

DATE 08/22/2012

Columbia County Building Permit

PERMIT  
000030408

This Permit Must Be Prominently Posted on Premises During Construction

APPLICANT ROBERT KELLEY PHONE 352-949-1722  
ADDRESS 126 SW JULBUG GLEN FT. WHITE FL 32038  
OWNER ROBERT KELLEY PHONE 352-949-1722  
ADDRESS 126 SW JULBUG GLEN FT. WHITE FL 32038  
CONTRACTOR OWNER BUILDER PHONE  
LOCATION OF PROPERTY 47S,TR 27, TL RIVERSIDE,TL UTAH,TR WASHINGTON, TL SANTA FE,  
6/10 MILE TL JULBUG GLEN, 1ST DRIVE ON RIGHT  
TYPE DEVELOPMENT GARAGE ESTIMATED COST OF CONSTRUCTION 5000.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT 12.00 STORIES 1  
FOUNDATION OPEN WALLS FRAMED ROOF PITCH 3/12 FLOOR OPEN  
LAND USE & ZONING ESA-2 MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE AE DEVELOPMENT PERMIT NO.

PARCEL ID 26-6S-15-00821-000 SUBDIVISION THREE RIVERS EST  
LOT 98 BLOCK PHASE UNIT 10 TOTAL ACRES 1.00

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING NA BK TC N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: BOTTOM OF FINISHED FLOOR MINIMUM @ 33.39', NEED ELEVATION CERTIFICATE  
BEFORE COMPLETED

Check # or Cash 1590

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Insulation date/app. by  
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by  
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by  
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 25.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 100.00

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# Columbia County Building Permit Application

**For Office Use Only** Application # 1207-29 Date Received 7/13/12 By LH Permit # 30408  
 Zoning Official BZK Date 21 Aug 2012 Flood Zone AE Floodway Land Use ESA Zoning ESA-2  
 FEMA Map # 0466C Elevation 33.39' MFE 33.39' River Santa Fe Plans Examiner TC/RJ Date 7-31-12  
 Comments Accessory Use Bottom of Finish Floor Elevation Certificate at completed construction  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel #  
☐ Dev Permit # ☐ In Floodway ☒ Letter of Auth. from Contractor ☒ W Comp. letter  
 IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ ☒ Sub VF Form  
 Road/Code \_\_\_\_\_ School \_\_\_\_\_ = TOTAL (Suspended) ☐ Ellisville Water ☒ App Fee Paid

Septic Permit No. N/A Fax \_\_\_\_\_

Name Authorized Person Signing Permit Robert Kelley Phone 352-949-1722

Address \_\_\_\_\_

Owners Name Robert Kelley Phone 352-949-1722

911 Address 126 SW Tulbug Glw, Fort White, FL 32038

Contractors Name Owner Builder Phone \_\_\_\_\_

Address \_\_\_\_\_

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address Gulf Coast Barns & Storage  
Master Gable Roof Shed Plans PO Box 77 Horseshoe Beach FL

Mortgage Lenders Name & Address \_\_\_\_\_ 32648

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 00-00-00-00821-000 Estimated Cost of Construction \$5000.00

Subdivision Name Three Rivers Est. Lot 98 Block \_\_\_\_\_ Unit 10 Phase \_\_\_\_\_

Driving Directions 47 S, (R) 27, (L) Riverside, (R) Washington,  
(L) Santa Fe dr. (L) Tulbug Glw, 1st Drive on Right

Number of Existing Dwellings on Property 0

Construction of Garage Total Acreage 1ac Lot Size 1ac

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 12'

Actual Distance of Structure from Property Lines - Front 200' Side 25' Side 48' Rear 200'

Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area \_\_\_\_\_ Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE: Florida Building Code 2010 and the 2008 National Electrical Code.**

Left a message for Robert 8-22-12 OK 1590



**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.  
Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

State of Florida Notary Signature (For the Contractor)

**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER \_\_\_\_\_ CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

|                                   |   |   |
|-----------------------------------|---|---|
| <b>ELECTRICAL</b><br>X            | Print Name <u>Robert Kelly</u><br>License #: <u>Owner</u> | Signature <u>Robert Kelly</u><br>Phone #: <u>352-949-1322</u> |
| <b>MECHANICAL/<br/>A/C</b>        | Print Name _____<br>License #: _____                      | Signature _____<br>Phone #: _____                             |
| <b>PLUMBING/<br/>GAS</b>          | Print Name _____<br>License #: _____                      | Signature _____<br>Phone #: _____                             |
| <b>ROOFING</b>                    | Print Name _____<br>License #: _____                      | Signature _____<br>Phone #: _____                             |
| <b>SHEET METAL</b>                | Print Name _____<br>License #: _____                      | Signature _____<br>Phone #: _____                             |
| <b>FIRE SYSTEM/<br/>SPRINKLER</b> | Print Name _____<br>License #: _____                      | Signature _____<br>Phone #: _____                             |
| <b>SOLAR</b>                      | Print Name _____<br>License #: _____                      | Signature _____<br>Phone #: _____                             |

| Specialty License  | License Number | Sub-Contractors Printed Name | Sub-Contractors Signature |
|--------------------|----------------|------------------------------|---------------------------|
| MASON              |                |                              |                           |
| CONCRETE FINISHER  |                |                              |                           |
| FRAMING            |                |                              |                           |
| INSULATION         |                |                              |                           |
| STUCCO             |                |                              |                           |
| DRYWALL            |                |                              |                           |
| PLASTER            |                |                              |                           |
| CABINET INSTALLER  |                |                              |                           |
| PAINTING           |                |                              |                           |
| ACOUSTICAL CEILING |                |                              |                           |
| GLASS              |                |                              |                           |
| CERAMIC TILE       |                |                              |                           |
| FLOOR COVERING     |                |                              |                           |
| ALUM/VINYL SIDING  |                |                              |                           |
| GARAGE DOOR        |                |                              |                           |
| METAL BLDG ERECTOR |                |                              |                           |

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



## NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

00P21-000

Clerk's Office Stamp

Inst. 201212010526 Date: 7/13/2012 Time: 3:19 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1238 P: 789

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Three Rivers Est. Lot 98 Unit 10  
a) Street (Job) Address: \_\_\_\_\_
2. General description of improvements: Metal Building
3. Owner Information  
a) Name and address: Robert Kelley  
b) Name and address of fee simple titleholder (if other than owner): \_\_\_\_\_  
c) Interest in property: \_\_\_\_\_
4. Contractor Information  
a) Name and address: Owner Builder 126 SW Tulbug GLD Fort White FL  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): 32038
5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
6. Lender  
a) Name and address: N/A  
b) Phone No.: \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:  
a) Name and address: N/A  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

x 10.

Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager

Robert Kelley  
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 13 day of July, 20 12, by:  
Owner Builder as Self (type of authority, e.g. officer, trustee, attorney  
fact) for Robert Kelley (name of party on behalf of whom instrument was executed).

Personally Known \_\_\_\_\_ OR Produced Identification X Type ADL

Notary Signature Laurie Hodson Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #20 above.)



## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.



I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

126 SW Tulbug Glen, Ft. White, FL 32038

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

### TYPE OF CONSTRUCTION

( ) Single Family Dwelling      ( ) Two-Family Residence      ( ) Farm Outbuilding

( ) Addition, Alteration, Modification or other Improvement

( ) Commercial, Cost of Construction \_\_\_\_\_ Construction of \_\_\_\_\_

☒ Other Garage

I, Robert Pierce Kelley Jr, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Robert Pierce Kelley Jr  
Owner Builder Signature

Date

7.13.12

### NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FDL

Notary Signature [Signature]

Date

7-13-12

(Seal)

### FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative [Signature]



Revised: 7-23-09  
DISCLOSURE STATEMENT 09  
Documents: B&Z Forms



9:00:02 AM 7/19/2012

**Licensee Details****Licensee Information**

Name: **WUNDER, CHARLES A JR (Primary Name)**  
(DBA Name)

Main Address: **po box 126**  
**NEWBERRY Florida 32669**

County: **ALACHUA**

License Mailing:

LicenseLocation:

**License Information**

License Type: **Professional Engineer**

Rank: **Prof Engineer**

License Number: **46032**

Status: **Current,Active**

Licensure Date: **08/12/1992**

Expires: **02/28/2013**

**Special Qualifications**      **Qualification Effective**  
**Building Code Core**  
**Course Credit**

[View Related License Information](#)[View License Complaint](#)

**1940 North Monroe Street, Tallahassee FL 32399 :: Email: [Customer Contact Center](#) :: Customer Contact Center: 850.487.1395**

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Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395.

# Columbia County Property Appraiser

CAMA updated: 6/7/2012

**2011 Tax Year**

Parcel: 00-00-00-00821-000

&lt;&lt; Next Lower Parcel Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

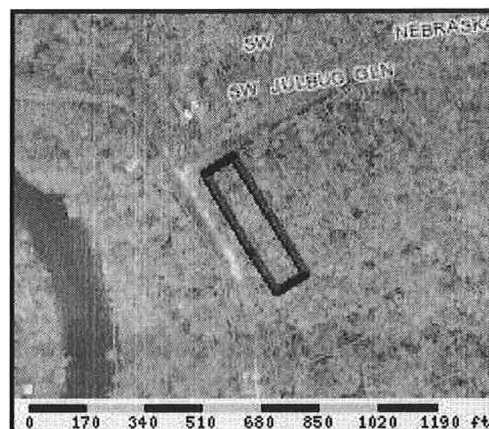
Interactive GIS Map

Print

Search Result: 1 of 2 Next &gt;&gt;

## Owner & Property Info

|                         |   |                     |        |
|-------------------------|---|---------------------|--------|
| <b>Owner's Name</b>     | KELLEY ROBERT JR &  |                     |        |
| <b>Mailing Address</b>  | SUSAN PUNDT<br>7817 SW 161 ST AVE<br>ARCHER, FL 32618   |                     |        |
| <b>Site Address</b>     | 126 SW JULBUG GLN   |                     |        |
| <b>Use Desc. (code)</b> | VACANT (000000)   |                     |        |
| <b>Tax District</b>     | 3 (County)  | <b>Neighborhood</b> | 100000 |
| <b>Land Area</b>        | 0.000<br>ACRES  | <b>Market Area</b>  | 02     |
| <b>Description</b>      | NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.<br>LOT 98 UNIT 10 THREE RIVERS ESTATES. ORB 832-844, 832-845, WD 1032-2440, WD 1040-2807. WD 1109-1298, |                     |        |



## Property & Assessment Values

| 2011 Certified Values        |  |             |
|------------------------------|--|-------------|
| <b>Mkt Land Value</b>        | cnt: (0)   | \$10,000.00 |
| <b>Ag Land Value</b>         | cnt: (2)   | \$0.00      |
| <b>Building Value</b>        | cnt: (0)   | \$0.00      |
| <b>XFOB Value</b>            | cnt: (0)   | \$0.00      |
| <b>Total Appraised Value</b> |  | \$10,000.00 |
| <b>Just Value</b>            |  | \$10,000.00 |
| <b>Class Value</b>           |  | \$0.00      |
| <b>Assessed Value</b>        |  | \$10,000.00 |
| <b>Exempt Value</b>          |  | \$0.00      |
| <b>Total Taxable Value</b>   | Cnty: \$10,000<br>Other: \$10,000   Schl: \$10,000 |             |

## 2012 Working Values

### NOTE:

2012 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

| Sale Date  | OR Book/Page | OR Code | Vacant / Improved | Qualified Sale | Sale RCode | Sale Price  |
|------------|--------------|---------|-------------------|----------------|------------|-------------|
| 1/26/2007  | 1109/1298    | WD      | V                 | U              | 08         | \$18,500.00 |
| 3/14/2005  | 1040/2807    | WD      | V                 | U              | 08         | \$10,000.00 |
| 11/17/2004 | 1032/2440    | WD      | V                 | Q              |            | \$58,400.00 |
| 12/9/1996  | 832/845      | WD      | V                 | Q              |            | \$1,800.00  |

## Building Characteristics

| Bldg Item | Bldg Desc | Year Blt | Ext. Walls | Heated S.F. | Actual S.F. | Bldg Value |
|-----------|-----------|----------|------------|-------------|-------------|------------|
| NONE      |           |          |            |             |             |            |

## Extra Features & Out Buildings

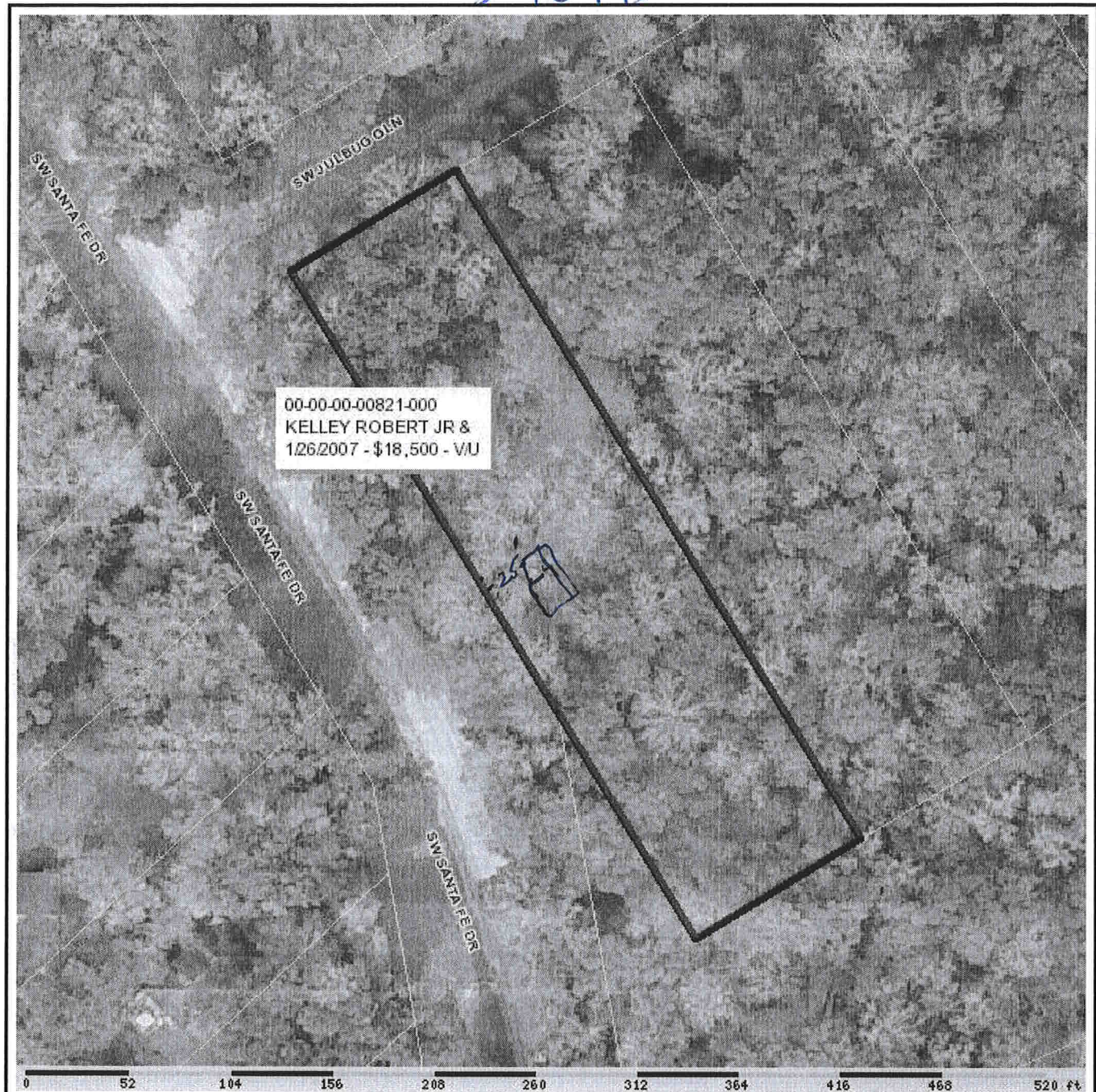
| Code | Desc | Year Blt | Value | Units | Dims | Condition (% Good) |
|------|------|----------|-------|-------|------|--------------------|
| NONE |      |          |       |       |      |                    |

## Land Breakdown

| Lnd Code | Desc | Units | Adjustments | Eff Rate | Lnd Value |
|----------|------|-------|-------------|----------|-----------|
|----------|------|-------|-------------|----------|-----------|



Site Plan

**Columbia County Property Appraiser**

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

**PARCEL: 00-00-00-00821-000 - VACANT (000000)**

LOT 98 UNIT 10 THREE RIVERS ESTATES. ORB 832-844, 832-845, WD 1032-2440, WD 1040-2807, WD 1109-1298,

Name: KELLEY ROBERT JR &amp;

**2011 Certified Values**

Site: 126 SW JULBUG GLN

Land

\$10,000.00

SUSAN PUNDT

Bldg

\$0.00

Mail: 7817 SW 161 ST AVE

Assd

\$10,000.00

ARCHER, FL 32618

Exmpt

\$0.00

Sales 1/26/2007

\$18,500.00 V / U

Taxbl

Cnty: \$10,000

Info 3/14/2005

\$10,000.00 V / U

Other: \$10,000 | Schl: \$10,000

**NOTES:**

This information updated: 6/7/2012, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

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GrizzlyLogic.com





*Quality Designed Wood Construction Storage Sheds*

# **Gulf Coast Storage Sheds®**

88 9th Avenue East ~ Post Office Box 77 ~ Horseshoe Beach, Florida 32648

**(352) 498-0074 Toll-Free 1-877-59-SHEDS FAX (352) 498-0406**

To building and zoning official,

This customer is applying for a permit for a portable storage shed manufactured by us to be delivered in your area. I have included a copy of these plans which are engineered for up to a 140 Mph wind zone. We also have signed and sealed copies available if you need them and our preferred method is to file a master copy at each building and zoning department for your reference. If you need a master copy filed with your office please contact us, 352-498-0074 and we will send you a copy right away along with any other documentation that you need.

I've also included a document that clarifies our anchoring requirements as required by our engineered plans for different size buildings

Thanks in advance for your help in this permitting process. If we can do anything to help, please contact us.

Sincerely,

Josiah Libbey -Gulf Coast Storage Sheds



*Quality Designed Wood Construction Storage Sheds*

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**(352) 498-0074 Toll-Free 1-877-59-SHEDS FAX (352) 498-0406**

Phone 352-498-0074

Fax 352-498-0406

<http://www.gulfcoaststoragesheds.com>

<http://www.libbeysheds.com>





*Quality Designed Wood Construction Storage Sheds*

# **Gulf Coast Storage Sheds®**

88 9th Avenue East ~ Post Office Box 77 ~ Horseshoe Beach, Florida 32648

**(352) 498-0074   Toll-Free 1-877-59-SHEDS   FAX (352) 498-0406**

## **Anchoring Requirements**

In order for our sheds to meet the certified 140 mile per hour wind load, they need to be anchored as specified in our shed plans. These plans call for 30" eye anchors spaced no further than 8' apart with a minimum of 4 anchors per shed. Normally the anchor is lagged to the side of the shed.

The number of anchors that need to be installed depends on the length of the shed and are as follows;

- 10' long-----4 anchors
- 12' long-----4 anchors
- 16' long-----6 anchors
- 20' long-----8 anchors
- 24' long-----8 anchors
- 30' long-----10 anchors
- 32' long-----10 anchors

Currently we are using 50" eye anchors on most sheds as an extra measure against wind and also to allow for any higher than normal blocking required for uneven terrain, ect.

Gulf Coast Storage Sheds  
88 9<sup>th</sup> Ave East  
Horseshoe Beach, FL 32648

FOR  
GULFCOAST BARN & STORAGE

P.O. BOX 177  
HORSESHOE BEACH, FL 32648

(352) 498-0074

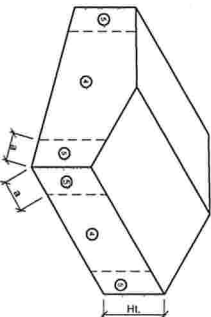
[illegible]

1.3. DISPOSITIONS SHOULD BE SPECIFIED FOR EACH MANUFACTURED PRODUCT. THE DISPOSITIONS SHOULD BE LISTED IN ORDER OF PRIORITY, WITH THE MOST DESIRABLE DISPOSITION FIRST. DISPOSITIONS TO PRODUCTS ON CHANGES IN REGULATION PROCEDURES SHOULD NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER. THE PERFORMANCE OF THE DISPOSITIONS SHOULD BE MONITORED AND ALL INFORMATION REPORTED TO THE FDOT RESPONSIBILITY OF THE ENGINEER OR CONTRACTOR.

2.2. DISTRIBUTION FOR HAZARDOUS MATERIALS, SUCH AS WPC PRODUCTS SHALL BE APPROVED BY THE FDOT AND BY THE ENGINEER.

**—INSTALLATIONS—**

1.1.1. ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE DESIGN MANUAL. REQUIRED FASTENING QUANTITY, TYPE, SIZE, AND PLACEMENT SHALL BE AS SPECIFIED IN THE DESIGN MANUAL. FASTENERS AND CHAINS SHALL BE 304/316 STAINLESS STEEL AND NOT BE REPLACED WITH OTHERS PER 9.2.3.1 UNLESS OTHERWISE SPECIFIED.



| COMPONENT       | WIDTH<br>(in.) | SPAN<br>(ft.) | ZONE | WIND PRESS. (lb./sq. ft.) |        |
|-----------------|----------------|---------------|------|---------------------------|--------|
|                 |                |               |      | MAX.                      | MIN.   |
| ROOF SHEATHING  | 8              | 8             | 2    | 37.27                     | -30.66 |
| ROOF SHEATHING  | 5              | 8             | 3    | 57.27                     | -46.30 |
| ROOF SHEATHING  | 4              | 8             | 3H   | 30.76                     | -63.75 |
| ROOF SHEATHING  | 4              | 8             | 4    | 30.76                     | -63.75 |
| ROOF SHEATHING  | 4              | 8             | 5    | 37.27                     | -46.30 |
| ROOF SHEATHING  | 3              | 8             | 6    | 40.82                     | -53.80 |
| WALL - END ZONE | 3              | 8             | 5    | 40.82                     | -53.80 |
| WALL - END ZONE | 3              | 8             | 6    | 36.15                     | -44.06 |
| ROOF PATTERN    | 2              | 2             | 14   | 1                         | 1      |
| ROOF PATTERN    | 4.62           | 14            | 1    | 36.15                     | -36.92 |
| WOOD 2 DOORS    | 3              | 3             | 4    | 40.80                     | -44.42 |
| DOORS           | 3              | 3             | 4    | 38.28                     | -43.60 |
| WOOD 2 WALL UP  | 3              | 3             | 4    | 38.28                     | -43.60 |
| WOOD 2 WALL UP  | 6.07           | 6             | 4    | 41.60                     | -45.84 |
| WINDOW          | 3              | 3             | 4    | 41.60                     | -45.82 |
| WINDOW          | 3              | 3             | 4    | 41.60                     | -45.82 |
| WINDOW          | 3              | 3             | 5    | 42.62                     | -56.19 |
| WINDOW          | 3              | 3             | 5    | 41.60                     | -45.82 |

**D = 3.0 FT.; 1H THROUGH 3H FOR OVERHANGS.**

|                          |                         |
|--------------------------|-------------------------|
| UTILITY & MICELL INCORP. | 100 MPH (3) SECOND GUST |
|                          | 105 MPH (3) SECOND GUST |
| CATEGORY:                | 1                       |
| EXPOSURE:                | C*                      |
| METHOD OF DESIGN:        | F.B.C. 2010             |
| MEAN ROOF HEIGHT:        | 12'-6"                  |

NOTE:  
BUILDING DECKED AS  
ENCLOSURE.  
INTERVAL PRESSURE COEFFICIENT: 0.18 (ENCLOSED MOUNTED)  
BUILDING)

WOOD ROOF:  
LIVES: 20 MYR  
DEAD: 8 MYR

\* SUSTAINABLE FOR ALL SITES WITH EXPOSURE  $\leq 1$  EXCEPT WITHIN 800 FT. OF A BODY OF WATER HAVING A FETCH OF 1 MILE OR GREATER PER FBC 1609.4.1.

[illegible]

THESE PLANS COMPLY WITH FLORIDA BUILDING CODE 2010,  
& FLORIDA FIRE PREVENTION CODE 2010 NFPA 70, NEC-08.

THE ABOVE BUILDING STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H., 3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H., 3 SECOND GUST.

2010 F.B.C.

"MASTER GABLE ROOF SHED PLANS"  
FOR  
GULF COAST BARN & STORAGE  
P.O. BOX 77  
HORSESHOE BEACH, FL 32648

CHARLES A. WUNDER, JR., P.E.  
P.O. BOX 126  
NEWBERRY, FL 32669  
(352) 214-3192

Charles A. Wunder, Jr., P.E.  
Reg. No. 46032  
Date:

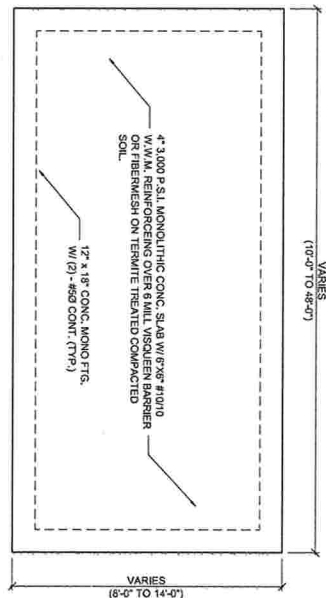
|             |          |
|-------------|----------|
| DRAWN       |          |
| BY          |          |
| CHECKED     |          |
| DATE        | 03-01-12 |
| SCALE       | NOTED    |
| SHEET NO.   | E-03409  |
| SHEET       | 1        |
| OF 5 SHEETS |          |



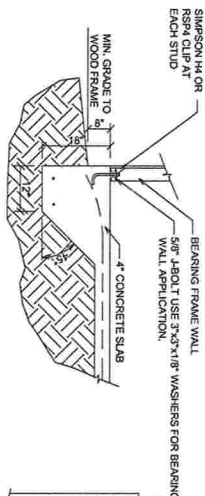
# FOUNDATION NOTES:

- 1) FOOTINGS & SLAB SHALL BE PLACED ON NATURAL GRADE OR COMPACTED FILL.
- 2) PRESSURE OF 2,000 PSF ON COMPACTED FILL BEFORE CONSTRUCTION COMMENCES. SOIL BEARING CAPACITY MAY UPON REQUEST BY BUILDING OFFICIALS BE VERIFIED BY FIELD AND LABORATORY TESTS PERFORMED BY A CERTIFIED TESTING LABORATORY WHOSE REPORT SHALL INCLUDE ANALYSIS & RECOMMENDATIONS FOR SITE PREPARATIONS IN ORDER TO BEAR FOUNDATION LOADS. ABOVE RECOMMENDATIONS SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER FOR REVIEW BEFORE FOUNDATION CONSTRUCTION. FOUNDATION EXCAVATIONS SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D-1557. CONTRACTOR OWNER TO VERIFY SOIL CONDITIONS, DENSITY, & ALLOWABLE BEARING CAPACITY.
- 3) WHERE REQUIRED THE OWNER/CONTRACTOR SHALL RETAIN THE SERVICES OF AN INDEPENDENT GEOTECHNICAL ENGINEER TO VERIFY SUCCESSFUL COMPLETION OF THE SITE PREPARATION EFFORTS. LOCATIONS FAILING TO MEET THE GEOTECHNICAL ENGINEER'S REQUIREMENTS SHALL BE AND AS DIRECTED BY THE ENGINEER. WRITTEN CERTIFICATION THAT THE MINIMUM DESIGN BEARING CAPACITY, AND THAT THE COMPACTION REQUIREMENTS HAVE BEEN MET SHALL BE PROVIDED BY THE GEOTECHNICAL ENGINEER.
- 4) CONCRETE FOR FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI @ 28 DAYS.
- 5) THE MINIMUM THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL BE NOT LESS THAN 3-1/2 INCHES. SLABS ON GRADE AND TWO-FAMILY DWELLINGS SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - A) CONCRETE SLABS ON GROUND CONTAINING SYNTHETIC FIBER REINFORCEMENT, FIBER LENGTHS SHALL BE 1/2 INCH TO 2 INCHES IN LENGTH, DOSE/DOSE AMOUNTS SHALL BE FROM 675 TO 1.5 POUNDS PER CUBIC YARD OF CONCRETE. SYNTHETIC FIBERS SHALL COMPLY WITH ASTM C 1116. THE MANUFACTURER OR SUPPLIER SHALL PROVIDE CERTIFICATION OF COMPLIANCE WITH ASTM C 1199 WHEN REQUESTED BY THE BUILDING OFFICIAL; OR
  - B) CONCRETE SLABS ON GROUND CONTAINING #6 W 14 X W 4 WELDED WIRE REINFORCEMENT FABRIC LOCATED IN THE MIDDLE TO THE UPPER 1/3 OF THE SLAB. WELDED WIRE REINFORCEMENT SHALL BE SUPPORTED BY CHAIRS OR SPACERS TO MAINTAIN A MINIMUM 2 INCHES CLEARANCE FROM THE BOTTOM OF THE SLAB. THE MANUFACTURER'S SPECIFICATIONS, WELDED PLAN WIRE REINFORCEMENT FABRIC FOR CONCRETE SHALL CONFORM TO ASTM A 185. STANDARD SPECIFICATION FOR STEEL WELDED WIRE REINFORCEMENT FABRIC, PLAN FOR CONCRETE REINFORCEMENT.
- 7) STEEL SHALL BE A MINIMUM OF GRADE 60 AND IDENTIFIED IN ACCORDANCE WITH ASTM A 615-04, A 706-06, A 817.
- 8) COVER OVER REINFORCING STEEL SHALL BE 3" FOR STEEL FOR FOUNDATIONS.

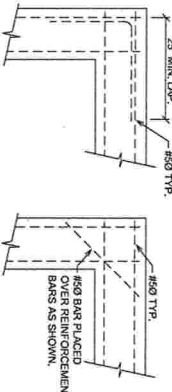
# FOUNDATION PLAN



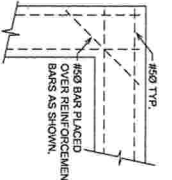
# MONOLITHIC W/ FRAME WALL



# CORNER LOCATION



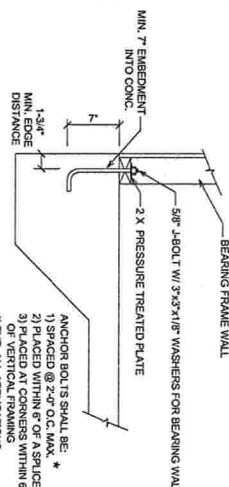
# CORNER OPTION 2



# OPTIONAL LAP REINFORCING

- 1) A RETRO-FIT WEDGE ANCHOR MAY BE SUBSTITUTED FOR 1/2\"/>

# ANCHOR BOLT DETAIL



NOTE:  
FASTENING OF SILL PLATES TO CONC. SHALL BE MADE WITH 5/8\"/>

| DATE     | BY                         |
|----------|----------------------------|
| 05-20-12 | CHAS. A. WUNDER, JR., P.E. |
| NOTED    |                            |
| 2012     |                            |
| 1        |                            |
| 2        |                            |

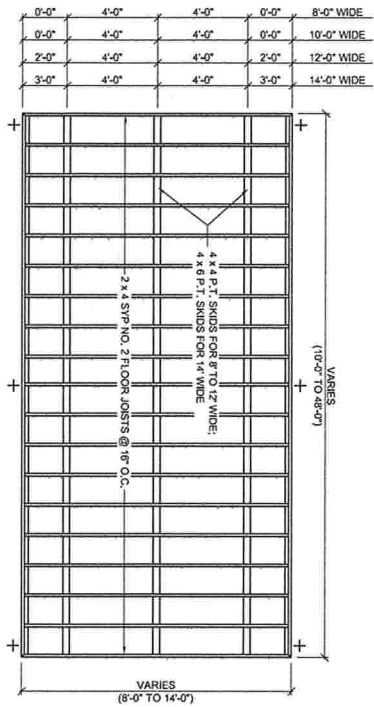
CHARLES A. WUNDER, JR., P.E.  
P.O. BOX 126  
NEWBERRY, FL 32669  
(352) 214-3192

"SHED FOUNDATION PLANS"  
FOR  
GULF COAST BARN & STORAGE  
P.O. BOX 77  
HORSESHOE BEACH, FL 32648

| REVISIONS | BY |
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2010 F.B.C.





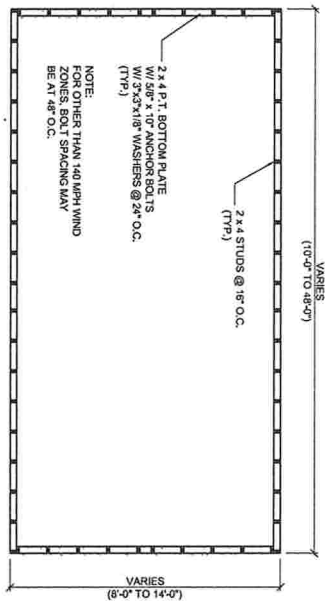
FLOOR FRAMING PLAN

+ = TIE-DOWN ANCHOR LOCATION

3/16" = 1'-0"

TIE-DOWN ANCHORS

- 1) PLACE AT EACH CORNER OF BUILDING. (MIN. 4 REQ'D.)
- 2) SPACE NOT MORE THAN 8' O.C.; RUN PARALLEL TO THE RUMBLE.
- 3) TIE DOWN ANCHORS TO BE 3/8" x 48" ROD, 6" SINGLE HELIX AUGER ANCHOR MODEL W174-48, MANUFACTURED BY TIE-DOWN ENGINEERING.
- 4) INSTALL PER TIE-DOWN ENGINEERING SPECIFICATIONS.



FRAMING PLAN

3/16" = 1'-0"

THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2010 F.B.C. AND THE BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H., 3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H., 3 SECOND GUST.

2010 F.B.C.

"SHED FOUNDATION PLANS"  
FOR  
GULF COAST BARN & STORAGE

P.O. BOX 77  
HORSESHOE BEACH, FL. 32648

CHARLES A. WUNDER, JR., P.E.

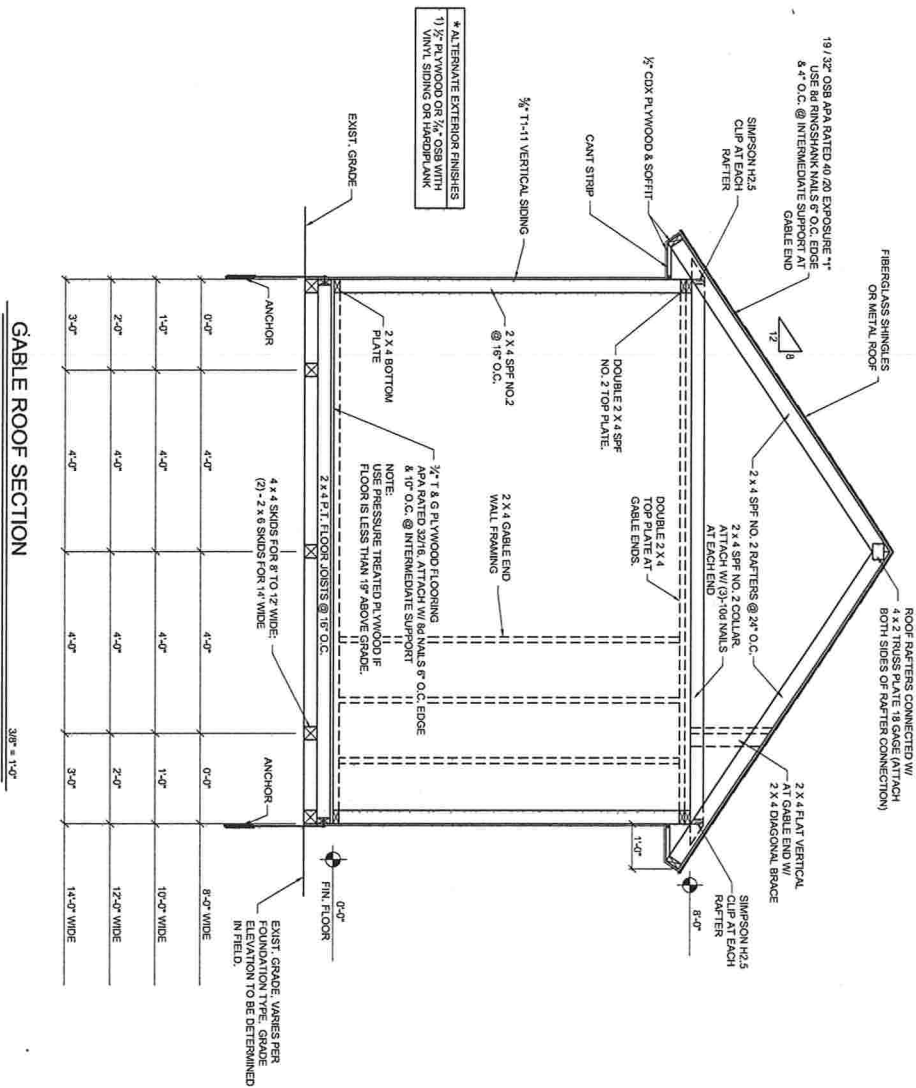
P.O. BOX 126  
NEWBERRY, FL. 32669  
(352) 214-3192

Charles A. Wunder, Jr., P.E.  
Reg. No. 48032  
Date:

|          |          |
|----------|----------|
| DATE     | 03/20/12 |
| NOTED    |          |
| APPROVED |          |
| SCALE    |          |
| SHEETS   | 2        |

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GABLE ROOF SECTION

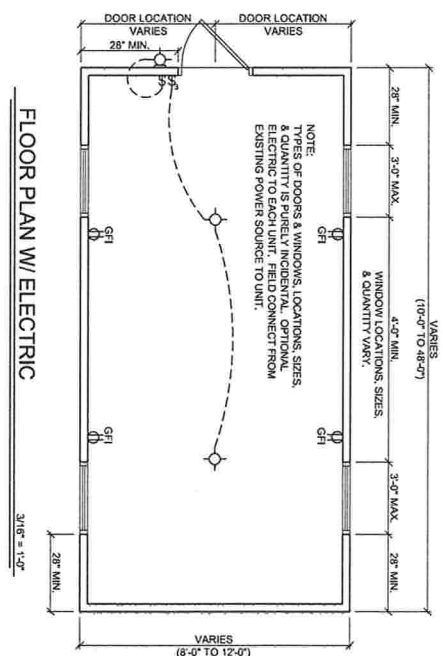
WINDOW SCHEDULE:

| WINDOW  | MANUFACTURER | MODEL OR SERIES | APPLIED PRESSURE | DESIGN PRESSURE | FLORIDA PRODUCT APPROVAL NUMBER |
|---------|--------------|-----------------|------------------|-----------------|---------------------------------|
| 3040 SH | PCT          | 200             | +40.22, -45.94   | +56, -66.5      | FL 238.1                        |
| 3050 SH | PCT          | 200             | +41.80, -45.22   | +56, -69.7      | FL 238.1                        |

DOOR SCHEDULE:

| DOOR | MANUFACTURER | MODEL OR SERIES | APPLIED PRESSURE | DESIGN PRESSURE | FLORIDA PRODUCT APPROVAL NUMBER |
|------|--------------|-----------------|------------------|-----------------|---------------------------------|
| 3048 | THERMATRU    | CONSTRUCTION    | +40.80, -44.42   | +47, -47        | FL 1827.2                       |

NOTE: OWNER/CONTRACTOR HAS OPTION TO SUBSTITUTE & USE WINDOWS & DOORS NOT LISTED IN SCHEDULE. ALTERNATE WINDOWS & DOORS MUST MEET MINIMUM APPLIED PRESSURES AS LISTED IN SCHEDULE.



FLOOR PLAN W/ ELECTRIC

ELECTRICAL SYMBOL LEGEND

|  |                    |
|--|--------------------|
|  | OUTLET 100 VOLT    |
|  | OUTLET 120 VOLT    |
|  | FAULT INTERRUPTER  |
|  | WATER HEATED       |
|  | SWITCH SINGLE POLE |
|  | SWITCH 3 POLE      |
|  | FAN W/ LIGHT       |
|  | CHIME LIGHT        |
|  | WALL LIGHT         |
|  | FLOOD LIGHT        |

ALL ELECTRICAL WORK TO BE IN ACCORDANCE W/ NEC 2008

NOTE: LENGTH TO WIDTH RATIO OF BUILDING SHALL NOT EXCEED 1:4

THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES OF 30 PSF AND 10 PSF. WIND SPEED OF 109 M.P.H., 3 SECOND GUST & NOMINAL WIND SPEED OF 109 M.P.H., 3 SECOND GUST.

2010 F.B.C.

"MASTER GABLE ROOF SHED PLANS"  
FOR  
GULF COAST BARN & STORAGE  
P.O. BOX 77  
HORSESHOE BEACH, FL 32648

CHARLES A. WUNDER, JR., P.E.  
P.O. BOX 126  
NEWBERRY, FL 32669  
(352) 214-3192

Charles A. Wunder, Jr., P.E.  
Reg. No. 46032  
Date:

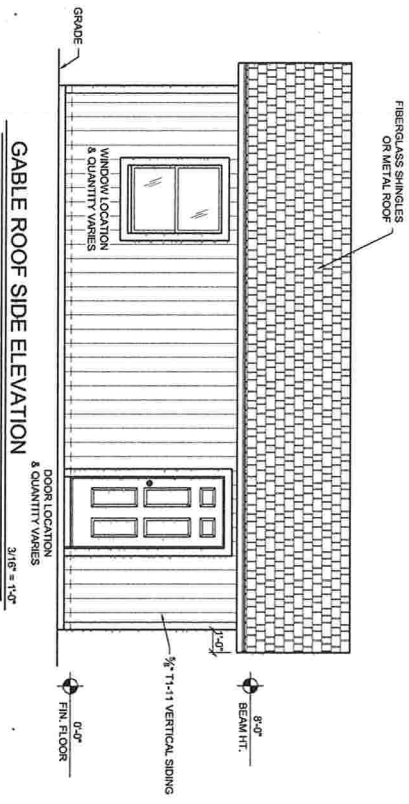
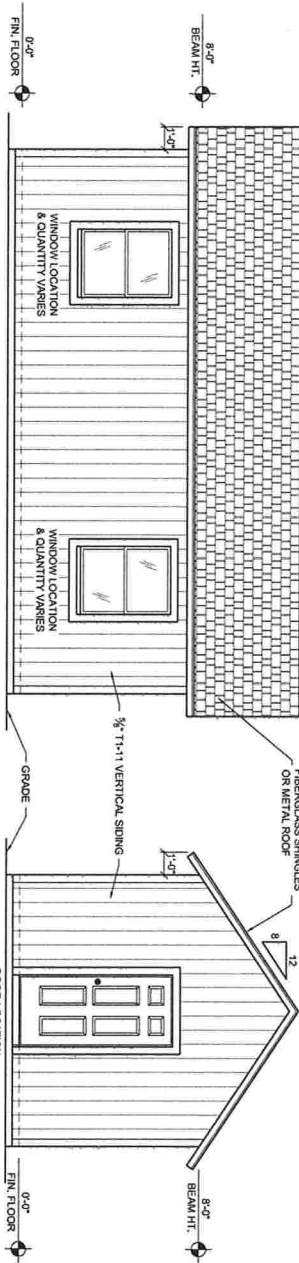
| DATE     | BY    | CHKD  | REV |
|----------|-------|-------|-----|
| 03/01/12 | NOTED | NOTED | 1   |
| 03/01/12 | NOTED | NOTED | 2   |
| 03/01/12 | NOTED | NOTED | 3   |
| 03/01/12 | NOTED | NOTED | 4   |
| 03/01/12 | NOTED | NOTED | 5   |

| REVISIONS | BY |
|-----------|----|
| 1         |    |
| 2         |    |
| 3         |    |
| 4         |    |
| 5         |    |





DOOR SCHEDULE  
 SINGLE WOOD DOOR - 3'-0"  
 STEEL 9-LIGHT ENTRY DOOR - 3'-0"  
 MOBILE HOME STYLE FOAM CORE DOOR - 3'-0" TO 4'-0"  
 STANDARD DOUBLE WOOD DOOR WIDTH - 5'-0"  
 STANDARD HOLLUP GARAGE DOOR - 8'-0"



THE ABOVE BUILDINGSTRUCTURE HAS BEEN DESIGNED  
 IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA  
 BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES  
 GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H.  
 3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H.  
 3 SECOND GUST.

2010 F.B.C.

"MASTER GABLE ROOF SHED PLANS"  
 FOR  
 GULF COAST BARN & STORAGE  
 P.O. BOX 77  
 HORSESHOE BEACH, FL 32648

CHARLES A. WUNDER, JR., P.E.  
 P.O. BOX 126  
 NEWBERRY, FL 32669  
 (352) 214-3192

Charles A. Wunder, Jr., P.E.  
 Reg. No. 46032  
 Date:

| DATE     | BY     |
|----------|--------|
| 03/27/12 | NOTED  |
| 04/02/12 | JOHN   |
| 04/02/12 | SHULTZ |
| 04/02/12 | 5      |
| 04/02/12 | 5      |

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
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SRWMD PERMIT NUMBER

APPLICATION FOR  
GENERAL WORK OF THE DISTRICT  
DEVELOPMENT PERMIT  
FORM 40B-1.901(11)  
(Page 1)

General Instructions: Please provide complete information for the items on this application. Applicants should consult the listing of information and the conditions for use of a general permit on the opposite side of this application. For a general permit to be valid, all of the specific information required on this application must be supplied; and the proposed development must meet the conditions listed on the reverse side of this application. To determine if a proposed development qualifies for a general permit, answer questions 1 through 7 on the opposite side of this application.

Please check one:

APPLICATION FOR:

- (X) NEW WORK OF THE DISTRICT DEVELOPMENT PERMIT  
( ) MODIFICATION TO EXISTING PERMIT  
(EXISTING PERMIT NUMBER \_\_\_\_\_)

Owner of the land on which the development will occur:

NAME: Robert Kelley Jr

ADDRESS: 7817 SW 161 St Ave Archer FL 32618  
Street or Route City State Zip

TELEPHONE: Home ( ) \_\_\_\_\_ (or) Work ( ) \_\_\_\_\_ FAX: \_\_\_\_\_

General Development Information:

PROJECT LOCATION: \_\_\_\_\_ Columbia 26 6 South 15 East  
City County Section/Township/Range

PROJECT NAME: \_\_\_\_\_ PARCEL NO.: \_\_\_\_\_

SEPTIC TANK PERMIT NUMBER (if applicable): \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

PROJECT SIZE:

Total contiguous land area owned or controlled

Total project area (if different than total land area) \_\_\_\_\_ (acres)

GENERAL DESCRIPTION OF THE PROPOSED DEVELOPMENT: Construct a site built home

ANTICIPATED BEGINNING DATE: \_\_\_\_\_ ANTICIPATED COMPLETION DATE: \_\_\_\_\_

In order for a general permit to be valid, copies of the following items must be attached to this application:

1. A copy of the appropriate city or county development permit including copies of any engineer or surveyor certifications required by the city or county (if applicable).
2. A copy of the Florida Department of Health Onsite Sewage Disposal Permit (Septic Tank Permit).
3. A site development plan, signed and sealed by a Registered Surveyor, that meets the minimum technical standards as set forth by the Florida Board of Professional Land Surveyors in Chapter 61G17-6, Florida Administrative Code (F.A.C.).

A General Works of the District Development Permit is authorized by rule 40B-4.3010(1), F.A.C., and requires permittees to comply with all limiting conditions listed on the reverse side of this application (rule 40B-4.3030, F.A.C.). Submission of this application and subsequent development under the provisions of the general permit constitutes agreement by the permittee to abide by these conditions. Failure to abide by these conditions may constitute a violation of District rules and result in District enforcement action. There is a \$250 fee for a general permit. A copy of chapter 40B-4, F.A.C., is available at no charge from the District and is available on our website [www.srwmd.state.fl.us](http://www.srwmd.state.fl.us); or questions may be directed to the District at 904.362.1001 or 800.226.1066, toll free, Florida only.

Signature of the OWNER of the property on which the development will occur. \_\_\_\_\_

Date \_\_\_\_\_



LAW OFFICE OF R. PIERCE KELLEY, JR.

P.O. Box 1050  
Cedar Key, FL 32625  
352-543-9999  
pierce.kelley@yahoo.com

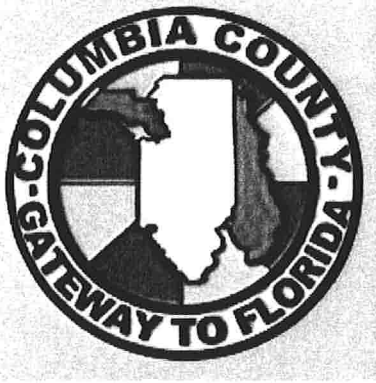
August 6, 2012

To: Brian Hegner

Per your request, I enclose what  
has been sent to Suwannee Water Management  
District, plus the elevation certificate.  
Please call with questions or concerns.

Pierce / Kelley





## Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with  
County's Comprehensive Plan and  
Land Development Regulations

21 August 2012

Robert Kelly  
126 Southwest Julbug Glen  
Ft. White, FL 32038

RE: Building Permit Application 1207-29

Dear Mr. Kelly:

An elevation certificate will be required upon finished construction of the storage building. You will need to make sure that a licensed surveyor completes the elevation certificate because under State Statutes, a licensed surveyor is the only professional that can certify elevation information.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

Brian L. Kepner  
Land Development Regulation Administrator,  
County Planner

August 15, 2012

Vince Robinson  
Suwannee River Water Management District  
9225 CR 49  
Live Oak, FL 32060

**SUBJECT: Zero Rise – Robert Kelley**

Mr. Robinson,

Mr. Kelley proposes to build a home and a shed in Section 26, Township 6 South, Range 15 East, Columbia County, FL. The structure will be a +/- 20' x 50' site built home and a +/- 12' x 16' shed in the floodway of the Santa Fe River.

Zero rise calculations for the proposed structure were performed with HEC-RAS 4.0 using the HEC-RAS model for the Lower Suwannee River System that was last updated in August 2005 by Dewberry and Davis LLC.

The following steps were executed in the doing the zero rise calculations.

- 1) Interpolate between existing cross sections and add new cross sections at the site location at the location of the proposed building(s).

**Between river station/mile 7.64 and river station/mile 8.43, the new cross section was interpolated at river station/mile 8.28. The elevations from the interpolated cross sections were adjusted accordingly.**

- 2) Add obstacles along the new cross sections to model the piers under the house.

**An obstacle width of 60 feet was added at the cross section at river station/mile 8.28. An obstacle with a top elevation at 40.00 ft was input to insure the structure would be modeled correctly.**

- 3) Verify that the profile using the obstacles matches the profile using the additional cross sections (without obstacles) and the original model profile within 0.01 feet.

**The water surface elevations for all three scenarios match and a zero rise is achieved.**



A site plan locating the property on the flood map is included in this package. Model cross sections and water surface elevations for each scenario are also included in this package.

Sincerely,

A handwritten signature in black ink that reads "David M. Winsberg". The signature is written in a cursive style with a large, stylized 'W'.

David M. Winsberg, PE  
Civil Engineer

## Zero Rise Certification

Client/Owner: Robert Kelley

Property Description: ~0.82 Acres in  
Section 26, Township 6 South, Range 15 East  
Columbia County, FL

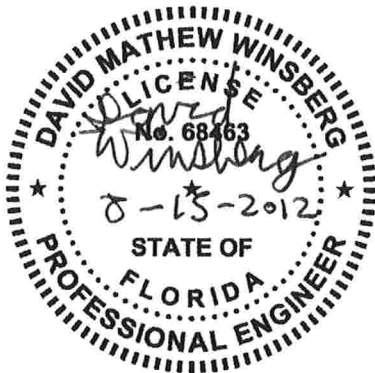
Structure in Floodway: Single Family Dwelling

River Station/Mile: 8.28

Elevation of 100 yr flood: 33.39 NAVD88

Flood Map for Property: 12023C 0466C

I hereby certify that construction of the proposed residence and shed will not increase any flood elevations in the Lower Suwannee River System.



David M. Winsberg  
PE License # 68463  
Cert. Auth. # 29596

Winsberg, Inc.  
PO Box 2815  
Lake City, FL 32056  
Phone (386) 755-7449  
Fax (888) 522-0030  
david@winsberginc.com

SRWMD PERMIT NUMBER

APPLICATION FOR  
GENERAL WORK OF THE DISTRICT  
DEVELOPMENT PERMIT  
FORM 40B-1.901(11)  
(Page 1)

General Instructions: Please provide complete information for the items on this application. Applicants should consult the listing of information and the conditions for use of a general permit on the opposite side of this application. For a general permit to be valid, all of the specific information required on this application must be supplied; and the proposed development must meet the conditions listed on the reverse side of this application. To determine if a proposed development qualifies for a general permit, answer questions 1 through 7 on the opposite side of this application.

Please check one:

APPLICATION FOR:

- (X) NEW WORK OF THE DISTRICT DEVELOPMENT PERMIT  
( ) MODIFICATION TO EXISTING PERMIT  
(EXISTING PERMIT NUMBER \_\_\_\_\_)

Owner of the land on which the development will occur:

NAME: Robert Kelley Jr

ADDRESS: 7817 SW 161 St Ave Archer FL 32618  
Street or Route City State Zip

TELEPHONE: Home ( ) (or) Work ( ) FAX: \_\_\_\_\_

General Development Information:

PROJECT LOCATION: Columbia 26 6 South 15 East  
City County Section/Township/Range

PROJECT NAME: \_\_\_\_\_ PARCEL NO.: \_\_\_\_\_

SEPTIC TANK PERMIT NUMBER (if applicable): \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

PROJECT SIZE:

Total contiguous land area owned or controlled \_\_\_\_\_ (acres)

Total project area (if different than total land area) \_\_\_\_\_ (acres)

GENERAL DESCRIPTION OF THE PROPOSED DEVELOPMENT: Construct a site built home

ANTICIPATED BEGINNING DATE: \_\_\_\_\_ ANTICIPATED COMPLETION DATE: \_\_\_\_\_

In order for a general permit to be valid, copies of the following items must be attached to this application:

1. A copy of the appropriate city or county development permit including copies of any engineer or surveyor certifications required by the city or county (if applicable).
2. A copy of the Florida Department of Health Onsite Sewage Disposal Permit (Septic Tank Permit).
3. A site development plan, signed and sealed by a Registered Surveyor, that meets the minimum technical standards as set forth by the Florida Board of Professional Land Surveyors in Chapter 61G17-6, Florida Administrative Code (F.A.C.).

A General Works of the District Development Permit is authorized by rule 40B-4.3010(1), F.A.C., and requires permittees to comply with all limiting conditions listed on the reverse side of this application (rule 40B-4.3030, F.A.C.). Submission of this application and subsequent development under the provisions of the general permit constitutes agreement by the permittee to abide by these conditions. Failure to abide by these conditions may constitute a violation of District rules and result in District enforcement action. There is a \$250 fee for a general permit. A copy of chapter 40B-4, F.A.C., is available at no charge from the District and is available on our website [www.srwmd.state.fl.us](http://www.srwmd.state.fl.us); or questions may be directed to the District at 904.362.1001 or 800.226.1066, toll free, Florida only.

Signature of the OWNER of the property on which the development will occur. \_\_\_\_\_ Date \_\_\_\_\_



FORM 40B-1.901(11)  
(PAGE 2)

CONDITIONS FOR ISSUANCE OF A GENERAL WORKS OF THE DISTRICT DEVELOPMENT PERMIT

Rule 40B-4.3030, Florida Administrative Code, states in part:

"the district will not approve the issuance of a works of the district development permit for any work, structures, road, or other facilities which have the potential of individually or cumulatively reducing floodway conveyance or increasing water-surface elevations above the 100-year flood elevation, or increasing soil erosion" [see 40B-4.3030(2)].

The rules go on to list a series of criteria (or conditions) for development which if met will result in issuance of District permit(s) for the development [see ss.40B-4.3030(2)(a) – (d) and ss.(4)(a) – (d)]. Certain of these conditions are applicable to the type of development that a general permit is intended to cover, namely construction of structures for single-family residential or agricultural use, including necessary land leveling, and construction of associated water supply, wastewater disposal, and private driveways. The conditions which apply are:

- Buildings in the floodway are elevated on piles without the use of fill such that the lowest structural member of the first floor of the building is at an elevation at least one foot above the 100-year flood elevation.

- The area below the first floor of elevated buildings is left clear and unobstructed except for the piles or stairways.

- A permanent elevation monument is established on the property to be developed by a surveyor. The monument shall be adequate to establish land surface and minimum buildup elevations to the nearest 1/100 of a foot.

- No permanent fill or other obstructions are to be placed above the natural grade of the ground.

- No activities are proposed which would result in the filling or conversion of wetlands.

- Clearing of land shall be limited to that necessary to remove diseased vegetation, construct structures, associated water supply, wastewater disposal, and private driveway access facilities; and no construction shall occur in the front 75 feet of an area immediately adjacent to a water. Clearing of vegetation within the front 75 feet immediately adjacent to a water shall be limited to that necessary to gain access or remove diseased vegetation [see ss.40B-4.3030(2)(b) – (d) and ss.(4)(a) and (b)].

To determine if your proposed development qualifies for a General Works of the District development permit, answer the following questions with "YES" or "NO":

1. Yes Are you planning to develop a single-family residential (private home including mobile homes, vacation homes, etc.) or an agricultural structure or are you planning to add improvements including wells, septic tanks, driveways, or an addition to such a structure?

2. Yes Will the structure described above be elevated at least one (1) foot above the 100-year flood level on piles and without any above-grade fill? NOTE: Fill material placed at (not above) the grade of the ground, including concrete slabs, is allowed.

3. Yes Will the area below the first floor of the structure described above be left clear and unobstructed with the exception of the piles or a stairway? NOTE: Solid walls below the elevated first floor are not allowed under a general permit; however, screen, lattice work, or open fencing enclosures which will not obstruct flood flows are allowed if approved by the District.

4. Yes Has (or will) a surveyor established a permanent elevation monument on your property for the purpose of establishing land elevations and minimum buildup elevations?

5. Yes Will all associated facilities, such as septic tanks, wells, driveways, etc., be constructed with no fill material placed above the grade of the natural ground? NOTE: Excavation of unsuitable soils for driveways or foundations and replacement with suitable material is allowed if the materials excavated are transported out of the floodway and the replacement material is placed at (not above) the grade of the natural ground.

6. Yes Will all components of the development be located such that no portion of the development will occur in a wetland area (muck or "wet" soils, swampy cypress, or hardwood areas)?

7. No Are you planning to build a dock, boat ramp, etc.? (ERP, SSL, ACOE).

8. Yes Will all components of the development be located at least 75 feet from the normal top of bank of the river and will any clearing in the front 75 feet be limited to removing diseased vegetation or creating access?

If you have answered "YES" to all of the questions above, your proposed development may qualify for a General Works of the District development permit. Complete the application on the front side of the form, attach the necessary information, and mail or deliver the application to the District. If you answered "NO" to one or more of the questions, your development probably does not qualify for a general permit. Please contact the District for further instructions.

# Columbia County Property Appraiser

DB Last Updated: 11/15/2011

2011 Tax Year

Parcel: 00-00-00-00821-000

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

<< Next Lower Parcel Next Higher Parcel >>

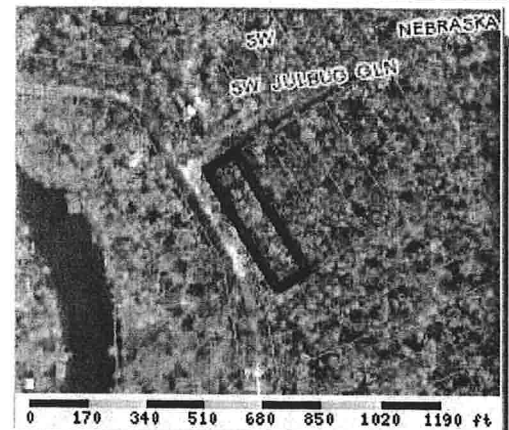
Interactive GIS Map

Print

## Owner & Property Info

Search Result: 1 of 1

|  |   |              |        |
|--|---|--------------|--------|
| Owner's Name   | KELLEY ROBERT JR &  |              |        |
| Mailing Address  | SUSAN PUNDT<br>7817 SW 161 ST AVE<br>ARCHER, FL 32618   |              |        |
| Site Address   | 126 SW JULBUG GLN   |              |        |
| Use Desc. (code)   | VACANT (000000)   |              |        |
| Tax District   | 3 (County)  | Neighborhood | 100000 |
| Land Area  | 0.000 ACRES   | Market Area  | 02     |
| Description  | NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. |              |        |
| LOT 98 UNIT 10 THREE RIVERS ESTATES. ORB 832-844, 832-845, WD 1032-2440, WD 1040-2807. WD 1109-1298, |   |              |        |



## Property & Assessment Values

| 2011 Certified Values |          |  |
|-----------------------|----------|--|
| Mkt Land Value        | cnt: (0) | \$10,000.00  |
| Ag Land Value         | cnt: (2) | \$0.00   |
| Building Value        | cnt: (0) | \$0.00   |
| XFOB Value            | cnt: (0) | \$0.00   |
| Total Appraised Value |          | \$10,000.00  |
| Just Value            |          | \$10,000.00  |
| Class Value           |          | \$0.00   |
| Assessed Value        |          | \$10,000.00  |
| Exempt Value          |          | \$0.00   |
| Total Taxable Value   |          | Cnty: \$10,000<br>Other: \$10,000   Schl: \$10,000 |

## 2012 Working Values

### NOTE:

2012 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

## Sales History

Show Similar Sales within 1/2 mile

| Sale Date  | OR Book/Page | OR Code | Vacant / Improved | Qualified Sale | Sale RCode | Sale Price  |
|------------|--------------|---------|-------------------|----------------|------------|-------------|
| 1/26/2007  | 1109/1298    | WD      | V                 | U              | 08         | \$18,500.00 |
| 3/14/2005  | 1040/2807    | WD      | V                 | U              | 08         | \$10,000.00 |
| 11/17/2004 | 1032/2440    | WD      | V                 | Q              |            | \$58,400.00 |
| 12/9/1996  | 832/845      | WD      | V                 | Q              |            | \$1,800.00  |

## Building Characteristics

| Bldg Item | Bldg Desc | Year Blt | Ext. Walls | Heated S.F. | Actual S.F. | Bldg Value |
|-----------|-----------|----------|------------|-------------|-------------|------------|
| NONE      |           |          |            |             |             |            |

## Extra Features & Out Buildings

| Code | Desc | Year Blt | Value | Units | Dims | Condition (% Good) |
|------|------|----------|-------|-------|------|--------------------|
| NONE |      |          |       |       |      |                    |

## Land Breakdown

| Lnd Code | Desc            | Units                   | Adjustments         | Eff Rate   | Lnd Value  |
|----------|-----------------|-------------------------|---------------------|------------|------------|
| 000000   | VAC RES (MKT)   | 1 LT - (00000000.000AC) | 1.00/1.00/1.00/1.00 | \$7,200.00 | \$7,200.00 |
| 009945   | WELL/SEPT (MKT) | 1 UT - (00000000.000AC) | 1.00/1.00/1.00/1.00 | \$2,000.00 | \$2,000.00 |

Columbia County Property Appraiser

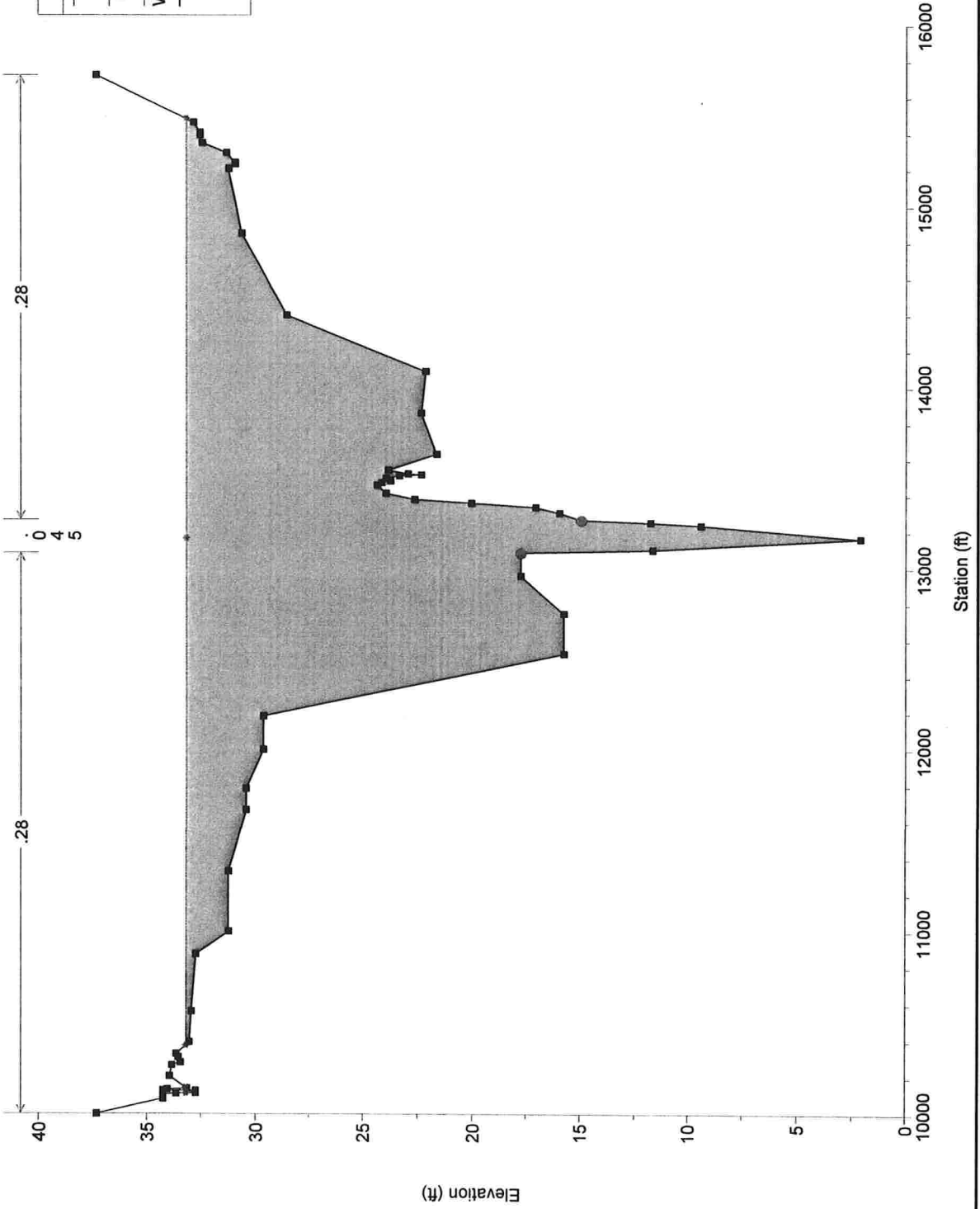
DB Last Updated: 11/15/2011

## DISCLAIMER

This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or

Suwannee River and SantaFe River Plan: 1) Original 11/21/2011 2) Extra XS 11/21/2011 3) Developed 11/21/2011

F - GILCHRIST FIS -

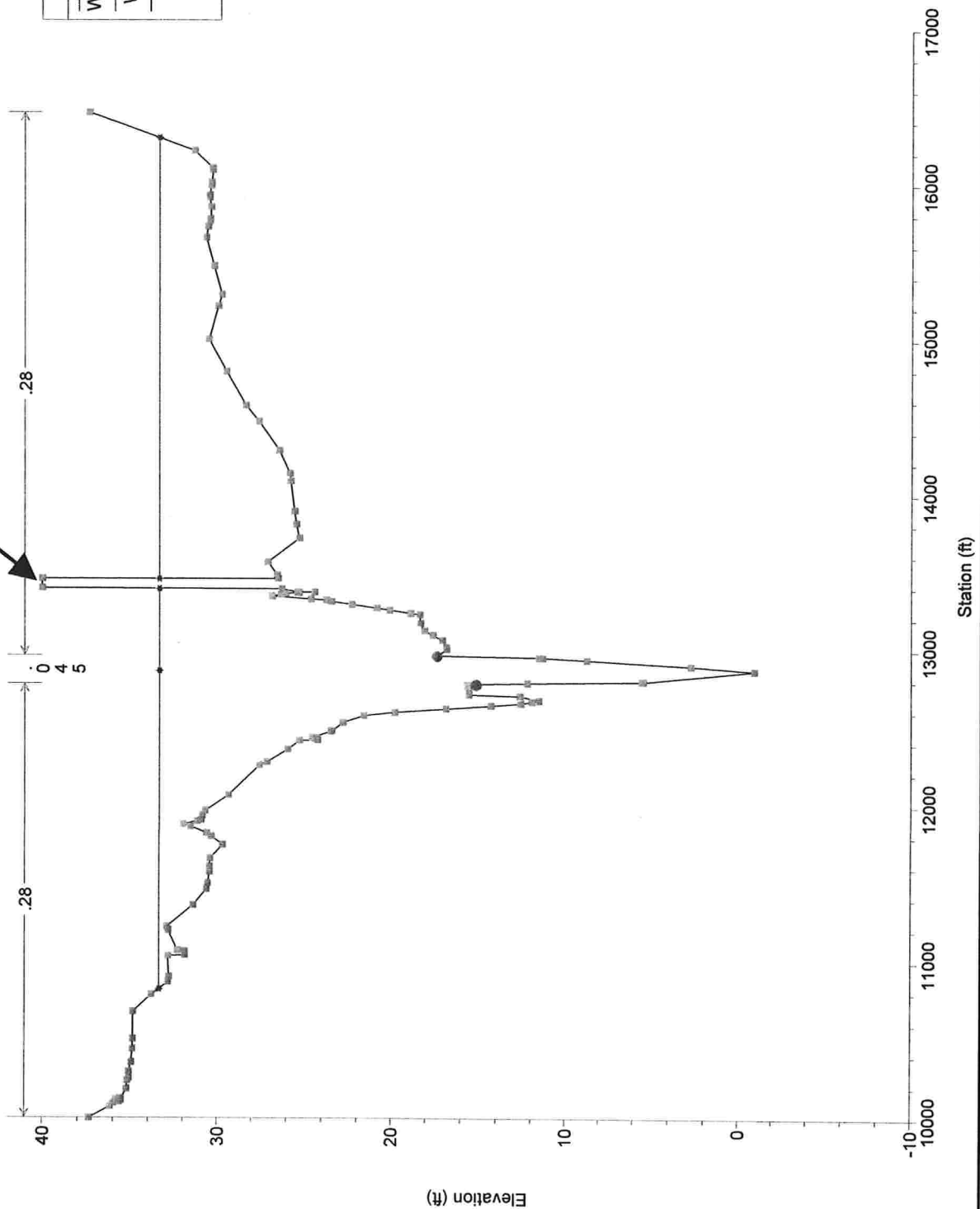


| Legend                  |  |
|-------------------------|--|
| WS 100 Year - Original  |  |
| WS 100 Year - Extra XS  |  |
| WS 100 Year - Developed |  |
| Ground                  |  |
| Bank Sta                |  |



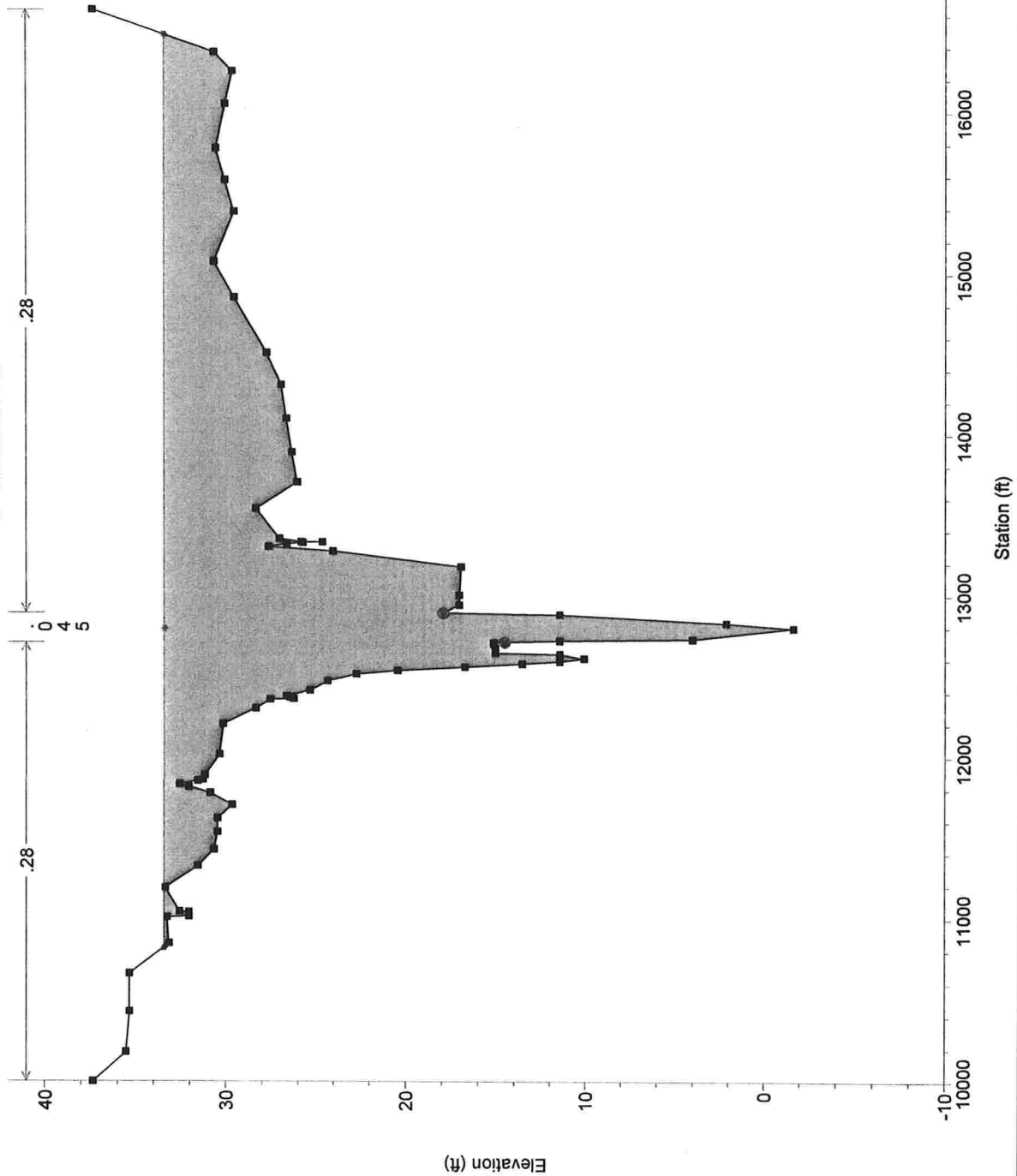
Development modeled  
as an obstruction

Suwannee River and Santa Fe River Plan: 1) Original 11/21/2011 2) Extra XS 11/21/2011 3) Developed 11/21/2011



Suwannee River and SantaFe River Plan: 1) Original 11/21/2011 2) Extra XS 11/21/2011 3) Developed 11/21/2011

G - GILCHRIST FIS -



HEC-RAS Locations: User Defined Profile: 100 Year

| River    | Reach | River Sta | Profile  | Plan      | Q Total<br>(cfs) | Min Ch El<br>(ft) | W.S. Elev<br>(ft) | Crit W.S.<br>(ft) | E.G. Elev<br>(ft) | E.G. Slope<br>(ft/ft) | Vel Chnl<br>(ft/s) | Flow Area<br>(sq ft) | Top Width<br>(ft) | Froude # Chl |
|----------|-------|-----------|----------|-----------|------------------|-------------------|-------------------|-------------------|-------------------|-----------------------|--------------------|----------------------|-------------------|--------------|
| Santa Fe | Main  | 11.3      | 100 Year | Original  | 16359.00         | 6.34              | 34.23             |                   | 34.26             | 0.000035              | 1.70               | 32793.08             | 2491.62           | 0.06         |
| Santa Fe | Main  | 11.3      | 100 Year | Extra XS  | 16359.00         | 6.34              | 34.23             |                   | 34.27             | 0.000035              | 1.70               | 32798.86             | 2491.85           | 0.06         |
| Santa Fe | Main  | 11.3      | 100 Year | Developed | 16359.00         | 6.34              | 34.24             |                   | 34.27             | 0.000035              | 1.70               | 32801.34             | 2491.95           | 0.06         |
| Santa Fe | Main  | 10.06     | 100 Year | Original  | 16359.00         | 1.15              | 33.89             |                   | 33.96             | 0.000068              | 2.39               | 21181.37             | 2550.87           | 0.08         |
| Santa Fe | Main  | 10.06     | 100 Year | Extra XS  | 16359.00         | 1.15              | 33.90             |                   | 33.97             | 0.000068              | 2.39               | 21187.63             | 2551.29           | 0.08         |
| Santa Fe | Main  | 10.06     | 100 Year | Developed | 16359.00         | 1.15              | 33.90             |                   | 33.97             | 0.000068              | 2.39               | 21190.31             | 2551.47           | 0.08         |
| Santa Fe | Main  | 8.43      | 100 Year | Original  | 16359.00         | -1.66             | 33.43             |                   | 33.49             | 0.000052              | 2.21               | 34646.78             | 5661.30           | 0.07         |
| Santa Fe | Main  | 8.43      | 100 Year | Extra XS  | 16359.00         | -1.66             | 33.44             |                   | 33.49             | 0.000052              | 2.21               | 34662.07             | 5661.63           | 0.07         |
| Santa Fe | Main  | 8.43      | 100 Year | Developed | 16359.00         | -1.66             | 33.44             |                   | 33.49             | 0.000052              | 2.21               | 34668.62             | 5661.77           | 0.07         |
| Santa Fe | Main  | 8.28*     | 100 Year | Extra XS  | 16359.00         | -0.95             | 33.39             |                   | 33.45             | 0.000055              | 2.24               | 34689.93             | 5476.91           | 0.07         |
| Santa Fe | Main  | 8.28*     | 100 Year | Developed | 16359.00         | -0.95             | 33.39             |                   | 33.45             | 0.000056              | 2.25               | 34241.95             | 5414.16           | 0.07         |
| Santa Fe | Main  | 7.64      | 100 Year | Original  | 16359.00         | 2.09              | 33.21             |                   | 33.26             | 0.000062              | 2.22               | 35466.75             | 5127.96           | 0.08         |
| Santa Fe | Main  | 7.64      | 100 Year | Extra XS  | 16359.00         | 2.09              | 33.21             |                   | 33.26             | 0.000062              | 2.22               | 35466.75             | 5127.96           | 0.08         |
| Santa Fe | Main  | 7.64      | 100 Year | Developed | 16359.00         | 2.09              | 33.21             |                   | 33.26             | 0.000062              | 2.22               | 35466.75             | 5127.96           | 0.08         |
| Santa Fe | Main  | 6.46      | 100 Year | Original  | 16359.00         | 1.87              | 32.94             |                   | 32.98             | 0.000039              | 1.81               | 37576.35             | 3849.49           | 0.06         |
| Santa Fe | Main  | 6.46      | 100 Year | Extra XS  | 16359.00         | 1.87              | 32.94             |                   | 32.98             | 0.000039              | 1.81               | 37576.35             | 3849.49           | 0.06         |
| Santa Fe | Main  | 6.46      | 100 Year | Developed | 16359.00         | 1.87              | 32.94             |                   | 32.98             | 0.000039              | 1.81               | 37576.35             | 3849.49           | 0.06         |



| FLOODING SOURCE        |                     | FLOODWAY                 |                                     |  | BASE FLOOD<br>WATER-SURFACE ELEVATION<br>(FEET NGVD) |                     |                  |          |
|------------------------|---------------------|--------------------------|-------------------------------------|--|--|---------------------|------------------|----------|
| CROSS SECTION          | DISTANCE            | WIDTH<br>(FEET)          | SECTION<br>AREA<br>(SQUARE<br>FEET) | MEAN<br>VELOCITY<br>(FEET PER<br>SECOND) | REGULATORY   | WITHOUT<br>FLOODWAY | WITH<br>FLOODWAY | INCREASE |
| Rose Creek (continued) |                     |                          |                                     |  |  |                     |                  |          |
| M                      | 20,750 <sup>1</sup> | 274                      | 2,037                               | 1.5                                      | 84.7   | 84.7                | 85.7             | 1.0      |
| N                      | 21,179 <sup>1</sup> | 158                      | 1,283                               | 2.3                                      | 85.2   | 85.2                | 86.1             | 0.9      |
| O                      | 21,397 <sup>1</sup> | 158                      | 1,538                               | 1.9                                      | 88.2   | 88.2                | 88.9             | 0.7      |
| P                      | 21,896 <sup>1</sup> | 159                      | 1,670                               | 1.8                                      | 88.2   | 88.2                | 89.0             | 0.8      |
| Santa Fe River         |                     |                          |                                     |  |  |                     |                  |          |
| A                      | 7.64 <sup>2</sup>   | 1,694/728 <sup>3</sup>   | 23,965                              | 0.7                                      | 33.8   | 33.8                | 34.8             | 1.0      |
| B                      | 8.43 <sup>2</sup>   | 2,099/1,260 <sup>3</sup> | 25,132                              | 0.7                                      | 34.0   | 34.0                | 35.0             | 1.0      |
| C                      | 10.06 <sup>2</sup>  | 1,217/550 <sup>3</sup>   | 17,908                              | 0.9                                      | 34.5   | 34.5                | 35.5             | 1.0      |
| D                      | 11.30 <sup>2</sup>  | 1,615/604 <sup>3</sup>   | 28,519                              | 0.6                                      | 34.8   | 34.8                | 35.8             | 1.0      |
| E                      | 13.03 <sup>2</sup>  | 1,832/864 <sup>3</sup>   | 28,188                              | 0.6                                      | 35.2   | 35.2                | 36.2             | 1.0      |
| F                      | 14.08 <sup>2</sup>  | 1,883/642 <sup>3</sup>   | 25,502                              | 0.6                                      | 35.5   | 35.5                | 36.5             | 1.0      |
| G                      | 15.08 <sup>2</sup>  | 1,643/361 <sup>3</sup>   | 22,407                              | 0.7                                      | 35.9   | 35.9                | 36.8             | 0.9      |
| H                      | 16.53 <sup>2</sup>  | 1,668/965 <sup>3</sup>   | 23,330                              | 0.7                                      | 36.6   | 36.6                | 37.5             | 0.9      |
| I                      | 17.78 <sup>2</sup>  | 1,615/1,122 <sup>3</sup> | 21,455                              | 0.8                                      | 37.2   | 37.2                | 38.2             | 1.0      |
| J                      | 18.49 <sup>2</sup>  | 1,587/1,179 <sup>3</sup> | 18,323                              | 0.9                                      | 37.6   | 37.6                | 38.6             | 1.0      |
| K                      | 19.62 <sup>2</sup>  | 1,224/323 <sup>3</sup>   | 18,240                              | 0.9                                      | 38.2   | 38.2                | 39.2             | 1.0      |
| L                      | 20.44 <sup>2</sup>  | 1,368/302 <sup>3</sup>   | 19,267                              | 1.0                                      | 38.6   | 38.6                | 39.6             | 1.0      |
| M                      | 21.59 <sup>2</sup>  | 541/367 <sup>3</sup>     | 7,946                               | 2.5                                      | 39.6   | 39.6                | 40.5             | 0.9      |
| N                      | 22.24 <sup>2</sup>  | 524/348 <sup>3</sup>     | 6,489                               | 3.0                                      | 40.6   | 40.6                | 41.5             | 0.9      |
| O                      | 23.14 <sup>2</sup>  | 741/639 <sup>3</sup>     | 7,772                               | 2.5                                      | 42.0   | 42.0                | 42.9             | 0.9      |
| P                      | 23.82 <sup>2</sup>  | 491/172 <sup>3</sup>     | 7,448                               | 2.6                                      | 43.4   | 43.4                | 44.4             | 1.0      |
| Q                      | 24.15 <sup>2</sup>  | 539/195 <sup>3</sup>     | 5,980                               | 3.3                                      | 43.8   | 43.8                | 44.8             | 1.0      |
| R                      | 25.19 <sup>2</sup>  | 550/161 <sup>3</sup>     | 6,796                               | 2.9                                      | 46.5   | 46.5                | 47.3             | 0.8      |
| S                      | 26.52 <sup>2</sup>  | 3,100/156 <sup>3</sup>   | 30,598                              | 0.7                                      | 47.3   | 47.3                | 48.3             | 1.0      |
| T                      | 27.68 <sup>2</sup>  | 2,448/2,173 <sup>3</sup> | 27,617                              | 0.8                                      | 47.9   | 47.9                | 48.8             | 0.9      |
| U                      | 28.94 <sup>2</sup>  | 4,740/4,294 <sup>3</sup> | 29,891                              | 0.8                                      | 49.0   | 49.0                | 49.9             | 0.9      |
| V                      | 30.42 <sup>2</sup>  | 6,705/2,154 <sup>3</sup> | 37,442                              | 0.7                                      | 50.7   | 50.7                | 51.4             | 0.7      |

<sup>1</sup>Feet above confluence with Alligator Lake

<sup>2</sup>Miles above confluence with Suwannee River

<sup>3</sup>Width/ Width within county boundary

FEDERAL EMERGENCY MANAGEMENT AGENCY

TABLE 3

COLUMBIA COUNTY, FL  
AND INCORPORATED AREAS

FLOODWAY DATA

ROSE CREEK - SANTA FE RIVER

2510000 FT

SW DINGO WAY

82° 46' 52.5"

29° 56' 15"

ZONE AE

33 13' 00.00m N

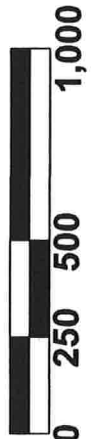


PROPERTY  
BOUNDARY

COLUMBIA COUNTY  
UNINCORPORATED AREAS  
120070

ZONE AE

SW BUMBLE ST



33 12' 00.00m N

**KELLEY ZERO RISE**

FRIM PANEL 12023C 0466C

David M. Winsberg  
**Winsberg, Inc.**  
P.O. Box 2815  
Lake City FL, 32056  
PE# 68463 - CA# 29596  
For Permitting and  
Review. Not Final.

PROJECT #

**1177**

SHEET



# MASTER SHED PLANS

(GABLE ROOF)

FOR  
GULF COAST BARN & STORAGE

P.O. BOX 177  
HORSESHOE BEACH, FL 32648  
(352) 498-0074

## NOTES:

- THESE STRUCTURAL DRAWINGS SHALL BE USED FOR THE CONSTRUCTION OF THE SHOWN STORAGE BUILDINGS. IN THE EVENT OF DIMENSIONAL DISCREPANCY, NOTIFY THE ENGINEER FOR RESOLUTION OF CONFLICT. ANY DEVIATION FROM THESE DRAWINGS MUST BE APPROVED BY THE ENGINEER.
- THIS IS TO CERTIFY THAT THE WOOD FRAME STORAGE BUILDING AS SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE WITH ALL REVISIONS TO CHAPTER 1609 FOR UP TO 140 MPH WIND VELOCITY. REFER TO INDIVIDUAL WINDOW & DOOR CHARTS FOR WIND PRESSURE MODIFICATION FOR ALTERNATE WIND SPEED.
- MATERIALS:**  
ALL STRUCTURAL LUMBER TO BE NO. 2 GRADE SPF OR EQUIVALENT. ALL HORIZONTAL FLOOR FRAMING TO BE NO. 2 GRADE SYP. ALL PLYWOOD/PLYWOOD GLUESTS SHALL CONFORM TO APA PRG-204. ALL CONNECTORS/FASTENERS: SIMPSON STRONG-TIE OR APPROV. EQ. APPLICABLE CODES, TO ASSURE SUPPORT, CONTINUITY & TRANSFER OF ALL FORCES.
- ALL MATERIALS AND LABOR PER APPLICABLE LOCAL CODES.  
ALL DESIGNING RELATED STANDARD DRAWING AS MANUFACTURED BY LORIANNAHACRO COMPANY, PORTLAND, OR.
- DIMENSIONS LABELED BY LETTERS VARY BY MODEL AND SIZE OF BUILDING AND SHALL BE OBTAINED FROM THE PROVIDED SCHEDULES.
- NON-STRUCTURAL DETAILS AND ITEMS MAY BE CHANGED AT OWNERS DISCRETION.
- ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED (G 185) OR STAINLESS STEEL. ALL LUMBER IN CONTACT WITH THE EARTH SHALL BE PRESERVE TREATED WITH PRESERVATIVE. EXTERIOR WOOD SIDING SHALL NOT BE LESS THAN 8" FROM EXPOSED EARTH.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, CONCRETE/ANCHORING, ELECTRICAL CONNECTIONS, SHALL BE THE RESPONSIBILITY OF THE JURISDICTION HAVING AUTHORITY.
- ALL PRODUCTS OF COMPONENTS & CLADDING TO BE ADDRESSED AND INCLUDED ON THE DRAWINGS AND SHALL COMPLY WITH RULE 9B-72 (FAC) FOR FLORIDA PRODUCT APPROVAL.

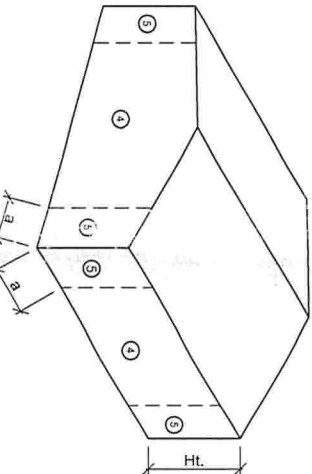
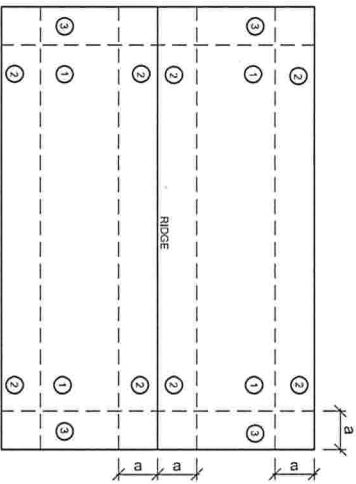
## SIMPSON CONNECTOR NOTES:

- SIMPSON CONNECTIONS SPECIFIED ARE DESIGNED & MANUFACTURED FOR THE PURPOSES SHOWN, & SHOULD NOT BE USED W/ OTHER CONNECTIONS NOT APPROVED BY THE DESIGN ENGINEER. MODIFICATIONS TO PRODUCTS OR CHANGES IN INSTALLATION PROCEDURES SHOULD NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER. THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURES IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- SUBSTITUTIONS FOR SIMPSON STRONG-TIE CO., INC'S PRODUCTS SHALL BE APPROVED IN WRITING BY THE ENGINEER.

## -INSTRUCTIONS TO THE INSTALLER-

- ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE SIMPSON CATALOG. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16d FASTENERS ARE COMMON NAILS (9 9/16 x 3 1/2") AND CAN NOT BE REPLACED WITH 16d SINKERS (9 9/16 x 3 1/4") UNLESS OTHERWISE SPECIFIED.
- BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER (PER NDS 2005, SECTION 8.2.1.1).
- INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.
- PNEUMATIC OR POWER-ACTUATED FASTENERS MAY DEFLECT AND INJURE THE OPERATOR OR OTHERS. NAIL GUNS MAY BE USED TO INSTALL CONNECTORS, PROVIDE THE CORRECT QUANTITY AND TYPE OF NAILS ARE PROPERLY INSTALLED IN THE NAIL HOLES. GUNS WITH NAIL-HOLE-LOCATING MECHANISMS SHOULD BE USED FOLLOW THE MANUFACTURERS INSTRUCTIONS AND USE THE APPROPRIATE SAFETY EQUIPMENT.

## COMPONENTS & CLADDING



| COMPONENT        | WIDTH (ft.) | SPAN (ft.) | ZONE | WIND PRESS. (lb./ft.) |
|------------------|-------------|------------|------|-----------------------|
| ROOF SHEATHING   | 4           | 8          | 2    | 37.27                 |
| ROOF SHEATHING   | 4           | 8          | 1H   | -39.06                |
| ROOF SHEATHING   | 4           | 8          | 2H   | -46.30                |
| ROOF SHEATHING   | 4           | 8          | 3H   | -68.75                |
| ROOF SHEATHING   | 4           | 8          | 3H   | -68.75                |
| WALL - INT. ZONE | 3           | 8          | 4    | 37.27                 |
| WALL - INT. ZONE | 3           | 8          | 4    | -46.30                |
| WALL - INT. ZONE | 3           | 8          | 4    | -68.75                |
| ROOF RAFTER      | 2           | 14         | 5    | 40.62                 |
| ROOF RAFTER      | 2           | 14         | 5    | -53.00                |
| WOOD d DOORS     | 4.62        | 14         | 2    | 36.15                 |
| WOOD d DOORS     | 4.62        | 14         | 2    | -44.06                |
| DOOR s           | 3           | 6.67       | 4    | 36.15                 |
| DOOR s           | 3           | 6.67       | 4    | -36.82                |
| DOOR ROLL UP     | 5           | 6.67       | 4    | 40.80                 |
| DOOR ROLL UP     | 5           | 6.67       | 4    | -44.42                |
| WINDOW           | 8           | 6.67       | 4    | 39.38                 |
| WINDOW           | 8           | 6.67       | 4    | -43.00                |
| WINDOW           | 3           | 4          | 4    | 38.07                 |
| WINDOW           | 3           | 4          | 4    | -41.89                |
| WINDOW           | 3           | 4          | 4    | 42.22                 |
| WINDOW           | 3           | 4          | 4    | -45.84                |
| WINDOW           | 3           | 4          | 4    | 41.60                 |
| WINDOW           | 3           | 4          | 4    | -58.19                |
| WINDOW           | 3           | 5          | 5    | 42.22                 |
| WINDOW           | 3           | 5          | 5    | -45.22                |

a = 3.0 FT.; 1H THROUGH 3H FOR OVERHANGS.

## WIND DESIGN:

ULTIMATE WIND SPEED: 140 MPH (3 SECOND GUST)  
NOMINAL WIND SPEED: 108 MPH (3 SECOND GUST)  
CATEGORY: I  
EXPOSURE: C\*

METHOD OF DESIGN: F.B.C. 2010  
MEAN ROOF HEIGHT: 10'-9"

## BUILDING DESIGN:

UTILITY & MISCELLANEOUS: GROUP U

NOTE: BUILDING DESIGNED AS ENCLOSED.

INTERNAL PRESSURE COEFFICIENT: 0.18 (ENCLOSED MAIN BUILDING)

## ROOF DESIGN:

WOOD ROOF: LIVE: 20 PSF  
DEAD: 8 PSF

## FLOOR DESIGN:

WOOD FLOOR: LIVE: 60 PSF  
DEAD: 4 PSF

\*SUITABLE FOR ALL SITES WITH EXPOSURE 'C' EXCEPT WITHIN 600 FT. OF A BODY OF WATER HAVING A FETCH OF 1 MILE OR GREATER PER FIG. 1609.4.3.

## GENERAL NOTES:

- THIS COVER SHEET & ADDITIONAL ACCOMPANYING ATTACHMENT SHEETS, REPRESENT MINIMUM DESIGN REQUIREMENTS FOR CONSTRUCTION OF THE ATTACHED SEALED PLANS IN ACCORDANCE WITH THE 2010 F.B.C. SECTION 1609 FOR WIND PRESSURES SITED ON BUILDINGS IN THE ULTIMATE 140 MPH, WIND ZONE (NOMINAL WIND SPEED 108 MPH) & NEC 2008.
- THE OWNER/CONTRACTOR SHALL VERIFY ALL PRODUCT AVAILABILITY, DIMENSIONS, SITE CONDITIONS AND EQUIPMENT REQUIREMENTS BEFORE COMMENCING ANY WORK. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED AND CONFIRMED AS SHOWN ON THESE DRAWINGS. ANY DEVIATION FROM THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING & STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES & SEQUENCE TO INSURE SAFETY OF THE BUILDING & ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORINGS, SHELTING, TEMPORARY BRACING, GUTS OR TIEDOWNS.
- DESIGN LOADS:  
THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA BUILDING CODE.
- ENGINEERING JOB INSPECTIONS ARE NOT PROVIDED UNLESS SPECIFICALLY ARRANGED.
- ALL SITE RELATED WORK SUCH AS, BUT NOT LIMITED TO, FOUNDATION, THE DOWN & ELECTRICAL SERVICE SHALL BE BY OTHERS AND AS PER THE AUTHORITY HAVING JURISDICTION (A.H.J.).
- SITE ENVIRONMENTAL STUDIES, IF REQUIRED, ARE TO BE PERFORMED BY OTHERS.
- PRODUCT/MATERIAL SUBSTITUTION IS PERMITTED IF THE SUBSTITUTE IS EQUAL OR GREATER THAN THE SPECIFIED PRODUCT. TESTING DATA AND/OR VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. DO NOT SCALE THE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PART OF THE WORK.

THESE PLANS COMPLY WITH FLORIDA BUILDING CODE 2010, & FLORIDA FIRE PREVENTION CODE 2010 NFPA 70, NEC-08.



2010 F.B.C.

"MASTER GABLE ROOF SHED PLANS"  
FOR  
GULF COAST BARN & STORAGE

P.O. BOX 77  
HORSESHOE BEACH, FL 32648

CHARLES A. WUNDER, JR., P.E.

P.O. BOX 126  
NEWBERRY, FL 32669  
(352) 214-3192

Charles A. Wunder, Jr., P.E.  
Reg. No. 46032  
Date: 5-14-12

DRAWN  
NW  
CHECKED  
DATE  
03-07-12  
SCALE  
NOTED  
JOB NO.  
E-05409  
SHEET

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OF 5 SHEETS



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"MASTER GABLE ROOF SHED PLANS"

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P.O. BOX 126  
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Charles A. Wunder, Jr., P.E.  
Reg. No. 42882  
Date: 5.18.12

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NW

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03.07.12

SCALE  
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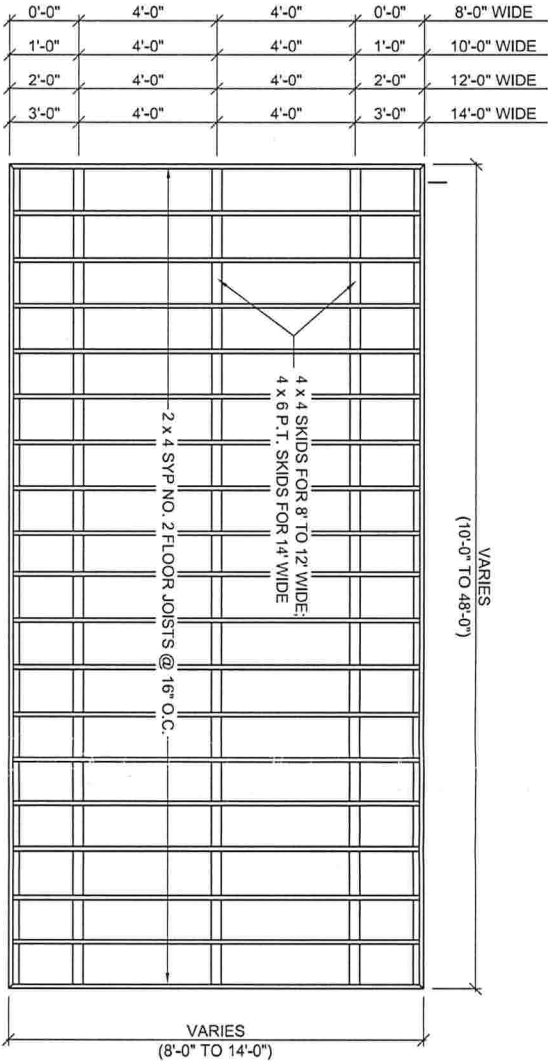
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| FASTENER SCHEDULE FOR STRUCTURAL MEMBERS  |  |  |
|---|--|--|
| DESCRIPTION OF BUILDING ELEMENTS  | NUMBER AND TYPE OF FASTENER                | SPACING OF FASTENERS   |
| JOIST TO SILL OR GIRDER, TOE NAIL   | (3)-8d                                     | -  |
| 1" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL                                 | (2)-8d<br>3"x0.131 @ 8" O.C.               | -  |
| SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL  | 16d  | 16" O.C.   |
| TOP OR SOLE PLATE TO STUD, END NAIL   | (2)-16d                                    | -  |
| STUD TO SOLE PLATE, TOE NAIL  | (3)-8d TOENAIL OR (2)-16d ENDNAIL          | -  |
| DOUBLE STUDS, FACE NAIL   | 16d OR 3"x0.131 @ 8" O.C.<br>(8)-16d NAILS | 24" O.C.<br>LAP SPLICE<br>16" O.C.   |
| DOUBLE TOP PLATES, FACE NAIL  | 16d  | 16" O.C.   |
| SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS                             | (3)-16d                                    | 16" O.C.   |
| DOUBLE TOP PLATES, MINIMUM 24 INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA | (8)-16d                                    | -  |
| BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL                         | (3)-8d                                     | -  |
| RIM JOIST TO TOP PLATE, TOE NAIL  | 8d   | 6" O.C.  |
| TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL                          | (2)-16d                                    | -  |
| BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER  | 16d  | 16" O.C.<br>ALONG EACH EDGE  |
| CONTINUED HEADER, TWO PIECES  | 16d  | ALONG EACH EDGE  |
| CEILING JOISTS TO PLATE, TOE NAIL   | (3)-8d                                     | -  |
| CONTINUOUS HEADER TO STUD, TOE NAIL   | (4)-8d                                     | -  |
| CEILING JOIST LAPS OVER PARTITIONS, FACE NAIL                                     | (3)-16d                                    | -  |
| CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL                                      | (3)-16d                                    | -  |
| RAFTER TO PLATE, TOE NAIL   | (3)-8d                                     | -  |
| 1" BRACE TO EACH STUD AND PLATE, FACE NAIL  | (2)-8d                                     | -  |
| BUILT-UP CORNER STUDS   | 16d  | 24" O.C.   |
| BUILT-UP GIRDERS AND BEAMS  | 20d @ 32" O.C.<br>OR 3"x0.131 @ 24" O.C.   | NAIL EACH LAYER AS FOLLOWS:<br>STAGGER AT TOP AND BOTTOM, TWO NAILS AT ENDS AND AT EACH SPLICE |
| ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL<br>FACE NAIL               | (2)-16d<br>(2)-16d                         | -  |

NOTE:

FOR ADDITIONAL NAILING REQUIREMENTS, REFER TO SECTION 2304.9, FASTENING, AND TABLE 2304.9.1, FASTENING SCHEDULE, IN THE 2010 FLORIDA BUILDING CODE.



HEADER SCHEDULE (BRG. WALL):

1.) SPANS UP TO 8'-0": (2)-2X6S; USE SPF NO. 2 UNLESS STATED OTHERWISE ON PLANS.  
2.) SPANS UP TO 8'-0": (2)-2X8S; SPF NO. 2

NOTE:  
ALL BEAMS SHALL BE BUILT UP WITH 1/2" PLYWOOD FILLER. NAILING SHALL BE 16d NAILS @ 16" O.C. ALONG EACH EDGE. SPLICES, IF NECESSARY, SHALL BE LOCATED @ 1/4 THE LENGTH OF THE BEAM BETWEEN SUPPORTS.

HEADER STUD REQUIREMENTS:

-MAXIMUM 8'-0" WALL HEIGHT.-

1.) 3'-0"-1 FULL LENGTH STUD, ATTACH HEADER TO STUDS WITH (1) SIMPSON FCD FRAMING CLIP, OR USE 1 HEADER STUD & 1 FULL LENGTH STUD, EACH SIDE  
2.) 8'-0"-1 HEADER STUD, 1 FULL LENGTH STUD, EACH SIDE.

FRAMING NOTES:

1.) UNLESS STATED OTHERWISE ON PLANS, ALL FRAMING FOR 8'-0" HIGH WALLS SHALL BE 2X4 SPF #2 GRADE LUMBER. STUDS SHALL BE SPACED AT 16" O.C.  
2.) ALL FRAMING COMING IN CONTACT WITH CONCRETE, EARTH, OR MASONRY SHALL BE PRESSURE TREATED.  
3.) DOUBLE BEARING TOP PLATES SHALL HAVE ALL JOINTS LAP-SPLICED, WITHIN THE CENTER THIRD OF A WALL LENGTH; THE MINIMUM LAP SHALL BE 4'-0". A 2'-0" MINIMUM LAP SPLICE IS REQUIRED ELSEWHERE. NAILING REQUIREMENT SHALL BE 16-16d NAILS FOR CENTER THIRD OF WALL AND 12-16d NAILS FOR OTHER APPLICATIONS, MINIMUM 1 STUD AT SPLICE LOCATION.  
4.) EXTERIOR SHEATHING SHALL BE:  
  
5/8" T-1-11 VERTICAL SIDING, 5/8" PLYWOOD OR 5/8" OSB ATTACHED WITH 8d RS NAILS SPACED @ 6" O.C. EDGE AND 6" FIELD, AT DISTANCES WITHIN 3' OF BUILDING CORNER & GABLE END WALLS  
SPACE NAILS AT 4" O.C. EDGE AND FIELD.

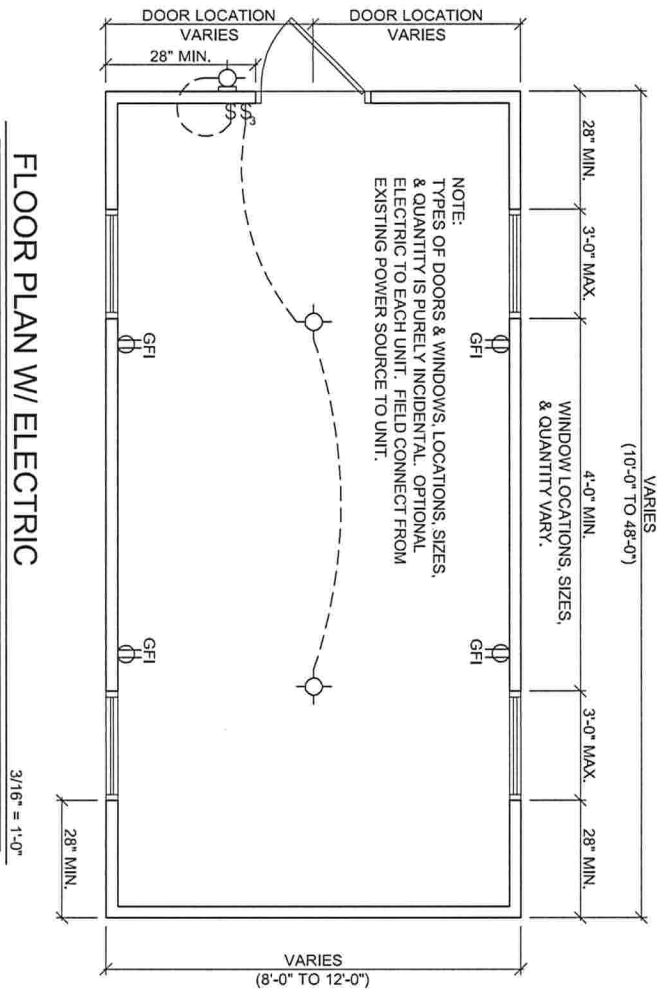
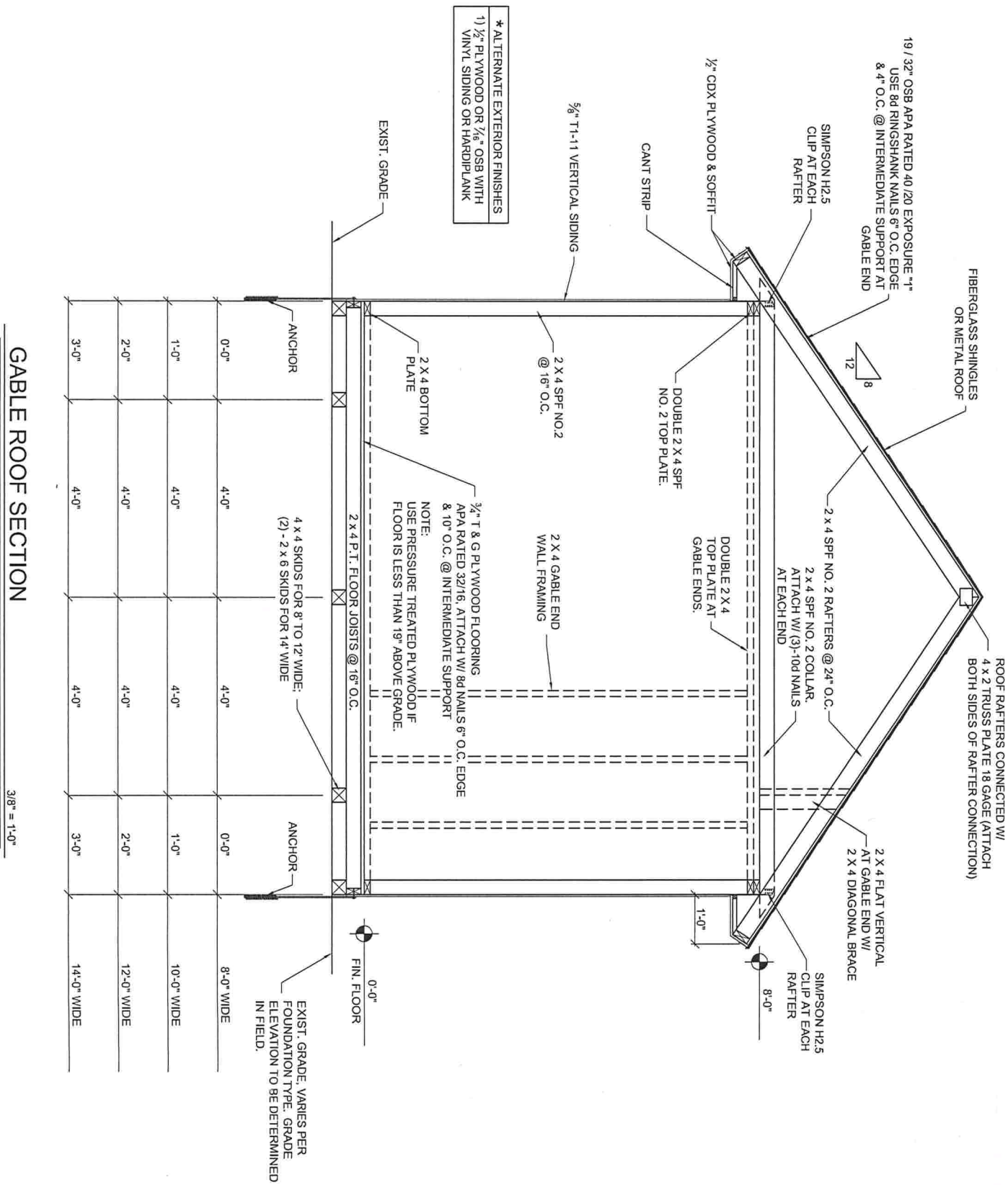
THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H., 3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H., 3 SECOND GUST.













| WINDOW SCHEDULE: |              |                 |                  |                 |                                 |
|------------------|--------------|-----------------|------------------|-----------------|---------------------------------|
| WINDOW           | MANUFACTURER | MODEL OR SERIES | APPLIED PRESSURE | DESIGN PRESSURE | FLORIDA PRODUCT APPROVAL NUMBER |
| 3040 SH          | PGT          | 200             | +40.22, -45.84   | +55, -66.5      | FL 239.1                        |
| 3050 SH          | PGT          | 200             | +41.60, -45.22   | +55, -59.7      | FL 239.1                        |

| DOOR SCHEDULE: |              |                 |                  |                 |                                 |
|----------------|--------------|-----------------|------------------|-----------------|---------------------------------|
| DOOR           | MANUFACTURER | MODEL OR SERIES | APPLIED PRESSURE | DESIGN PRESSURE | FLORIDA PRODUCT APPROVAL NUMBER |
| 3068           | THERMATRU    | CONSTRUCTION    | +40,80, -44,42   | +67, -67        | FL 15227.2                      |

NOTE:  
OWNER/CONTRACTOR HAS OPTION TO SUBSTITUTE & USE WINDOWS & DOORS NOT LISTED IN SCHEDULE. ALTERNATE WINDOWS & DOORS MUST MEET MINIMUM APPLIED PRESSURES AS LISTED IN SCHEDULE.



| ELECTRICAL<br>SYMBOL LEGEND   |                                  |
|---|----------------------------------|
|  | OUTLET 110 VOLT                  |
|  | OUTLET HALF HOT                  |
|  | OUTLET GROUND<br>FAULT INTERRUPT |
|  | OUTLET GFI<br>WEATHER PROTECTED  |
|  | SINGLE POLE<br>SWITCH            |
|  | 3 POLE<br>SWITCH                 |
|  | FAN w/ LIGHT KIT                 |
|  | CEILING LIGHT                    |
|  | WALL LIGHT                       |
|  | FLOOD LIGHT                      |

ALL ELECTRIC WORK  
TO BE IN ACCORDANCE  
W/ NEC 2008.

NOTE:  
LENGTH TO WIDTH RATIO  
OF BUILDING SHALL NOT  
EXCEED 1:4.


THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H., 3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H., 3 SECOND GUST.

2010 F.B.C.

# "MASTER GABLE ROOF SHED PLANS" FOR GULFCOAST BARNs & STORAGE

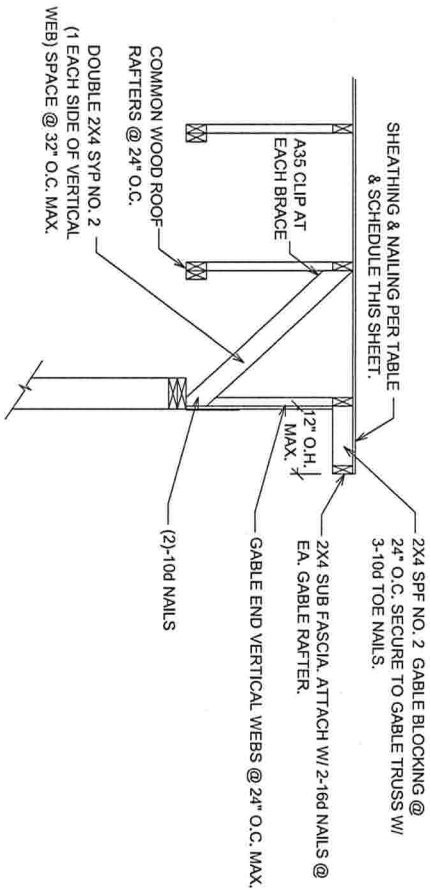
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| DRAWN<br>NW | CHECKED | DATE     | SCALE | NOTED | JOB NO. | SHEET |
|             |         | 03-07-12 |       |       | E-05409 | 3     |
| OF 5 SHEETS |         |          |       |       |         |       |

|   |  |
|---|--|
|  | CHARLES A. WUNDER, JR., P.E.                         |
| Charles A. Wunder, Jr., P.E.<br>Reg. No. 46932<br>Date: 5-16-12                     | P.O. BOX 126<br>NEWBERRY, FL 32669<br>(352) 214-3192 |

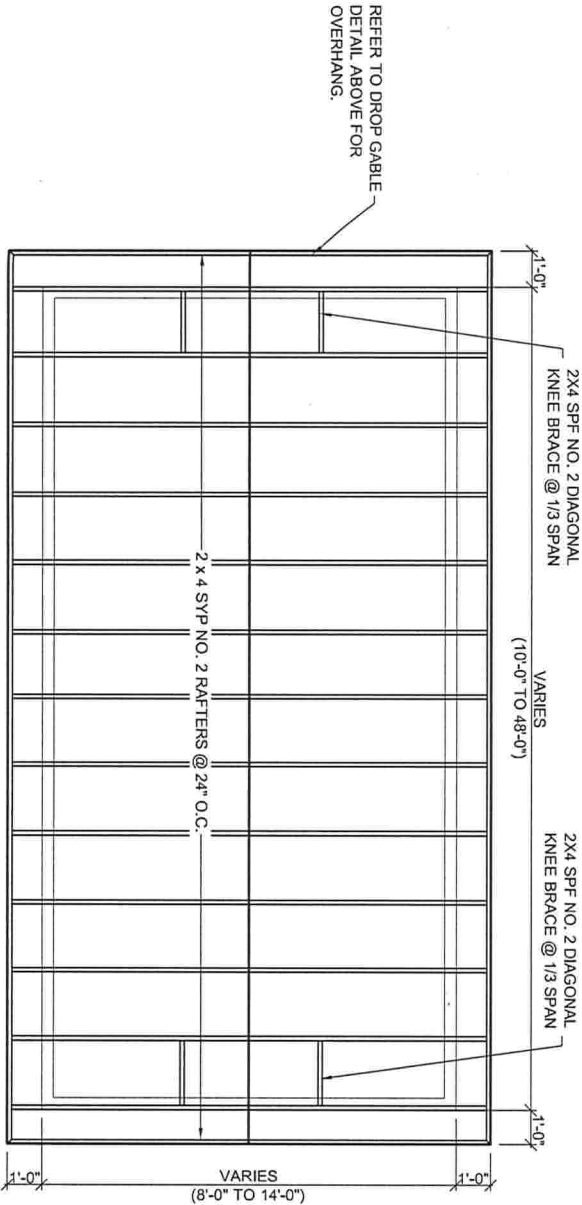
| ROOF SHEATHING FASTENING NOTES:                                  |  |
|--|--|
| 1.) NAILING:   |  |
| ZONES 1 & 2: USE 8d RINGSHANK NAILS 6" O.C. EDGE & INTERMEDIATE. |  |
| ZONE 3: USE 8d RINGSHANK NAILS 4" O.C. EDGE & INTERMEDIATE.      |  |

| ROOF COVERAGE:   |   |
|--|---|
| SHINGLE  | SHINGLES SHALL COMPLY WITH ASTM D 225 OR D 3462 CLASS F OR TAS 107 OR ASTM 7159 AND R905.2.6.1 & TABLE R905.2.6.1 |
| SHEATHING REQUIREMENTS:  |   |
| SHINGLE OR METAL ROOF  | PLYWOOD SHEATHING 5/8" C-D GROUP 2, EXP.1 APA RATED - 32/16 OR OSB SHEATHING 5/8 APA 40/20 EXPOSURE 1.            |
| NOTES:   |   |
| 1.) PLYWOOD TO BE PERPENDICULAR TO FRAMING. END JOINTS SHALL BE STAGGERED.   |   |
| 2.) CONTRACTOR SHALL INSTALL PLYWOOD USING ALUMINUM PLYWOOD CLIPS WITH BUILT-IN SPACERS.   |   |
| 3.) UNDERLAMENT SHALL CONFORM TO ASTM D 226, TYPE I OR II, ASTM D 4869 TYPE I OR II, OR ASTM D 6757, 2 LAYERS REQUIRED UP TO 4/12 PITCH. |   |



DROP GABLE, 6" TO 12" OVERHANG

N.T.S.



GABLE ROOF PLAN

COLLARS NOT SHOWN FOR CLARITY

3/16" = 1'-0"

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Charles A. Wunder, Jr., P.E.  
Reg. No. 46032  
Date: 5.11.12

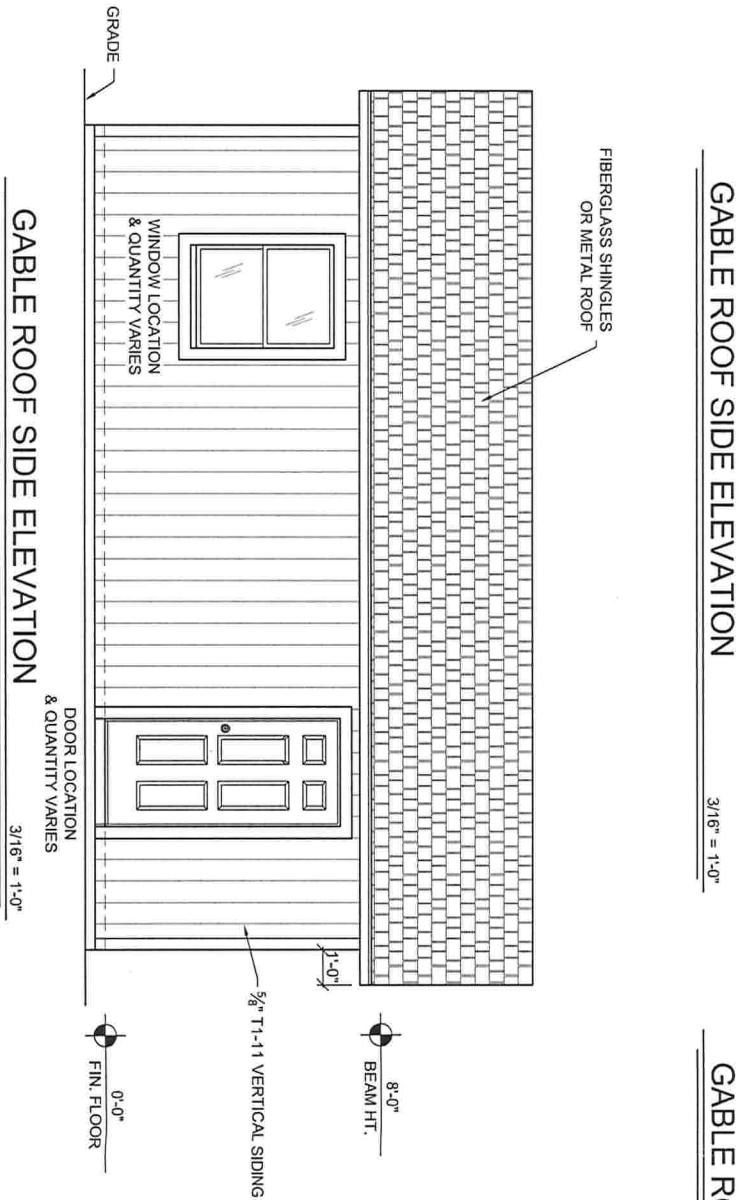
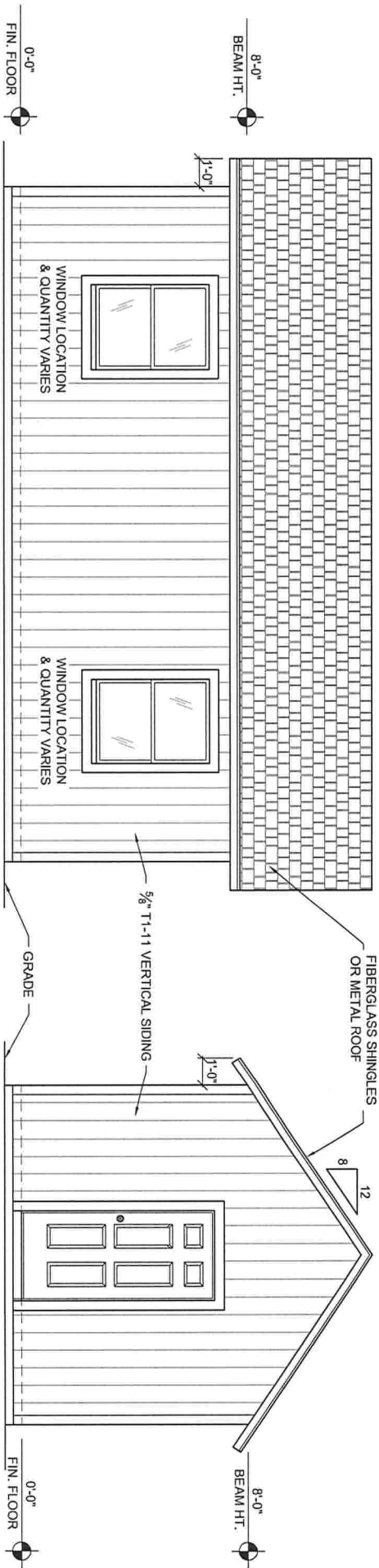
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OF 5 SHEETS

DATE: 03-07-12  
SCALE: NOTED  
JOB NO. E-05409  
SHEET

THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H., 3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H., 3 SECOND GUST.

DOOR SCHEDULE  
SINGLE WOOD DOOR - 3'-0"  
STEEL 9-LIGHT ENTRY DOOR - 3'-0"  
MOBILE HOME STYLE FOAM CORE DOOR - 3'-0" TO 4'-0"  
STANDARD DOUBLE WOOD DOOR WIDTH - 5'-0"  
STANDARD ROLL-UP GARAGE DOOR - 8'-0"



THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED  
IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA  
BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES  
GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H.,  
3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H.,  
3 SECOND GUST.

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"MASTER GABLE ROOF SHED PLANS"  
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Charles A. Wunder, Jr., P.E.  
Reg. No. 46032  
Date: 5-12-12

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| DRAWN<br>NW        | CHECKED        |
| DATE<br>03-07-12   | SCALE<br>NOTED |
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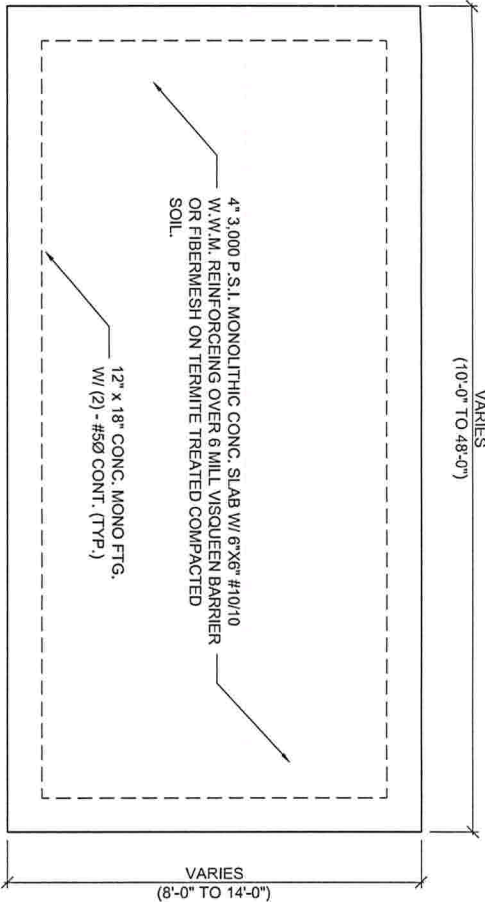
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"SHED FOUNDATION PLANS"  
FOR  
GULF COAST BARN & STORAGE  
P.O. BOX 77  
HORSESHOE BEACH, FL 32648

CHARLES A. WUNDER, JR., P.E.  
P.O. BOX 126  
NEWBERRY, FL 32669  
(352) 214-3192  
Charles A. Wunder, Jr., P.E.  
Reg. No. 46032  
Date: 5.14.11

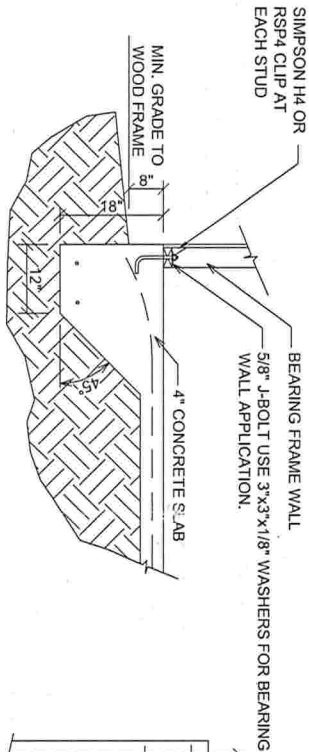
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N.W.  
CHECKED  
DATE  
03-20-12  
SCALE  
NOTED  
JOB NO.  
E-05409  
SHEET  
1  
OF 2  
SHEETS

2010 F.B.C.



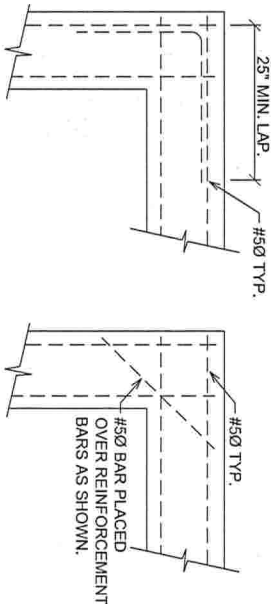
FOUNDATION PLAN

3/16\"/>



MONOLITHIC W/ FRAME WALL

N.T.S.



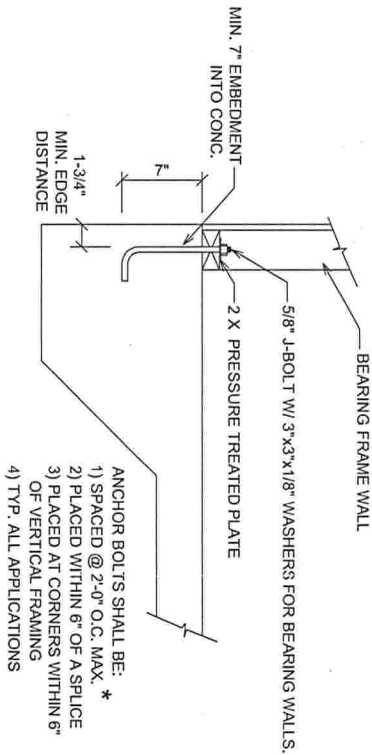
CORNER LOCATION

CORNER OPTION 2

- 1.) PROVIDE 1-1/2\"/>
- 2.) PROVIDE MIN. 3\"/>

OPTIONAL LAP REINFORCING

N.T.S.



ANCHOR BOLT DETAIL

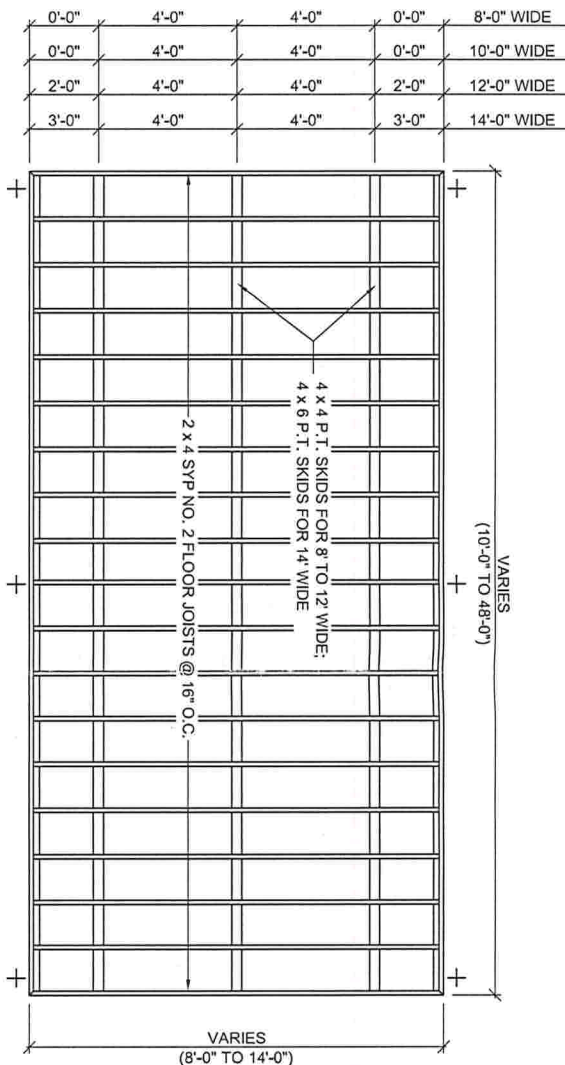
N.T.S.

NOTE:  
FASTENING OF SILL PLATES TO CONC. SHALL BE MADE WITH 5/8\"/>



THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED  
IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA  
BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES  
GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H.,  
3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H.,  
3 SECOND GUST.



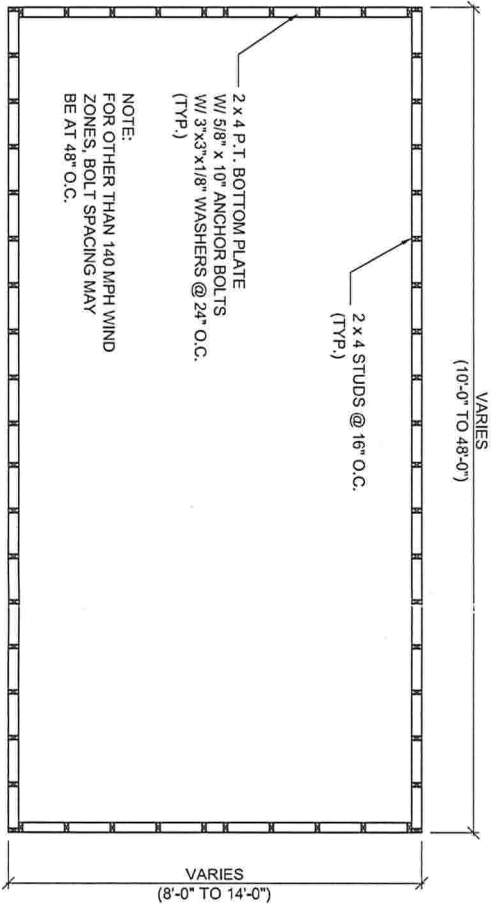


FLOOR FRAMING PLAN

3/16" = 1'-0"

+ = TIE-DOWN ANCHOR LOCATION

- TIE-DOWN ANCHORS**
- 1) PLACE AT EACH CORNER OF BUILDING. (MIN. 4 REQ'D.)
  - 2) SPACE NOT MORE THAN 8' O.C.: RUN PARALLEL TO THE RUNNERS.
  - 3) TIE DOWN ANCHORS TO BE 3/4" Ø x 48" ROD, 6" SINGLE HELIX AUGER ANCHOR MODEL M12H-5/8, MANUFACTURED BY TIE-DOWN ENGINEERING.
  - 4) INSTALL PER TIE-DOWN ENGINEERING SPECIFICATIONS.



FRAMING PLAN

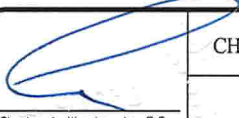
3/16" = 1'-0"

2010 F.B.C.

"SHED FOUNDATION PLANS"  
FOR  
GULF COAST BARN & STORAGE

P.O. BOX 77  
HORSESHOE BEACH, FL 32648

| REVISIONS | BY |
|-----------|----|
|           |    |
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|           |    |
|           |    |



Charles A. Wunder, Jr., P.E.  
Reg. No. 46032  
Date: 5-18-12

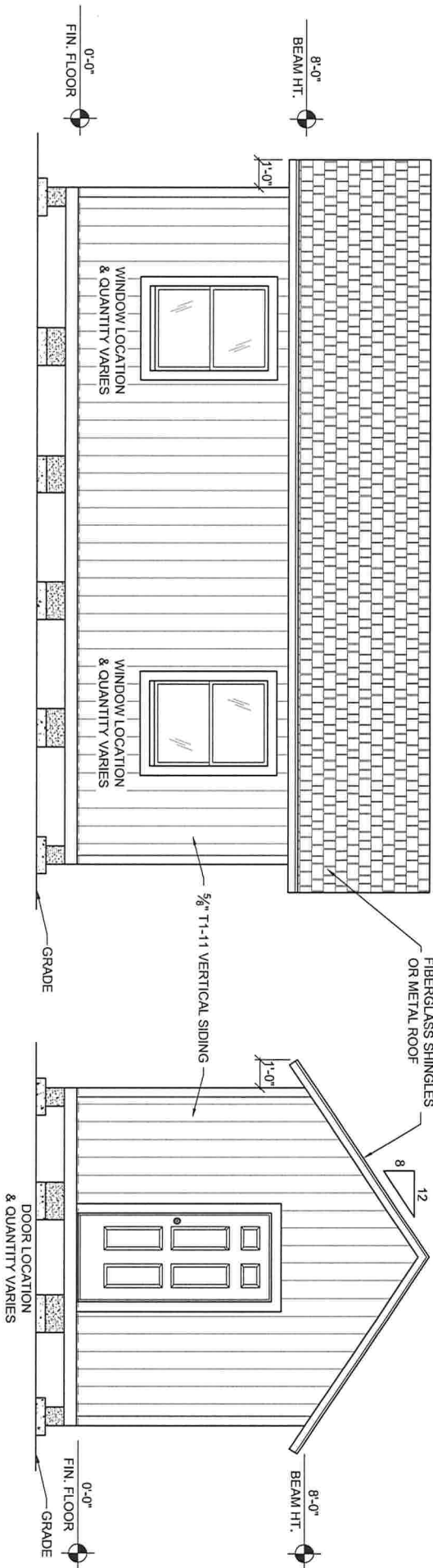
CHARLES A. WUNDER, JR., P.E.

P.O. BOX 126  
NEWBERRY, FL 32669  
(352) 214-3192

THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED  
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GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H.,  
3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H.,  
3 SECOND GUST.

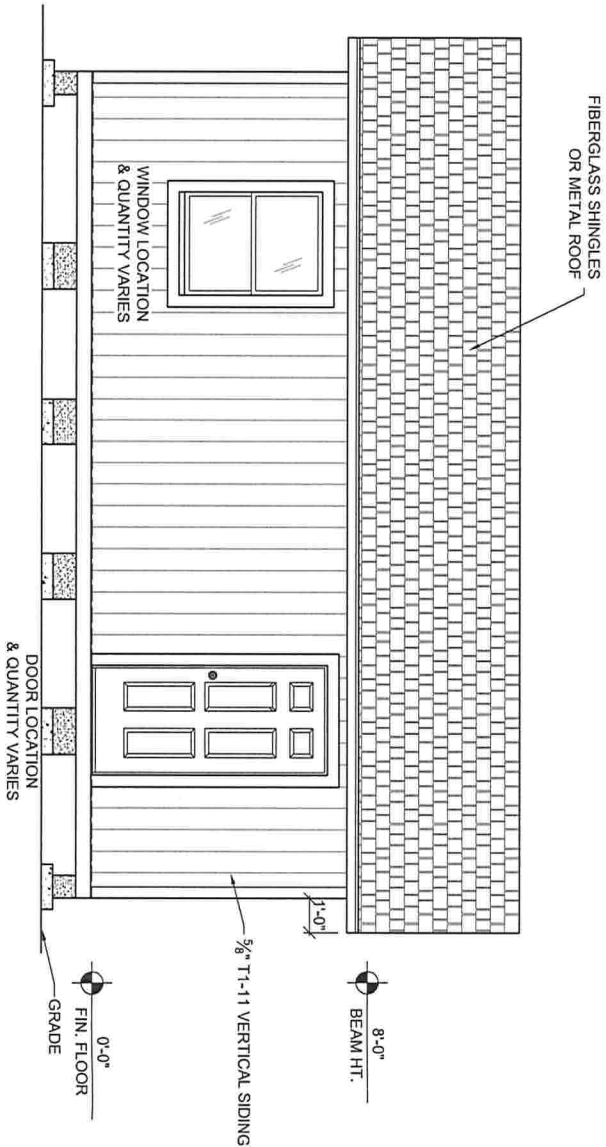
|               |          |
|---------------|----------|
| DRAWN<br>BY   |          |
| CHECKED<br>BY |          |
| DATE          | 03-20-12 |
| SCALE         | NOTED    |
| JOB NO.       | E-05409  |
| SHEET         |          |
| 2             |          |
| OF 2 SHEETS   |          |

DOOR SCHEDULE  
SINGLE WOOD DOOR - 3'-0"  
STEEL 9-LIGHT ENTRY DOOR - 3'-0"  
MOBILE HOME STYLE FOAM CORE DOOR - 3'-0" TO 4'-0"  
STANDARD DOUBLE WOOD DOOR WIDTH - 5'-0"  
STANDARD ROLL-UP GARAGE DOOR - 8'-0"



GABLE ROOF SIDE ELEVATION

GABLE ROOF FRONT ELEVATION



GABLE ROOF SIDE ELEVATION

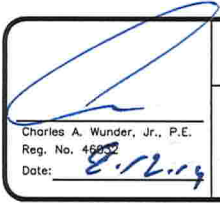
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IN ACCORDANCE WITH SECTION 1609 OF THE 2010 FLORIDA  
BUILDING CODE FOR GRAVITY AND DESIGN PRESSURES  
GENERATED BY A ULTIMATE WIND SPEED OF 140 M.P.H.,  
3 SECOND GUST & NOMINAL WIND SPEED OF 108 M.P.H.,  
3 SECOND GUST.

2010 F.B.C.

"MASTER GABLE ROOF SHED PLANS"  
FOR  
GULFCOAST BARNs & STORAGE  
P.O. BOX 77  
HORSESHOE BEACH, FL 32648

| REVISIONS | BY |
|-----------|----|
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|                    |                |
|--------------------|----------------|
| DRAWN<br>NW        | CHECKED        |
| DATE<br>03.07.12   | SCALE<br>NOTED |
| JOB NO.<br>E-05409 | SHEET          |
| OF<br>5            | SHEETS         |



Charles A. Wunder, Jr., P.E.  
Reg. No. 49870  
Date: 8.12.12

CHARLES A. WUNDER, JR., P.E.

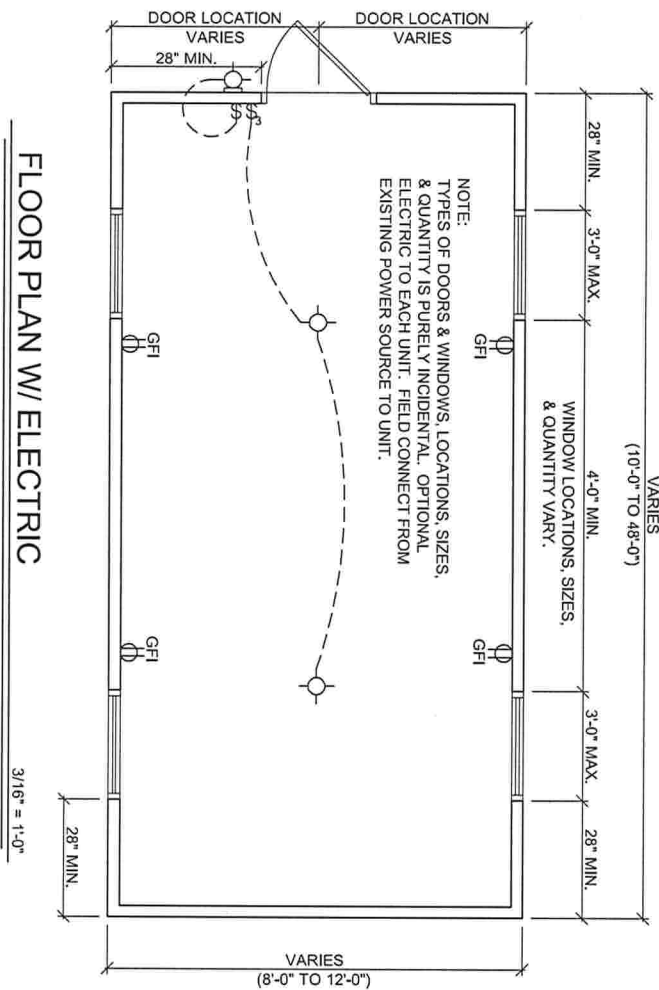
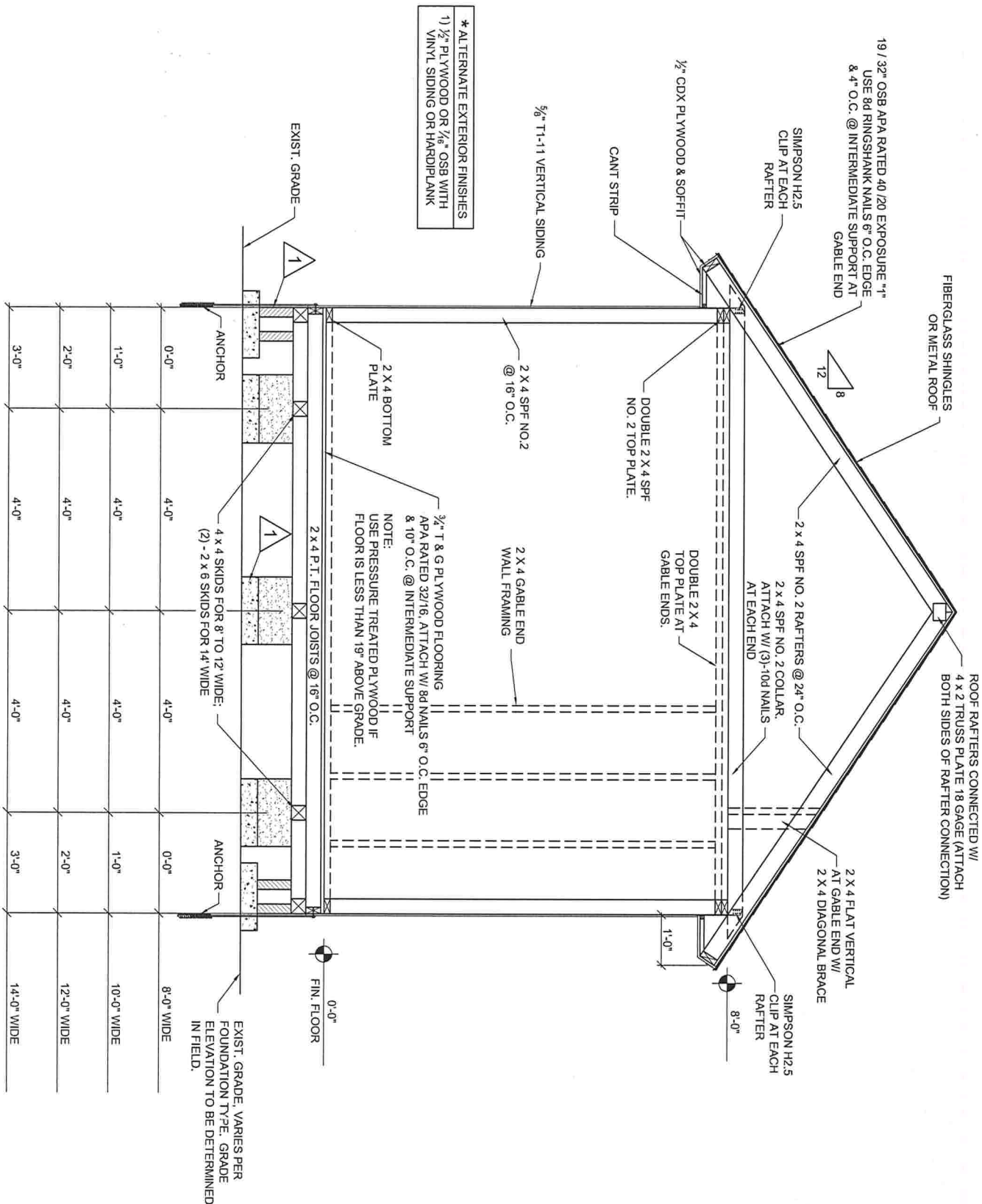
P.O. BOX 126  
NEWBERRY, FL 32669  
(352) 214-3192















| WINDOW SCHEDULE: |              |                 |                  |                 |                                 |
|------------------|--------------|-----------------|------------------|-----------------|---------------------------------|
| WINDOW           | MANUFACTURER | MODEL OR SERIES | APPLIED PRESSURE | DESIGN PRESSURE | FLORIDA PRODUCT APPROVAL NUMBER |
| 3040 SH          | PGT          | 200             | +40.22, -45.84   | +55, -66.5      | FL 239.1                        |
| 3050 SH          | PGT          | 200             | +41.60, -45.22   | +55, -59.7      | FL 239.1                        |

| DOOR SCHEDULE: |              |                 |                  |                 |                                 |
|----------------|--------------|-----------------|------------------|-----------------|---------------------------------|
| DOOR           | MANUFACTURER | MODEL OR SERIES | APPLIED PRESSURE | DESIGN PRESSURE | FLORIDA PRODUCT APPROVAL NUMBER |
| 3068           | THERMATRU    | CONSTRUCTION    | +40, 80, -44, 42 | +67, -67        | FL 15227.2                      |

**NOTE:**  
OWNER/CONTRACTOR HAS OPTION TO SUBSTITUTE & USE WINDOWS & DOORS NOT LISTED IN SCHEDULE. ALTERNATE WINDOWS & DOORS MUST MEET MINIMUM APPLIED PRESSURES AS LISTED IN SCHEDULE.



| ELECTRICAL<br>SYMBOL LEGEND   |                    |
|---|--------------------|
|  | OUTLET 110 VOLT    |
|  | OUTLET HALF HOT    |
|  | OUTLET GROUND      |
|  | FAULTY OUTLET      |
|  | OUTLET GEL         |
|  | WEATHER PROTECTED  |
|  | SWITCH SINGLE POLE |
|  | SWITCH 3 POLE      |
|  | FAN W/ LIGHT KIT   |
|  | CEILING LIGHT      |
|  | WALL LIGHT         |
|  | FLOOD LIGHT        |

**ALL ELECTRIC WORK  
TO BE IN ACCORDANCE  
W/ NEC 2008.**

NOTE:  
LENGTH TO WIDTH RATIO  
OF BUILDING SHALL NOT  
EXCEED 1:4.

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