DATE 02/13/2007

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT 000025521

APPLICANT TIM HARBER PHONE 386-362-4948

ADDRESS 10314 HWY 90 EAST LIVE OAK FL 32060

OWNER GLEN BAILEY PHONE 754-9493

ADDRESS 190 SW SMART CT LAKE CIT FL 32025

CONTRACTOR JERRY CORBETT PHONE 386-362-4948

LOCATION OF PROPERTY 441 S, L GABLE, L EBENEEZER, R SMART, THEN 1ST DRIVE ON RIGHT

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA _____ TOTAL AREA _____ HEIGHT ____ STORIES ____

FOUNDATION _____ WALLS _____ ROOF PITCH _____ FLOOR _____

LAND USE & ZONING A-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 31-4S-18-10519-201 SUBDIVISION PARKWOOD ADDITION

LOT ____ BLOCK ____ PHASE ____ UNIT ____ TOTAL ACRES 5.00

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor
		IH0000790	x Tim Harber

Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident
EXISTING	07-00084E	CS	JH	N

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

REPLACING EXISTING MH

Check # or Cash 3075

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by

Foundation _____ date/app. by

Monolithic _____ date/app. by

Under slab rough-in plumbing _____ date/app. by

Slab _____ date/app. by

Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by

Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by

Peri. beam (Lintel) _____ date/app. by

Permanent power _____ date/app. by

C.O. Final _____ date/app. by

Culvert _____ date/app. by

M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Pool _____ date/app. by

Reconnection _____ date/app. by

Pump pole _____ date/app. by

Utility Pole _____ date/app. by

M/H Pole _____ date/app. by

Travel Trailer _____ date/app. by

Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 0.00 CERTIFICATION FEE $ 0.00 SURCHARGE FEE $ 0.00

MISC. FEES $ 200.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $ _____

FLOOD DEVELOPMENT FEE $ _____ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ _____ **TOTAL FEE** 275.00

INSPECTORS OFFICE _____ CLERKS OFFICE MSS

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

elc 3075

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only *(Revised 9-22-06)* Zoning Official cfs 2/12/07 Building Official OKJTH 2-7-07

AP# 0702-18 Date Received 2-6-07 By LH Permit # 25521

Flood Zone X Development Permit N/A Zoning A3 Land Use Plan Map Category A-3

Comments _____

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☑ Site Plan with Setbacks Shown ☑ EH Signed Site Plan ☐ EH Release ☐ Well letter ☑ Existing well

☑ Copy of Recorded Deed or Affidavit from land owner ☑ Letter of Authorization from installer Blanket letter

☐ State Road Access ☐ Parent Parcel # _____ ☐ STUP-MH _____

Property ID # 31-4S-18-10519-201 Subdivision Parkwood Addition

- New Mobile Home Yes - General Used Mobile Home _____ Year 2007
- Applicant Tim Harber Phone # 386-362-4948
- Address 10314 Hwy 90 East Live Oak, FL 32060
- Name of Property Owner Glen A. Bailey Phone# 386-754-9493
- 911 Address 190 SE. Smart Ct Lake City, FL 32025
- Circle the correct power company - FL Power & Light - Clay Electric
  (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Glen A Bailey Phone # 386-754-9493
  Address 190 S.E. Smart Ct Lake City, FL 32025
- Relationship to Property Owner N/A
- Current Number of Dwellings on Property 1
- Lot Size _____ Total Acreage 5 Acres
- Do you : Have Existing Drive (Currently using) or Private Drive (Blue Road Sign) or need Culvert Permit (Putting in a Culvert) or Culvert Waiver (Circle one) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home Yes
- Driving Directions to the Property Take 441 South to Gable turn left go to end then turn left go to Ebeneezer Turn right go to S.E. Smart Turn right go to 1st Drive on right.

- Name of Licensed Dealer/Installer Jenny Corbett Phone # 386-362-4948
- Installers Address 10314 Hwy 90 East Live Oak, FL 32060
- License Number IH-0000790 Installation Decal # 228601

180 # 275.00 JW advised Jan 2.1207

PERMIT WORKSHEET TE-08

PERMIT NUMBER _____

Installer Jenny Goubett License # IH-0000290

Address of home being installed 190 SE Emaut Ct
Lake City, FL 32060

Manufacturer Genera Length x width 60 X 28

NOTE: ***if home is a single wide fill out one half of the blocking plan***
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials JC

New Home ☑ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☑

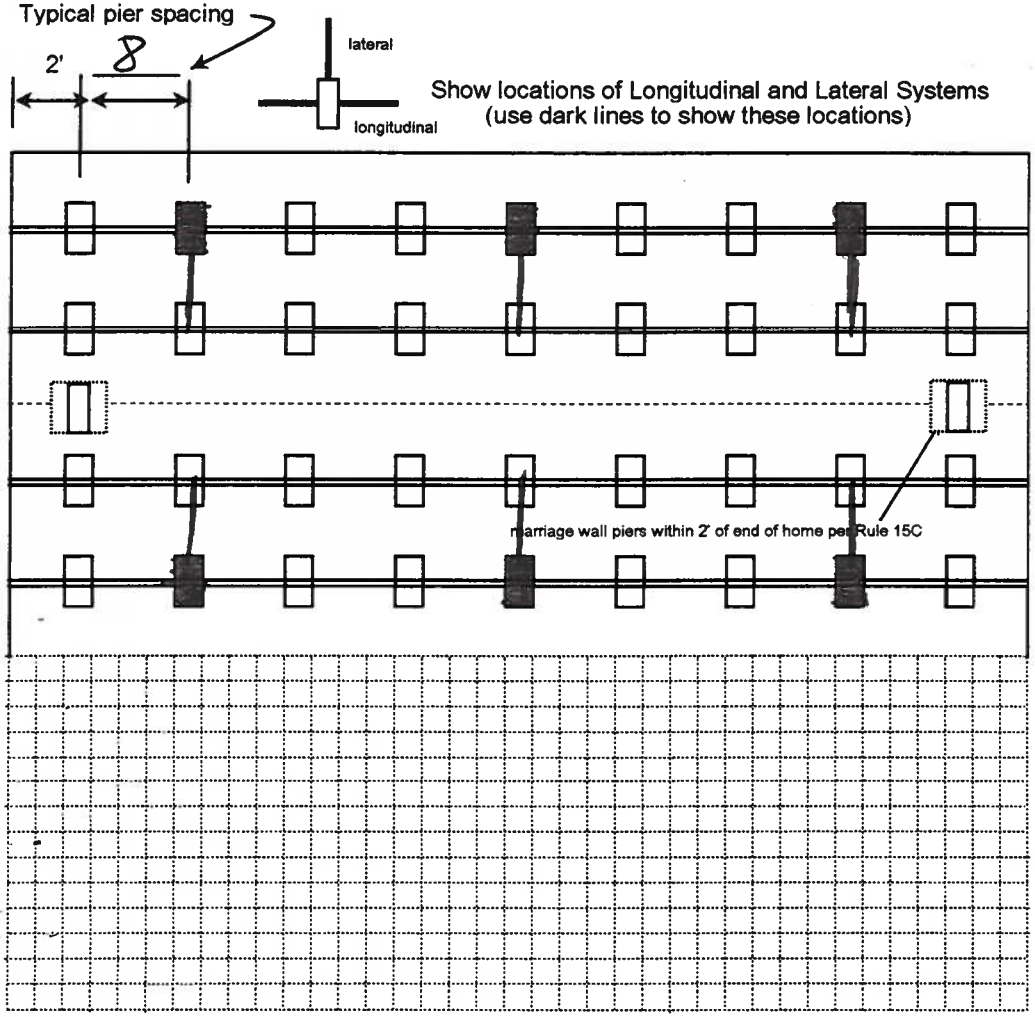
Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☑ Wind Zone III ☐

Double wide ☑ Installation Decal # 278601

Triple/Quad ☐ Serial # GMHGA40634474 A/B

Typical pier spacing



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" X 24" (576)*	26" x 26" (676)
1000 psf		3'	4'	5'	6'	7'	8'
1500 psf		4' 6"	6'	7'	8'	8'	8'
2000 psf		6'	8'	8'	8'	8'	8'
2500 psf		7' 6"	8'	8'	8'	8'	8'
3000 psf		8'	8'	8'	8'	8'	8'
3500 psf		8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 22X31X1

Perimeter pier pad size 16X16X1

Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening	Pier pad size
14	22X31X1

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft (5 ft)

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer Oliver Tech

OTHER TIES

	Number
Sidewall	30
Longitudinal	6
Marriage wall	4
Shearwall	2

PERMIT WORKSHEET

PERMIT NUMBER _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500 X 1500 X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1500 X 1500

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5' anchors without testing _____. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

JC Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Jerry Corbett

Date Tested 1-29-07

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between mult-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed
Water drainage: Natural Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: 8 Log Length: 6 Spacing: 24" Inches
Walls: Type Fastener: 8 Log Length: 6 Spacing: 24
Roof: Type Fastener: 8 Log Length: 6 Spacing: 24
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, meldew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials JC

Type gasket Foam Pg.

Installed:
Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed: Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other : _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Jerry Corbett **Date** 01/29/06

GENERAL MANUFACTURED HOUSING, INC.

SITE PREPARATION

Care should be used to remove **all decayable material**, i.e., grass, roots wood, etc., from under pier and/or footing.

The footing should extend below the "**frost line**" in climate where soil is subject to freezing and thawing movements.

Drainage

(1) Purpose - Drainage prevents water buildup under the home which may cause shifting or settling the foundation, dampness in the home, damage siding and bottom board, buckling of walls and floors, problem with the operation of doors and windows, condensation, mold and mildew, AND COULD VOID YOUR WARRANTY.

(2) Elimination of depression - Grade the home site to permit water to drain from under the home. See drawings "A" and "B" below.

(3) Drainage Structures - Depending on local landscape, ditches and culverts may be needed to drain surface runoff. If so, consult a registered professional engineer.

General Moisture Control (Required at all locations)

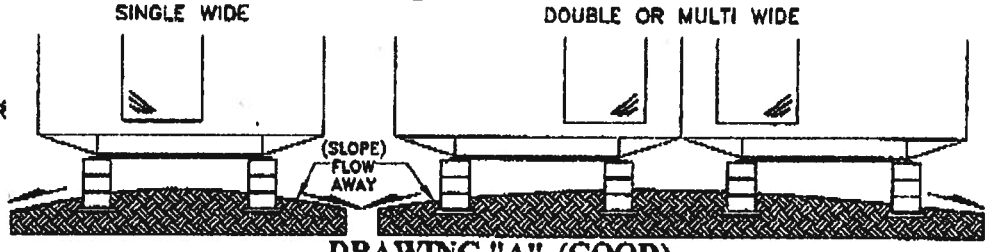
(1) Importance - Use materials that keep ground moisture out of home to make it last longer and keep it safe and healthy to live in.

(2) Acceptable type of Ground cover - use six mil thick polyethylene sheeting or equivalence.

(3) Proper Installation - Cover the entire area under home with the sheeting and overlap it at least 6" at all joints.

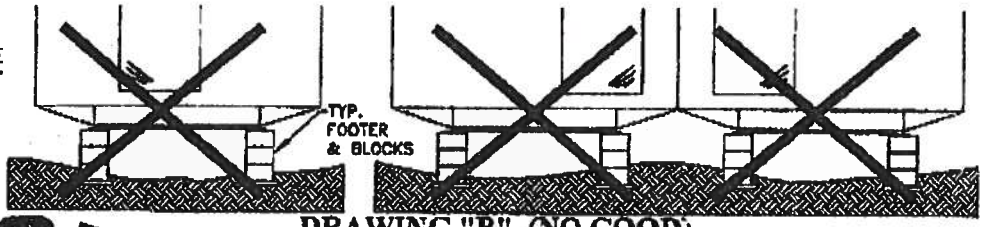
(4) When home is to be perimeter skirted or "pit set", cross ventilation is required under the floor area to minimize the effect of moisture under the home. Screened ventilation openings must be provided under the home enclosure or skirting at least three (3) sides (preferable on all sides), with a minimum area of one square foot of openings per 150 sq. ft. area, more openings may be required by local code. The required ventilation openings are to be approximately equal spacing around the home and to provide ventilation opening within 3 feet of each outside corner. Locate the ventilation openings to assure a well ventilated ground area under the floor.

DO: PLACE THE FOOTERS BELOW THE FROST LINE. GRADE THE SITE TO SLOPE AWAY AND CHANNEL WATER AWAY FROM UNDER HOME, AND COVER THE GROUND WITH MIN. 6 MIL THICK POLYETHYLENE SHEETING, OR EQUIVALENT.



DRAWING "A" (GOOD)

DON'T DO: PLACE THE FOOTERS ABOVE THE FROST LINE, OR GRADE THE SITE SO THAT WATER WILL COLLECT BENEATH HOME.



DRAWING "B" (NO GOOD)

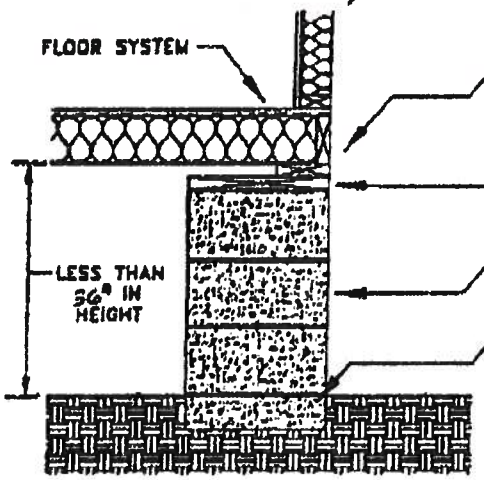
APPROVED HWG APPROVED

Revised
August 26 2005

Federal Manufactured Home Construction And Safety Standards

SU-10.7

SU-10.7



EXTERIOR WALL OPENING, SHEARWALL STUD, OR COLUMN SUPPORT POST.

GAP BETWEEN TOP OF THE PIER AND THE FLOOR MAY BE A WOOD PLATE (NOT EXCEEDING 2" IN THICKNESS) AND/OR SHIMS (NOT EXCEEDING 1" IN THICKNESS). SHIMS SHALL BE AT LEAST 4" WIDE AND 6" LONG, FITTED AND DRIVEN TIGHT BETWEEN WOOD PLATE OR PIER AND THE FLOOR SYSTEM

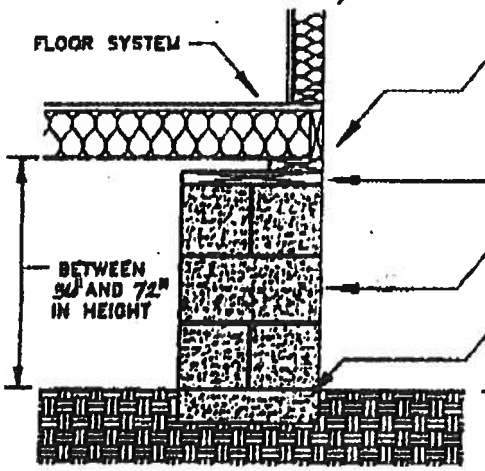
CAP - WOOD (2 X6)X16" S-Y-P #2 P.T. WITH SOLID BLOCK BELOW OR CONCRETE 4"X8"X16" SOLID CONCRETE CAP BLOCK.

SINGLE OPEN OR CLOSED CELL CONCRETE BLOCKS 8"X8"X16" (OPEN CELLS PLACED VERTICALLY ON THE FOOTER) SHALL BE INSTALLED WITH THE 16" DIMENSION PERPENDICULAR TO THE I-BEAM.

FOOTING - 16"X16"X4" MINIMUM SOLID CONCRETE OR OTHER PRODUCT APPROVED FOR THE PURPOSE (SEE TABLE FOR LOAD AND SIZE)

HORIZONTAL GRADE

APPROVED HWD JAN 2 5 2000 Federal Mobile Home Construction And Safety Standards APPROVED



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CAP - WOOD (2 X6)X16" S-Y-P #2 P.T. WITH SOLID BLOCK BELOW OR CONCRETE 16"X16"X4" SOLID CONCRETE CAP BLOCK.

DOUBLE OPEN OR CLOSED CELL CONCRETE BLOCKS 8"X8"X16" (OPEN CELLS PLACED VERTICALLY ON THE FOOTER) SHALL BE INTERLOCKED AND CAPPED AS SPECIFIED ABOVE.

FOOTING - 16"X16"X4" MINIMUM SOLID CONCRETE OR OTHER PRODUCT APPROVED FOR THE PURPOSE (SEE TABLE FOR LOAD AND SIZE)

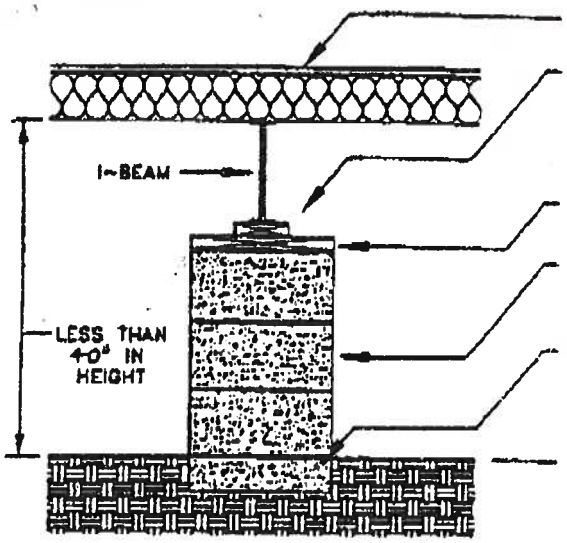
HORIZONTAL GRADE

WILLIAM J. [illegible] No 0037041 STATE OF FLORIDA PROFESSIONAL ENGINEER

NOTE: FOOTINGS TO BE PLACED ON FIRM UNDISTURBED STABLE SOIL WITH ALL ORGANIC MATERIAL REMOVED, WITH THE BOTTOM OF THE FOOTING LOCATED BOTH A MINIMUM OF 12 INCHES BELOW GRADE AND BELOW THE FROST DEPTH IN THE AREA THE BUILDING IS LOCATED.

GENERAL MFR HOUSING

SU-11



FLOOR SYSTEM

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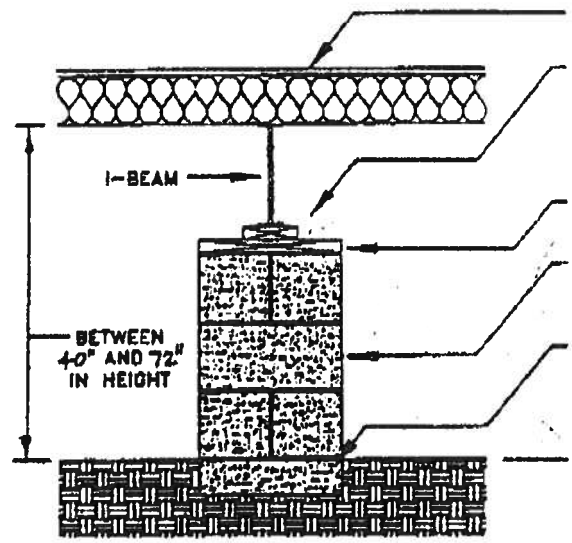
HORIZONTAL GRADE

APPROVED HUD REVISED JAN 25 2000 Federal Mobile Home Construction And Safety Standards APPROVED



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FOOTING - 16"X16"X4" MINIMUM SOLID CONCRETE OR OTHER PRODUCT APPROVED FOR THE PURPOSE (SEE TABLE FOR LOAD AND SIZE)

HORIZONTAL GRADE

WILLIAM J. [illegible] CERTIFICATE No 0033841 STATE OF FLORIDA PROFESSIONAL ENGINEER 1/24/00

NOTE: FOOTINGS TO BE PLACED ON FIRM UNDISTURBED STABLE SOIL WITH ALL ORGANIC MATERIAL REMOVED, WITH THE BOTTOM OF THE FOOTING LOCATED BOTH A MINIMUM OF 12 INCHES BELOW GRADE AND BELOW THE FROST DEPTH IN THE AREA THE BUILDING IS LOCATED.

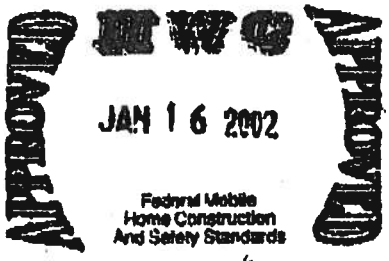
GENERAL MFR HOUSING

SU-11A.1

GENERAL

William J. Kalker, Jr., P.E.
Consulting Engineer
33 Rockwood Lane
Monroe, Connecticut 06468
203/261-1167

Jan 16, 2002



Mr. Sam McClellan
General Manufactured Housing
2255 Industrial Ave.
Waycross, GA 31502

SUB: Footing Depth Below Grade

Dear Sam:

In accordance with your request I am summarizing standard, construction practice regarding the placement of footings below grade in foundation construction.

A common building code statement is that the footings must be located below frost depth and also at least 12" below grade. This common specification is intended to insure footings do not heave due to ground freezing and that footings are placed below the surface top soil which may be unstable or compressible.

Footings should always be located below frost depth unless it is known the soil at the site is of a type that prevents ground heave (i.e., excellent drainage without capillary action) or the soil is sufficiently heated to prevent freezing. In Georgia the frost depth is typically not very deep and only extends several inches into the ground (consult the local building official for the depth required at the foundation site).

The 12" dimension below grade is intended to insure the footing is placed on stable soil without excessive settlements (i.e., insures footings are located below organic matter). This dimension may be reduced if the locat site conditions provide a stable soil at shallower depths or the footings are placed on properly compacted soil.

Since it is impossible to know the site conditions when the Set-Up Manuals are approved the standard code requirements are often quoted in the Set-Up Manuals. However, these requirements may be modified based on the knowledge of the site conditions as indicated above.

Note, local and/or state installation regulations will supersede the specifications in the Set-Up Manual. The local building official should be consulted regarding the requirements in his area.

Very truly yours,

JAN 18 RECD

William J. Kalker, Jr., P.E.

SU-11B

STEEL BEAM PIER AND FOOTING LOADS
PIERS SPACED 8'-0" (MAX)

ROOF ZONE	UNIT WIDTH
South	12 & 24 – 3900 lbs
South	14 & 28 – 4400 lbs

Marriage Wall PIER AND FOOTING LOADS UNDER OPENING STUDS

Opening Width	Unit Width 24'	Unit Width 28'
4 Ft	650 LBS	750 LBS
8 Ft	1300 LBS	1500 LBS
12 Ft	1900 LBS	2300 LBS
16 Ft	2600 LBS	3000 LBS
20 Ft	3200 LBS	3700 LBS
24 Ft	3800 LBS	4500 LBS
28 Ft	4500 LBS	5200 LBS

Table indicates the footage load for column with clear span on one side only. When clear span exists both sides of column add column load for each span.

Recommended Footing Sizes (Based on 2000 psf Soil ALLOWABLE BEARING CAPACITY)

Size	MAX PIER LOAD
16"x16"	3000 lbs
24"x24"	7200 lbs
28"x28"	10080 lbs

NOTE: CHECK LOCAL BUILDING OFFICAL FOR FOOTING THICKNESS IN YOUR AREA. IF LOCAL OFFICAL HAS NO REQUIREMENT THAN 6" MIN SHOULD BE USED.

WILLIAM I. WALKER JR. CERTIFICATE NO. 33841 STATE OF FLORIDA REGISTERED ENGINEER

1/17/93

APPROVED

IWC

REVISED

JAN 28 1993

Federal Mobile Home Construction And Safety Standards

APPROVED

9-8/8/91

REF: CALC # 1 – JAN 28 1993

GENERAL MANUFACTURED HOUSING

REF: CALC 8/31/92-1 & 1/17/93-1

GENERAL MANUFACTURED HOUSING

MARRIAGE WALL PIER & FOOTING LOAD

UNDER OPENING STUDS

OPENING WIDTH (CLEAR SPAN)	UNIT WIDTH	
	24 FEET WIDE	28 FEET WIDE
4 FT.	650 LBS.	750 LBS.
6 FT.	950 LBS.	1060 LBS.
8 FT.	1260 LBS.	1410 LBS.
10 FT.	1580 LBS.	1760 LBS.
12 FT.	1900 LBS.	2110 LBS.
14 FT.	2210 LBS.	2460 LBS.
16 FT.	2530 LBS.	2810 LBS.
18 FT.	2840 LBS.	3160 LBS.
20 FT.	3160 LBS.	3510 LBS.
22 FT.	3470 LBS.	3870 LBS.
24 FT.	3790 LBS.	4220 LBS.
26 FT.	4100 LBS.	4570 LBS.
28 FT.	4420 LBS.	4920 LBS.
30 FT.	4730 LBS.	5270 LBS.
32 FT.	5050 LBS.	5620 LBS.
34 FT.	5370 LBS.	5970 LBS.
36 FT.	5680 LBS.	6320 LBS.
38 FT.	5990 LBS.	6670 LBS.
40 FT.	6310 LBS.	7020 LBS.

Table indicates the footing load for column with clear span on one side only, when clear span exists both sides of column add both span.

NOTE : CHECK LOCAL BUILDING OFFICIAL FOR FOOTING THICKNESS IN YOUR AREA

APPROVED

MAY 16 1996

Federal Mobile Home Construction And Safety Standards

APPROVED

5/15/96

SU-12, REV # 1-JAN 29 1993

SU-12.A

MAXIMUM TIEDOWN SPACINGS

GENERAL

FIELD INSTALLED

UNIT TYPE	WIND ZONE	MAXIMUM SIDEWALL HEIGHT	MAXIMUM SIDEWALL VERTICAL/FRAME TIEDOWN SPACING AND LOCATION	MAXIMUM DISTANCE BETWEEN MARRIAGE WALL FRAME TIEDOWN STRAPS	MINIMUM * STEEL BEAM HEIGHT	MAXIMUM * STEEL BEAM HEIGHT	GROUND ANCHOR BACKANGLE
164" FLOOR W/O OVRHNG	2	84"	8 3/4' OC NEAR BM	N/A	24"	40"	0
SINGLEWIDE	2	84"	8 3/4' OC FAR BM	N/A	>40"	72"	20°
188" FLOOR W/O OVRHNG	2	84"	9' OC NEAR BM	N/A	24"	40"	0
SINGLEWIDE	2	84"	9' OC FAR BM	N/A	>40"	72"	20°

REF CALC NO 1 APRIL 22 1999

WIND ZONE II (100 MPH)

OVRHNG = O.H. = MAX. SIDEWALL ROOF OVERHANG

ALL GROUND ANCHORS SPECIFIED ON THIS DRAWING MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE WITHDRAWL LOAD (ULTIMATE LOAD 4725#) MIN. WHEN LOADED AT A 45° ANGLE FROM THE ANCHOR SHAFT AND A 4000# ALLOWABLE WITHDRAWL LOAD (ULTIMATE LOAD 6000#) MIN. WHEN LOADED PARALLEL TO THE ANCHOR SHAFT.

* HEIGHT FROM GRADE TO TOP OF STEEL BEAM.

APPROVED HWC APR 2 2 1999 Federal Mobile Home Construction and Safety Standards

NOTE: DURING ALL TIEDOWN INSTALLATIONS, PROTECTION MUST BE PROVIDED TO ALL TIEDOWN STRAPS AT ALL SHARP CORNERS.

NOTE: SPECIFICATIONS ON THIS DRAWING SUPERSEDE ALL OTHER SPECIFICATIONS SHOWN ON OTHER DRAWINGS AND/OR IN THE SET-UP MANUAL.

WILLIAM J. KALKER, JR CERTIFICATE No 0033641 STATE OF FLORIDA PROFESSIONAL ENGINEER 4/22/99

SU-II-120

GENERAL

WILLIAM KALKER & ASSOC.

DRAWING NO. SW-G-3 (FIELD)

TYPE: ANCHORAGE SYSTEM

DRAWN BY: ABG

DATE: 4/20/99

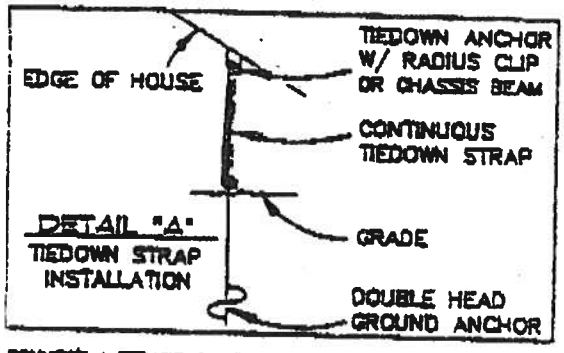
DRAW SCALE N.T.S

GENERAL

DOUBLEWIDE SHEAR WALL TIEDOWN SYSTEM

WIND ZONE III(110 MPH)

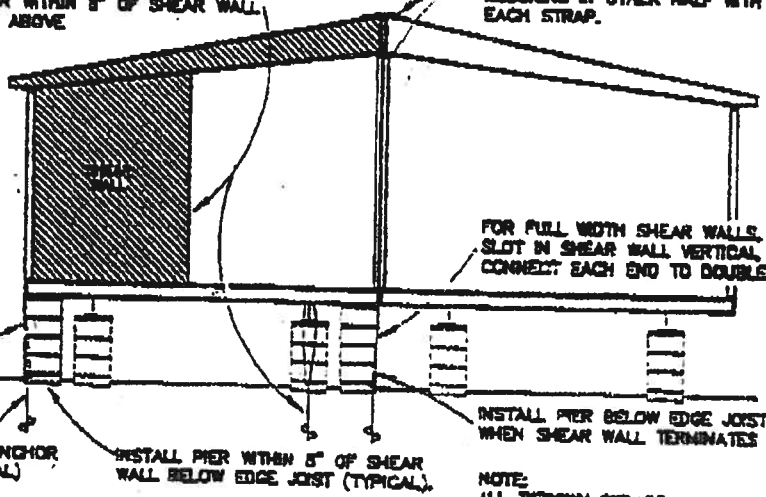
WIND ZONE 2 & 3



DETAIL "A"
TIEDOWN STRAP INSTALLATION

EXCEPT FOR FULL WIDTH SHEAR WALLS, INSTALL CHASSIS VERTICAL FRAME TIEDOWN STRAP OVER STEEL BEAM AND CONNECT EACH END TO A DOUBLE HEAD GROUND ANCHOR WITHIN 8" OF SHEAR WALL. SEE DETAIL "A" ABOVE

CONNECT 4 STRAPS ON TRUSS ABOVE SHEAR WALL TO BLOCKING IN OTHER HALF WITH (4) #10 x 1-1/2" SCREWS EACH STRAP.



FOR FULL WIDTH SHEAR WALLS, LOOP STRAP THROUGH SLOT IN SHEAR WALL VERTICAL TIEDOWN ANCHOR AND CONNECT EACH END TO DOUBLE HEAD GROUND ANCHOR.

INSTALL PIER BELOW EDGE JOIST OPPOSITE SHEAR WALL WHEN SHEAR WALL TERMINATES OVER JOIST CANTILEVER.

GROUND ANCHOR (TYPICAL)

INSTALL PIER WITHIN 8" OF SHEAR WALL BELOW EDGE JOIST (TYPICAL).

LOOP STRAP THROUGH SLOT IN SHEAR WALL VERTICAL TIEDOWN ANCHOR AND CONNECT EACH END TO DOUBLE HEAD GROUND ANCHOR. SEE DETAIL "A" ABOVE.

NOTE:
ALL TIEDOWN STRAPS AND CONNECTING HARDWARE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE LOAD MINIMUM (ULTIMATE LOAD 4725# MINIMUM) AND/OR TO COMPLY WITH ASTM D3953-91.

ALL GROUND ANCHORS SPECIFIED ON THIS DRAWING MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 4000# ALLOWABLE WITHDRAWAL LOAD MIN.(ULTIMATE LOAD 6000# MIN.) WHEN LOADED PARALLEL WITH ANCHOR SHAFT.

P.E. SEAL	THIRD PARTY	REVISIONS	GENERAL
WILLIAM J. KALKER JR. CERTIFICATE No 0053941 STATE OF OR	APR 22		ANCHORAGE SYSTEM NEAR BEAM METHOD
		DRAWN BY: CHP / SUPV. REV.:	SW-F1-4
		DATE: 8/1/05 / SHT. NO.:	

SW-III-110

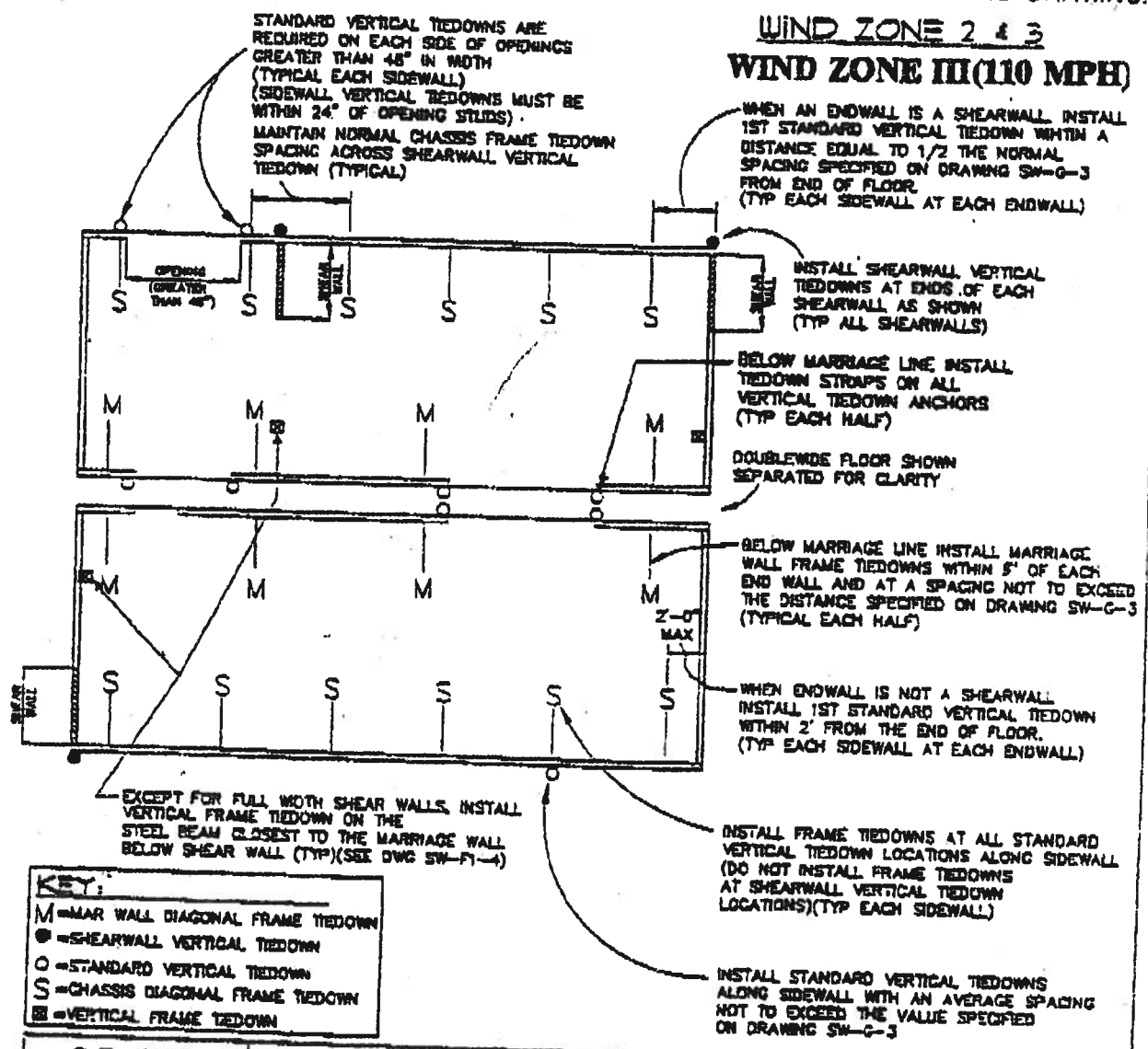
GENERAL

TYPICAL DOUBLEWIDE TIEDOWN PLACEMENT

NOTE: FOR TRIPLEWIDE OR LARGER DESIGNS INSTALL ALL THE VERTICAL TIEDOWNS AT EACH SHEARWALL, SIDEWALL AND MARRIAGE WALL AS SHOWN ON THIS DRAWING.

WIND ZONE 2 & 3

WIND ZONE III(110 MPH)



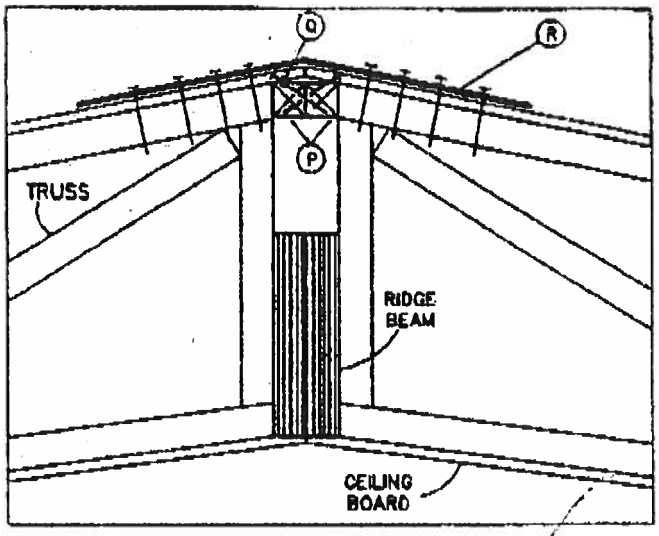
P.E. SEAL	THIRD PARTY	REVISIONS	
			GENERAL
			ANCHORAGE SYSTEM NEAR BEAM METHOD
			SW-G-2

SU-III-108

GENERAL MANUFACTURED HOUSING

DOUBLEWIDE ON-SITE FASTENING

WIND ZONE 2 & 3



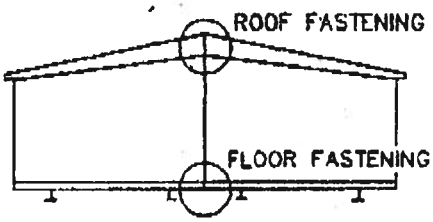
ROOF FASTENING

Ⓟ CONTINUOUS WOOD BLOCKING EACH HALF (MAY BE FULL HEIGHT RIDGE BEAM—NOT SHOWN)

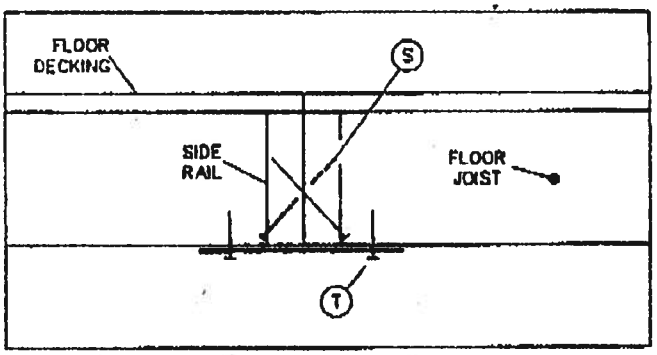
Ⓠ #10 x 5" SCREWS 12" O.C. STAGGERED FROM SIDE TO SIDE AT 30° ANGLE FROM VERTICAL

Ⓡ 26GA. x 1-1/2" STRAP LOCATED ABOVE TRUSS SPACED AT MAXIMUM OF 96" O.C. IN ZONE 2 AND 80" O.C. IN ZONE 3 FASTEN EACH END WITH:
(10) 15GA. x 1-1/2" STAPLES
OR
(4) #10 x 1-1/2" SCREWS

IN LIEU OF Ⓡ AND Ⓠ ABOVE MAY INSTALL CONTINUOUS 30GA. x 6" MINIMUM STEEL ROOF CAP OVER 15# FELT WITH
(2) #8 x 1-1/2" SCREWS EACH TRUSS AT 16" O.C.
(3) #8 x 1-1/2" SCREWS EACH TRUSS AT 24" O.C.



CROSS SECTION



Ⓢ #10 x 8" SCREWS 12" O.C. OR 3/8" x 5" (SYP) STANDARD LAG SCREWS 24" O.C. STAGGERED FROM SIDE TO SIDE AT 45 DEGREE ANGLE FROM VERTICAL

Ⓣ 11 GA. x 1-1/4" STEEL STRAP WITH 3 - 5/16" x 3" STANDARD LAG SCREWS EACH END INTO FLOOR JOISTS; INSTALL TWO STRAPS WITHIN 4' OF EACH ENDWALL AND 8' O.C. IN ZONE 2 AND 4' IN ZONE 3 BETWEEN THE STRAPS AT THE ENDWALLS

NOTE: BOTTOM BOARD NOT SHOWN FOR CLARITY. HOLES IN BOTTOM BOARD MUST BE PATCHED WITH A VINYL TAPE DESIGNED FOR REPAIRING TEARS AND HOLES.

FLOOR FASTENING

12 July 26, 1994
1 May 11, 1999
1 Mar 28, 2000
REF. CALC. # 1 July 11, 2000

P.E. SEAL	THIRD PARTY	REVISIONS			GENERAL
		LTR:	BY:	DATE:	ANCHORAGE SYSTEM FIELD INSTALLED
					DRAWN BY: TC / DAPIA NO.: SU-Z2
					DATE: 1/26/96 / SC: N.T.S.

SU-III-60.4

A. If the floors are flush at both ends, but the top of the heavy half is sticking out in front of the light half and the rear ends are the opposite, the ceiling strips will not line up. This must be corrected before the top is bolted together. To eliminate this problem, put one jack under the outside front corner of the half sticking out. Place the other jack under the rear outside corner of the opposite half. Jack up both corners at the same time until the ceilings line up and then strap the center beam together before removing the jacks.

19. Raise and wedge the outside of the second half to bring the roofs together. Check the alignment of the joint wall openings and ceiling.

20. Install three (3) straps (30 gauge) on the outside of end walls.

21. The first strap should be near the bottom, the second strap halfway up and the third near the top.

22. Level the ceilings between the two halves so that they are flush with each other.

23. Strap the roof with galvanized straps provided in hook-up kit.

A. ROOF

1. Galvanized Roof:

(a) Putty and install galvanized ridge row included with set-up kit.

2. Shingle Roof:

(a) Install shingles to complete each half.

(b) Install shingle ridge cap.

B. END WALLS

1. Install siding/trim pieces at gaps between halves. Fasten with nails to match siding/trim pieces.

24. Heating and Duct Work Connections

A. Crossover Duct Hook-Ups for Double Wides

1. Slide each end of crossover duct over the dropout underneath each half. Secure by method provided.

2. Wrap/cover all seams and joints with duct tape to reduce leakage.

APPROVED
HUD
JAN 27 1993
Federal Mobile Home Construction And Safety Standards
APPROVED

SU-21.

12. Adjust the final height of this section by using a level inside from front to rear and side to side to obtain a "FINAL" level condition throughout the heavy half.

13. Shipping Materials:

    A. Weatherproofing:

        i) Remove all protective material from the exterior and center wall areas only when the units are to be set, tied together structurally, and weatherproofed immediately.

    B. Bracing:

        i) REMOVE ONLY the portion of the bracing material which will prevent the two units from being pulled together completely. INSPECT the center wall area where the two halves meet to ensure that nails and obstructions have been removed that would prevent a tight fit within 1 ½".

        ii) Bracing in the openings of the center wall may be removed after the units are leveled and some of the structural ties have been installed.

        iii) If it is planned to tie and weatherproof the units immediately, it may be desirable to remove the hook-up kit and other exterior materials first. These materials may be removed easily while the center walls are open. This will mean less materials in the way. The materials may be stored under the units, where they will be readily accessible when needed.

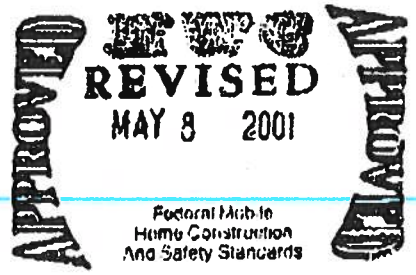
14. Place light half of double wide within 3" to 4" of heavy half with toter, with tires and hitch jack on two layers of scrap Luaun Paneling, finish sides together.

15. Using cable jacks, move the light half against the heavy half. Insert electrical connection cables in raceways or junction boxes as necessary. Do not use hydraulic jacks angled under I-beam to move half laterally.

16. Block and level the light half in the same manner as the heavy half.

17. Prior to setting both halves together, install foam tape, putty tape, or equivalent material at floor, marriage line and at endwalls.

18. Bolt frame halves together, leveling and aligning the two floor halves as the bolts are tightened. (When bolting the floors together, always be sure that you have someone inside to make sure the floors are even on top. This is also true with the ceiling.)



MAY 10 REC'D

SU-20.2

16. CAUTION: All utility connections shall be made by authorized service personnel who are familiar with local requirements.

17. NOTE: If dryer is installed, refer to Drawing G-11 on page SU-31

18. There are times when the bottom board on your new home may become torn or cut for various reasons. In all cases we highly recommend that such places be patched according to manufacturer's instructions found loose in either the Home Owners Manual or this book. (If no instructions can be located use 3/8" plywood to be installed above bottom board. Place patch over hole and fasten with screws into plywood.)

DOUBLE WIDE SET-UP

1. Proper foundation for your home and location.

2. Minimum of two experienced mobile home set-up men.

3. Proper set-up tools.

4. Position the half of your mobile home that has the most marriage wall first in its desired final location. When jacking the home up, never get under the beam. Stay clear so in the event it falls, you won't be pinned underneath.

5. Always use extreme caution.

6. Roughly level this half using the hitch jack at the front of the unit. This is a "ROUGH" level and not the final level.

7. Starting with one side, place the first jack just forward of the front spring shackle under main I-Beam and the second jack behind the axles.

8. Begin installing piers on this side until you have at least one pier not over 2' from each end and not over 8' center to center thereafter.

9. Next, lift the opposite side of the main beam and "ROUGH" level by placing additional foundation supports located directly opposite those placed on the first side.

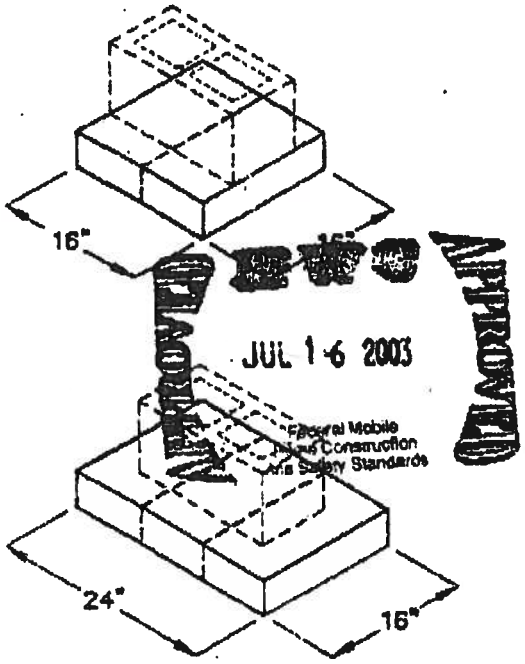
10. Complete the "ROUGH" leveling from front to rear and side to side by adjusting supports as required.

11. Additional piers must be placed under floor rim joists at all ridge beams columns. They are also recommended under floor joists located under heavy furniture or appliances.

NOTE: THE "HEAVY HALF" OF A GENERAL HOME IS THE HALF WITH THE MOST MARRIAGE WALL.
THE "LIGHT HALF" OF A GENERAL HOME IS THE HALF WITH THE LEAST MARRIAGE WALL.

GENERAL

TYPICAL FOOTING SPECIFICATIONS



16"x 16"

(1) 16"x 16" x 4" PRECAST FOOTING OR
(2) 16"x 8" x 4" PRECAST FOOTING OR
(1) 16"x 16" x 6" POURED-IN-PLACE FOOTING

SINGLE OR DOUBLE TIERED PIERS

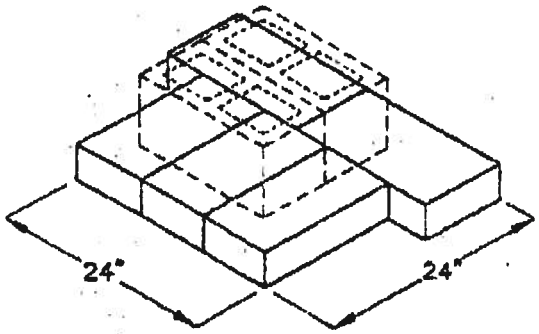
MAXIMUM PIER LOADS	1773 LB	2659 LB	3546 LB	4432 LB
SOIL CAPACITY (PSF)	1000	1500	2000	2500

24"x 16"

(3) 16"x 8" x 4" PRECAST FOOTING OR
(1) 24"x 16" x 6" POURED-IN-PLACE FOOTING

SINGLE OR DOUBLE TIERED PIERS

MAXIMUM PIER LOADS	2666 LB	3999 LB	5332 LB	6665 LB
SOIL CAPACITY (PSF)	1000	1500	2000	2500



24"x 24"

(5) 16"x 8" x 4" PRECAST FOOTING (SHOWN) OR
(1) 24"x 24" x 6" POURED-IN-PLACE FOOTING

DOUBLE TIERED PIERS ONLY

MAXIMUM PIER LOADS	4000 LB	6000 LB	8000 LB	10000 LB
SOIL CAPACITY (PSF)	1000	1500	2000	2500

GENERAL NOTES:

1. CONCRETE COMPRESSIVE STRENGTH:
   PRECAST = 4000 PSI AT 28 DAYS
   POURED-IN-PLACE = 2500 PSI AT 28 DAYS
2. POURED-IN-PLACE FOOTINGS MUST BE POURED OVER MIN. 4 MIL POLETHYLENE.
3. FOOTINGS SHOULD BE INSTALLED ON STABLE, UNDISTURBED OR COMPACTED SOIL WITH A MINIMUM ALLOWABLE SOIL BEARING CAPCITY AS SPECIFIED ABOVE WITH THE BOTTOM OF THE FOOTING AT OR BELOW THE FROST LINE.

P.E. SEAL	THIRD PARTY	REVISIONS		
		LTR	BY:	DATE:

Ref Calc # 1 July 16 2003
GENERAL MFR. RNG

SUPPORT SYSTEM
FIELD INSTALLED

DRAWN BY: WK | DAMA NO.:
DATE: 1/17/96 | SC: N/A

SU-III-13

JUL 21 RECD

W. J. KALKER, PE

MAY 23 1996

CALC#7 *PG- 111

C:\PE>PIER

GENERAL

PIER LOAD ANALYSIS

THIS ANALYSIS COMPUTES THE PIER LOADS AND MINIMUM FOOTING SIZES REQUIRED FOR THE PIERS SUPPORTING THE COLUMNS AT EACH END OF A SIDEWAL HEADER OR MARRIAGE WALL RIDGE BEAM.

TYPE THE ROOF TRIBUTARY DISTANCE SUPPORTED BY THE PIER IN FEET: 7.42

TYPE THE TOTAL ROOF LOAD IN PSF: 30

TYPE THE WEIGHT OF THE PIER IN POUNDS: 300

TYPE THE WEIGHT OF THE FOOTING IN PSF: 100

TYPE 1 TO EVALUATE CLEAR SPANS - TYPE 2 TO EVALUATE TRIBUTARY SPANS:

MAR WALL OPENING PIERS & FOOT

178" FLOOR

20 PSF ROOF LL

32 feet wide

TRIB. SPAN (FT)	PIER LOAD (LBS)	MIN. FOOTING AREA (SQ. IN.) FOR SOIL PRESSURE SPECIFIED 1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
4.	890.	191.	123.	91.	72.	59.
6.	1336.	263.	169.	125.	98.	82.
8.	1781.	334.	215.	158.	125.	104
10.	2226.	405.	260.	192.	152.	126.
12.	2671.	476.	306.	226.	179.	148.
14.	3116.	547.	352.	259.	206.	170.
16.	3562.	618.	398.	293.	232.	192.
18.	4007.	689.	443.	327.	259.	215.
20.	4452.	761.	489.	361.	286.	236.
22.	4897.	832.	535.	394.	312.	258.
24.	5342.	904.	581.	428.	339.	281.
26.	5788.	975.	626.	462.	366.	303.
28.	6233.	1046.	672.	495.	392.	325.
30.	6678.	1117.	718.	529.	419.	347.
32.	7123.	1188.	764.	563.	446.	369.
34.	7568.	1259.	809.	597.	472.	393.
36.	8014.	1331.	856.	631.	499.	413.
38.	8459.	1402.	902.	665.	527.	435.
40.	8904.	1473.	948.	698.	553.	458.

NOTE: COLUMN LOADS FROM AN ADJACENT UNIT/ROOF WHICH ARE NOT CONSIDERED IN THE INPUT DATA ABOVE CAN BE SUPPORTED BY THE SAME PIER AND/OR FOOTING WHICH SUPPORTS THE ROOF LOADS DEFINED ABOVE BY ADDING THE PIER LOADS AND MINIMUM FOOTING AREAS REQUIRED BY THE ADJACENT UNIT/ ROOF LOADS TO THE VALUES SPECIFIED IN THIS TABLE.

APPROVED HWC NOV 12 1997 Federal Mobile Home Construction And Safety Standards

C:\PE>A

GENERAL MANUFACTURED HOUSING

REF. CALC NO. 11 JUNE 14 1996

SU-12B

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

> Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of $150.

I, Terry Corbett (Please Print), license number IH 0000790
do hereby state that the installation of the manufactured home for _____ (Applicant)
Glen Bailey at 190 SE Smart Ct Lake City (911 Address) FL 32025
will be done under my supervision.

Terry Corbett
Signature

Sworn to and subscribed before me this 1 day of Feb, 2007.

Notary Public: Treea A Foster
Signature

My Commission Expires: _____
Date

TREEA A. FOSTER
Notary Public - State of Florida
My Commission Expires Dec 1, 2009
Commission # DD495981
Bonded By National Notary Assn.

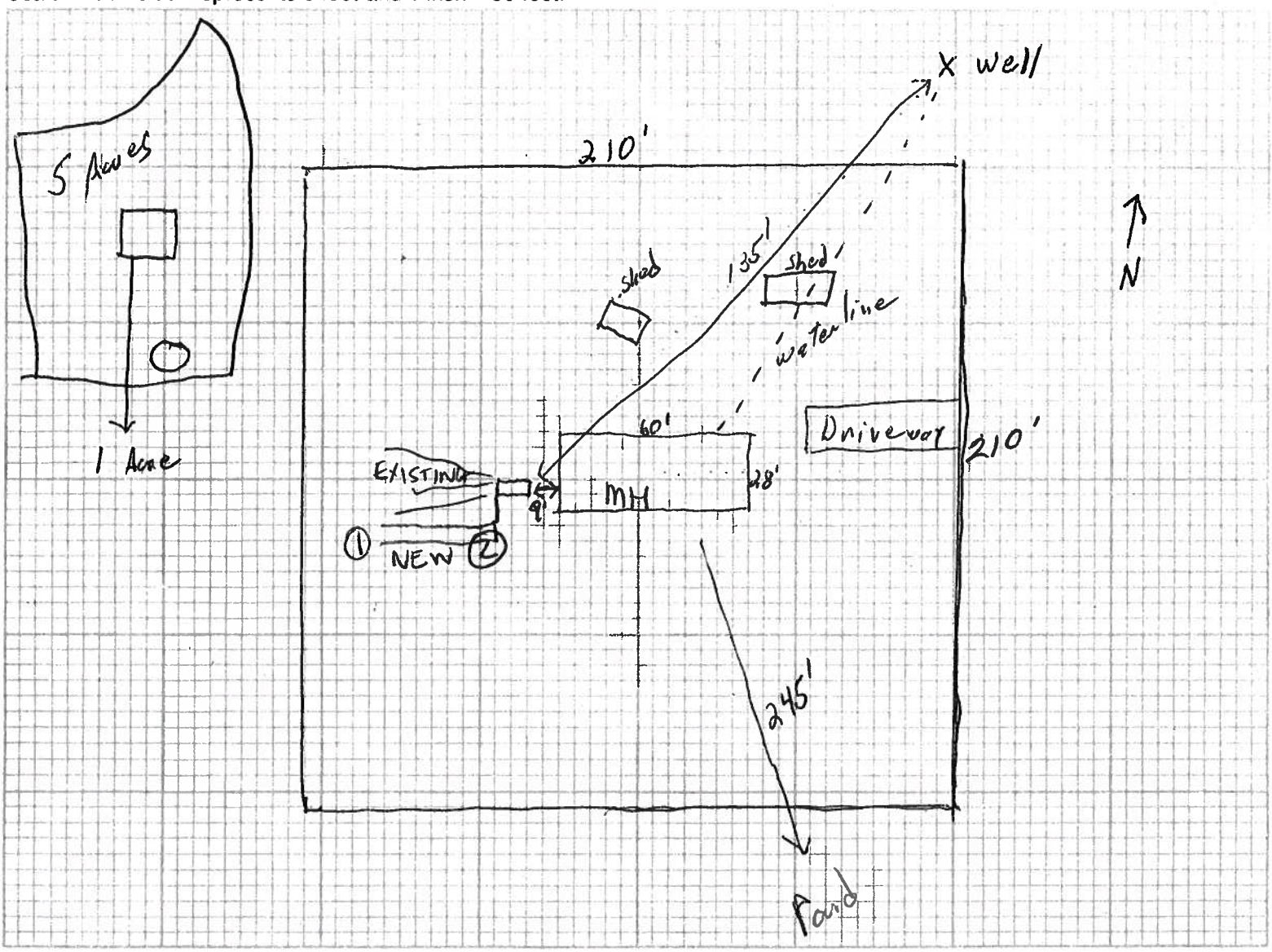
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 07-000844E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



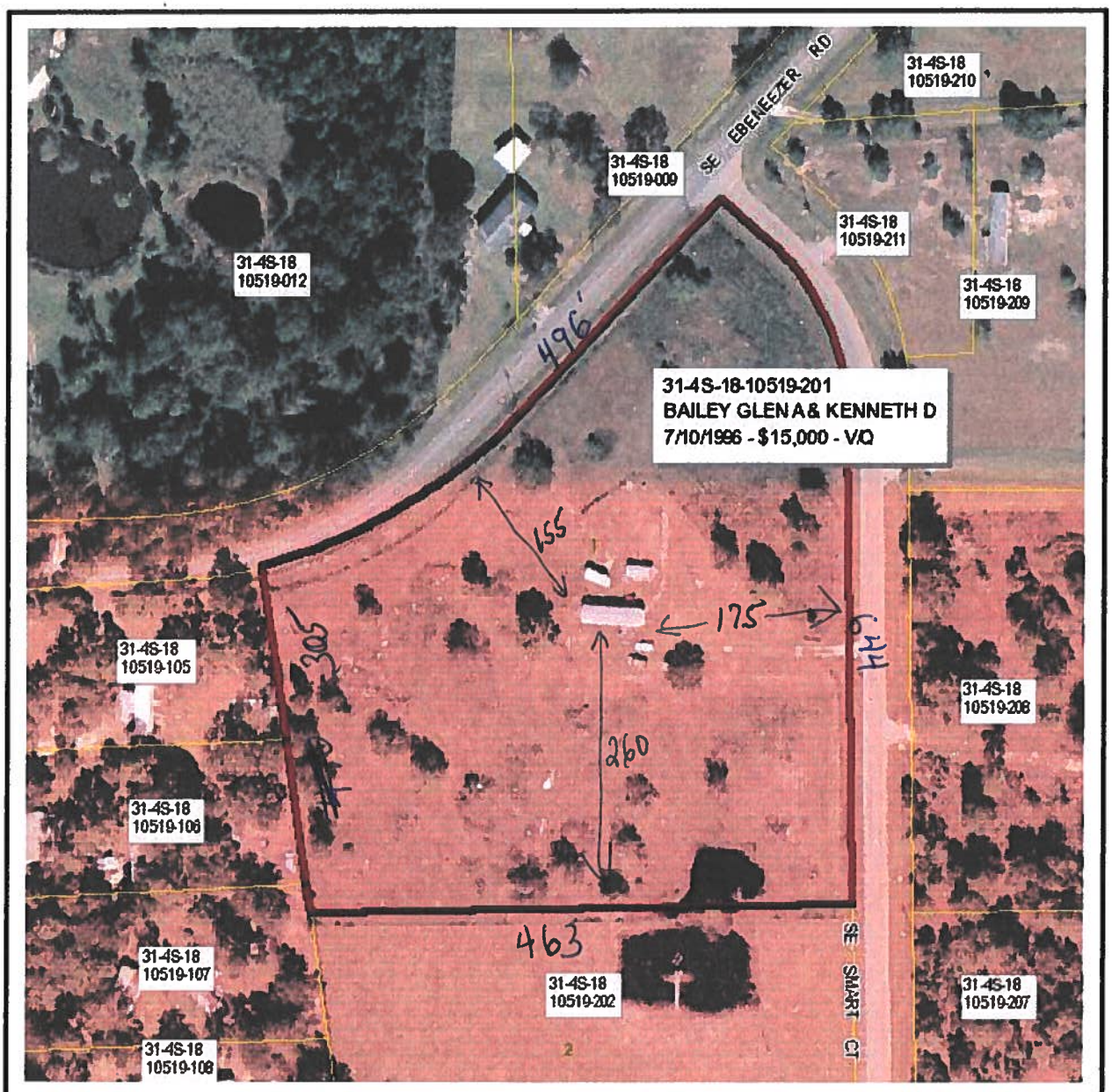
Notes: Replacing existing M.H.

Site Plan submitted by: Dennis Hughes (Signature) 1-26-07 (Title)

Plan Approved X Not Approved _____ Date 2-6-07

By Sallie Gladdy ES II Columbia CHD County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

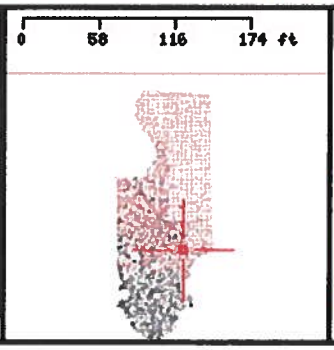


Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 31-4S-18-10519-201 HA VX - MOBILE HOM (000200)

Name:	BAILEY GLEN A & KENNETH D	LandVal	$24,000.00
Site:	SMART	BldgVal	$17,948.00
Mail:	190 SE SMART CT	ApprVal	$42,448.00
	LAKE CITY, FL 32025	JustVal	$42,448.00
Sales Info	1/15/1997 $0.00 I / U	Assd	$37,881.00
	7/10/1996 $15,000.00V / Q	Exmpt	$29,852.00
	12/17/1990 $13,500.00V / Q	Taxable	$8,029.00



This information, GIS Map Updated: 12/29/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Attorney at Law
P.O. Box 111
Lake City, Florida 32056-0111

97-07922

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY

1997 JUN 10 AM 10:17

CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA
BY _____ D.C.

Return to: James A. Bailey
P.O. Box 6446
Lulu, Fla 32061

SATISFACTION OF MORTGAGE

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, CECIL R. SHORT AND ALICE A. SHORT, HIS WIFE,, the owners and holders of that certain mortgage made by JAMES K. BAILEY, a single man, to the undersigned, dated July 10, 1996, and recorded in the Office of the Clerk of the Circuit Court of Columbia County, Florida, in Official Record Book 824, pages 1885-1887, for and in consideration of Ten and No/100 Dollars ($10.00) and other valuable considerations, hereby acknowledges full payment and satisfaction of said mortgage made to secure the sum of Five Thousand and 00/100 ($5,000.00) Dollars, on the following described property situate, lying and being in Columbia County, Florida, to-wit:

AS DESCRIBED IN SAID MORTGAGE

and the Clerk of the Circuit Court of Columbia County, Florida, is hereby authorized and directed to cancel the same as it appears of record.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 10th day of June, 1997.

Signed, sealed and delivered in the presence of:

Cecil R. Short (SEAL)
CECIL R. SHORT

Alice A Short (SEAL)
ALICE A. SHORT

BK 0840 PG 1649

OFFICIAL RECORDS

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 10th day of June, 1997, by CECIL R. SHORT AND ALICE A. SHORT, HIS WIFE, who are personally known to me or who have produced Personal Knowledge as identification and who did not take an oath.

(Notarial Seal)

Notary Public

Commission No.

My Commission Expires:

KAREN N. WRIGHT
MY COMMISSION # CC 51497
EXPIRES: January 17, 1998
Bonded Thru Notary Public Underwriters

Attorney at Law
P.O. Box 111
Lake City, Florida 32056-0111

DOCUMENTARY STAMP 170
INTANGIBLE TAX 40
P. DeWITT GASON, CLERK OF COURTS, COLUMBIA COUNTY
BY [illegible] DC

DK 0833 PG 1492

WARRANTY DEED

OFFICIAL RECORDS

THIS INDENTURE, Made this 15th day of January, 1997, **BETWEEN** JAMES K. BAILEY, a single man, party of the first part, and GLEN A. BAILEY, a single person, AND KENNETH D. BAILEY, a single person, each as to an undivided one-half interest, whose post office address is Rt. 3, Box 62, Lake City, Florida 32025 and whose social security number is 575-76-4274 AND 226-11-1545, respectively, parties of the second part.

WITNESSETH, That the party of the first part, for and in consideration of the sum of Ten and No/100 ($10.00) Dollars, to him in hand paid by the said parties of the second part, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said parties of the second part, their heirs and assigns forever, the following described land, situate, and being in the County of Columbia, State of Florida, to-wit:

Lot 1, Parkwood Addition, a subdivision as recorded in Plat Book 5, Page 96, public records of Columbia County, Florida.

Subject to real property taxes accruing subsequent to December 31, 1996 and subject to easements and mineral rights and interest of record and subject to restrictions recorded in O.R. Book 627, Page 707, public records of Columbia County, Florida, and subject to power line easement.

And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, The said party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

Printed Name: [illegible]

Printed Name: [illegible]

"Witnesses"

James K. Bailey (SEAL)
JAMES K. BAILEY

P.O. Box 6246
Lulu, FL 32061

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 15th day of January, 1997, by James K. Bailey, a single man, who is personally known to me or who has produced Personal Knowledge as identification and who did not take an oath.

(Notarial Seal)

[illegible]
Notary Public

KAREN M. WRIGHT
MY COMMISSION # CC 34487
EXPIRES: January 10, 1999
Bonded Thru Notary Public Underwriters

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY
1997 JAN 15 PM 3:45
CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA
BY [illegible] DC

97-00618

IMPORTANT SET-UP INSTRUCTIONS

The proper set-up of your new Mobile Home is of the utmost importance and must be performed by experienced set-up man. Your Dealer can assist you in locating experienced personnel and their services should be used. The following instructions give the vital information to provide the required stability for your Mobile Home and must be followed regardless of who does the work. Failure to follow these instructions could result in serious service problems, which would not be responsibility of the manufacturer

Other setup methods may be allowed by General Manufactured Housing, Inc. (i.e. "pit-set", etc.), provided that the setup requirements outlined in this approved setup manual are followed and approved \ acceptable by the local code authorities.

FOUNDATION

One of the most important parts of a Mobile Home set-up is the foundation. In area where the soil is subject to freezing and thawing, the foundation must be designed in compliance with local building rules, therefore, always check local building codes footing depth, block sizes, etc

Your dealer can recommend and also assist you in obtaining qualified personnel to install your anchoring system in a professional method.

PIER SPACING

Minimum required pad or footing sizes are shown on the pier load capacities and footing sizes table. The type and size of the footing selected must take into consideration possible ground conditions and type of soils. Final selection of pier type and footing size shall meet minimum HUD Standard and shall be in accordance with the requirements of the agency having local jurisdiction.

NOTE: Leveling / re-leveling / tensioning must be checked periodically.

APPROVED
MWC
REVISED
JAN 2 9 2002
Federal Mobile Home Construction
APPROVED

FEB 0 4 REC'D

GENERAL MFG. HOUSING

SU-10A.1

CERTIFICATE OF

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 31-4S-18-10519-201 **Building permit No.** 000025521

Permit Holder JERRY CORBETT

Owner of Building GLEN BAILEY

Location: 190 SW SMART COURT

Date: 03/15/2007

COLUMBIA COUNTY GATEWAY TO FLORIDA

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)