

From: The Columbia County Building & Zoning Department
Plan Review
135 NE Hernando Av.
P.O. Box 1529
Lake City Florida 32056-1529

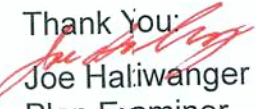
Reference to a building permit application Number: **0710-01**

Pennyworth Homes Contractor, Owners: AAmir Perbtair Property ID# 01-5s-16-03401-111

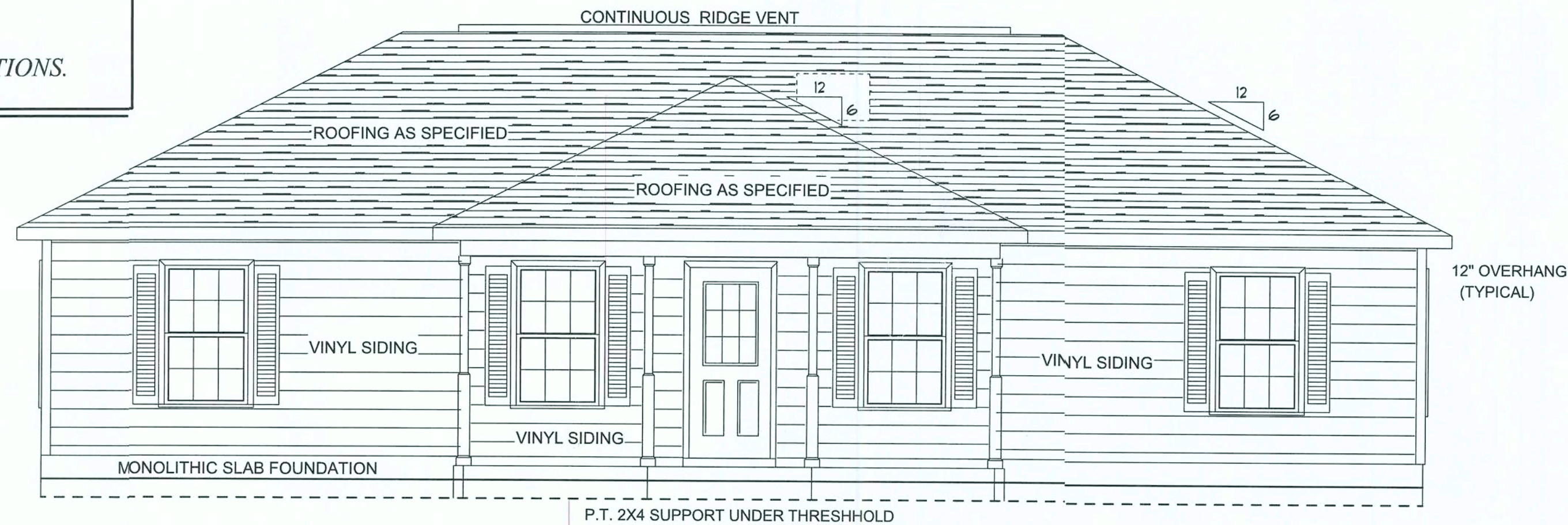
On the date of October 2, 2007 application 0710-01 and plans for construction of a single family dwelling were reviewed. The following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

Please include application number 0710-01 and when making reference to this application.

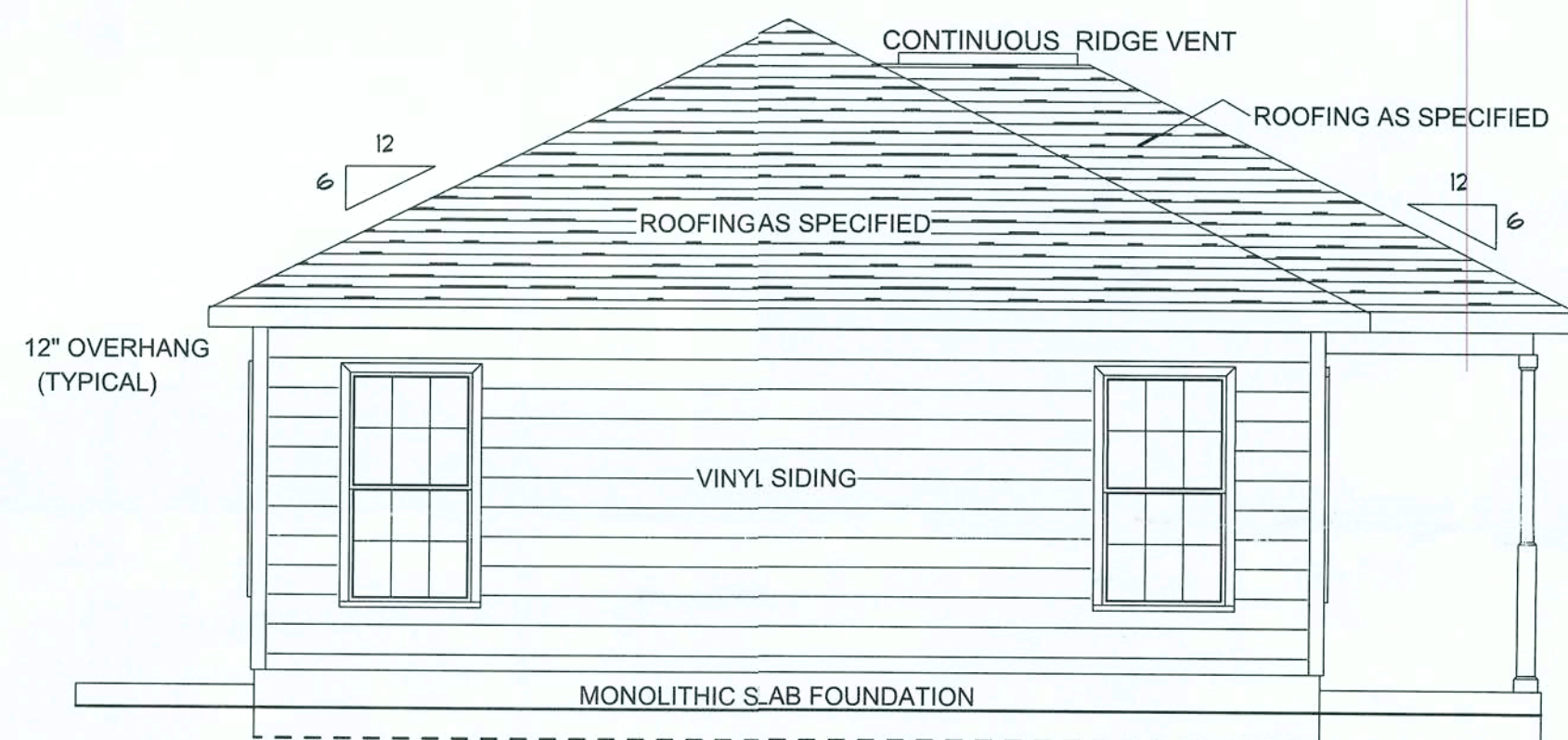
On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground.

Thank You:

Joe Haliwanger
Plan Examiner
Columbia County Building
Department

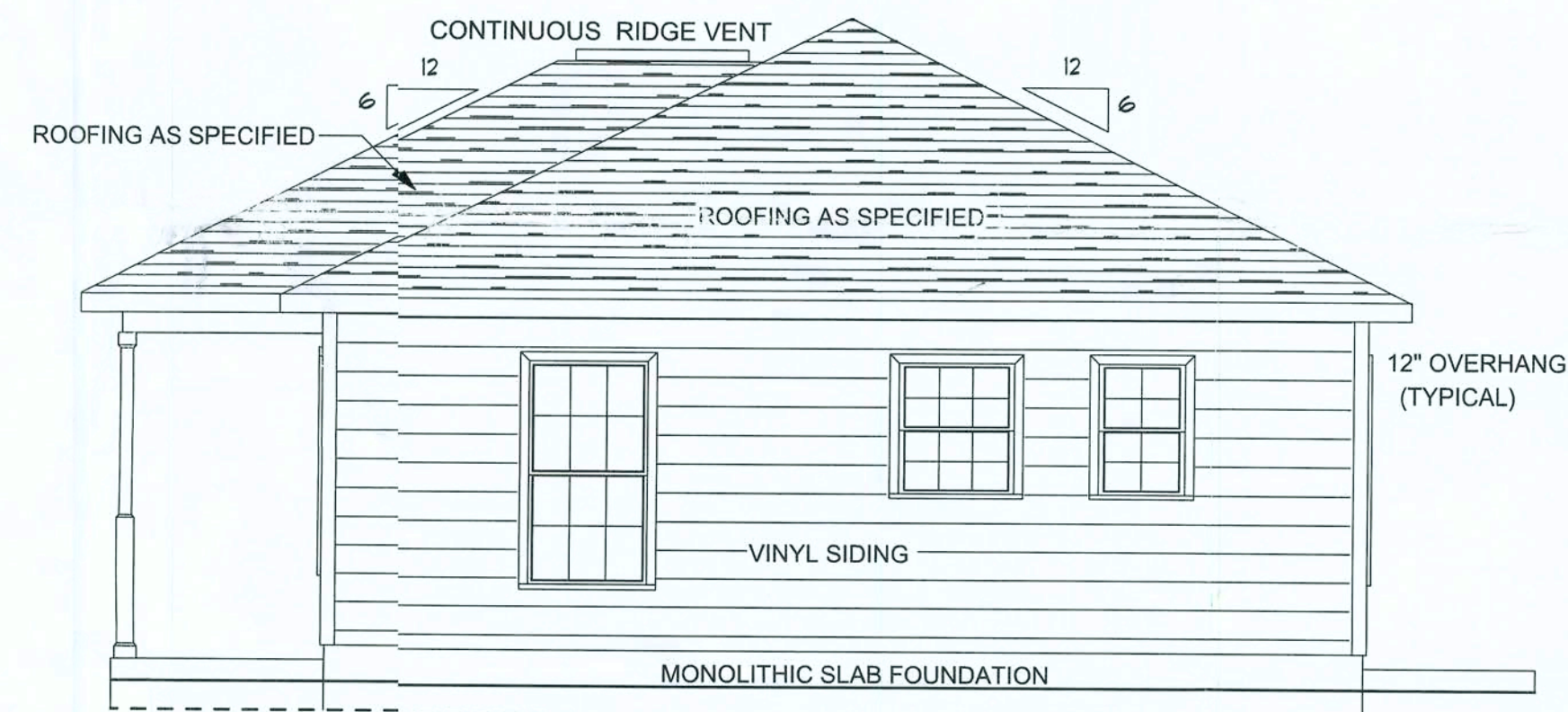
NOTE!:
REFER TO ENGINEERING FOR
SPECIFICATIONS AND CALCULATIONS.



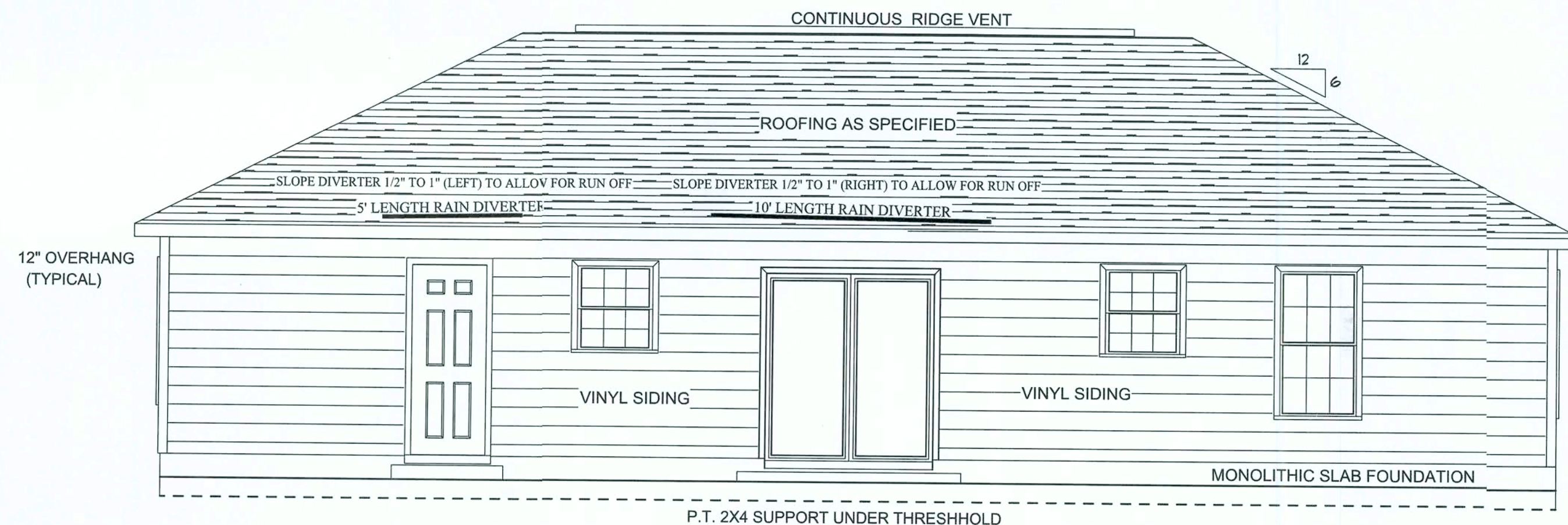
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

EXHIBIT "A"

PLAN: SANFORD (CUSTOM)

CUSTOMER NAME:
MR. AAMIR A. PERBTANI
HEATED LIVING AREA

GROUND FLOOR: 1300
SECOND FLOOR: N/A
OTHER: N/A
TOTAL HEATED: 1300

**NON-HEATED
LIVING AREA**

PORCH: 100
GARAGE: N/A
OTHER: N/A
TOTAL U/R 1400

**IMPORTANT-PLEASE READ
BELOW CAREFULLY**

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE. OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION, NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, PENNYWORTH HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF PENNYWORTH HOMES INC.

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THIS PLAN REFLECTS THE DESIGN AS PER BUYERS' FINAL APPROVED SIGNED PLANS DATED 9/07/2007. CHANGES MADE TO REPLICATE ENGINEERS NOTES AND CALCULATIONS.

CONSTRUCTION PLANS

SCALE: 1/4" = 1'-0"

| | | |
|-----------------|------------|-----------|
| DRAWN BY: | PLAN DATE: | PAGE |
| BAA | 9/26/07 | 1 |
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| | | |
| JOB# 07-04-0061 | | OF 7 |

| REV.# | REV. DATE: | DRAWN BY: | DISCRIPTION OF REVISION |
|-------|------------|-----------|-------------------------|
| | | | |

| PRODUCT CODE | R.O. SIZE | COUNT |
|--|------------------------|-------|
| WINDOW SCHEDULE SILVER LINE 2900 SERIES | | |
| 2030 OBS COL TEMP | R.O. 24-1/2" X 36-1/2" | 1 |
| 2830 COL. | R.O. 32-1/2" X 36-1/2" | 1 |
| 2830 OBS COL TEMP | R.O. 32-1/2" X 36-1/2" | 2 |
| 3052 COL | R.O. 36-1/2" X 62-1/2" | 8 |

NOTE: BUILDER IS TO CONFIRM
ROUGH OPENINGS BEFORE FRAMING.

| PRODUCT CODE | R.O. SIZE | COUNT |
|--|--------------------|-------|
| EXT. DOOR SCHEDULE SMOOTH FIBERGLASS INFINITY | | |
| 6ft sliding glass door RIGHT | R.O. 75" X 82-1/2" | 1 |
| L 3-0 9 LITE COL IN SWING | R.O. 38" X 81-1/2" | 1 |
| R 2-8 6PNL COL OUT SWING | R.O. 34" X 81-1/2" | 1 |

| PRODUCT CODE | R.O. SIZE | COUNT |
|--------------------|--------------------|-------|
| INT. DOOR SCHEDULE | | |
| 1668 R | R.O. 20" X 82-1/2" | 1 |
| 2468 L | R.O. 30" X 82-1/2" | 4 |
| 2468 R | R.O. 30" X 82-1/2" | 3 |
| 2668 L | R.O. 32" X 82-1/2" | 3 |
| 2668 R | R.O. 32" X 82-1/2" | 2 |
| 2868 R | R.O. 34" X 82-1/2" | 1 |
| 5-0 DBF | R.O. 62" X 82-1/2" | 1 |
| 6-0 DBF | R.O. 74" X 82-1/2" | 1 |

| | | |
|--|------|--|
| <div><div><div><div><div></div><div>Pennyworth Homes</div></div><div><div>Got Land?</div><div>Let's Build!</div></div><div><div>SC-010738</div><div>PennyworthHomes.com</div><div>FL-CRC058477</div></div></div></div></div> | | |
| EXHIBIT "A" | | |
| PLAN: SANFORD (CUSTOM) | | |
| CUSTOMER NAME: MR. AAMIR A. PERBTANI | | |
| HEATED LIVING AREA | | |
| GROUND FLOOR: | 1300 | |
| SECOND FLOOR: | N/A | |
| OTHER: | N/A | |
| TOTAL HEATED: | 1300 | |
| NON-HEATED LIVING AREA | | |
| PORCH: | 100 | |
| GARAGE: | N/A | |
| OTHER: | N/A | |
| TOTAL U/R | 1400 | |

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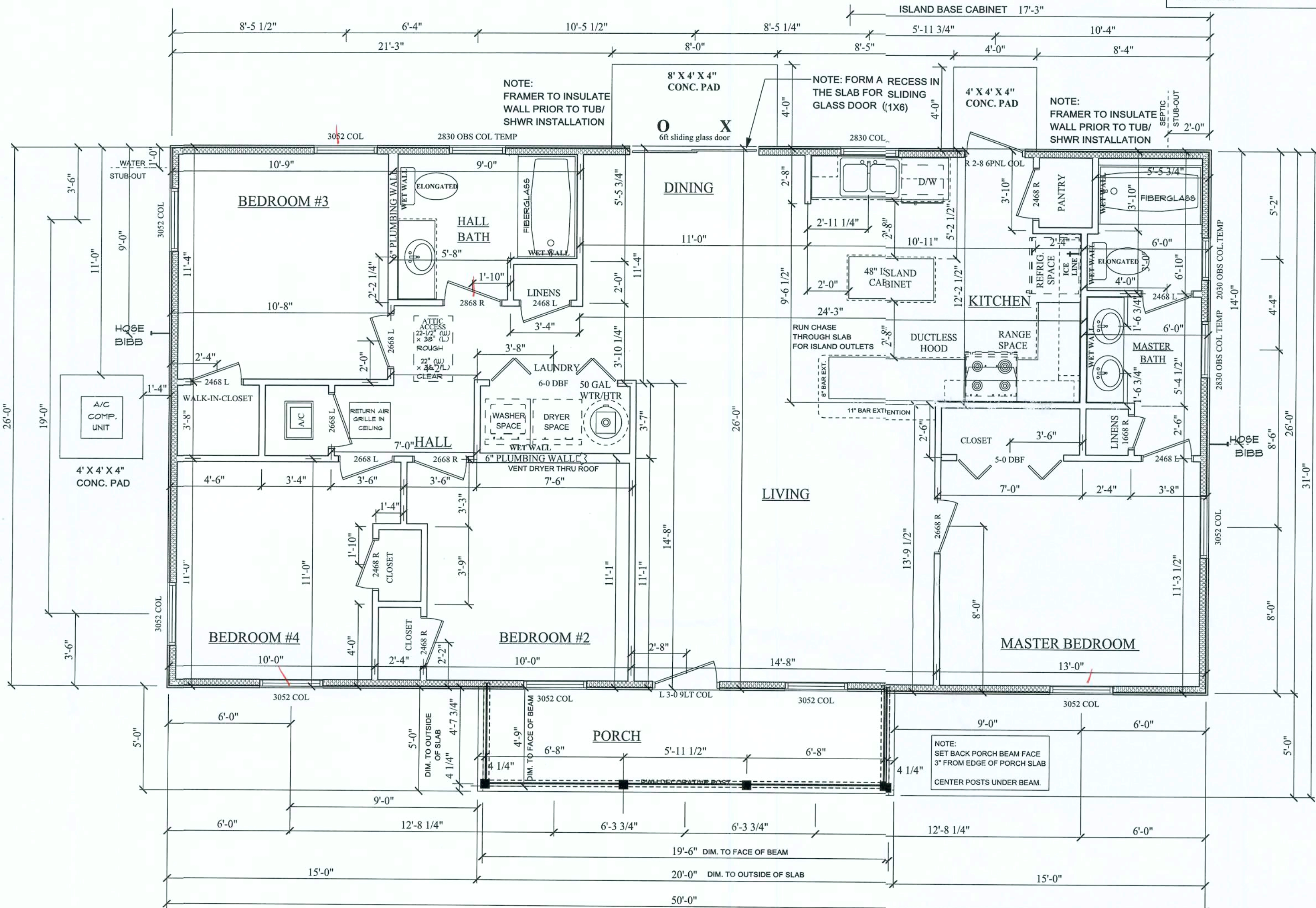
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SCALE: 1/4" = 1'-0"

| | | |
|------------------|-----------------------|-----------|
| DRAWN BY: BAA | PLAN DATE: 9/26/07 | PAGE 2 |
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FLOOR PLAN

8' CEILINGS
THROUGHOUT HOUSE

NOTE!:

REFER TO ENGINEERING FOR
SPECIFICATIONS AND CALCULATIONS.

NOTE:
ALL INTERIOR DOORS
TO HAVE 82-1/2" R.O.
HEIGHT FROM FINISHED
FLOOR.

NOTE:
ALL WINDOWS TO
BE VINYL

DO NOT LOCATE STUB OUT FOR
UTILITIES ON FRONT OF HOUSE

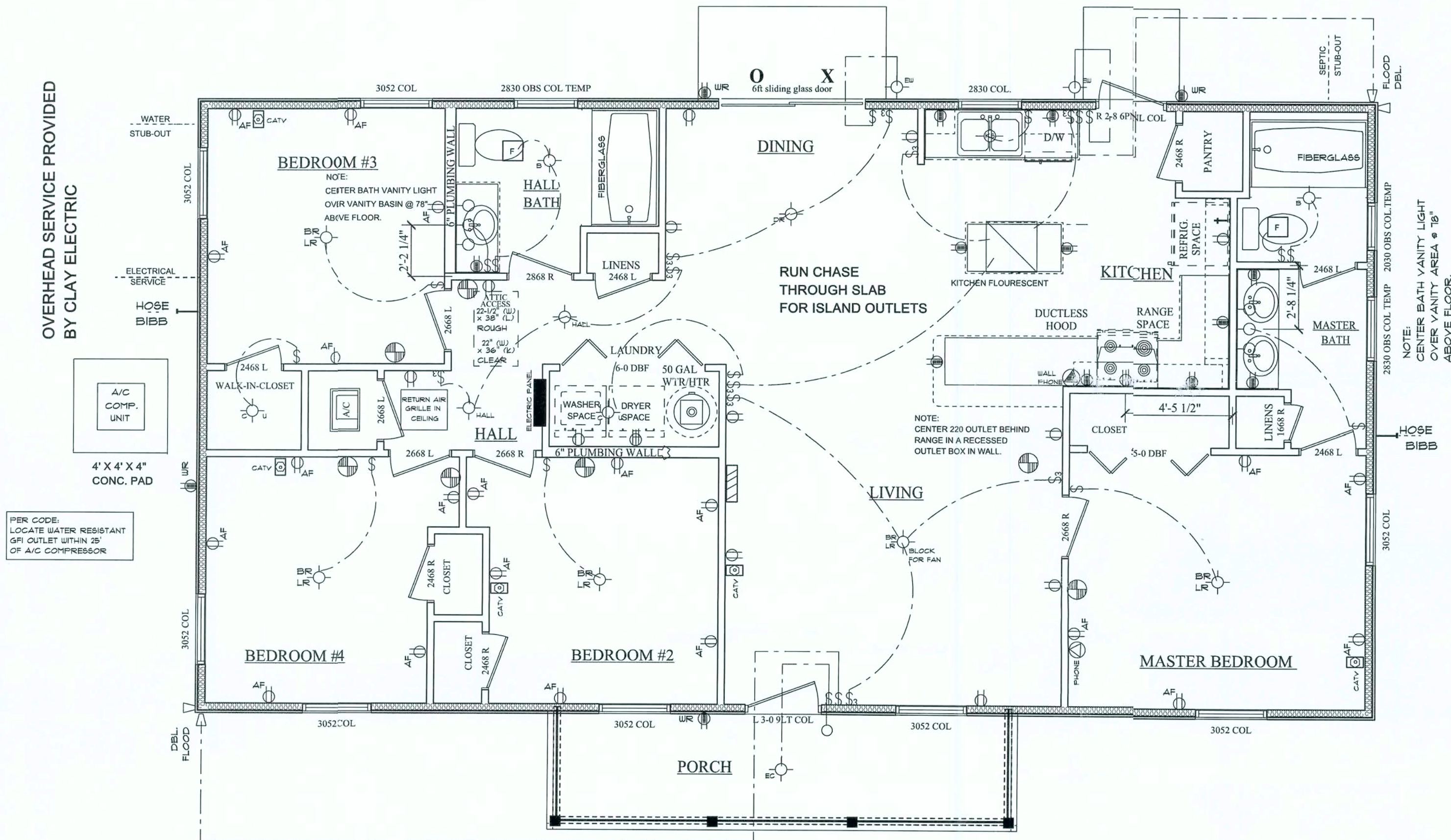
TRUSS DESIGNER TO
ALLOW FOR HVAC
CLOSET SPACE
*SEE FLOOR PLAN

NOTE: ELECTRICIAN DETERMINE
LOCATION OF CHASE THRU SLAB
FOR HVAC CHASE/ AND 110 OUTLET
CHASE FOR ISLAND. CONFIRM LOCATION
WITH CONSTRUCTION MANAGER AND
/ OR PLUMBER BEFORE SLAB IS POURED




























| | | | |
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| REV.# | REV. DATE: | DRAWN BY: | DISRIPTION OF REVISION |
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NOTE:
PENNYWORTH HOMES RESERVES THE RIGHT
TO MAKE CHANGES TO THE ELECTRICAL LAYOUT
TO MEET NECESSARY ELECTRICAL OR BUILDING CODES.
CHANGES MAY ALSO BE MADE AT THE DISCRETION
OF THE BUILDER OR ELECTRICIAN DUE TO HOUSE FRAMING
OR ELECTRICAL INSTALLATION TECHNIQUES.

**NOTE: ELECTRICIAN DETERMINE,
LOCATION OF CHASE THRU SLAB
FOR HVAC CHASE/ AND 110 OUTLET
CHASE FOR ISLAND. CONFIRM LOCATION
WITH CONSTRUCTION MANAGER AND
/ OR PLUMBER BEFORE SLAB IS POURED**



ELECTRICAL PLAN

| ELECTRICAL | COUNT | SYMBOL |
|--------------------------|-------|---|
| 110 | 12 |  |
| 220 | 2 |  |
| AF OUTLET | 21 |  |
| BATH CEILING LIGHT | 2 |  |
| BATH FAN | 2 |  |
| BATH OVER MIRROR | 2 |  |
| BED LIV FAN NO BLOCK | 4 |  |
| BR_LR BLOCK FOR FAN | 1 |  |
| CABLE TV OUTLET | 5 |  |
| CHIMES | 1 |  |
| CLOSET_UTILITY | 2 |  |
| DBL FLOOD | 2 |  |
| DINING ROOM | 1 |  |
| DOOR BELL | 1 |  |
| ELECTRIC PANEL | 1 |  |
| EXT CEILING | 1 |  |
| EXT WALL | 2 |  |
| GFI OUTLET | 11 |  |
| GFI WR | 4 |  |
| HALL | 2 |  |
| KITCH FLOURESCENT | 1 |  |
| KITCHEN SINK CEILING LIT | 1 |  |
| PHONE JACK | 1 |  |
| SMOKE DETECTOR1 | 7 |  |
| WALL PHONE | 1 |  |
| switch | 16 |  |
| switch 3 way | 10 |  |

Pennyworth Homes

Got Land? Let's Build!

PennyworthHomes.com

FL-CR00584

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SECOND FLOOR: N/A

OTHER: N/A

TOTAL HEATED: 1300

**NON-HEATED
LIVING AREA**

PORCH: 100

GARAGE: N/A

OTHER: N/A

TOTAL U/R 1400

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CONSTRUCTION PLANS

SCALE: 1/4" = 1'-0"

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| | |
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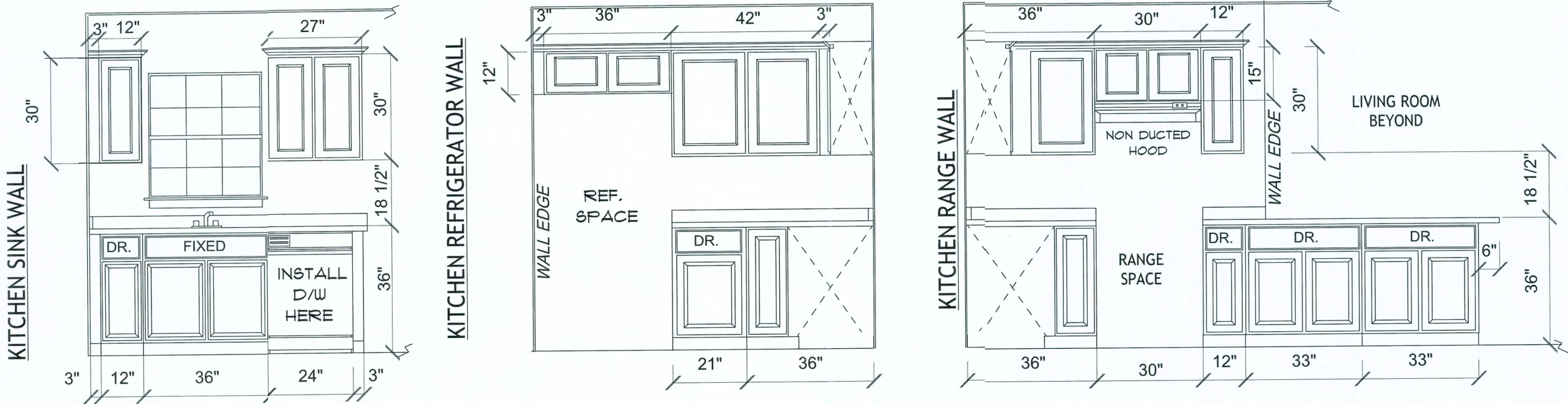
SCALE: 1/2" = 1'-0"

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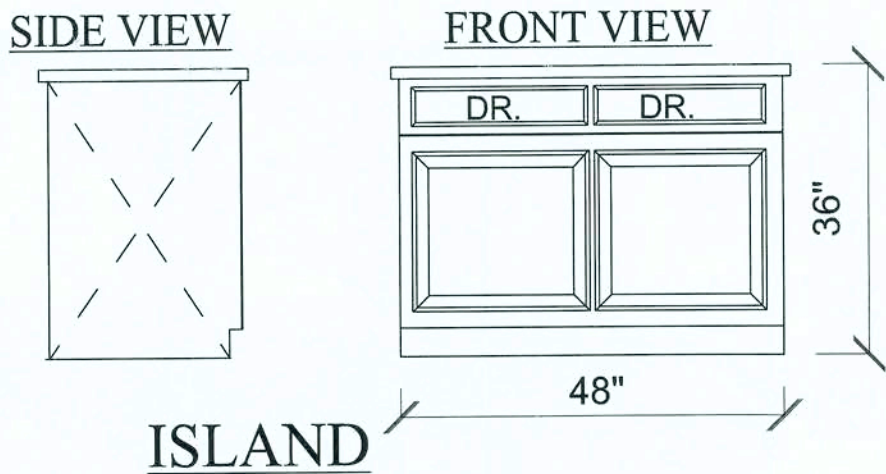
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CABINETS AND APPLIANCES SHOWN ARE SYMBOLIC. ACTUAL UNITS MAY VARY IN STYLE ACCORDING TO OWNER SELECTION.

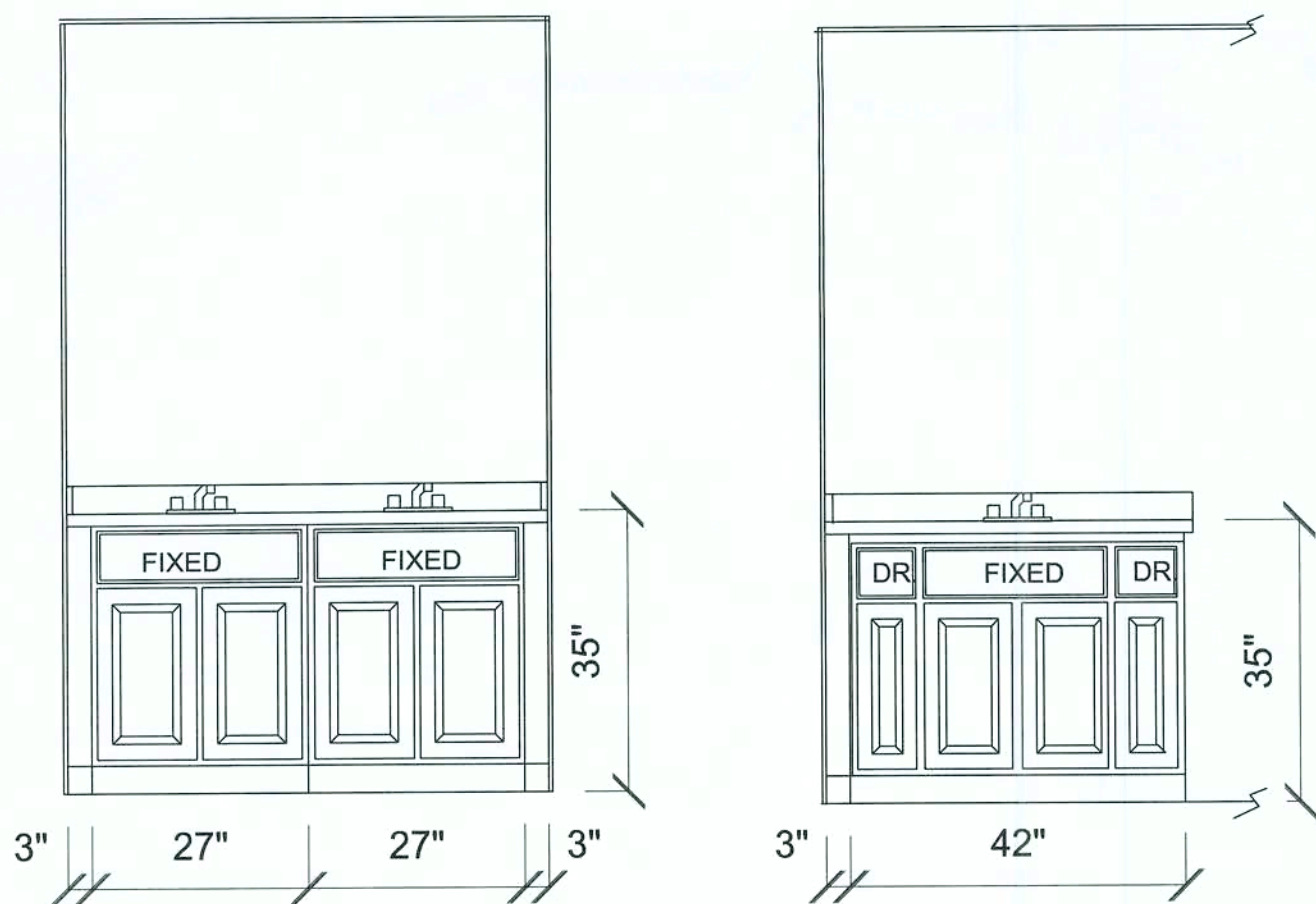
INSTALL CROWN MOLDING AROUND TOP OF KITCHEN WALL CABINETS.



KITCHEN CABINET ELEVATIONS



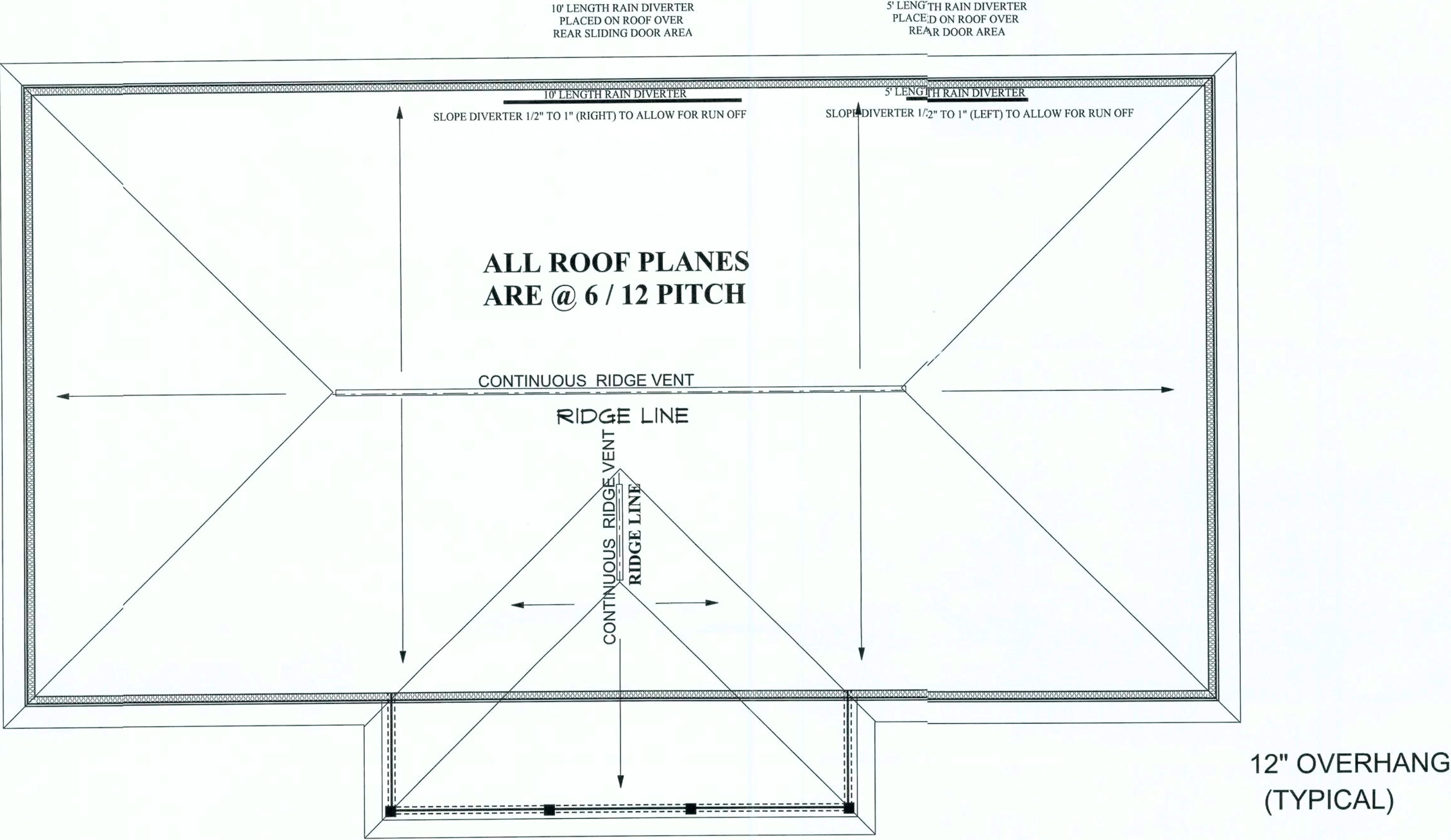
INSTALL QUARTER ROUND MOLDING AROUND BOTTOM OF ALL BASE CABINETS & VANITIES.



BATH VANITY CABINET ELEVATIONS

NOTE!:
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ROOF PITCHES ABOVE 4/12 ARE REQUIRED
TO HAVE A MIN. OF (1) LAYER OF FELT
PAPER PER FLORIDA BUILDING CODE
SECTION 1507.3.8.2



ROOF LAYOUT PLAN

| | |
|---|------|
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| | | |
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| DISCRPTION OF REVISION | | |

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SET BEAM BACK 2 1/2" FROM EDGE OF PORCH

PORCH BEAM AS NOTED ON PLANS

WHITE "J" CHANNEL

2X4 (2)

1X4 #2 PINE

TRPL-4" VENTED VINYL SOFFIT ON LEVEL OVERHANG

1/2" OSB BETWEEN (2) 2X10

WHITE TRIM COIL

1/2" OSB ON BOTH SIDES

1/2" OSB BETWEEN (2) 2X10

2X4

INTERIOR SIDE OF BEAM

WHITE TRIM COIL

WHITE "J" CHANNEL

PORCH

BEAM DETAIL

BEAM SUBJECT TO
CHANGE ACCORDING
TO REQUIRED
ENGINEERING SPECIFICATIONS

**BEAM SIZE DETERMINED BY ENGINEE
ACCORDING TO LOCAL CODE**

1X4 #2 PINE LAID FLAT
OR 7/16" OSB AS PER ENG.
@ 16" O.C. FOR VINYL
PORCH CEILING

FACE OF PORCH BEAM
SET BACK 3" FROM
EDGE OF PORCH

2X6 WRAPPED W/
ALUM. TRIM

PORCH HEADER
WRAPPED W/METAL

VINYL SOFFITS VENTED

VINYL SOFFIT

4X4 PT POST
W/ PVC SLEEVE

PW DECOR. POST

SET CENTER OF
PORCH POST BACK 4-3/4"
FROM EDGE OF PORCH SLAB

SET POST SO THAT
BOTTOM SLEEVE
DOES NOT HANG
OVER SLAB.

3-1/2" X 3-1/2"
STAND OFF
POST BASE
ABK44

POST BASE PER ENGINEERING

REBAR ON ROD CHAIRS
(SEE PLANS)

FOOTER AS PER ENG.
OR LOCAL CODE

COMPACTED FILL

APPROVED TRUSSES
@ 24" O.C.

HURRICANE CLIP @ EACH TRUSS

*R-30 F/G BLOWN INSULATION
PER SPECS LIVING AREA ONLY

1/2" CEILING BOARD

2- 2X4 TOP PLATE

2 X 4 STUDS @ 16" O.C.

*R-13 INSULATION
LIVING AREA ONLY PER SPECS

*1/2" SHEETROCK TAPED

2 X 4 P.T. BOTTOM PLATE (SET BACK 1/2")

3-1/2" SILL SEAL

3-1/4" BASE

VINYL SIDING
PER SELECTION
SHEET

METAL STRAP

7/16" OSB
SUB-SHEATH'G

HOUSE WRAP

ATTENTION:
ENGINEER TO SPECIFY
TIE DOWN LOCATIONS

4" CONC. MONOLITHIC
SLAB W/10-GA 6X6 W.W.M.
IF FIBERMESH CONC. IS
NOT AVAILABLE

6MIL VAPOR BARRIER

6MIL VAPOR BARRIER

REBAR ON ROD CHAIRS
(SEE PLANS)

FOOTER AS PER ENG.
OR LOCAL CODE

Got Land? Let's Build!
PennyworthHomes.com

EXHIBIT "A"

PLAN: SANFORD (CUSTOM)

CUSTOMER NAME:

MR. AAMIR A. PERBTANI

HEATED LIVING AREA

GROUND FLOOR: 1300

SECOND FLOOR: N/A

OTHER: _____ N/A

TOTAL HEATED: 1300

NON-HEATED

LIVING AREA

| | |
|--------|-----|
| PORCH: | 100 |
|--------|-----|

| | |
|---------|-----|
| GARAGE: | N/A |
|---------|-----|

OTHER: _____ N/A

| | |
|-----------|------|
| TOTAL U/R | 1400 |
|-----------|------|

IMPORTANT-PLEASE READ

BELOW CAREFULLY

[illegible]

NOTE:
PENNYWORTH HOMES INC. RESERVES
THE RIGHT TO ONLY MAKE CHANGES TO
PLANS, REQUESTED BY BUYERS, THAT
PENNYWORTH HOMES INC. DEEMS TO BE
AESTHETICALLY, ARCHITECTURALLY,
AND STRUCTURALLY SOUND.

THIS PLAN REFLECTS THE DESIGN
AS PER BUYERS' FINAL APPROVED
SIGNED PLANS DATED 9/07/2007 .
CHANGES MADE TO REPLICATE
ENGINEERS NOTES AND
CALCULATIONS.

CONSTRUCTION PLANS

SCALE: 1/2" = 1'-0"

| | | |
|------------------|-----------------------|-----------|
| DRAWN BY: BAA | PLAN DATE: 9/26/07 | PAGE 7 |
|------------------|-----------------------|-----------|

JOB# 07-04-0061 OF 7

****SUBJECT TO CHANGE WITHOUT NOTICE BY PENNYWORTH HOMES****

| | | | |
|-------|------------|-----------|-------------------------|
| | | | |
| REV.# | REV. DATE: | DRAWN BY: | DISCRIPTION OF REVISION |



Structural Engineering

2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586

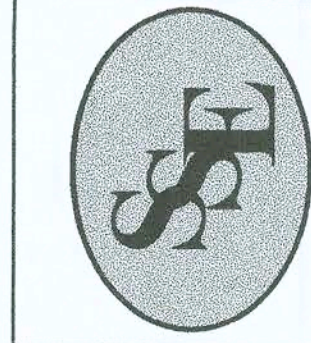


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THOMAS E. BEITELMAN
LICENSE #51870

alex

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| | | | |
|---|---------|---------------------------------------|---------------|
| PROJECT: Pennyworth Homes - Perbtani Residence | | CLIENT: Pennyworth Homes, Inc. | |
| TITLE: Structural Details and Wind Load | | SCALE: | Varies |
| File Name: 07S-082.cdr | | Revision By: | Date: |
| Designed: | TEB | | |
| Drawn: | TEB | | |
| Checked: | TEB | | |
| Date: | 9/11/07 | | |

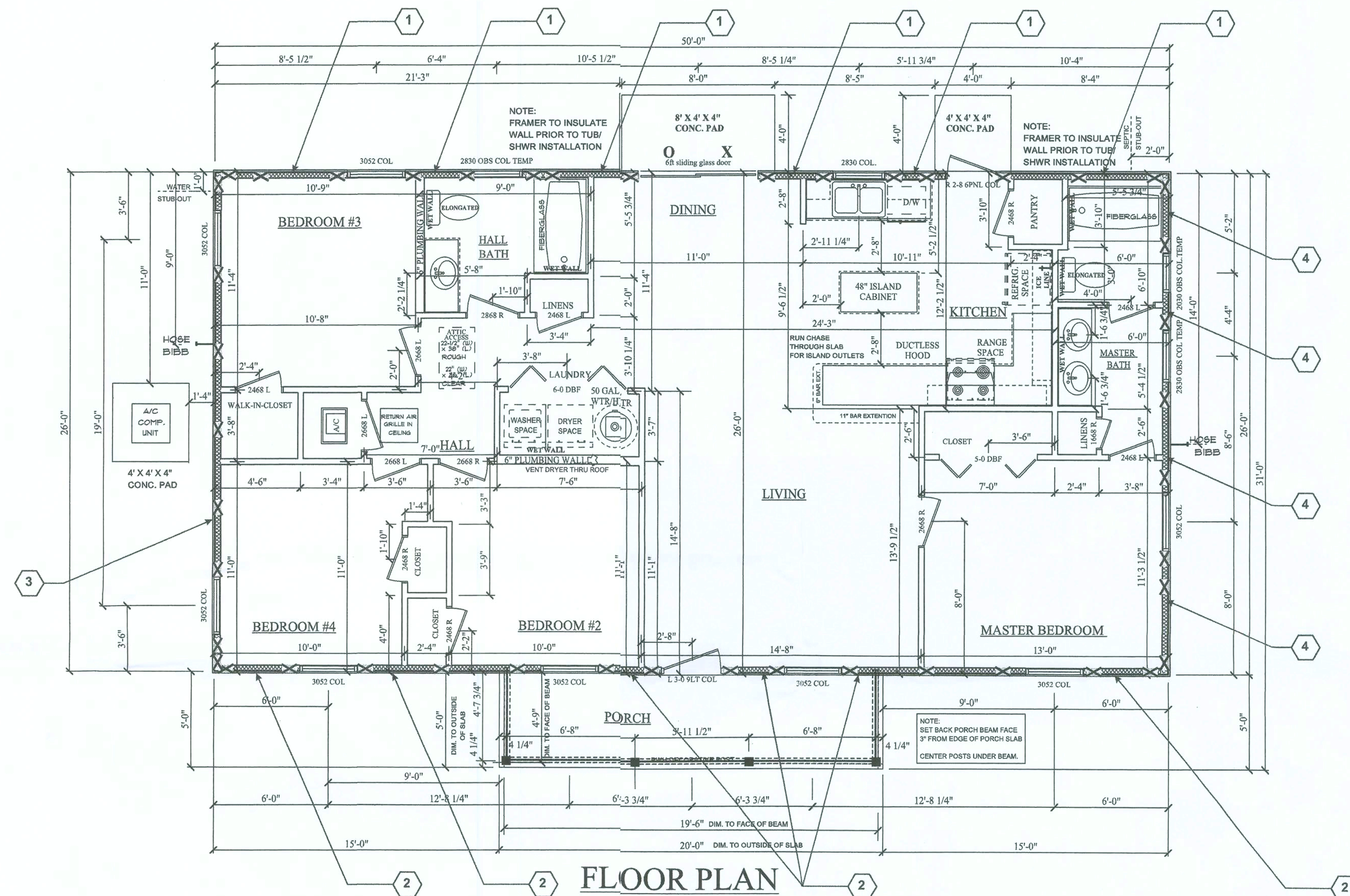


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Phone: (850) 385-5288 Fax: (850) 386-7586



Shear-Wall and Holdown Layout

Scale: 1/4" = 1'-0"

Shear-Wall Identification Number
See Sheet S2 for specifications

PHD2 Approximate Location of Simpson Strong Tie
PHD2-SDS3 Holdowns.

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LICENSE #51870

11/2/07

PROJECT: Pennyworth Homes - Perbtani Residence

TITLE: Structural Details and Wind Load SCALE: CLIENT: Pennyworth Homes, Inc.

Revision By: Date: Description:

File Name: 07S-082.cdr

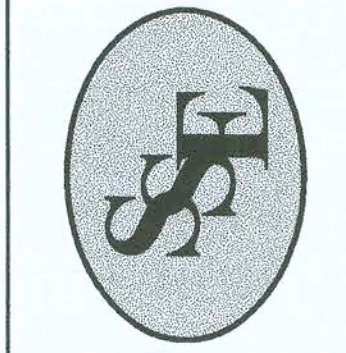
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Date: 9/11/07

Sheet S2 of 4
No. 07S-082



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Phone: (850) 385-5288 Fax: (850) 386-7586

PROJECT: Pennyworth Homes - Perbanti Residence

TITLE: Foundation Details

SCALE: Varies CLIENT: Pennyworth Homes, Inc.

Revision By: Date: Description:

File Name: 07S-082.cdr

Designed: TEB

Drawn: TEB

Checked: TEB

Date: 9/11/07

Sheet S3 of 4

No. 07S-082

CHART A
VERTICAL BAR PLACEMENT FOR
BLOCK WALL WITH CONCRETE FLOOR SLAB OR JOIST DESIGN

For floor joist design use bond beam with (1) #5 reinforced bar continuous for slab floor, pour into block with welded wire mesh. (See chart below)

In all cases vertical bars shall be placed at either side of openings in wall and at each corner. Vertical bars shall be bent 24" into slab, each reinforced cell shall be filled with concrete.

***Floor system to be placed before backfilling

| H (Height of wall) | Width of Block | Vertical Bar Spacing |
|--------------------|----------------|---|
| H <= 32" | 8" | No. 5 @ 72" O.C. |
| 32 < H <= 56 | 8" | No. 5 @ 48" O.C. |
| 56 < H <= 72 | 8" | No. 5 @ 32" O.C. |
| 72 < H <= 88 | 12" | No. 5 @ 32" O.C. with bond beam with (1) #5 at mid-height |
| | 8" | No. 5 @ 32" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height. |
| 88 < H <= 120 | 12" | No. 5 @ 24" O.C. with bond beam with (1) #5 at mid-height |
| | 8" | No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height. |
| 96 < H <= 120 | 12" | No. 5 @ 16" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height |
| | 8" | No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height. |
| 120 < H <= 132 | 12" | No. 5 @ 8" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height |
| | 8" | No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height. |

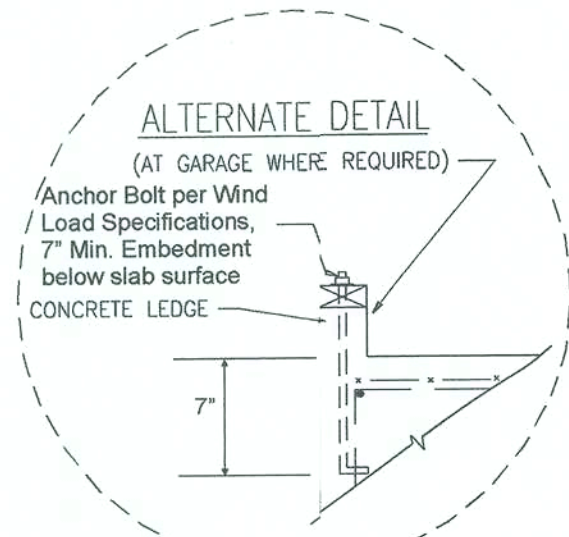
CHART B
PHYSICAL PROPERTIES OF MASONRY CEMENTS

| Masonry Cement Type | N | *S | *M |
|--|-----|-------|-------|
| Time of setting | | | |
| Initial set, minimum, hr. | 2 | 1 1/2 | 1 1/2 |
| Final set, maximum, hr. | 24 | 24 | 24 |
| Compressive strength (average of 3 cubes, min.) | | | |
| 7 days, (psi) | 500 | 1300 | 1800 |
| 28 days (psi) | 900 | 2100 | 2900 |

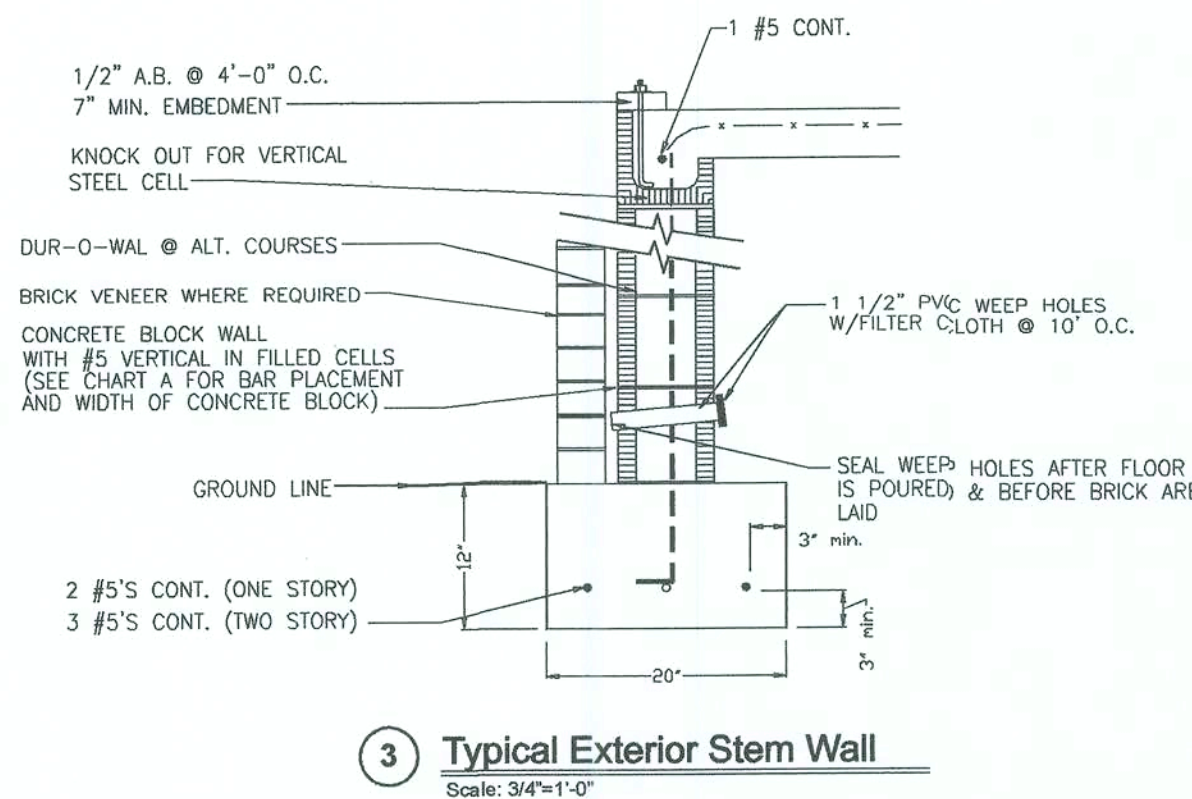
*For the purpose of these plans, use grade "S" or "M"

General Notes For Special Foundation

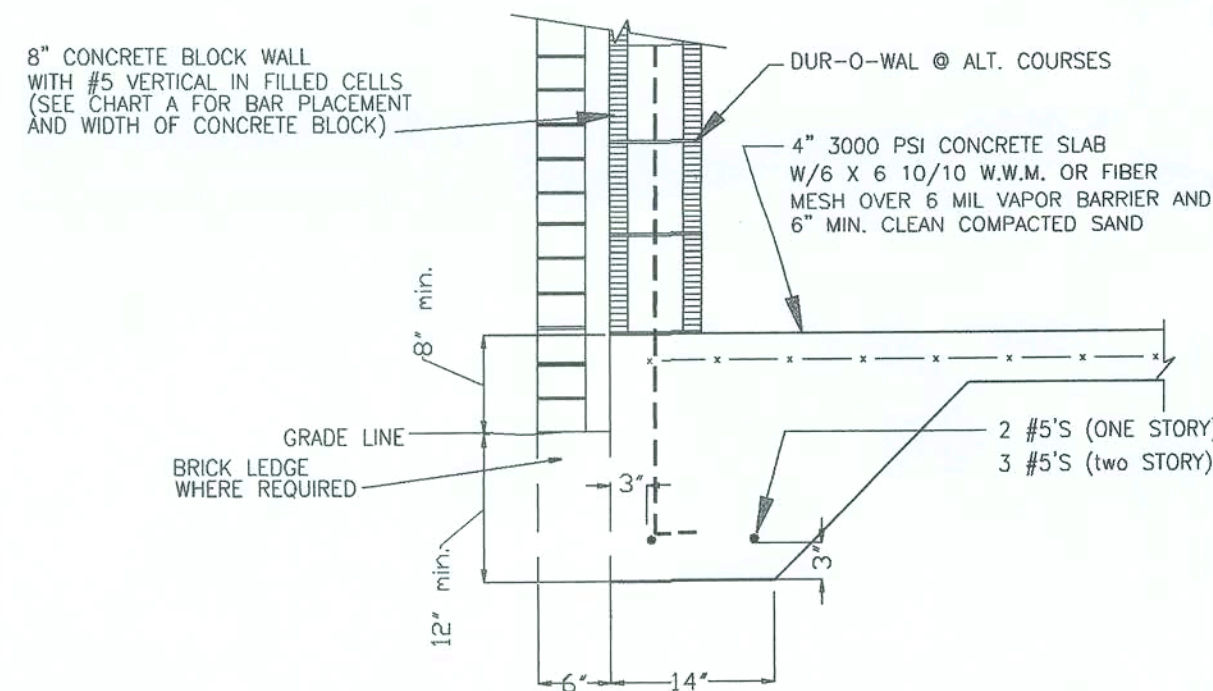
- All construction conform to the 2004 Florida Building Code with 2006 revisions.
- In the event of a conflict between plans and the codes, the codes shall govern.
- Lot shall be landscaped to prevent the detention of surface water.
- Concrete: 3000 psi Steel: Grade 60
- All fill shall be compacted to 95% of maximum dry density as determined by the Modified Proctor Test.
Definition:
 - Compaction test will not be required when the fill is less than 12 inches in depth, the inspector's shall use best judgement.
 - When the fill is 12 inches to 18 inches in depth, compaction test will be required only if the inspector's judgement is that the compaction is questionable.
 - When the fill is 18 inches in depth or more, compaction test will be required.
- All splices in footing steel shall be lapped 40 bar diameters in concrete block and 30 bar diameters in monolithic slabs.
- Steel interior grade beams shall be spliced to steel in exterior grade beams to assure continuity of footing throughout structure.
- Exterior grade beams shall run continuous around the perimeter of the structure to assure continuity.
- All concrete slabs shall have control joints to control cracking spaced maximum of 15 feet in each direction.
- Soil shall be chemically treated for termites.
- The contractor shall verify all dimensions at the site prior to beginning construction.
- All reinforcing steel shall be located ma min. 3" from concrete surface.
- A clean compacted sand fill at least 18 inches thick shall be placed under all exterior and interior grade beams. Note: This may be omitted in areas that have at least 30 inches of clean compacted natural soil that has minimum bearing capacity of 2000 psf and is free of mulch, organic material and plastic clays and consist of at least 50% sand (ext.)
- Any organic material under foundation shall be removed prior to construction, unless otherwise specified.
- For stem walls 56" or higher, formwork shall be braced before backfilling.
- Concrete block shall have minimum compressive strength of 1500 psi (Grade N-1 or better) as per 2001 Florida Building Code Table 2106.2.
- Additional #5 with filled cells at load bearing points on walls.



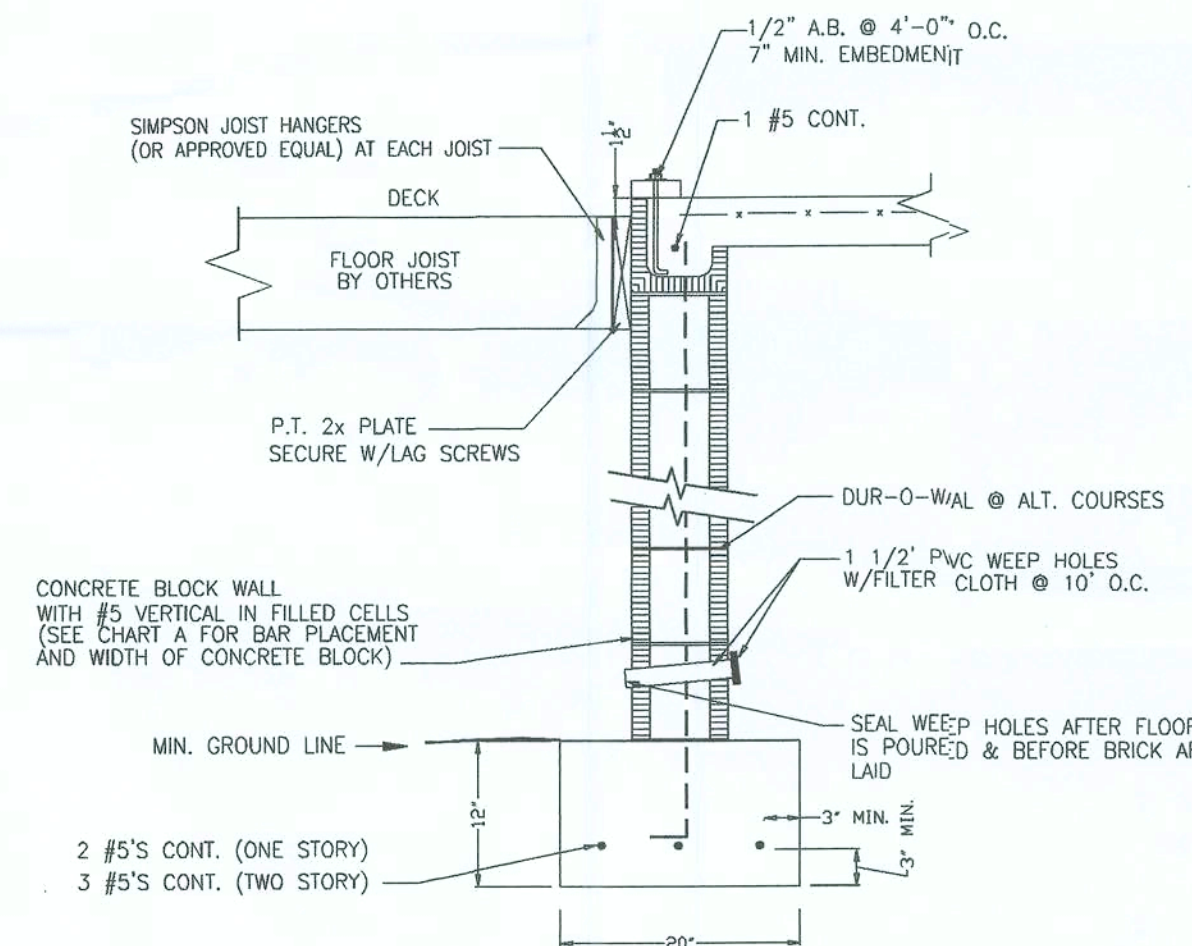
1 Typical Exterior Grade Beam
Scale: 3/4"=1'-0"



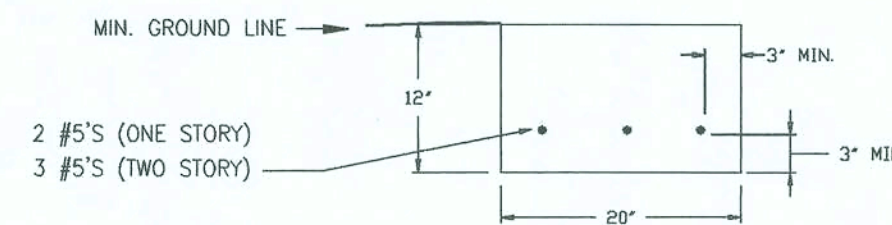
3 Typical Exterior Stem Wall
Scale: 3/4"=1'-0"



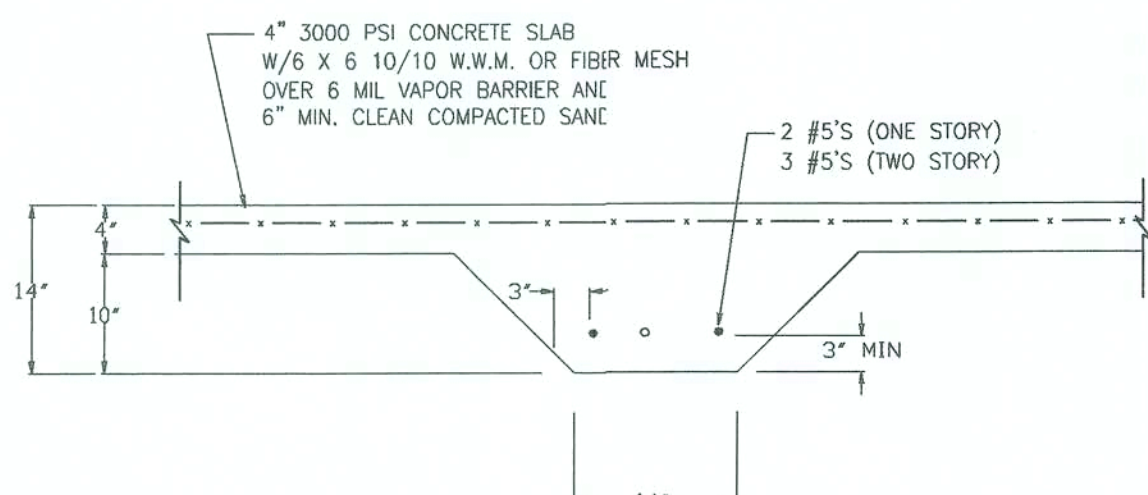
2 Typical Exterior Grade Beam
Scale: 3/4"=1'-0"



4 Typical Exterior Stem Wall at Attached Deck
Scale: 3/4"=1'-0"



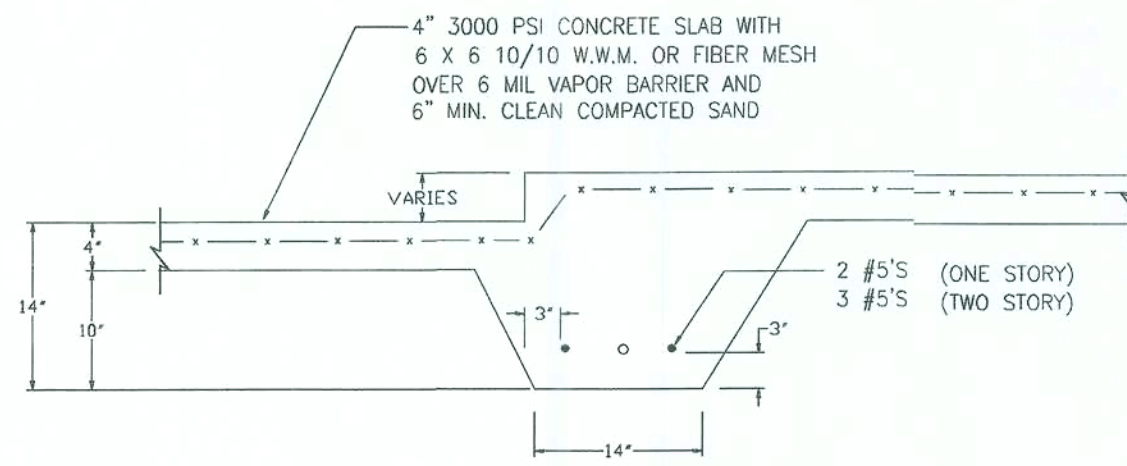
9 Typical Grade Beam
Scale: 3/4"=1'-0"



5 Typical Interior Grade Beam
Scale: 3/4"=1'-0"

Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing

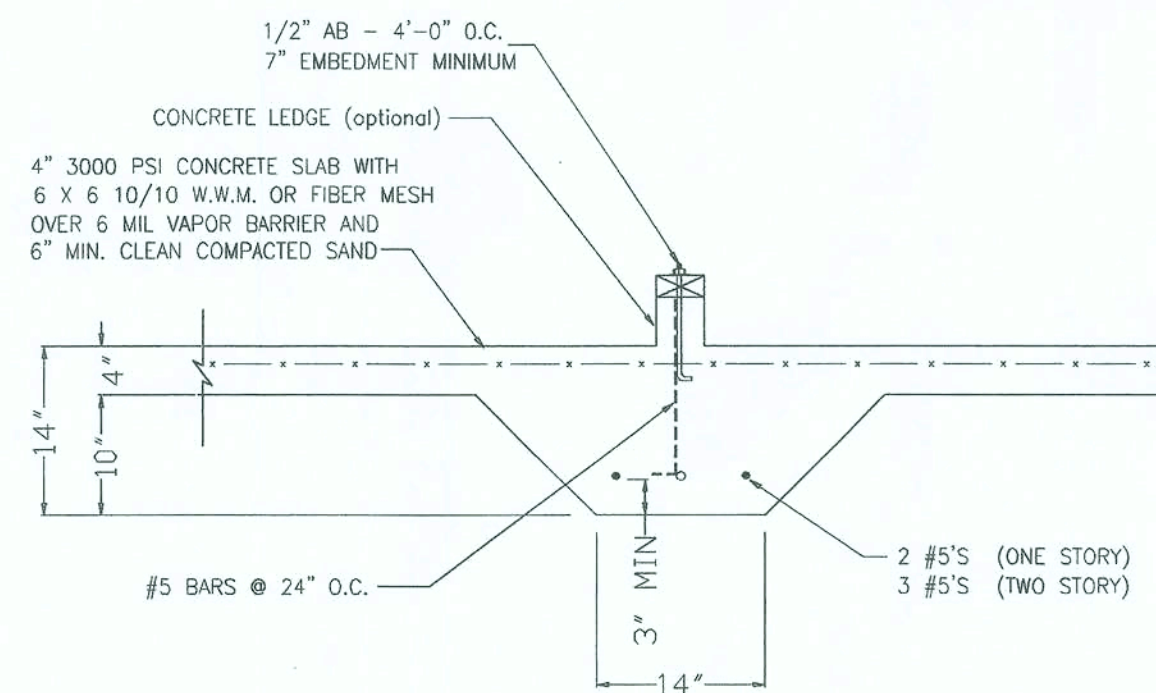
Install Anchor Bolts per Wind Load Specifications



6 Step-Down Detail
Scale: 3/4"=1'-0"

Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing

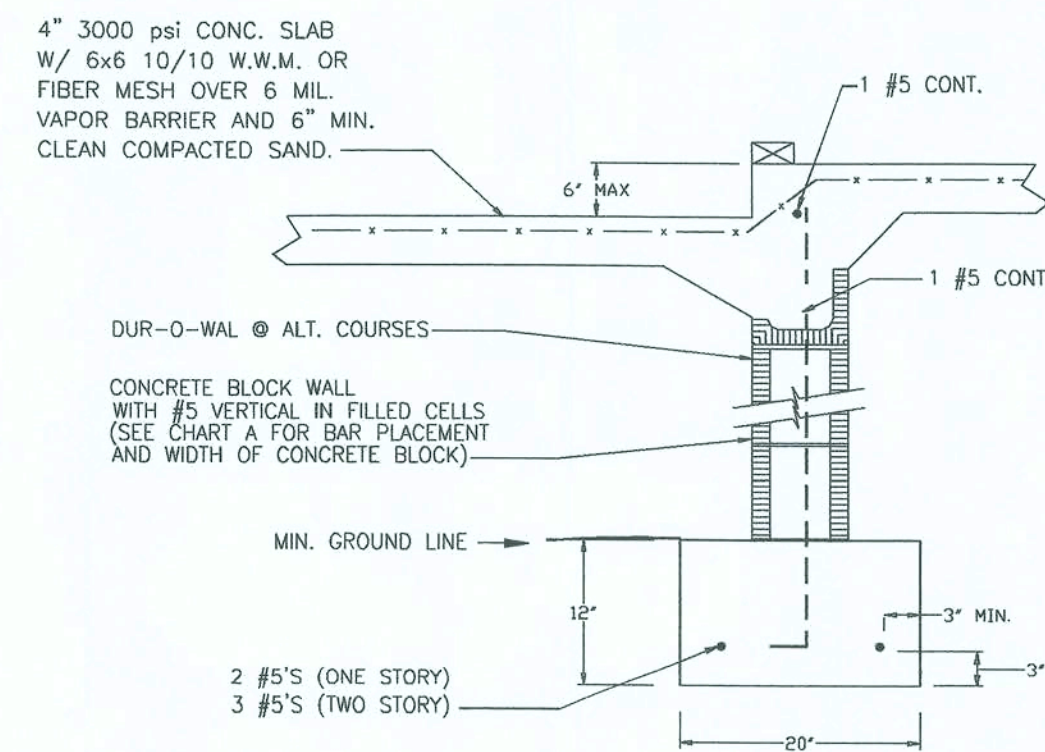
Install Anchor Bolts per Wind Load Specifications



7 Typical Interior Grade Beam With Optional Curb
Scale: 3/4"=1'-0"

Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing

Install Anchor Bolts per Wind Load Specifications



8 Step Down at Grade Beam
Scale: 3/4"=1'-0"

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LICENSE #51870

Signature of Thomas E. Beitelman

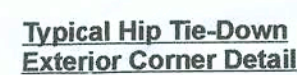
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- Install one rod per leg of each corner
- Install one rod at each end of headers over 48"
- Install one rod every 48" O.C. in exterior walls
- Install one rod every 48" O.C. in interior load bearing walls
- Install one rod at the end of each shearwall

| | | | UPLIFT | |
|-----|----------|-------------------------|-------------------|------|
| | | | Top Plate Species | |
| Use | Diameter | Washer Type | SPF | SYP |
| | 3/8" | 2" x 2" x 1/8" | 2405 | 2405 |
| | 3/8" | 2 1/2" x 2 1/2" x 3/16" | 2450 | 2405 |
| X | 1/2" | 2 1/2" x 2 1/2" x 3/16" | 2933 | 3900 |
| | 1/2" | 3" x 3" x 1/4" | 4010 | 4010 |
| | 5/8" | 3" x 3" x 1/4" | 4140 | 5485 |
| | 5/8" | 3 1/2" x 3 1/2" x 1/4" | 5600 | 7050 |
| | 3/4" | 3" x 3" x 1/4" | 4070 | 5420 |
| | 3/4" | 3 1/2" x 3 1/2" x 1/4" | 5530 | 7360 |

***Uplift values above based on 3000 psi concrete and cast in place anchor bolts*



Typical Threaded Rod Installation Details



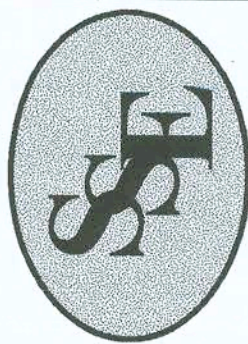
| USE | Base Anchor | Base Anchor | Anchor | Min. | Min. | Min. | Min. | Strap | Strap | Drill Bit | Fasteners | Uplift | (133 lb) | |
|-----|-------------|-------------|------------|--------------|---------------------|-------------|------------------|--------|-------|------------|----------------|--------|----------|------|
| | Model No. | Dia. (in.) | Dia. (in.) | Embed. (in.) | Anchor Length (in.) | Dist. (in.) | Edge Dist. (in.) | No. | Qty. | Dia. (in.) | Face Total Top | | | 100 |
| | LT1708 | 3/4 | 7/8 | 6 3/4 | 9 3/4 | 10 1/8 | 5 | CMST14 | 2 | 3/8 | 4-10 | 2100 | 1750 | 1500 |
| | MT1269 | 3/4 | 7/8 | 6 3/4 | 9 3/4 | 10 1/8 | 5 | CMST14 | 4 | 3/8 | 4-10 | 2100 | 1750 | 1500 |
| | HT2024 | 3/4 | 7/8 | 6 3/4 | 9 3/4 | 10 1/8 | 5 | CMST14 | 2 | 5/8 | 11-14 | 2775 | 2775 | 2775 |
| | HDB4 | 5/8 | 3/4 | 7/8 | 6 3/4 | 10 1/8 | 4 | CMST14 | 2 | 3/4 | 13-16 | 2100 | 2100 | 2100 |
| | HDB4 | 7/8 | 1 | 7 3/4 | 9 3/4 | 11 5/8 | 6 | CMST14 | 3 | 7/8 | 15-16 | 2100 | 2100 | 2100 |
| | HDB4 | 7/8 | 1 | 9 3/4 | 11 3/4 | 11 5/8 | 6 | CMST14 | 3 | 7/8 | 15-16 | 2100 | 2100 | 2100 |
| | HD1014 | 7/8 | 1 | 7 3/4 | 9 3/4 | 11 5/8 | 6 | CMST12 | 4 | 7/8 | 15-16 | 2100 | 2100 | 2100 |

Hollow Post Uplift Connection - Conventional Strapping



| Zone | Area (ft ²) | | |
|--------------|-------------------------|-------|-------|
| | 10 | 100 | 500 |
| 1 | -19.9 | -18.1 | -18.1 |
| 2 | -34.7 | -25.5 | -25.5 |
| 3 | -51.3 | -40.2 | -40.2 |
| 1,2 and 3 | 12.5 | 8.9 | 8.9 |
| 2 (Overhang) | -43.9 | -43.9 | -43.9 |
| 3 (Overhang) | -71.6 | -49.4 | -49.4 |
| 4 | -23.6 | -20.3 | -18.1 |
| 5 | -29.1 | -22.7 | -18.1 |
| 4 and 5 | 21.8 | 18.4 | 16.2 |

Component and Cladding Design Pressures (Worst Case Only)



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PROJECT: Pennyworth Homes - Perbtani Residence

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|--|----------------------|---------------------------------------|
| TITLE: Structural Details and Wind Load | SCALE: Varies | CLIENT: Pennyworth Homes, Inc. |
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|------------|-------------|--------------|-------|--------------|

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| | TEB | | |

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| Drawn: | TEB | | |
| Checked: | TEB | | |

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| Date: | 9/11/07 | | |
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| Sheet | S4 | of | 4 |
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