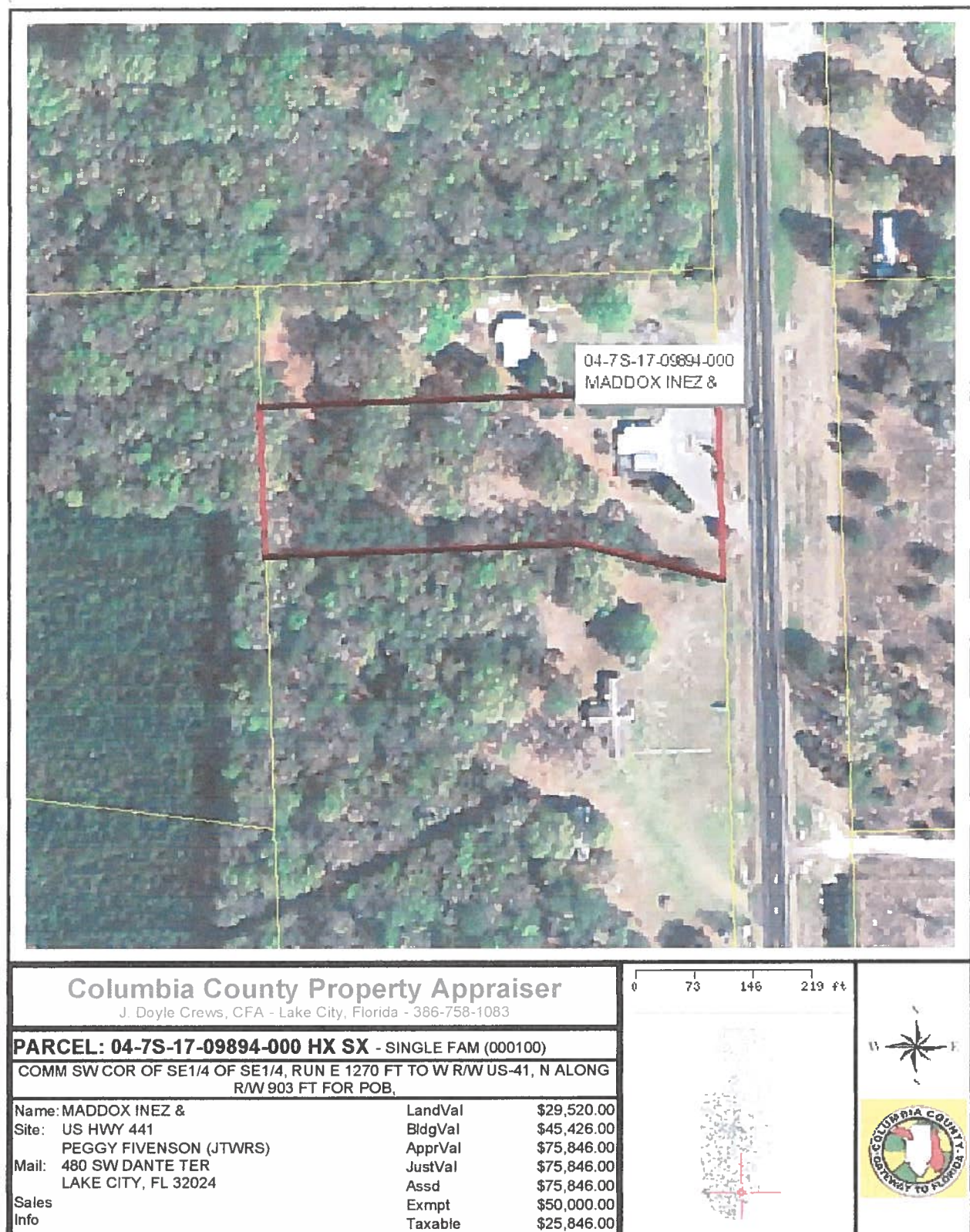


This information, GIS Map Updated: 2/10/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

PAC: Peggy A Fiverson

752-3155

Self



This information, GIS Map Updated: 2/10/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



20393

20424

20495

20196

20542

0492

2139

2231

SE S

20514

100

20632

20630

HALL'S PUMP & WELL SERVICE, INC.

904 NW MAIN BLVD.
LAKE CITY, FLORIDA 32055
(386) 755-4978
(386) 752-1854

SOLD BY		DATE		
		3-17-06		
NAME		Mo. Peggy Swenson		
ADDRESS		20548 S US #41+41		
CITY		High Springs, FL		
<input type="checkbox"/> CASH <input type="checkbox"/> C.O.D.		<input checked="" type="checkbox"/> CHARGE <input type="checkbox"/> PAID OUT		
		<input type="checkbox"/> LESS OVERSISE RETURNED <input type="checkbox"/> PAID AMOUNT		
QTY.		DESCRIPTION	PRICE	AMOUNT
1	1	4" well with a		
	2	1 hp submersible		
	3	pump and 8' gal.		
	4	diaphragm		
	5	type water tank		
	6	to 100 ft.		2750.00
	7	Permit		40.00
	8			
	9			
	10			2790.00
	11			
	12			
	13			
	14			
	15			
	16			
RECEIVED BY		TOTAL		

8377

THANK YOU

PERMIT NUMBER

Installer

License #

Address of home being installed

Manufacturer

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

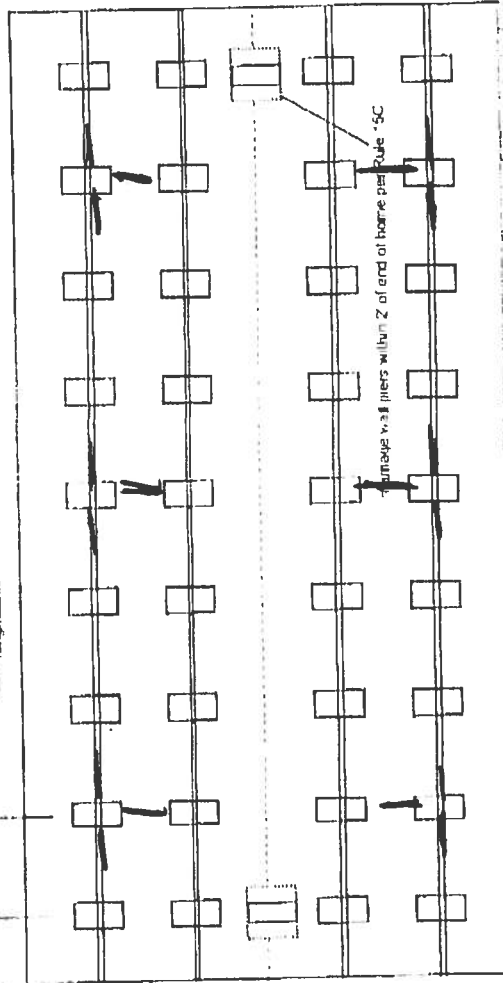
I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

Typical pier spacing



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



Remove all piers within 2' of end of home per Rule 15C

New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☐

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 2594222

Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)"	24" x 24" (576)"	26" x 26" (676)
1000 psf	3'	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	4' 6"	6'	7'	8'	9'	10'
2000 psf	6'	6'	8'	9'	10'	11'	12'
2500 psf	7' 6"	7' 6"	9'	10'	11'	12'	13'
3000 psf	8'	8'	10'	11'	12'	13'	14'
3500 psf	8'	8'	10'	11'	12'	13'	14'

* Interpolated from Rule 15C-1 pier spacing table

PIER PAD SIZES

I-beam pier pad size 17x22

Perimeter pier pad size 16x16

Other pier pad sizes (required by the mfg) 16x16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

8 17x22

4 16x16

6 17x22

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer _____

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer _____

OTHER TIES

Number 25

Scdwall _____

Longitudinal _____

Marriage wall _____

Shearwall _____

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 750 psf or check here to declare 1000 lb. soil 90 without testing.

1500 x 1600 x 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

1600 x 1500 x 1600

TORQUE PROBE TEST

The results of the torque probe test is 265 inch pounds or check here if you are declaring 5" anchors without testing 4. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

10-10-05

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed ✓ Swale ✓ Pad ✓ Other ✓

Fastening multi wide units

Floor: Type Fastener: 1/2" Length: 6" Spacing: 24"
Walls: Type Fastener: 3/8" Length: 6" Spacing: 24"
Roof: Type Fastener: 1/2" Length: 6" Spacing: 24"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket Pg.

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting Yes
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other

Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Date

2-13-05

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 2/10/2002 DATE ISSUED: 2/20/2006

ENHANCED 9-1-1 ADDRESS:

20548 S US HIGHWAY 441
HIGH SPRINGS FL 32643

PROPERTY APPRAISER PARCEL NUMBER:

04-7S-17-09894-000

Remarks:

(PARENT PARCEL)

Address Issued By:


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

LETTER OF AUTHORIZATION TO PULL PERMITS

I, Ronald Nobles, DO HEREBY GRANT
Peggy Fiverson, AUTHORIZATION TO PULL THE NECESSARY
PERMITS REQUIRED FOR THE DELIVERY AND SET OF A MANUFACTURED
HOME IN Columbia COUNTY, FLORIDA.

[Signature]

Signature

THIS FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

13 DAY OF February, 2006, BY _____
Bonnie Norris, WHO IS PERSONALLY KNOWN TO ME.

STATE OF FLORIDA
COUNTY OF Columbia

Rebecca L. Gallina
NOTARY PUBLIC



(STAMP)

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home Installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.00.

I, RONNIE NORRIS, license number IH 00000049
Please Print

Do hereby state that the installation of the manufactured home for:
PEGGY A. FIVENSON at 20548 S. U.S. Hwy 441
Applicant 911 Address

will be done under my supervision.

[Signature]
Signature

Sworn to and subscribed before me this 13 day of February,
2006.

Notary Public: Rebecca L. Gallina
Signature

My Commission Expires: _____



AFFIDAVIT

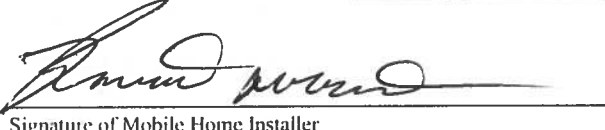
I Certify that the following described mobile home being placed on the referenced parcel is not a Wind Zone 1 mobile home.

Customer Name: _____

Property ID: Sec: _____ Twp: _____ Rge: _____ Tax Parcel No: _____

Lot: _____ Block _____ Subdivision: _____

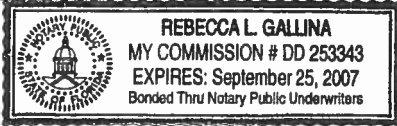
Moible Home Year/Make: _____ Size: _____



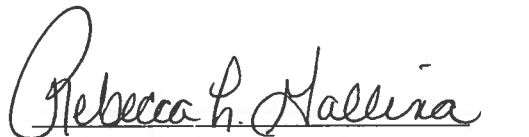
Signature of Mobile Home Installer

Sworn to and subscribed before me this 13 day of February, 2006

By Bonnie Norris

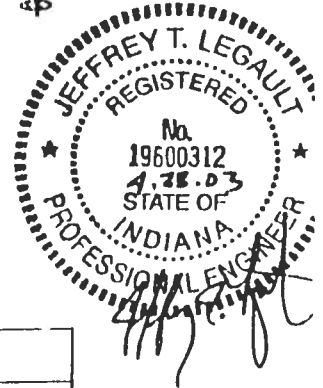
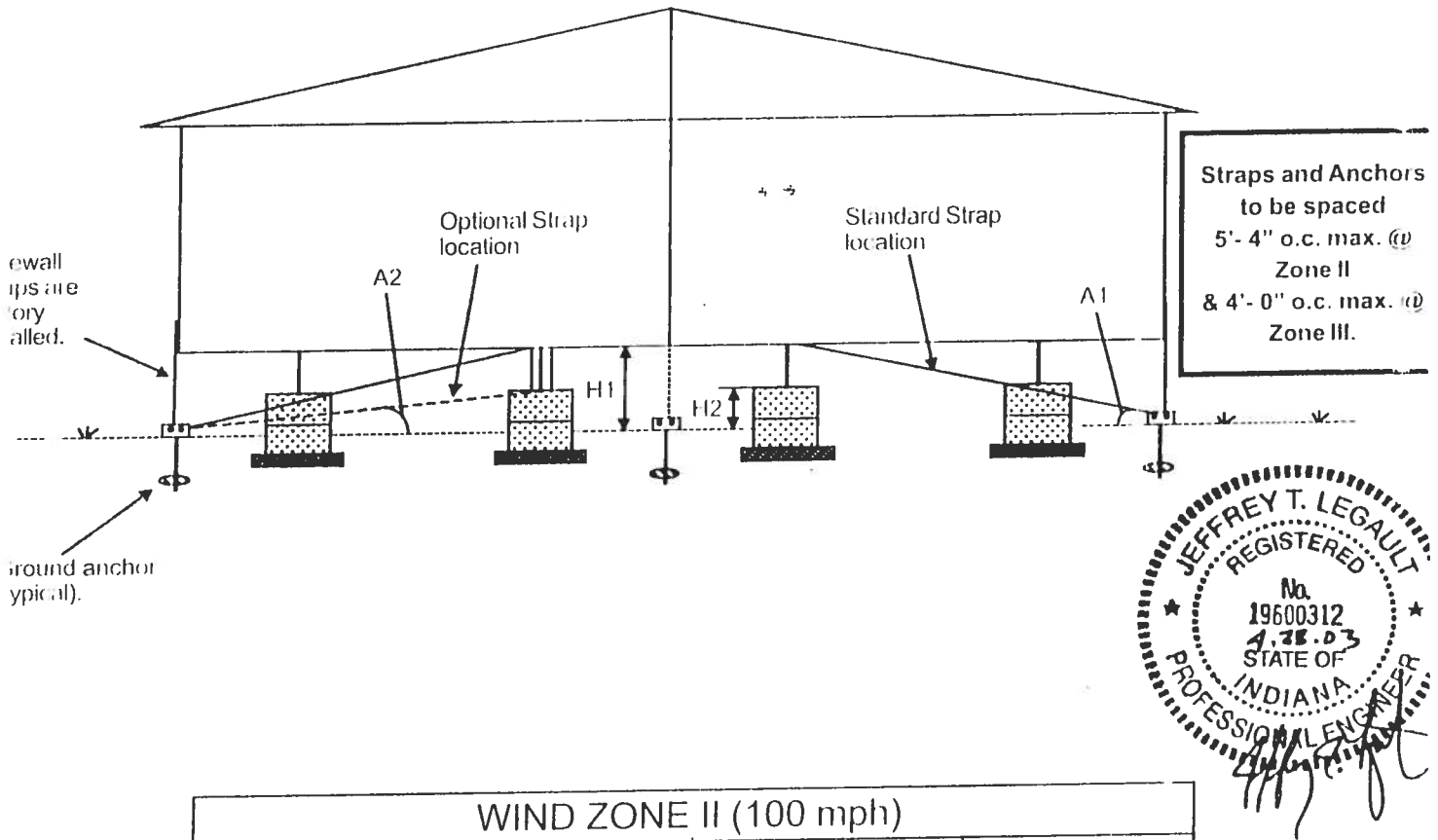


Notary's name printed/typed


Notary Public, State of Florida
Commission No. DD 253343
Personally Known: ✓
Id Produced (type) _____

TIE-DOWN DETAILS FOR 5/12 ROOF PITCH DOUBLE WIDES AT WIND ZONE II & III

TABLE 6A



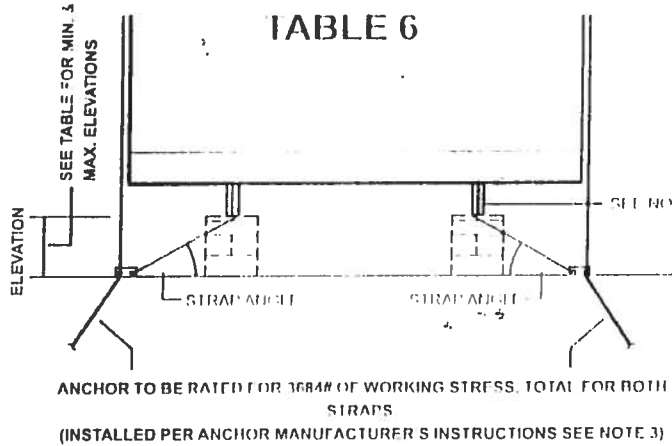
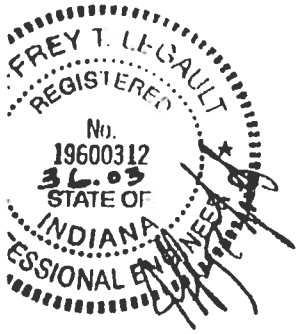
WIND ZONE II (100 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	23.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

WIND ZONE III (110 mph)				
Unit Width	H (max.)	H (min.)	Angle (max.)	Angle (min.)
24'	48"	12"	25.2 degrees	6.12 degrees
26'	48"	12"	20.3 degrees	6.12 degrees
28'	48"	12"	20.3 degrees	5.28 degrees
32'	48"	12"	18.96 degrees	4.91 degrees

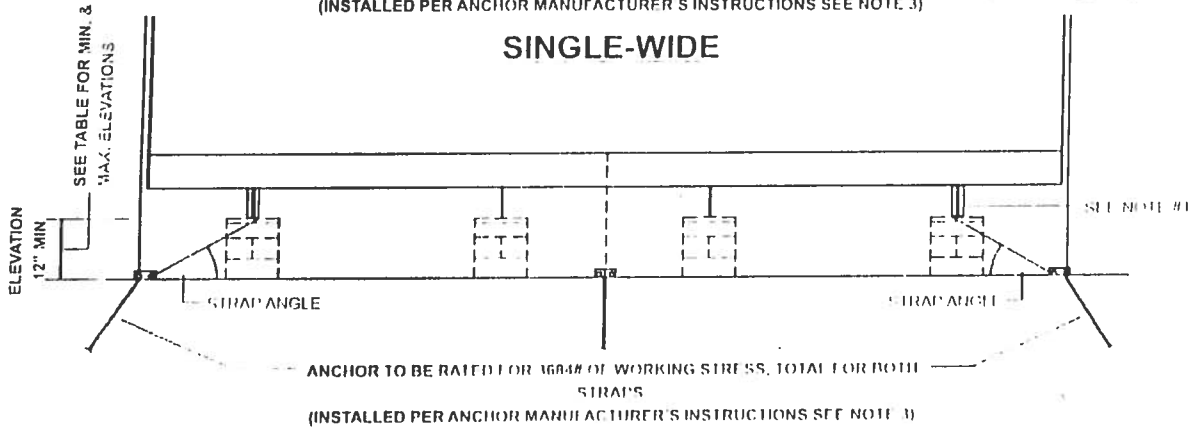
NOTES:

- 1) Straps and anchors to be rated for 3150 lbs. of working stress (min.).
- 2) Use H1 and A1 for standard strap location. Use H2 and A2 for optional strap location.
- 3) See page 25 for strap material specification, connection to I-Beam and other setup information.
- 4) The A-B chance strap seal device depicted by Fig. 5-12 may be used as directed for attaching the required doublewide centerline straps to ground anchors.

STANDARD TIE-DOWN DETAILS



INSTALL STRAP & ANCHORS
 6'-8" @ ZONE II
 5'-4" @ ZONE III
 &
 4'-0" @ ZONE II & III
 FOR SHED ROOF
 SINGLEWIDES
 SEE TABLE FOR ELEVATION &
 STRAP ANGLE LIMITATIONS



DOUBLE-WIDE

WIDE RESULTS FOR 12" HALF OF 22" WIDE DOUBLE WIDES

WIDTH	WIND ZONE II		WIND ZONE III	
	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE	MIN. & MAX. ELEVATION	MIN. & MAX. DIAGONAL STRAP ANGLE
12'	14" TO 25"	25 TO 40	14" TO 26"	25 TO 41
14'	12" TO 27"	20.5 TO 40	12" TO 28"	20.5 TO 41
12' SHED ROOF	25.2" TO 34.6"	41 TO 50	25.2" TO 34.6"	41 TO 50
14' SHED ROOF	23.4" TO 38.4"	36 TO 50	23.4" TO 38.4"	36 TO 50
16'	16" TO 36"	20.5 TO 40	15.5" TO 38"	19.5 TO 41
18'	20" TO 44"	20.5 TO 40	19" TO 47"	19.5 TO 41
20' OR 22' *	12" TO 15"	34 TO 40	12" TO 16"	34 TO 42
24'	12" TO 22"	24.5 TO 40	12" TO 23.5"	24.5 TO 42
28'	12" TO 23.5"	23 TO 40	12" TO 25.5"	23 TO 42
32'	12" TO 33"	16.6 TO 39.3	12" TO 36"	16.6 TO 41.8
16' SHED ROOF	21" TO 27.5"	25.9 TO 32.4	21" TO 27.5"	25.9 TO 32.4

PAP MATERIAL SPECIFICATION, CONNECTION TO FRAME BEAM & OTHER SETUP INFORMATION REFER TO SKYLINE INSTALLATION

ANCHORING SYSTEMS, THE INSTRUCTIONS SHALL INDICATE: A) THE MINIMUM ANCHOR CAPACITY REQUIRED; B) ANCHORS SHOULD BE TESTED BY PROFESSIONAL ENGINEER, ARCHITECT, OR A NATIONALLY RECOGNIZED TESTING LABORATORY AS TO THEIR RESISTANCE, AND THE MAXIMUM ANGLE OF DIAGONAL TIE AND/OR VERTICAL TIE LOADING AND ANGLE OF ANCHOR INSTALLATION, AND TYPE OF SOIL; C) THE ANCHOR IS TO BE INSTALLED; D) GROUND ANCHORS SHOULD BE EMBEDDED BELOW THE FROST LINE AND BE AT LEAST 2 FEET ABOVE THE WATER TABLE; E) GROUND ANCHORS SHOULD BE INSTALLED TO THEIR FULL DEPTH, AND STABILIZER PLATES SHOULD BE USED TO PROVIDE ADDED RESISTANCE TO OVERTURNING OR SLIDING FORCES. F) ANCHORING EQUIPMENT SHOULD BE CERTIFIED BY A PROFESSIONAL ENGINEER OR ARCHITECT TO RESIST THESE SPECIFIED FORCES IN ACCORDANCE WITH TESTING PROCEDURES IN ASTM STANDARD SPECIFICATION FOR STRAPPING, FLAT STEEL AND SEALS.

ANCHORS RATED @ 3150# OF WORKING STRESS TOTAL FOR BOTH STRAPS, MAY BE USED IF STRAP & ANCHOR SPACING IS REDUCED TO 5'-4" @ WIND ZONE II AND 4'-6" @ WIND ZONE III. STRAPS AND ANCHORS MAY BE INSTALLED 4'-0" O.C. ON SHED ROOF SINGLEWIDES WITH ANCHORS RATED @ 3150#.

ALTERNATE STRAP SEAL DEVICE DEPICTED BY FIG. 5-12 MAY BE USED AS DIRECTED FOR ATTACHING THE REQUIRED DOUBLEWIDE SKYLINE STRAPS TO GROUND ANCHORS.

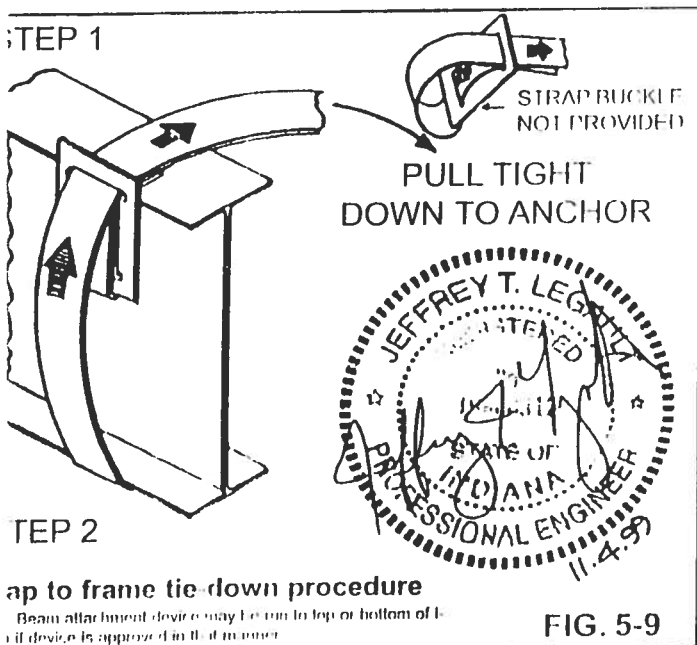
STANDARD TIE-DOWN DETAILS ARE NOT APPLICABLE TO 5/12 ROOF PITCH DOUBLEWIDES @ WIND ZONE II & III.

ET-UP PROCEDURES (Continued)

MANUFACTURED HOME TIE-DOWN INSTRUCTIONS (Continued)

OPTIONAL OVER-THE-ROOF STRAP PROCEDURE

Over-the-roof straps are provided (optional on all homes) and may be connected to ground anchors as specified in the following procedure in order to achieve additional stability in extreme winds. Note that the frame tie-down procedure on page 25 is still mandatory.



Materials not furnished with the home which will be necessary to properly connect the over-the-roof straps are:

1. Ground anchors capable of withstanding at least 4,750 pound pull when installed in the soil at the site.
2. Strap end connection devices (See Fig. 5-10).

THE HOME MUST BE IN ITS FINAL LEVEL POSITION WITH FRAME TIES INSTALLED BEFORE CONNECTING THE OVER-THE-ROOF STRAPS.

The procedure for over-the-roof strap installation is as follows:

1. Position and install the ground anchors so that the strap will be vertical after attachment to the anchor. The anchor may be installed slightly beneath the home to avoid interference with skirting (See Fig. 5-11).
2. Insert the minuteman connector yoke through the eye in the anchor and insert slotted bolt through the yoke.
3. Place end of strap through slotted bolt and remove strap by turning bolt. **DO NOT TENSION UNTIL BOTH ENDS OF STRAP ARE CONNECTED.**
4. Tension and lock minuteman connector in position, conforming to instructions furnished with connectors.
5. Check strap tension (See step 4 under frame tie-down procedure).
6. For double-wide homes see Fig. 5-12 for the splice connection at the centerline.

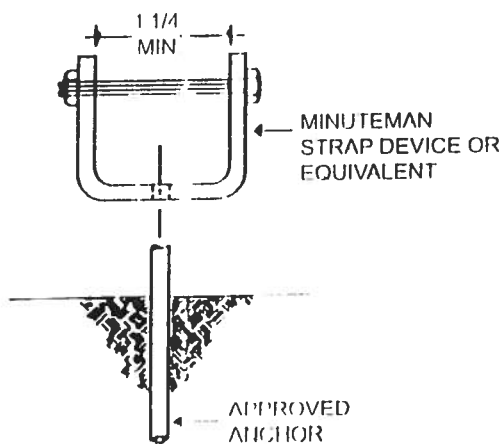


FIG. 5-10

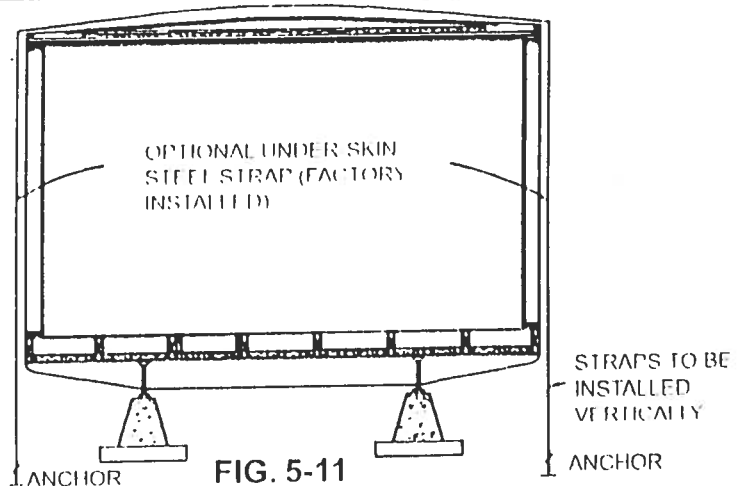


FIG. 5-11

Insert end of the strap through the slot on the splice device, allowing the strap to extend through the device. Make a 180 degree bend in the strap and slide a strap seal over the full thickness of strap, positioning the strap seal as close to the splice device as possible. Compress the strap seal on the strap with a pair of vise grip pliers or hammer, or crimp strap seal with an A B splice crimping tool. (Make all bends in the strap as sharp as possible by crimping with vise grip or larger pliers) and strap back over the seal and insert back through the slot on splice device. Flatten bend with vise grip pliers or hammer. Repeat steps 1 through 4 with the mating strap. Draw the completed assembly down to the ridge beam by tensioning the strap around anchor.

DOUBLEWIDE OPTIONAL OVER-THE-ROOF STRAPS

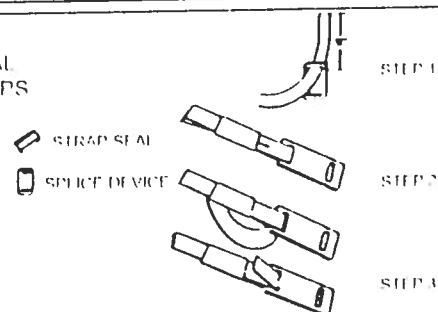


FIG. 5-12

T-UP PROCEDURES (Continued)

MANUFACTURED HOME TIE-DOWN INSTRUCTIONS

support system must also resist lifting, sliding, and rining forces resulting from side winds. A method used stall ground anchors and tie-down straps in addition to rs. Tie-downs as described are the minimum neces- the home is to withstand its design loads without ition. On multi-section homes, sections must be ed together and level before tie-down straps are in-

WARNING

BEFORE GROUND ANCHOR INSTALLATION, DETER- THAT THE ANCHOR LOCATIONS AROUND THE WILL NOT BE CLOSE TO ANY UNDERGROUND TRICAL CABLES, WATER LINES OR SEWER PIP- FAILURE TO DETERMINE THE LOCATION OF RGGROUND ELECTRICAL CABLES MAY RESULT IN US PERSONAL INJURY OR DEATH.

IN THE FRAME TIE-DOWN SYSTEM, IT IS IMPOR- TO USE MATERIALS OF PROPER DESIGN AND OF DATE QUALITY. THE MATERIAL SPECIFICATIONS NED HEREIN SHOULD BE CONSIDERED AS UM REQUIREMENTS.

ials not furnished with the home which will be neces- complete the tie-down system must meet the require- et forth below. Such materials would include:

e or steel strap with a breaking strength of at least ounds e.g. galvanized aircraft cable at least 1/4" r or Type 1, Finish B, Grade 1 steel strapping 1-1/4" d 0.03" thick, conforming with ASTM D3953-91.

anized connection devices such as turnbuckles, i, strap buckles, and cable clamps should be rated at orking load minimum.

nd anchors — capable of withstanding at least a ound pull. Anchors must be installed as specified by or manufacturer. Stabilizers or concrete collars may red by anchor manufacturer.

HOME MUST BE IN ITS FINAL LEVEL POSITION TO TYING IT DOWN.

ocedure for tying down the manufactured home is as

on and install the ground anchors under exterior that the final strap angle and height (H) will be within shown in tables 5 thru 6C.

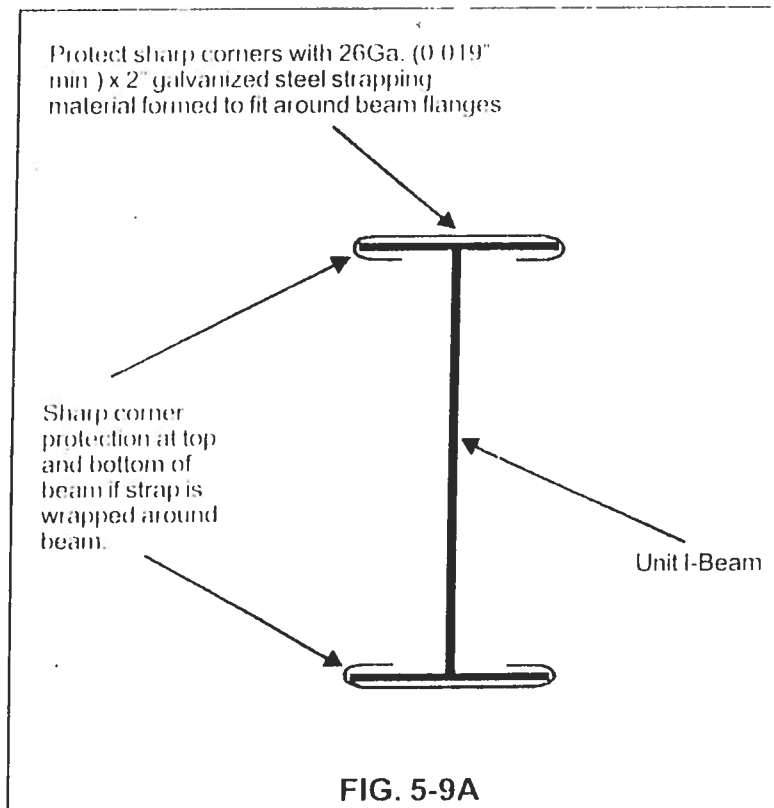
ect the straps to the frame and ground anchors (See and 5-10). Straps wrapped around the I-Beam as

shown in Fig. 5-9 require protection from premature failure due to sharp corners. Fig. 5-9A illustrates one method to protect against sharp corner damage. Other methods (such as beam clamps — Tie-Down Engineering part no. 59003 or equivalent) approved by the local building authority having jurisdiction may be used.

3. Tighten the straps using the tensioning device provided with the ground anchors. Use caution to avoid overtensioni the straps which might pull the home off the piers. It is recommended that all straps be tightened only enough to remove slack. Then, after all straps are installed and the slack removed, tension the straps.

4. The strap tension should be rechecked at frequent intervals until all pier settlement has stopped.

CAUTION: DURING THE RELEVELING PROCESS, DO NOT JACK THE HOME AGAINST TIGHT STRAPS.



SET-UP PROCEDURES (Continued)

DOUBLE-WIDE INTERCONNECTION (Continued)

NOTE: IT IS IMPORTANT TO HAVE ROOF/CEILING SECTIONS FLUSH AT MATING LINE PRIOR TO FASTENING OF RIDGE BEAM HALVES. IF THEY ARE NOT FLUSH, THEN THE LOW SIDE SHOULD BE RAISED BY JACKING WITH A WOOD POST OR STEEL PIPE WITH A WOOD OR METAL PAD AT THE CEILING. PLACE THE BASE OF THE JACK ACROSS THE FLOOR MATING LINE SO THAT IT RESTS ON BOTH HALVES. JACK AGAINST CEILING ONLY IN AREAS WHERE THERE IS NO MARRIAGE WALL.

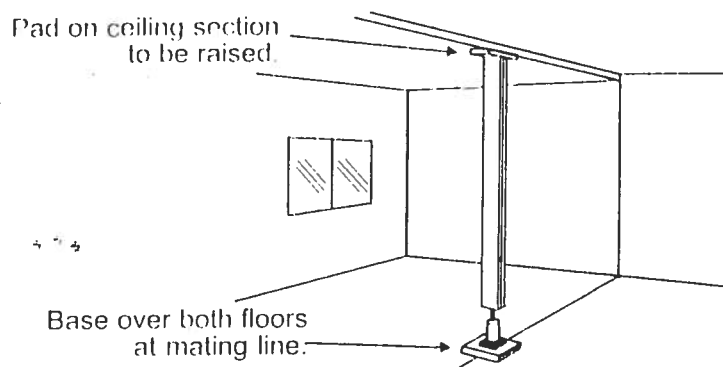


FIG. 5-8

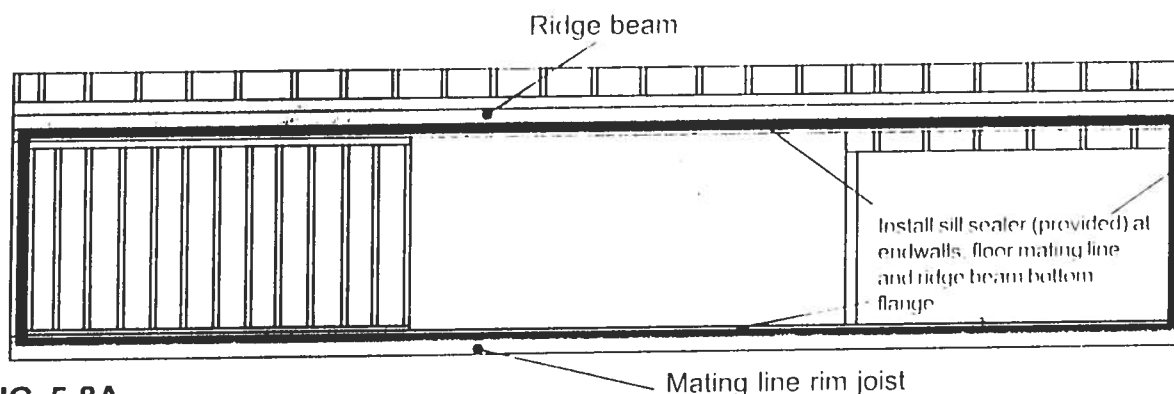
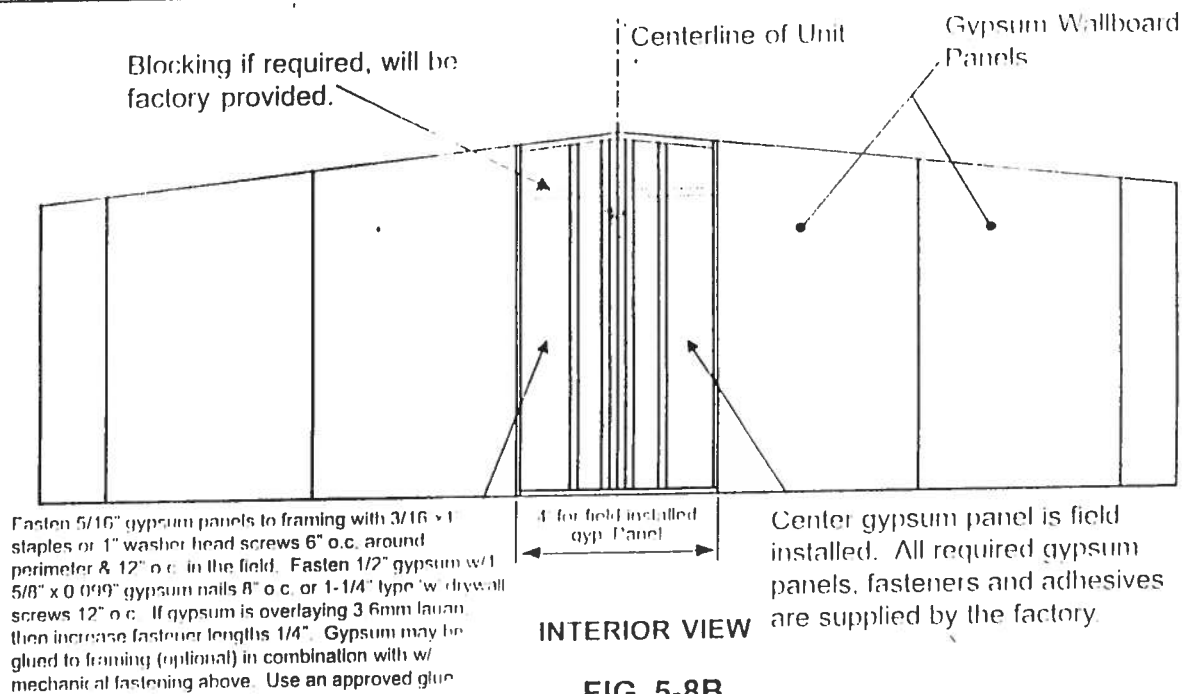


FIG. 5-8A

ATTACHMENT OF GYPSUM PANELS AT DOUBLE-WIDE CENTERLINE

Some multiple-wide units will have a gypsum panel left off at the centerline for field attachment. Fasten the factory supplied gypsum wallboard panel(s) at the center of the endwalls after the units have been attached. Fasten the panel(s) to framing as described in figure 5-8B below.



T-UP PROCEDURES (Continued)

DOUBLE-WIDE INTERCONNECTION

Procedure for connecting the homes is as follows:

1. Remove the temporary closure materials (polyethylene or paper strips) and position the halves as close together as possible in the final desired location. Do not remove temporary beam supports until step 7 has been completed.

2. Move the first section of home into its desired position, and level it in the same manner as described for a single section home. Skyline Corp. recommends, if possible, that every half be blocked and leveled first as it is easier to lift the light half and fit into place.

3. Install sill sealer insulating material (provided) around the home (to the ridge beam at the ceiling panel line), endwalls and/or mating line. Fasten sill sealer with staples or nails. See Figure 5-8A.

4. Join the two halves together with rolling and jacking equipment. Care must be taken during rolling and jacking operations to avoid overstressing structural members. With homes together at the floor, align the floors at the ends of the home. It is better to have a minor misalignment under the roof where it cannot be seen and will not cause a problem, than a small misalignment that will be observed in the interior of the home.

5. When the home is aligned at the floor and supported by its interior piers, join the floors using $3/8"$ x $3"$ (4-1/2" lags with perimeter joist) lag screws 2 to 3 feet on center. The maximum gap at the floor should be a maximum of $3/16"$. Follow the procedures outlined on page 19 to level the home. Check supports and footings with tables 2 and 3.

6. Obtain access into the ceiling cavity to bolt or alter-lag screw the ridge beam sections together, fold back underlayment paper and remove the 16" wide sheathing (if any) at the peak. Note that the shingles may not have been installed on one or both halves, at the 16" wide area at

the peak. If one side is shingled, it is intended that the beam be lag screwed together. If neither side is shingled, the beam may be lag screwed or bolted together. Bolts to be $3/8"$ x $4 1/2"$ at 48" o.c. with 3 additional bolts at 3" o.c. over interior beam supports. Lag screws to be $3/8"$ x 5" at 24" o.c. with 6 additional lag screws at 3" o.c. over interior beam supports. (If marriage walls and ridge beam halves have been plated with $3/8"$ sheathing, then the bolts/lags must be increased in length by $3/4"$ to 5-3/4".) Predrill 1/4" pilot holes for the lag screws at 1-1/2" down from the top of the beam and with a maximum offset from the horizontal of 45 degrees. A gap between beam halves up to 1" is allowable. Gaps larger than 1/2" must be filled with plywood or lumber shims. For 1/2" max gaps, increase fastener length 1/2". For 1" max gaps, increase fastener length 1-1/4". See Fig. 5-7.

7. Prior to interconnecting the ridge beam halves, examine the ridge beam ends. Should there be a slight misalignment, it can be eliminated by placing a jack under the low side of the main beam on one half and use the jack to raise the beam. The alignment can be held by properly bolting or lag screwing the beam halves together. See Fig. 5-8.

8. Place additional pier supports at the centerline at the interior column locations marked on the floor with indicator straps or paint (see Figure 5-3 and 5-4 and Table 3). Skyline Corp. provides pier location diagrams for all multiwide models. These diagrams show the required locations of piers and are very useful in determining pier placement prior to taking receipt of home. Additional piers are required each side of exterior doors and sidewall openings greater than 4' in width. See Table 3A for these pier load requirements.

9. Toe-nail endwall centerline studs together using 16d nail 10" o.c.

10. If home has double mating walls, then fasten the mating wall columns together with #8 x 4" screws 16" o.c. See Figure 5-7A.

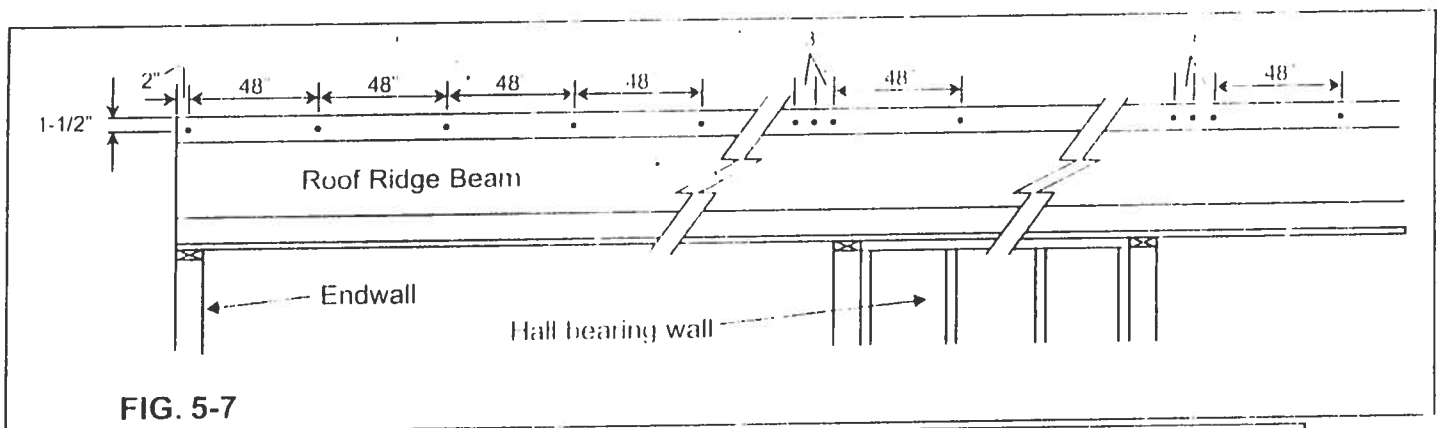


FIG. 5-7

APPROVED
PFS Corporation
Madison WI
01/31/05
HUD Manufactured
Home
Construction &
Safety Standard

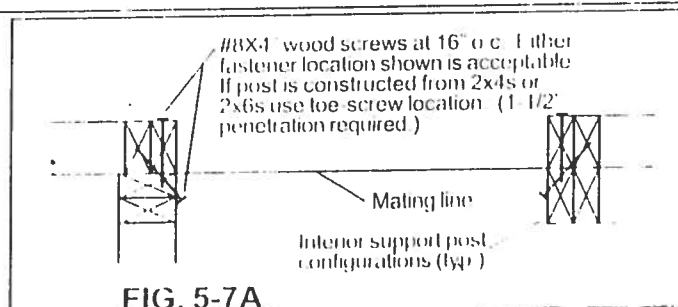
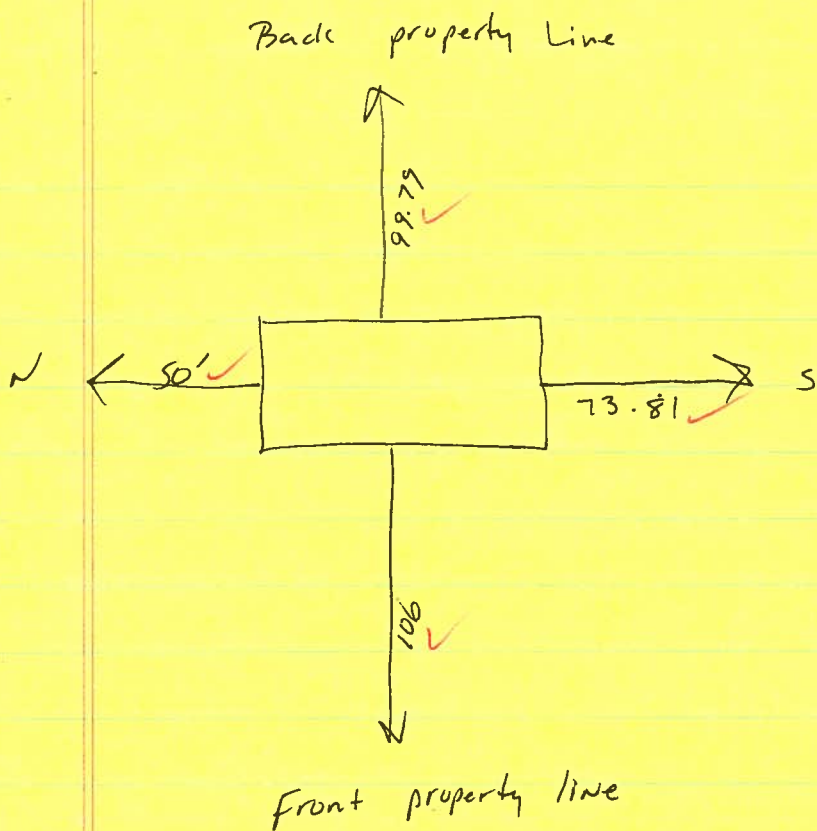
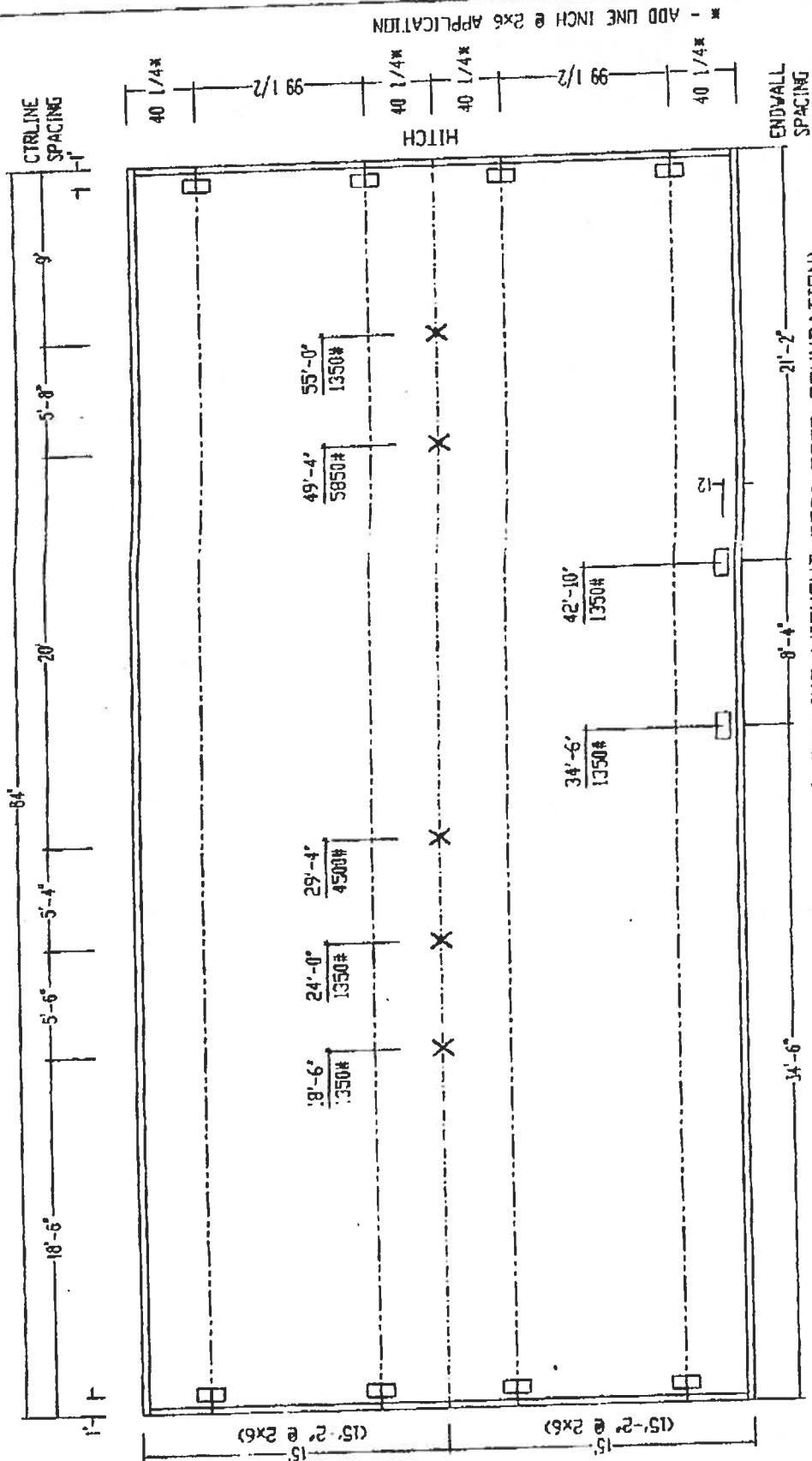


FIG. 5-7A



0603-88
PEGGY A. FIVENSON

Fivenson

[illegible]



STATE OF FLORIDA
DEPARTMENT OF HEALTH

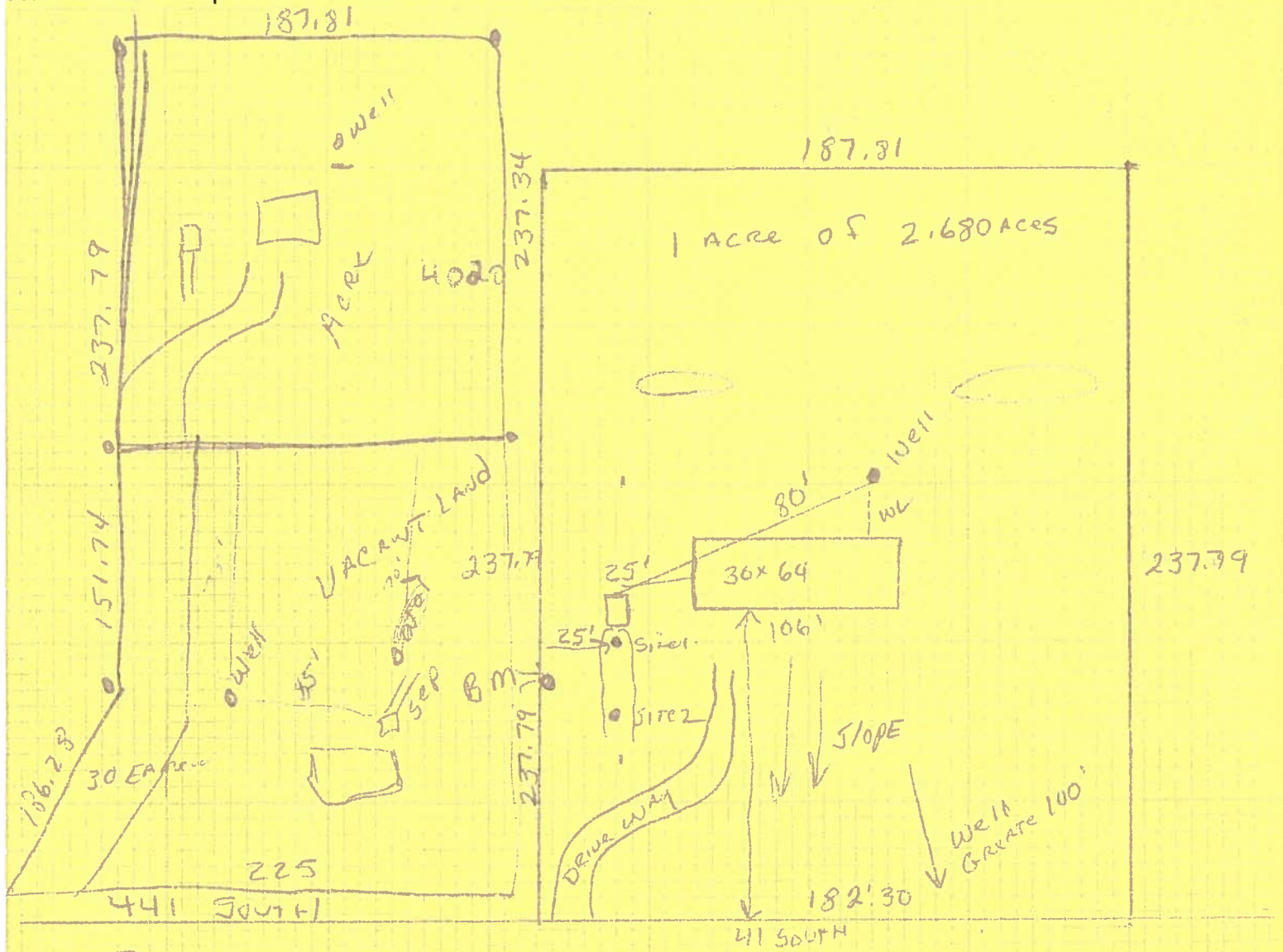
0603-88

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 06-0123N:23
215.00

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: PEGGY FIVERSON
INEZ-MADDOX Acres being split out

Site Plan submitted by: Robert W. Judd Signature Agent

Plan Approved ✓ Not Approved _____ Date 2-15-06

By [Signature] Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

**FAX
MEMORANDUM****MEMORANDUM****FLORIDA DEPARTMENT OF TRANSPORTATION**

To: Mr. John Kerce, Dept. Director
Columbia Co. Building & Zoning Dept.
Fax No: 386-758-2160

From: Dale L. Cray, FDOT Permits Insp.
Date: 3-28-2006 **Fax No.** 386-961-7183
Attention: Mr. John Kerce

☐ Sign and return. ☐ For your files. ☐ Please call me. ☒ FYI ☐ For Review

REF: Notice of Existing Access Review / Inspected On: 3-28-2006

PROJECT: Mrs. Peggy Fivenson / N/A / **PROPOSED:** Existing Access

PARCEL ID No: PERMIT# N/A SEC#29030

MILE POST +- Engineer: N/A

Mr. Kerce:

Please accept this as our legal notice of final passing inspection of **Mrs. Peggy Fivenson 20548 Hwy 441 S.R.25 SOUTH**.

This access has been inspected and the connection is acceptable and meets FDOT ACCESS Standard Requirements.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7146.

Sincerely,



Dale L. Cray

Access Permits Inspector