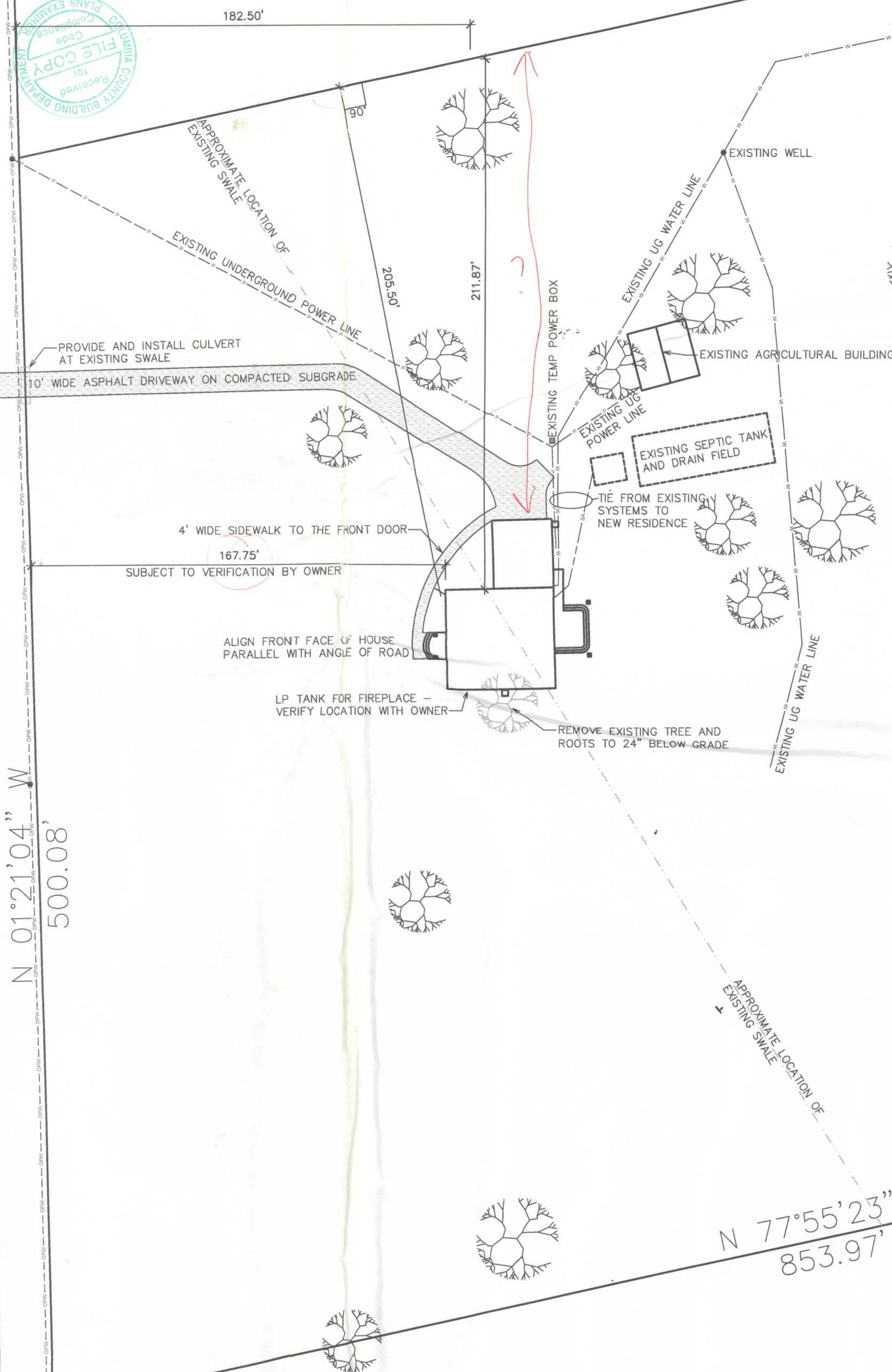


- NOTE:
- 1) PROVIDE AND INSTALL IT/COMM LINE PER OWNER'S REQUEST BASED ON AVAILABLE SERVICES ON THIS LOT. VERIFY IT/COMM TIE-IN LOCATION.
 - 2) VERIFY DRIVEWAY LAYOUT WITH OWNER PRIOR TO PLACEMENT.
 - 3) CULVERT SIZING AND INSTALLATION SHALL CONFORM TO COLUMBIA COUNTY STANDARDS.
 - 4) DO NOT DISTURB SITE BEYOND 20' FROM CONSTRUCTION FOOTPRINT. GC SHALL PROVIDE INDICATION OF LIMITS OF CONSTRUCTION AREA. ALL DAMAGE (INCLUDING TIRE RUTS, CONCRETE WASTE, HEAVY EQUIPMENT TRACKS/RUTS) TO SITE BEYOND 20' FROM CONSTRUCTION FOOTPRINT SHALL BE RETURNED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - 5) GC SHALL PROVIDE A FLAT AND DRY SPOT FOR STORAGE OF MATERIALS, TRUSSES, DIMENSIONAL LUMBER, AND SHEATHING. ROOF AND FLOOR TRUSSES WILL BE DEEMED REJECTED IF THEY ARE UNLOADED IN AN UNCONTROLLED MANNER, OR ARE ON AN UNLEVEL SURFACE, OR ARE LEFT UNPROTECTED FROM THE ELEMENTS.
 - 6) ALL CONSTRUCTION WASTE SHALL BE REMOVED FROM THE ENTIRE SITE PRIOR TO OCCUPANCY.
 - 7) ALL UNFORESEEN CONDITIONS, DISCOVERED UNDOCUMENTED UTILITIES, ARCHEOLOGICAL FINDS, OR SOIL IRREGULARITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO CONTINUANCE OF CONSTRUCTION.
 - 8) GC SHALL REGRADE AREA OF N-S SWALE AT INTERSECTION OF CONSTRUCTION SITE TO DIVERT WATER AWAY FROM BUILDING FOOTPRINT.



SW HILLTOP TERRACE

N 01°21'04" W
500.08'

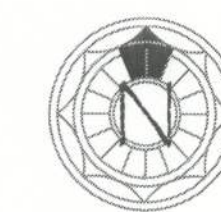


LOT 60 - 10.01 ACRES

EXISTING WETLANDS - DO NOT DISTURB OR ALTER

SHEET INDEX

C-001	OVERALL SITE PLAN
S-001	FOUNDATION PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-401	ROOF PLAN
A-501	WEST AND NORTH ELEVATIONS
A-502	EAST AND SOUTH ELEVATIONS
A-701	BUILDING SECTIONS & DETAILS
E-101	FIRST FLOOR ELECTRICAL PLAN
E-102	SECOND FLOOR ELECTRICAL PLAN



OVERALL SITE PLAN

SCALE = 1" = 1'-0"

PARCEL: 11-6S-16-03815-160
LEGAL DESCRIPTION: LOT 60 CARDINAL FARMS UNREC: COMM AT SE COR OF SEC 11, RUN W 5311.34 FT TO SW COR SEC 11, RUN N 1995.16 FT, W 60.18 FT, N 1280.71 FT FOR POB, RUN N 500.08 FT, N77 DG E 33.29 FT TO A PT ON W LINE SEC 11, CONT N 77 DG E 854.22 FT, S 500.08 FT, S 77 DG W 853.97 FT TO A PT ON E LINE SEC 10, CONT S 77 DG W 33.54 FT TO POB. ORB 1032-1305, QC 1188-2145.

PAT & SHARON REEVES RESIDENCE

DRAWN BY:
BEN REEVES, CDT, CCCA,
LEED AP BD+C

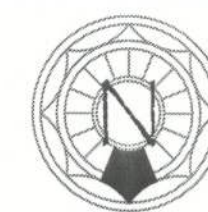
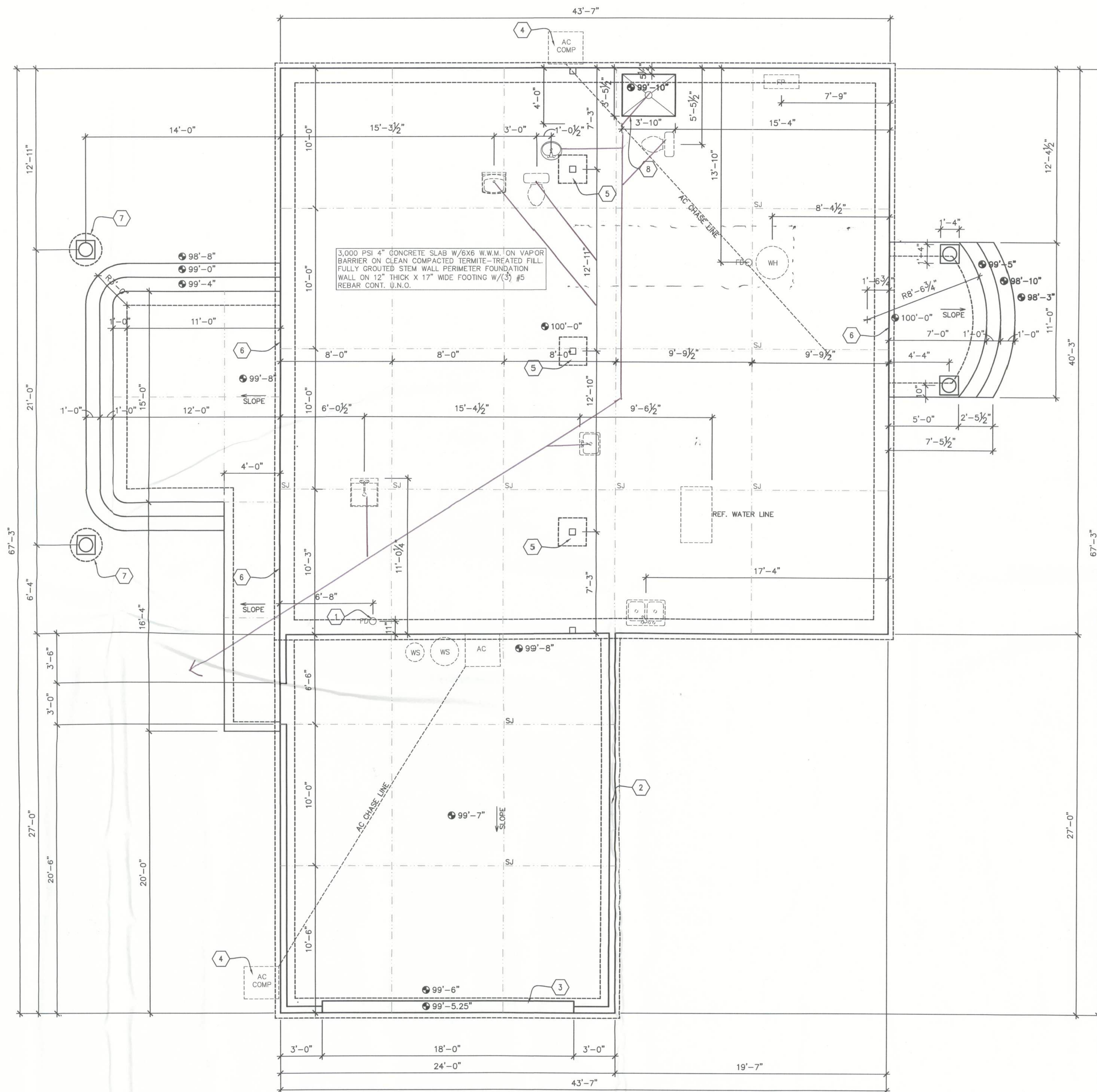
ISSUE DATE
SEPTEMBER 1, 2013

OVERALL SITE PLAN

SHEET NUMBER
C-001

417 SW HILLTOP TERRACE

FORT WHITE, FL 32038



FOUNDATION PLAN
SCALE = 1/4" = 1'-0"

GENERAL NOTES

1. SAWN JOINTS AS INDICATED (SJ) SHALL BE CUT WITHIN 6-12 HOURS OF CONCRETE SLAB POUR.
2. REGARDLESS OF GENERAL DIRECTION GIVEN IN THESE DOCUMENTS, IT IS STILL THE RESPONSIBILITY OF THE MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTOR TO VERIFY EXACT LOCATION OF UNDERSLAB ROUGH-IN COMPONENTS.
3. CONCRETE SPECIFICATIONS, SUBGRADE PREPARATION, REINFORCING REBAR, WET SET J-BOLTS, AND W.W.M. SHALL BE PER LICENSED STRUCTURAL ENGINEER OF RECORD'S RECOMMENDATIONS.
4. ALL EXPOSED POURED IN PLACE CONCRETE SHALL BE FORMED WITH RIGID INSULATION OR OTHER FLAT SURFACE TO PROVIDE A SMOOTH EXPOSED FINISH. ALL EXPOSED CMU SHALL BE PARGED SMOOTH TO MATCH ADJACENT FINISH AND TEXTURE.

KEYNOTES

1. PROVIDE 1/8":1 SLOPE IN LAUNDRY ROOM TO FLOOR DRAIN.
2. 5.5" CURB AT 100'-0".
3. 10" WIDE X 2" DEEP RECESS FOR OVERHEAD DOOR SILL.
4. 4'-0" X 4'-0" X 4" THICK AC COMPRESSOR PAD.
5. 24"X24"X12" THICK COLUMN FOOTING W/(2) LAYERS OF #5 REBAR EACH WAY. PROVIDE ADDITIONAL SAW JOINTS AT COLUMN BASES.
6. FULL HEIGHT 3/4" EXPANSION JOINT MATERIAL ALONG FRONT AND REAR PORCH AND MAIN BUILDING SLAB.
7. BIGFOOT BF28 FOOTING W/12" SONOTUBE FOR REAR PORCH COLUMN.
8. 2" RECESS FOR BUILT IN SHOWER BELL FOOTING 8" AT PERIMETER OF RECESS.

PAT & SHARON REEVES RESIDENCE

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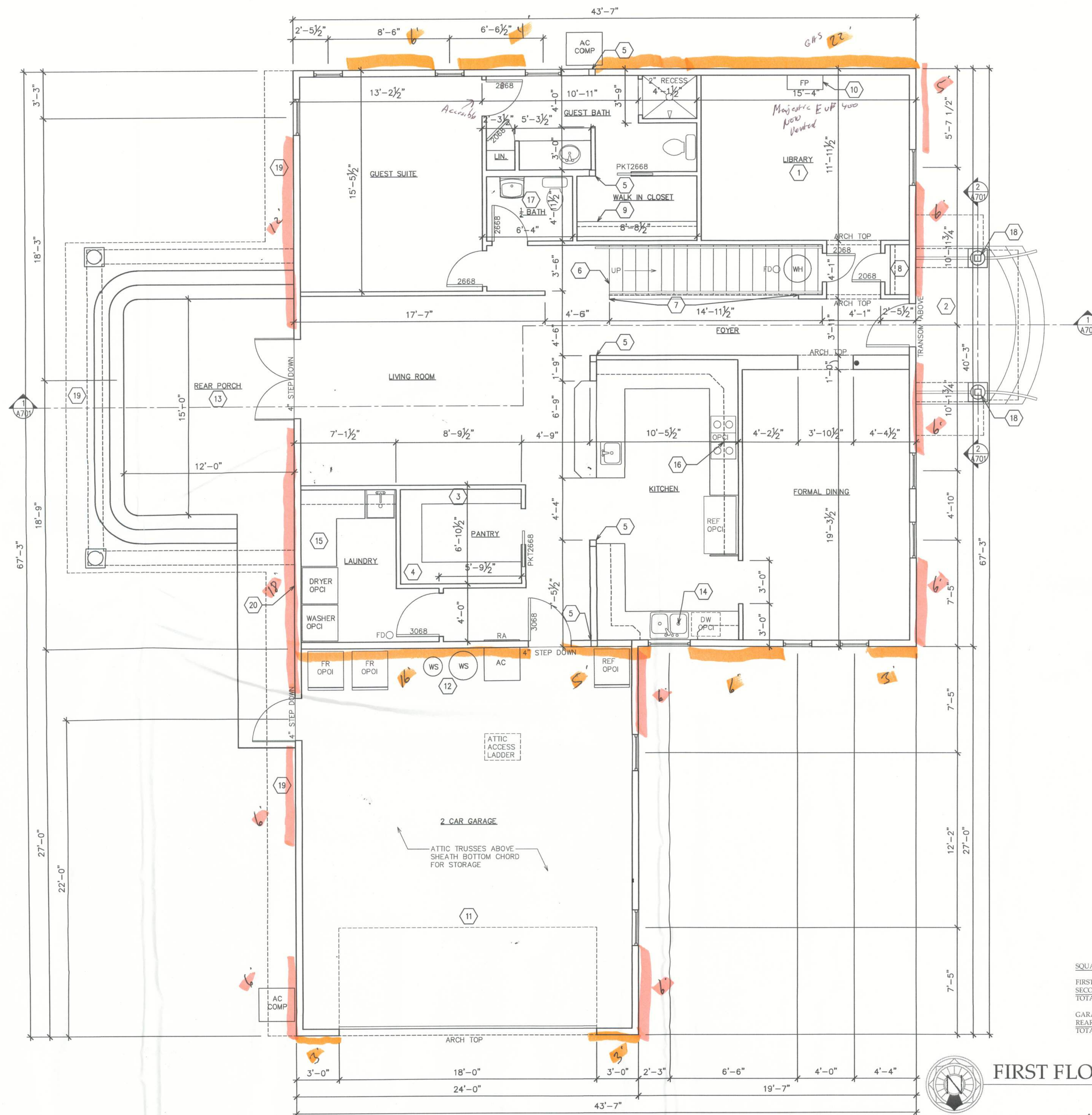
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SEPTEMBER 1, 2013

FOUNDATION PLAN

SHEET NUMBER
S-001

FORT WHITE, FL 32038

417 SW HILLTOP TERRACE



FIRST FLOOR PLAN

SCALE = 1/4" = 1'-0"

GENERAL NOTES

- SEE A-501 AND A-502 FOR WINDOW AND EXTERIOR DOOR STYLES AND SIZES.
- SEE NOTES FROM STRUCTURAL ENGINEER FOR HOLD-DOWNS, STRAPS, SHEAR PANELS, REBAR, AND STRUCTURAL SYSTEMS.
- SEE ENGINEERED SET OF DRAWINGS FOR FLOOR AND ROOF SYSTEM SPACING DESIGN, SIZING, AND CONNECTIONS. SECOND FLOOR SYSTEM SHALL BE DESIGNED TO L/360. ALL FLOOR DECKING SHALL BE GLUED AND SCREWED - NAILS ARE NOT PERMITTED. PRE-ENGINEERED FLOOR SYSTEM SHALL INCLUDE PRE-CUT CHASE OPENING FOR HVAC DUCTING. GC SHALL COORDINATE WITH PRE-ENGINEERED TRUSS MANUFACTURER.
- GC SHALL PROVIDE BLOCKING AS NECESSARY FOR CASEWORK AND FIXTURE ATTACHMENT.
- DIMENSIONS TO FACE OF STUD.
- ALL CEILINGS AT 9'-0" A.F.F. UNLESS NOTED OTHERWISE. OTHER CEILING HEIGHT ARE IN RELATION TO 100'-0" F.F.
- DOOR HARDWARE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR. DOOR JAMBS AND FRAMES SHALL BE PREPARED BY GC TO RECEIVE OWNER PROVIDED HARDWARE. SEE DOOR HARDWARE SCHEDULE FOR MORE DETAILS. POCKET DOOR HARDWARE SHALL BE CPCI.
- ALL WALLS SHALL HAVE SKIP TROWEL TEXTURE UNLESS NOTED OTHERWISE. ALL CEILINGS SHALL BE SMOOTH. VERIFY TEXTURES AND FINISHES WITH THE OWNER.
- TO THE GREATEST EXTENT POSSIBLE LOW VOC OR NO VOC COATINGS AND ADHESIVES SHOULD BE USED THROUGHOUT THE BUILDING. CASEWORK SHALL NOT BE STAINED OR COATED IN PLACE. CASEWORK SHALL BE SHOP FINISHED AND PRIOR TO INSTALLATION, SUFFICIENT TIME SHALL HAVE PASSED TO ALLOW ADHESIVES AND COATINGS TO FLASH OFF. PRIOR TO OCCUPANCY BUILDING AIR MUST BE MECHANICALLY FLUSHED FOR A MINIMUM OF 48 HOURS.
- HVAC SYSTEM SHALL INCORPORATE FULL ALLERGEN FILTRATION. DESIGN SHALL BE APPROVED BY OWNER VIA SUBMITTAL OF SHOP DRAWINGS FOR APPROVAL.
- THESE DRAWINGS CONSTITUTE THE OWNER'S INTENT. IT IS STILL THE RESPONSIBILITY OF THE GC TO ENSURE BUILDING IS CODE COMPLIANT, FOLLOWS THE STRUCTURAL ENGINEER'S DESIGN CRITERIA, IS SAFE, AND MEETS THE INTENT OF THE OWNER.
- BUILDING SHALL NOT BE CONSIDERED SUBSTANTIALLY COMPLETE UNTIL OWNER HAS BEEN TRAINED ON THE OPERATION OF THE SYSTEMS IN THE HOUSE. OWNER'S MANUALS AND MANUFACTURER'S INSTRUCTIONS SHALL BE TURNED OVER TO THE OWNER PRIOR TO OCCUPANCY. GC IS RESPONSIBLE TO APPLY FOR INSTALLED SYSTEMS WARRANTIES WITH THE ASSOCIATED MANUFACTURERS OF INSTALLED DEVICES AND SYSTEMS.
- BATHROOMS AND LAUNDRY SHALL HAVE TILE FLOORS. ALL OTHER LIVING SPACES SHALL HAVE RESILIENT FAUX WOOD PLANKING PER OWNER/GC AGREEMENT. ALL FLOORING TYPE TRANSITIONS SHALL BE ADA COMPLIANT SCHLUTER METAL TRANSITIONS CORRESPONDING TO FLOORING THICKNESSES.
- ACOUSTICAL INSULATION SHALL BE PROVIDED IN WALLS OF BATHROOMS, BEDROOMS, LIBRARY, AND LAUNDRY.
- WHERE POSSIBLE, PLUMBING SYSTEMS SHALL VENT TO CLOSEST EXTERIOR WALL TO MINIMIZE PENETRATIONS IN THE ROOFING SYSTEM.

KEYNOTES

- PROVIDE HORIZONTAL 2X BLOCKING AT 24" O.C. VERTICALLY AROUND PERIMETER OF THIS ROOM FOR FUTURE CASEWORK ATTACHMENT NOT IN THIS CONTRACT.
- BARREL VAULT CEILING - HEIGHT VARIES. SEE A-501.
- (6) 12" DEEP ADJUSTABLE HD SHELVES ON ADJUSTABLE WALL BRACKETS.
- (6) 18" DEEP ADJUSTABLE HD SHELVES ON ADJUSTABLE WALL BRACKETS.
- 5-1/4" X 5-1/4" ENGINEERED WOOD COLUMNS SUPPORTING GIRDER FOR SECOND FLOOR TRUSSES.
- STAIRS = (17) RISERS @ 7.34", TOTAL RISE OF 124.75", (18) TREADS @ 1" TOTAL RUN OF 176". WOOD 1-1/2" CIRCULAR HANDRAILS SHALL BE PROVIDED FOR BOTH SIDES OF STAIRS AND EXTEND 12" PAST LAST BOTTOM AND TOP RISERS.
- PROVIDE TEMPORARY CODE COMPLIANT GUARDRAIL FROM STAIR TREAD AND RISERS AS INDICATED. OWNER WILL FABRICATE AND INSTALL CODE COMPLIANT DECORATIVE IRON GUARDRAIL AFTER OCCUPANCY.
- METAL ROD AND 16" DEEP SHELF.
- (2) METAL RODS AND 16" DEEP SHELVES.
- PROPANE POWERED FIREPLACE, SURROUND, AND HEARTH DESIGN/BUILD BETWEEN OWNER AND GC. PROVIDE PROPANE SUPPLY TANK OUTSIDE. VENT THROUGH SIDE WALL. VENTILATION SHALL CONFORM TO LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS.
- PROVIDE AND INSTALL GARAGE DOOR OPERATOR.
- PROVIDE AND INSTALL WATER SOFTENER SYSTEM AS INDICATED. PROVIDE WHOLE BUILDING WATER SHUT OFF VALVE.
- REAR PORCH CEILING SHALL BE 7'-10" ABOVE MAIN FINISH FLOOR. SEE ELEVATIONS A-501 AND A-502. MOISTURE RESISTANT BOARD, PRIMER, AND PAINT SHALL BE USED.
- GARBAGE DISPOSAL.
- 30" DEEP BASE CABINETS WITH PLAM COUNTERTOP.
- EXHAUST HOOD ABOVE - OPCI.
- 12" BASE CABINET & SLIM-LINE SINK UNIT.
- 5-1/4" X 5-1/4" W.R. ENGINEERED WOOD COLUMN WRAPPED WITH 2 PIECE FIBERGLASS CORINTHIAN COLUMN. STRUCTURAL COLUMN BASE CONNECTOR SHALL HAVE 3" STANDOFF.
- SOFFIT AND FASCIA SHALL BE PRE-FINISHED METAL PANELS.
- DRYER VENTS DIRECTLY TO EXTERIOR.

PAT & SHARON REEVES RESIDENCE

FORT WHITE, FL 32038

417 SW HILLTOP TERRACE

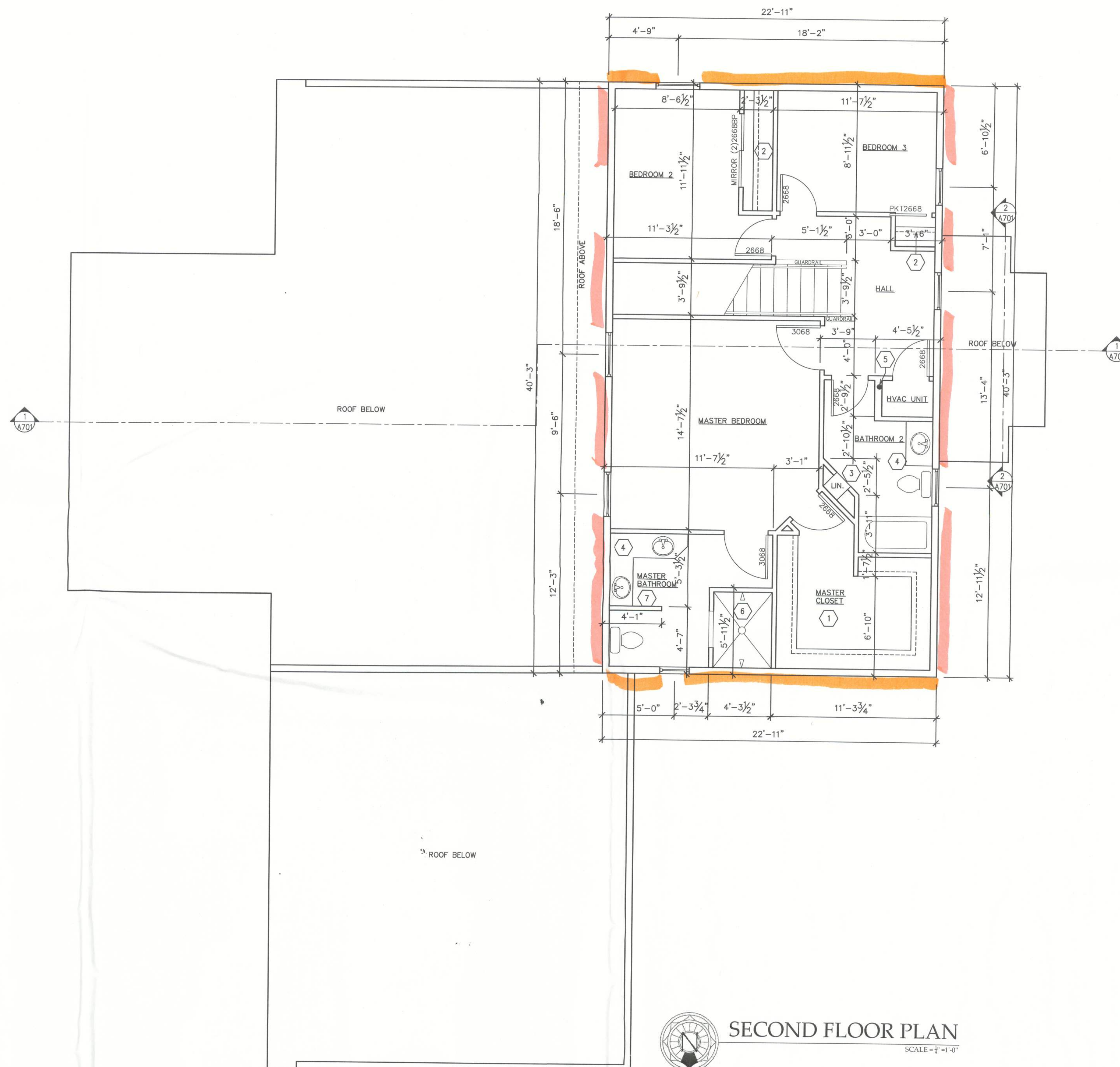
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ISSUE DATE
SEPTEMBER 1, 2013

FIRST FLOOR PLAN

SHEET NUMBER

A-101



SECOND FLOOR PLAN
SCALE = 1/4" = 1'-0"

GENERAL NOTES

- SEE A-501 AND A-502 FOR WINDOW AND EXTERIOR DOOR STYLES AND SIZES.
- SEE NOTES FROM STRUCTURAL ENGINEER FOR HOLD-DOWNS, STRAPS, SHEAR PANELS, REBAR, AND STRUCTURAL SYSTEMS.
- SEE ENGINEERED SET OF DRAWINGS FOR FLOOR AND ROOF SYSTEM SPACING DESIGN, SIZING, AND CONNECTIONS. SECOND FLOOR SYSTEM SHALL BE DESIGNED TO L/360. ALL FLOOR DECKING SHALL BE GLUED AND SCREWED - NAILS ARE NOT PERMITTED. PRE-ENGINEERED FLOOR SYSTEM SHALL INCLUDE PRE-CUT CHASE OPENING FOR HVAC DUCTING. GC SHALL COORDINATE WITH PRE-ENGINEERED TRUSS MANUFACTURER.
- GC SHALL PROVIDE BLOCKING AS NECESSARY FOR CASEWORK AND FIXTURE ATTACHMENT.
- DIMENSIONS TO FACE OF STUD.
- ALL CEILINGS AT 8'-0" A.F.F. UNLESS NOTED OTHERWISE. OTHER CEILING HEIGHT ARE IN RELATION TO 100'-0" F.F.
- DOOR HARDWARE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR. DOOR JAMBS AND FRAMES SHALL BE PREPARED BY GC TO RECEIVE OWNER PROVIDED HARDWARE. SEE DOOR HARDWARE SCHEDULE FOR MORE DETAILS. POCKET DOOR HARDWARE SHALL BE CPCI.
- ALL WALLS SHALL HAVE SKIP TROWEL TEXTURE UNLESS NOTED OTHERWISE. ALL CEILINGS SHALL BE SMOOTH. VERIFY TEXTURES AND FINISHES WITH THE OWNER.
- TO THE GREATEST EXTENT POSSIBLE LOW VOC OR NO VOC COATINGS AND ADHESIVES SHOULD BE USED THROUGHOUT THE BUILDING. CASEWORK SHALL NOT BE STAINED OR COATED IN PLACE. CASEWORK SHALL BE SHOP FINISHED AND PRIOR TO INSTALLATION, SUFFICIENT TIME SHALL HAVE PASSED TO ALLOW ADHESIVES AND COATINGS TO FLASH OFF. PRIOR TO OCCUPANCY BUILDING AIR MUST BE MECHANICALLY FLUSHED FOR A MINIMUM OF 48 HOURS.
- HVAC SYSTEM SHALL INCORPORATE FULL ALLERGEN FILTRATION. DESIGN SHALL BE APPROVED BY OWNER VIA SUBMITTAL OF SHOP DRAWINGS FOR APPROVAL.
- THESE DRAWINGS CONSTITUTE THE OWNER'S INTENT. IT IS STILL THE RESPONSIBILITY OF THE GC TO ENSURE BUILDING IS CODE COMPLIANT, FOLLOWS THE STRUCTURAL ENGINEER'S DESIGN CRITERIA, IS SAFE, AND MEETS THE INTENT OF THE OWNER.
- BUILDING SHALL NOT BE CONSIDERED SUBSTANTIALLY COMPLETE UNTIL OWNER HAS BEEN TRAINED ON THE OPERATION OF ALL SYSTEMS IN THE HOUSE. OWNER'S MANUALS AND MANUFACTURER'S INSTRUCTIONS SHALL BE TURNED OVER TO THE OWNER PRIOR TO OCCUPANCY. GC IS RESPONSIBLE TO APPLY FOR INSTALLED SYSTEMS WARRANTIES WITH THE ASSOCIATED MANUFACTURERS OF INSTALLED DEVICES AND SYSTEMS.
- BATHROOMS AND LAUNDRY SHALL HAVE TILE FLOORS. ALL OTHER LIVING SPACES SHALL HAVE RESILIENT FAUX WOOD PLANKING PER OWNER/GC AGREEMENT. ALL FLOORING TYPE TRANSITIONS SHALL BE ADA COMPLIANT SCHLUTER METAL TRANSITIONS CORRESPONDING TO FLOORING THICKNESSES.
- ACOUSTICAL INSULATION SHALL BE PROVIDED IN WALLS OF BATHROOMS, BEDROOMS, LIBRARY, AND LAUNDRY.
- WHERE POSSIBLE, PLUMBING SYSTEMS SHALL VENT TO CLOSEST EXTERIOR WALL TO MINIMIZE PENETRATIONS IN THE ROOFING SYSTEM.

(X) KEYNOTES

- PROVIDE HORIZONTAL 2X BLOCKING AT 24" O.C. VERTICALLY AROUND PERIMETER OF THIS ROOM FOR FUTURE CASEWORK ATTACHMENT NOT IN THIS CONTRACT. GC SHALL COORDINATE CLOSET DESIGN WITH OWNER PRIOR TO INSTALLATION.
- METAL ROD AND 16" DEEP SHELF.
- PRE-MANUFACTURED 12"W X 72"T CABINET BOX FOR LINEN STORAGE.
- SINK AND BASE CABINETS ON PLAM COUNTERTOP.
- LOCATION OF VERTICAL FOR SUB-SLAB AC CHASE LINE.
- 4"H CURB AROUND SHOWER BASE.
- 48" HIGH HALF WALL WITH CHAMFERED PAINTED HARDWOOD TRIM ON TOP.

PAT & SHARON REEVES RESIDENCE

FORT WHITE, FL 32038

417 SW HILLTOP TERRACE

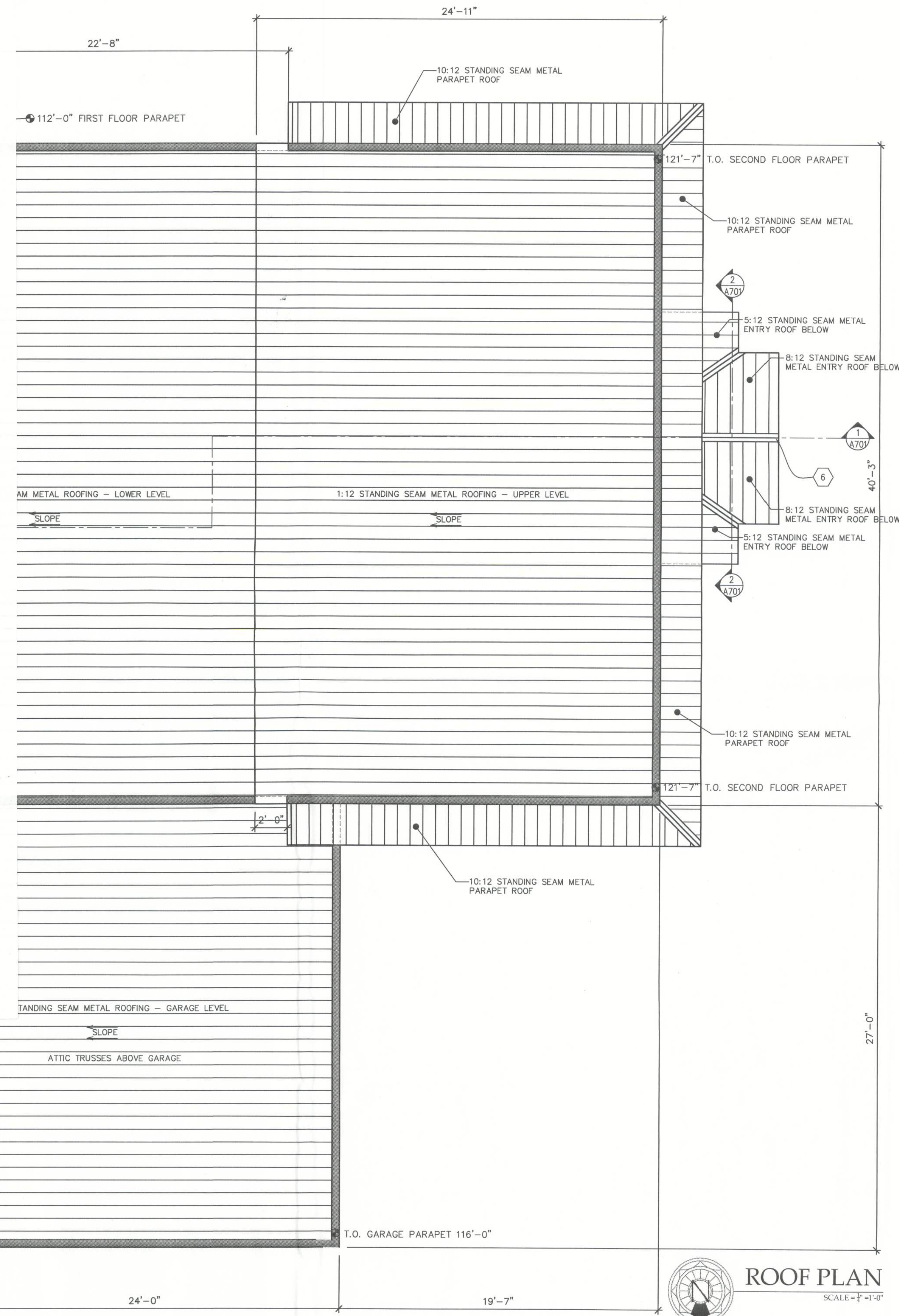
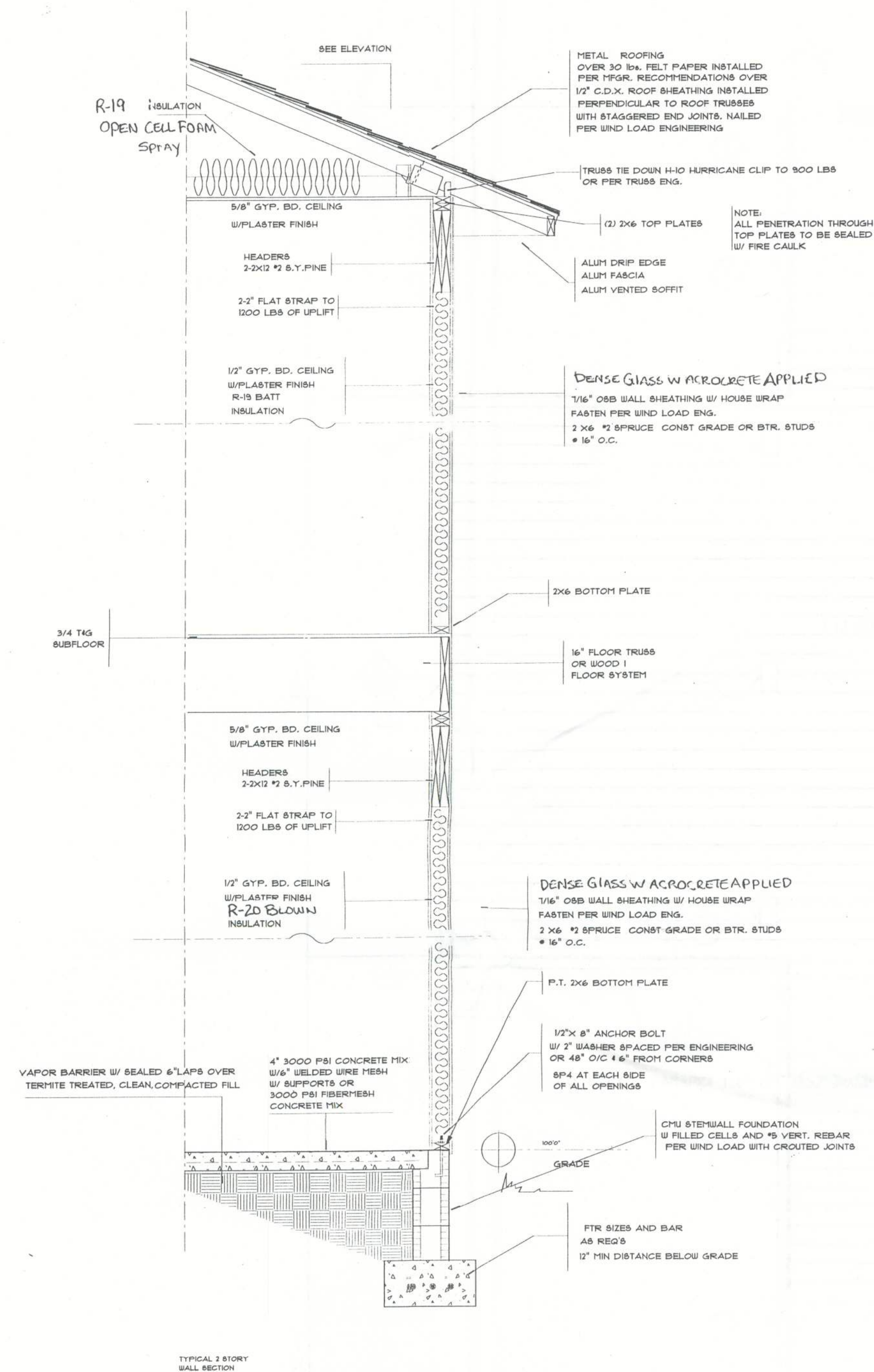
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ISSUE DATE
SEPTEMBER 1, 2013

SECOND FLOOR PLAN

SHEET NUMBER
A-102

WALL SECTION



GENERAL NOTES

- ALL ROOFING SHALL BE PRE-FINISHED METAL STANDING SEAM ROOFING WITH A MINIMUM 30 YEAR FINISH COATING WARRANTY.
- PRIOR TO INSTALLATION OF STANDING SEAM METAL ROOFING, THE ENTIRE ROOF DECK SHALL BE COVER WITH SELF-ADHERING REINFORCED SELF-HEALING MEMBRANE. WRAP MEMBRANE UP VERTICAL PARAPET WALL, ACROSS PARAPET TOP AND SECURE TO FRONT FACE OF PARAPET CAP NAILER (TOP PLATE).
- SHADED AREAS INDICATE VERTICAL PARAPET WALLS.
- ALL PARAPETS SHALL HAVE PRE-FINISHED METAL PARAPET CAP WITH 2" MINIMUM VERTICAL FACE PROFILE.

KEYNOTES

- 5" PRE-FINISHED METAL SEAMLESS GUTTER.
- RAIN CHAIN SECURED AT TOP AND BOTTOM. PROVIDE PRE-CAST SPLASH BLOCK AT DISCHARGE.
- 5" OPEN FACE PRE-FINISHED DOWNSPOUT. FACE STRUTS AT MIN. 3'-0" O.C. VERTICALLY. PROVIDE PRE-CAST SPLASH BLOCK AT DISCHARGE.
- DISCHARGE WATER FROM SECTION OF LOWER ROOF GUTTER ALONG PROFILE OF REAR PORCH ROOF TO LOWER REAR PORCH GUTTER AT RAIN CHAIN LOCATION.
- ATTIC VENT WITH BUG SCREEN AT TOP OF REAR PORCH TRUSS.
- STANDING SEAM MANUFACTURER PROVIDED PRE-FINISHED METAL RIDGE VENT.

PAT & SHARON REEVES RESIDENCE

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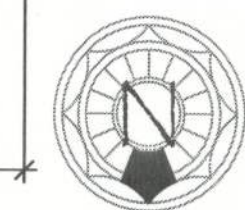
ISSUE DATE
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ROOF PLAN

SHEET NUMBER
A-401

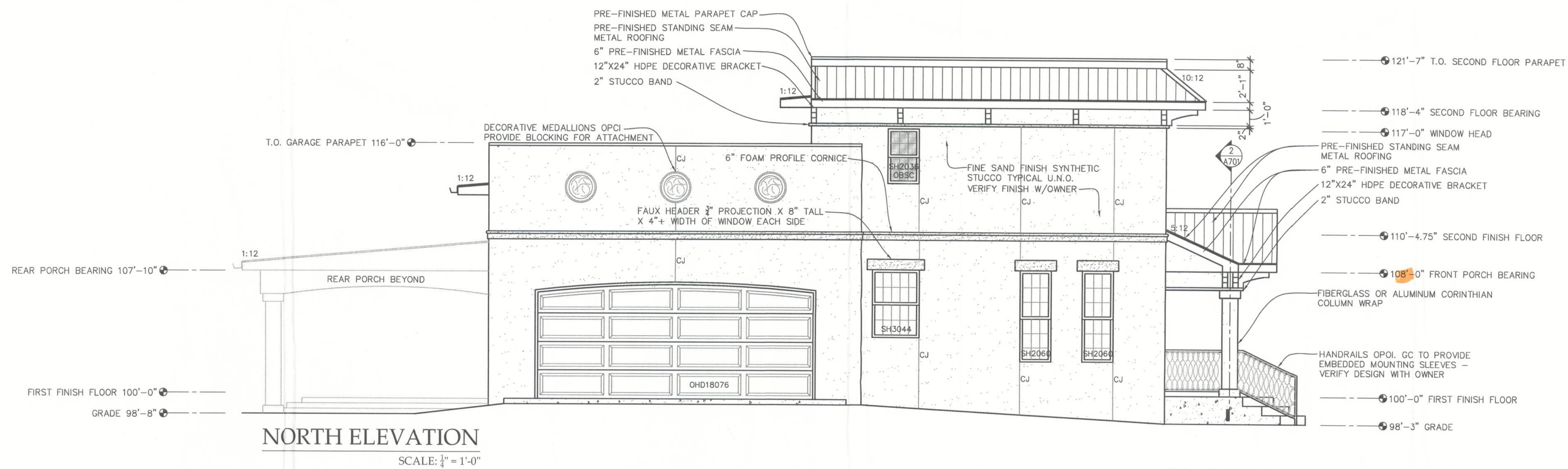
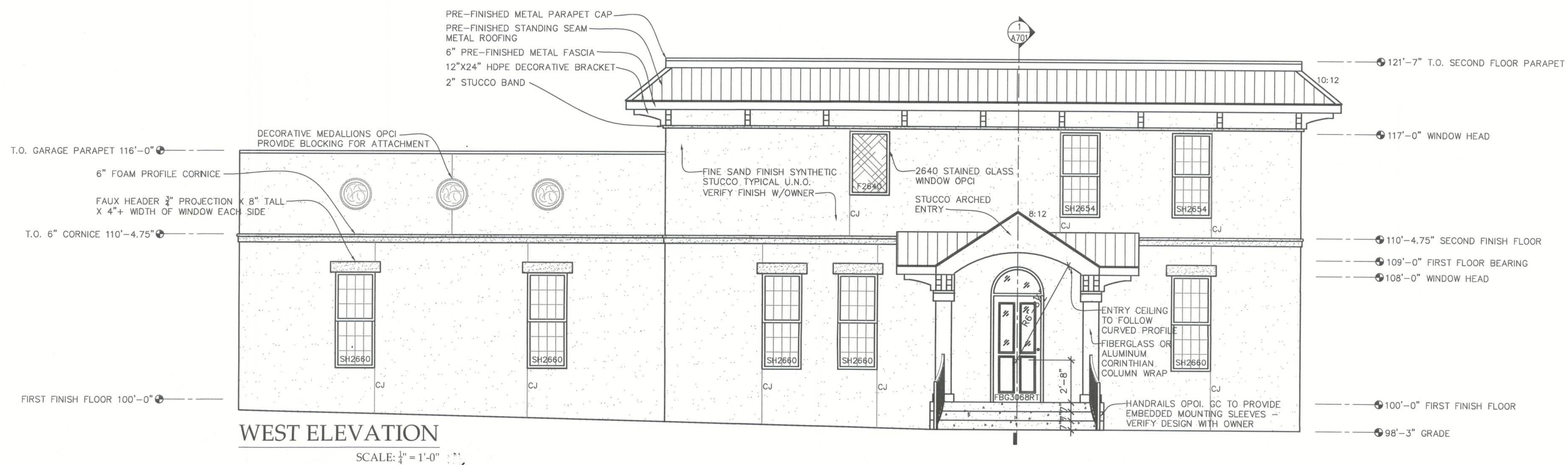
FORT WHITE, FL 32038

417 SW HILLTOP TERRACE



ROOF PLAN

SCALE = 1/4" = 1'-0"



NOTE: ALL WINDOWS SHALL BE VINYL FRAMES WITH SCREENS AT ALL OPERABLE UNITS.

PAT & SHARON REEVES RESIDENCE

FORT WHITE, FL 32038

417 SW HILLTOP TERRACE

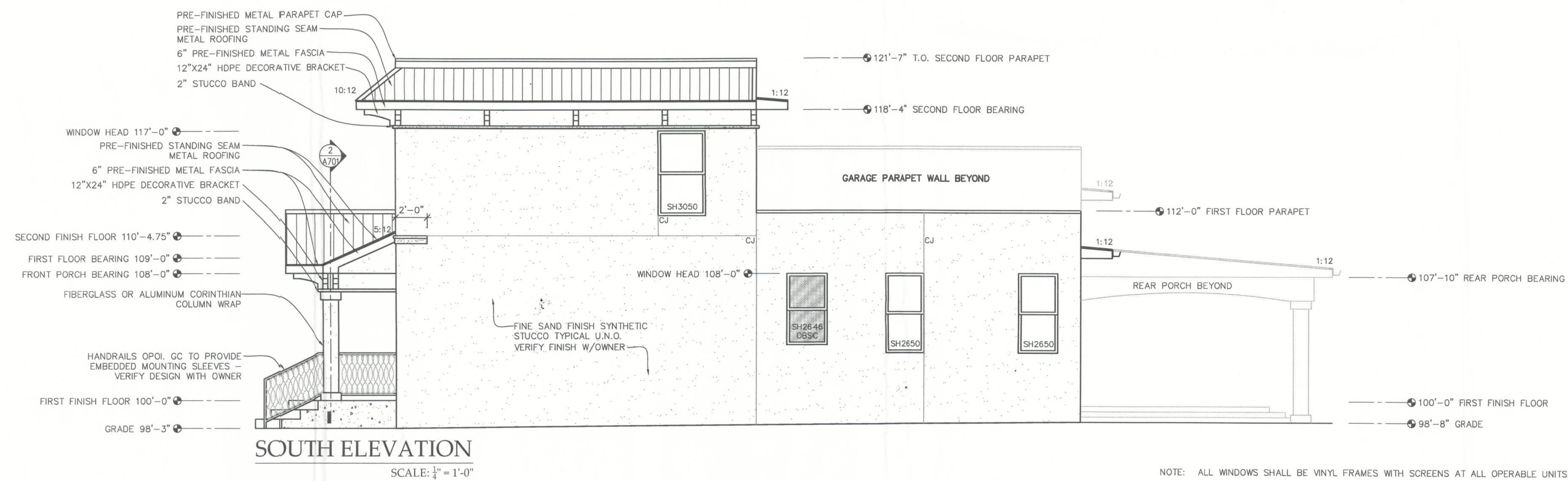
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ISSUE DATE:
SEPTEMBER 1, 2013

WEST & NORTH
ELEVATIONS

SHEET NUMBER

A-501

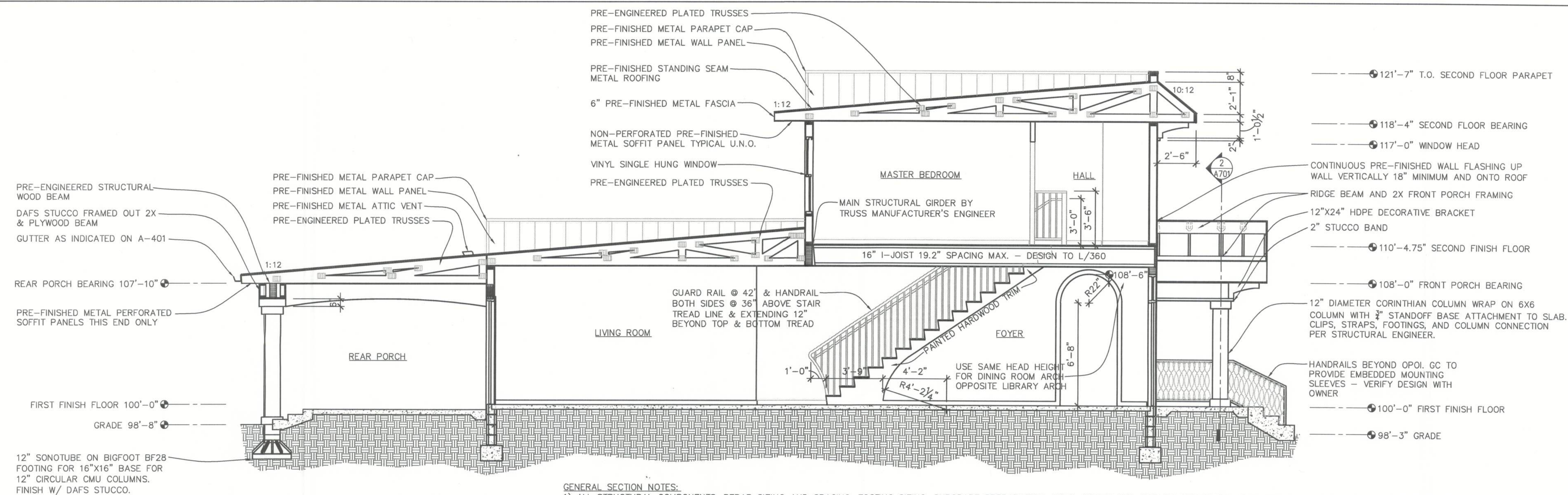


NOTE: ALL WINDOWS SHALL BE VINYL FRAMES WITH SCREENS AT ALL OPERABLE UNITS.

EAST & SOUTH
ELEVATIONS
SHEET NUMBER
A-502

FORT WHITE, FL 32038

417 SW HILLTOP TERRACE

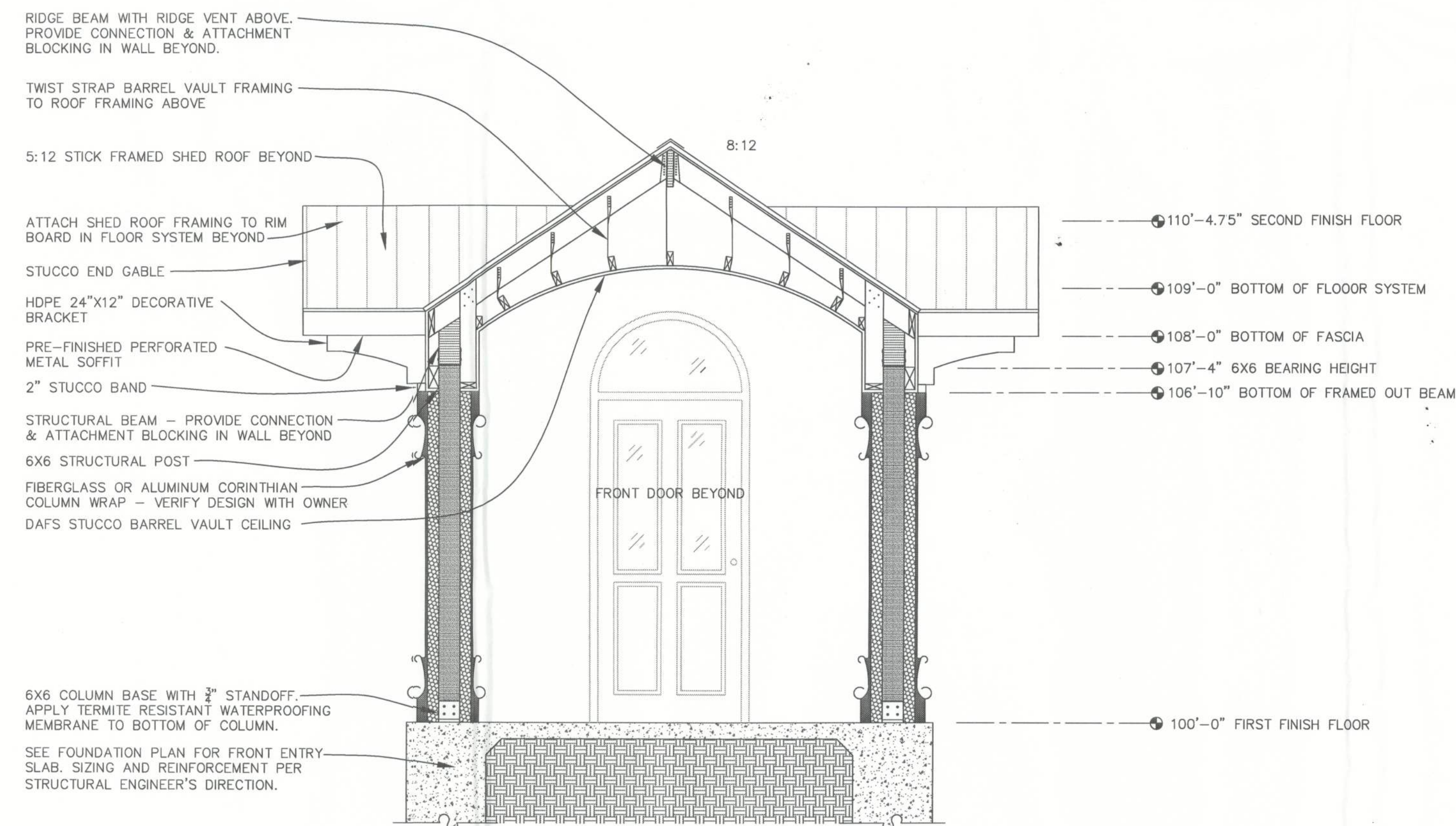


BUILDING SECTION 1

SCALE: $\frac{1}{4}" = 1'-0"$

GENERAL SECTION NOTES:

- 1) ALL STRUCTURAL COMPONENTS, REBAR SIZING AND SPACING, FOOTING SIZING, SUBGRADE PREPARATION, HOLD-DOWNS AND TIES BY STRUCTURAL ENGINEER SHALL COMPLY WITH WIND CODE REQUIREMENTS AND LOCAL BUILDING CODES.
- 2) ALL TRIM AROUND OPENINGS SHALL BE 3.5"x $\frac{3}{4}"$ PAINTED HARDWOOD U.N.O.
- 3) ALL FLOORING SYSTEMS SHALL BE DESIGNED TO L/360 BY FLOORING AND TRUSS MANUFACTURER'S ENGINEER. PRE-CUT CHASE FOR HVAC AND MEP SYSTEMS SHALL BE PROVIDED PER GC'S REQUEST. THIS ENGINEERING IS A DELEGATED PROFESSIONAL ENGINEER'S DESIGN. SAID ENGINEER ASSUMES RESPONSIBILITY FOR ALL DESIGNS RELATED TO ROOF AND FLOORING SYSTEMS. FIELD INSTALLERS OF ALL DISCIPLINES SHALL NOT MODIFY FLOOR OR ROOF STRUCTURAL COMPONENTS WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEER OF RECORD. ANY REPAIR OF DAMAGED STRUCTURAL COMPONENTS SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR CAUSING SAID DAMAGE. GC SHALL NOT BEAR RESPONSIBILITY FOR REPAIR OF UNAUTHORIZED MODIFICATION OF STRUCTURAL COMPONENTS BY SUBCONTRACTORS DONE WITHOUT WRITTEN CONSENT OF ENGINEER OF RECORD.
- 4) ALL PRE-FINISHED METAL ROOFING SYSTEMS SHALL BE PLACED ON SELF-ADHERING, REINFORCED, SELF-HEALING ROOFING MEMBRANE ON $\frac{3}{4}"$ PLYWOOD.
- 5) ALL WATERPROOFING COMPONENTS, FLASHING, TERMINATIONS, AND APPLICATION PROCEDURES SHALL BE PER BEST PRACTICES AND MANUFACTURER'S RECOMMENDED INSTALLATION. LACK OF MANUFACTURER'S INSTALLATION DETAILS FROM THIS SET OF DRAWINGS DOES NOT CONSTITUTE BASIS OF NON-MANUFACTURER APPROVED INSTALLATION. ALL SYSTEMS SHALL BE INSTALLED IN A SUCH A WAY THAT MANUFACTURER'S WARRANTIES SHALL BE VALID AND NOT VOIDED.
- 6) UNLESS NOTED OTHERWISE, ALL EXTERIOR STUCCO FINISH SHALL BE DIRECT APPLIED FINISH SYSTEMS (D.A.F.S.) INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 7) PROVIDE CONTINUOUS ICYNENE INSULATION AROUND PERIMETER ENVELOPE OF BUILDING EQUAL TO THE THICKNESS OF THE ASSOCIATED WALL OR ROOFING MEMBER OR A MINIMUM OF 5.5" THICK. GRAPHIC REPRESENTATION OF INSULATION REMOVED FOR VISUAL CLARITY.
- 8) SEE A-101 AND A-102 FOR DIMENSIONS ON STAIR RISE AND RUN. HANDRAILS SHALL BE 1 $\frac{1}{4}"$ DIAMETER ROUND WOOD RAIL INSTALLED ON BOTH SIDES OF STAIRS.
- 9) FLOOR DECKING SHALL BE $\frac{3}{4}"$ T&G GLUED AND SCREWED. NAILS ARE NOT PERMITTED AS FASTENERS. NAILS FOUND IN FLOOR SYSTEM CONSTITUTE REJECTED WORK. DISCOVERY OF NAILS IN FLOOR SYSTEM SHALL BE REMOVED AND ALL AFFECTED FLOOR SYSTEM COMPONENTS SHALL BE REMOVED AND REPLACED WITH NEW COMPONENTS AT NO ADDITIONAL COST TO THE OWNER OR GC.
- 10) TYPICAL WALL SECTION SHALL CONSIST OF 2X6 EXTERIOR GRADE 2 OR BETTER LUMBER WITH LESS THAN $\frac{1}{8}"$ WARP IN 4 FEET, $\frac{1}{2}"$ PLYWOOD SHEATHING, BUILDING WRAP, AND SYNTHETIC STUCCO D.A.F.S. SHEATHING PERIMETER AND IN FIELD NAILING SHALL CONFORM TO LOCAL AND STATE CODES FOR WIND LOAD REQUIREMENTS. INTERIOR WALL FINISH SHALL BE TYPICAL BLUE BOARD WITH TYPICAL PLASTER FINISH. WALL CAVITY SHALL BE INSULATED AS SPECIFIED ABOVE.



BUILDING SECTION 2

SCALE: $\frac{1}{4}" = 1'-0"$

GENERAL NOTES

1. ALL FIXTURE LOCATIONS AND CAPACITIES SHALL CONFORM TO THE LATEST VERSION OF NEC REQUIREMENTS AND LOCAL CODES INCLUDING EGRESS LIGHTING FOOT CANDLES, GROUND FAULT CIRCUIT INTERRUPTS, ELECTRICAL MAIN DISCONNECTS, ETC. IT SHALL BE THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN OF RECORD TO VERIFY ALL INSTALLATIONS CONFORM AS STATED ABOVE.
2. ELECTRICAL PANELS SHALL BE LABELED WITH A ELECTRONIC LABELING MACHINE (NOT HANDWRITTEN) TO CLEARLY INDICATE CIRCUIT LOCATIONS. ELECTRICAL INSTALLER SHALL PROVIDE ELECTRICAL AS-BUILTS TO OWNER GRAPHICALLY INDICATING ACTUAL INSTALLATION AND ROUTING FOR EACH CIRCUIT.
3. OWNER SHALL PROVIDE AUDIO PRE-WIRE AND LABELS FOR FUTURE USE - NOT WITHIN SCOPE OF ELECTRICAL CONTRACTOR'S WORK. WALL BOARD INSTALLER RESPONSIBLE TO LOCATE AND PROVIDE HOLE IN WALL AND PULL WIRES THROUGH WALL SURFACE AT EACH LOCATION.
4. EC TO COORDINATE HEIGHT OF RECEPTACLES SWITCHES AND OTHER ELECTRICAL ITEMS IN THE PROXIMITY OF BACK SPLASHES WITH CASEWORK INSTALLER AND GC.
5. ALL FLUORESCENT FIXTURES SHALL BE 12"x48" T5 WITH TRUE COLOR CORRECTED BULBS.
6. ALL LIGHT FIXTURES ON CEILING FANS SHALL BE SHIELDED TO PREVENT LIGHT FROM PASSING UPWARDS THROUGH FAN BLADES AND CREATING A STROBE EFFECT ON THE CEILING.
7. SWITCHES SHALL BE ORDERED IN BOXES IN THE RELATIONSHIP SEQUENCES SHOWN ON THIS PLAN.

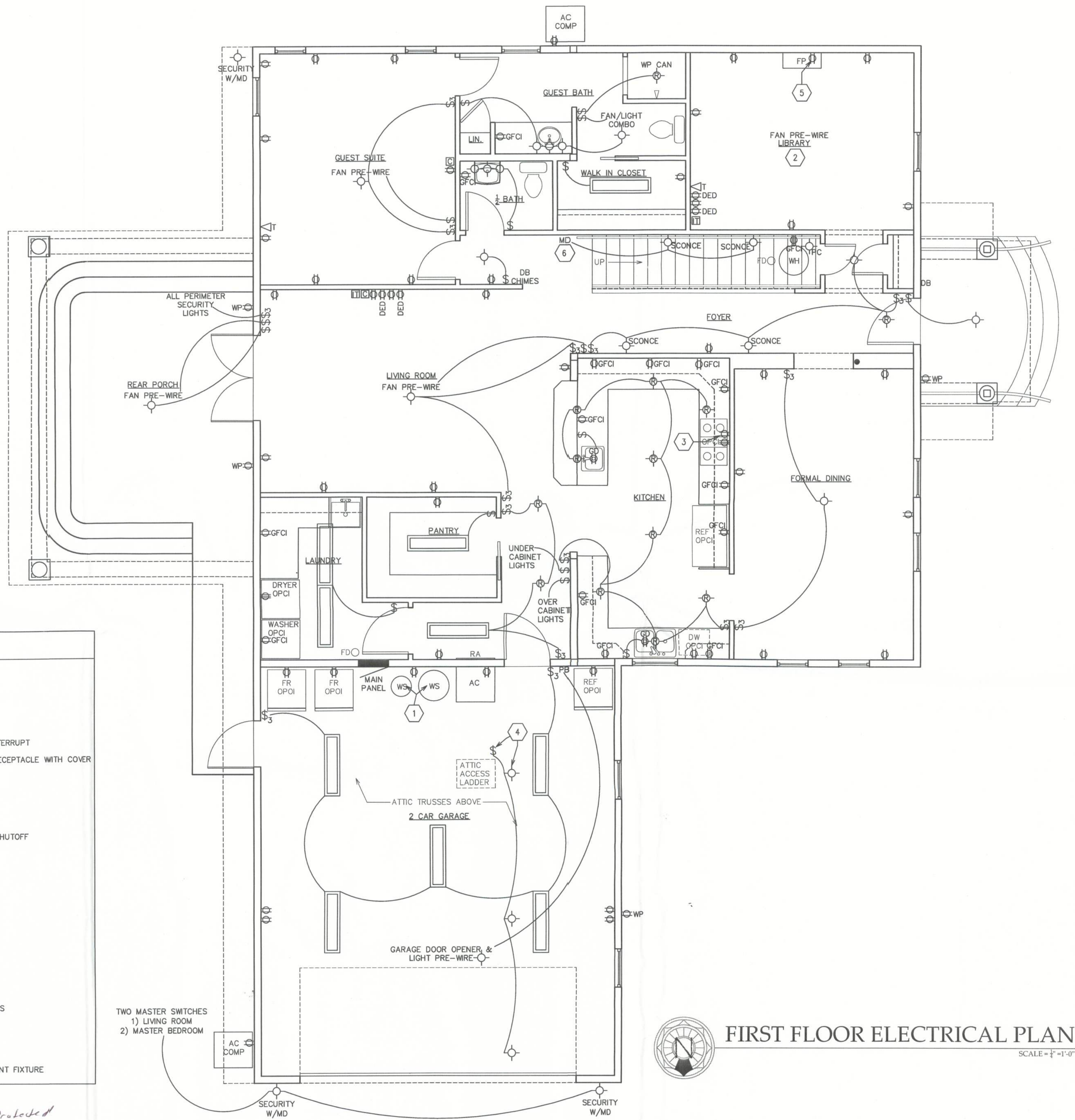
KEYNOTES

1. PROVIDE LOW-VOLTAGE CONNECTION AS REQUIRED TO MAKE WATER SOFTENER SYSTEM AND CONTROLS FUNCTIONAL.
2. VERIFY RECEPTACLE HEIGHTS WITH OWNER PRIOR TO PLACEMENT IN THIS ROOM.
3. VERIFY NEEDED HEIGHT FOR EXHAUST HOOD POWER.
4. ATTIC LIGHTS WITH SWITCH AT ATTIC ACCESS LADDER.
5. VERIFY FIREPLACE EXHAUST FAN REQUIREMENTS WITH GC.
6. LINK MOTION DETECTOR TO LIGHT SCONCES ON STAIRS AND LIGHTS AT TOP OF STAIRS AS INDICATED ON E-102 KEYNOTE #1. SET DELAY TO 5 MINUTES AND SENSITIVITY TO MEDIUM.

ELECTRICAL LEGEND

\$	SWITCH
\$3	THREE-WAY SWITCH
⊕	220V RECEPTACLE
⊕	110V DUPLEX RECEPTACLE
⊕GFCI	110V DUPLEX GROUND FAULT CIRCUIT INTERRUPT
⊕WP	110V DUPLEX WATER PROOF EXTERIOR RECEPTACLE WITH COVER
PB	GARAGE OPENER PUSH BUTTON
DB	DOOR BELL
MD	MOTION DETECTOR
WP	WATER PROOF WITH OVERHEAT SAFETY SHUTOFF
⊕	LIGHT FIXTURE
⊕	RECESSED CAN LIGHT
⊕SCONCE	UP AND DOWN CASTING SCONCE LIGHT
⊕	GARBAGE DISPOSAL
⊕	CABLE TV JACK
⊕T	TELEPHONE
⊕	CAT 6 INTERNET CABLE JACK
⊕DED	DEDICATED RECEPTACLE FOR ELECTRONICS
⊕	MAIN ELECTRICAL PANEL
⊕	12"x48" T5 SURFACE MOUNT FLUORESCENT FIXTURE

⊕ smoke Detectors
All Bedrooms to be Arc Fault Protected

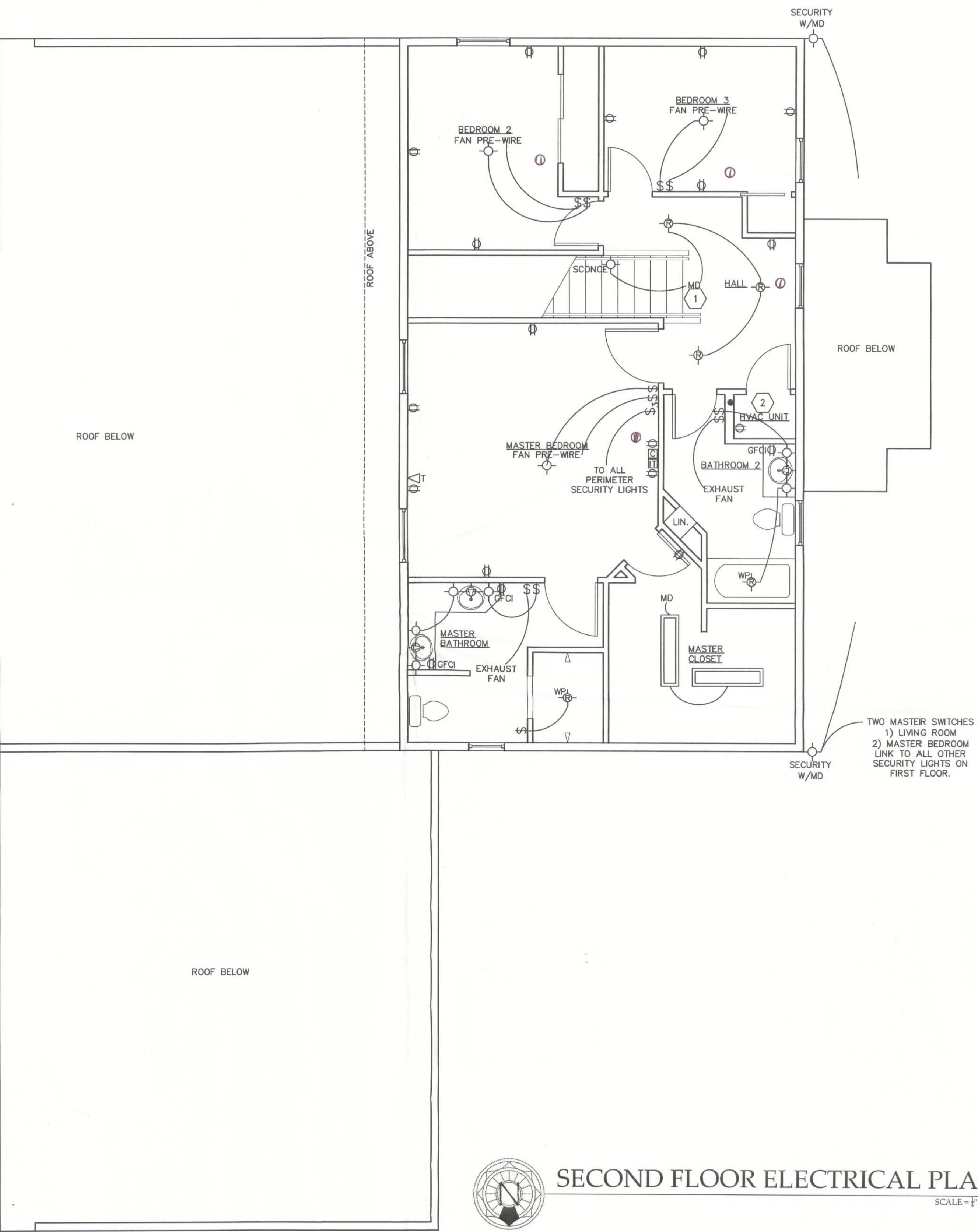


FIRST FLOOR ELECTRICAL PLAN

SCALE = 1/4" = 1'-0"

\$	SWITCH
\$3	THREE-WAY SWITCH
⊕	220V RECEPTACLE
⊕	110V DUPLEX RECEPTACLE
⊕GFCI	110V DUPLEX GROUND FAULT CIRCUIT INTERRUPT
⊕WP	110V DUPLEX WATER PROOF EXTERIOR RECEPTACLE WITH COVER
PB	GARAGE OPENER PUSH BUTTON
DB	DOOR BELL
MD	MOTION DETECTOR
WPI	WATER PROOF WITH OVERHEAT SAFETY SHUTOFF
⊕	LIGHT FIXTURE
⊕	RECESSED CAN LIGHT
⊕SCNCE	UP AND DOWN CASTING SCONCE LIGHT
⊕	GARBAGE DISPOSAL
⊕	CABLE TV JACK
⊕T	TELEPHONE
⊕	CAT 6 INTERNET CABLE JACK
⊕DED	DEDICATED RECEPTACLE FOR ELECTRONICS
—	MAIN ELECTRICAL IPANEL
⊕	12"x48" T5 SURFACE MOUNT FLUORESCENT FIXTURE

⊕ smoke detectors



SECOND FLOOR ELECTRICAL PLAN

SCALE = 1/8" = 1'-0"

GENERAL NOTES

- ALL FIXTURE LOCATIONS AND CAPACITIES SHALL CONFORM TO THE LATEST VERSION OF NEC REQUIREMENTS AND LOCAL CODES INCLUDING EGRESS LIGHTING FOOT CANDLES, GROUND FAULT CIRCUIT INTERRUPTS, ELECTRICAL MAIN DISCONNECTS, ETC. IT SHALL BE THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN OF RECORD TO VERIFY ALL INSTALLATIONS CONFORM AS STATED ABOVE.
- ELECTRICAL PANELS SHALL BE LABELED WITH A ELECTRONIC LABELING MACHINE (NOT HANDWRITTEN) TO CLEARLY INDICATE CIRCUIT LOCATIONS. ELECTRICAL INSTALLER SHALL PROVIDE ELECTRICAL AS-BUILTS TO OWNER GRAPHICALLY INDICATING ACTUAL INSTALLATION AND ROUTING FOR EACH CIRCUIT.
- OWNER SHALL PROVIDE AUDIO PRE-WIRE AND LABELS FOR FUTURE USE — NOT WITHIN SCOPE OF ELECTRICAL CONTRACTOR'S WORK. WALL BOARD INSTALLER RESPONSIBLE TO LOCATE AND PROVIDE HOLE IN WALL AND PULL WIRES THROUGH WALL SURFACE AT EACH LOCATION.
- EC TO COORDINATE HEIGHT OF RECEPTACLES SWITCHES AND OTHER ELECTRICAL ITEMS IN THE PROXIMITY OF BACK SPLASHES WITH CASEWORK INSTALLER AND GC.
- ALL FLUORESCENT FIXTURES SHALL BE 12"x48" T5 WITH TRUE COLOR CORRECTED BULBS.
- ALL LIGHT FIXTURES ON CEILING FANS SHALL BE SHIELDED TO PREVENT LIGHT FROM PASSING UPWARDS THROUGH FAN BLADES AND CREATING A STROBE EFFECT ON THE CEILING.
- SWITCHES SHALL BE ORDERED IN BOXES IN THE RELATIONSHIP SEQUENCES SHOWN ON THIS PLAN.

KEYNOTES

- LINK WITH SCONCES IN STAIRWELL DOWN TO FIRST FLOOR. SET MOTION DETECTOR ON 5 MINUTE DELAY WITH MEDIUM SENSITIVITY.
- VERIFY POWER REQUIREMENTS FOR HVAC UNIT WITH HVAC CONTRACTOR AND GC.

PAT & SHARON REEVES RESIDENCE

DRAWN BY:
BEN REEVES, CDT, CCCA,
LEED AP BD+C

ISSUE DATE
SEPTEMBER 1, 2013

SECOND FLOOR
ELECTRICAL PLAN

SHEET NUMBER
E-102

FORT WHITE, FL 32038

417 SW HILLTOP TERRACE