

DATE 03/14/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000026847

APPLICANT JAMES ALLEN PHONE 867-1017
ADDRESS 186 NW BUTTERMILK GLEN LAKE CITY FL 32055
OWNER LARRY & THERESA OSTENDORF PHONE 288-3484
ADDRESS 594 SW KIRBY AVE LAKE CITY FL 32024
CONTRACTOR POOL & SPA WORKS PHONE 386-867-1017

LOCATION OF PROPERTY 90W, TL ON 247S, TL ON KIRBY RD, GO TO KIRBY OAKS S/D,
2ND LOT ON RIGHT

TYPE DEVELOPMENT SWIMMING POOL ESTIMATED COST OF CONSTRUCTION 29600.00

HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES

FOUNDATION WALLS ROOF PITCH FLOOR

LAND USE & ZONING RSF-2 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO.

PARCEL ID 11-4S-16-02919-012 SUBDIVISION KIRBY OAKS

LOT 2 BLOCK PHASE UNIT TOTAL ACRES

CPC1457112

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

EXISTING X08-075 CS JH N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 2268

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by

Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by

Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by

Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by

Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by

M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by

Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by

M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 150.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 200.00

INSPECTORS OFFICE L. Lockan CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Property Appraiser

DB Last Updated: 1/15/2008

Parcel: 11-4S-16-02919-012

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Owner's Name	OSTENDORF LARRY FRANCIS &		
Site Address	KIRBYS OAK S/D		
Mailing Address	THERESA BROWN OSTENDORF 594 SW KIRBY AVE LAKE CITY, FL 32024		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	11416.00	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.690 ACRES		
Description	LOT 2 KIRBY'S OAK S/D. ORB 1115-2214, 1115-2247, WD ORB 1138-1449,		

<< Prev

Search Result: 4 of 4

GIS Aerial**Property & Assessment Values**

Mkt Land Value	cnt: (1)	\$31,620.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$132,538.00
XFOB Value	cnt: (1)	\$5,376.00
Total Appraised Value		\$169,534.00

Just Value	\$169,534.00
Class Value	\$0.00
Assessed Value	\$34,000.00
Exempt Value	\$0.00
Total Taxable Value	\$34,000.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
12/12/2007	1138/1449	WD	I	Q		\$187,000.00
4/4/2007	1115/2247	WD	V	U	01	\$100.00
4/4/2007	1115/2214	WD	V	Q		\$48,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2007	(32)	1744	2300	\$132,538.00
Note: All S.F. calculations are based on <u>exterior</u> building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2007	\$5,376.00	1792.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1.000 LT - (.690AC)	1.00/1.00/1.00/1.00	\$31,620.00	\$31,620.00

Columbia County Property Appraiser

DB Last Updated: 1/15/2008

Columbia County 2008 R
CARD 001 of 001
17:40 BY JEFF

[illegible]

NUMBER	DESC	PERMITS	AMT	ISSUED
25780	SFR		541	5/07/2007

BOOK	PAGE	DATE	PRICE
1138	1449	12/12/2007	Q I 187000
GRANTOR	JOHN W KEEN		
GRANTEE	LARRY FRANCIS & THERESA BROWN		
1115	2247	4/04/2007	U V 100
GRANTOR	ERSTON & CAROLYN KIRBY		
GRANTEE	JOHN W KEEN		

ADJ	UT	PR	SPCD	%	%GOOD	XFOB	VALUE
			3.000		100.00		5,376

UT	PRICE	ADJ	UT	PR	LAND	VALUE
	31620.000				31620.00	31,620

Disclaimer

This information was derived from data which was compiled by the Columbia County Property Appraiser's Office solely for the government purpose of property assessment. The information shown is a **work in progress** and should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's Office. The assessed values are **NOT CERTIFIED** values and therefore are subject to change before finalized for ad-valorem assessment purposes.

Notice:

Under Florida Law, e-mail addresses are public record. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead contact this office by phone or in writing.

[Scroll to Top](#)

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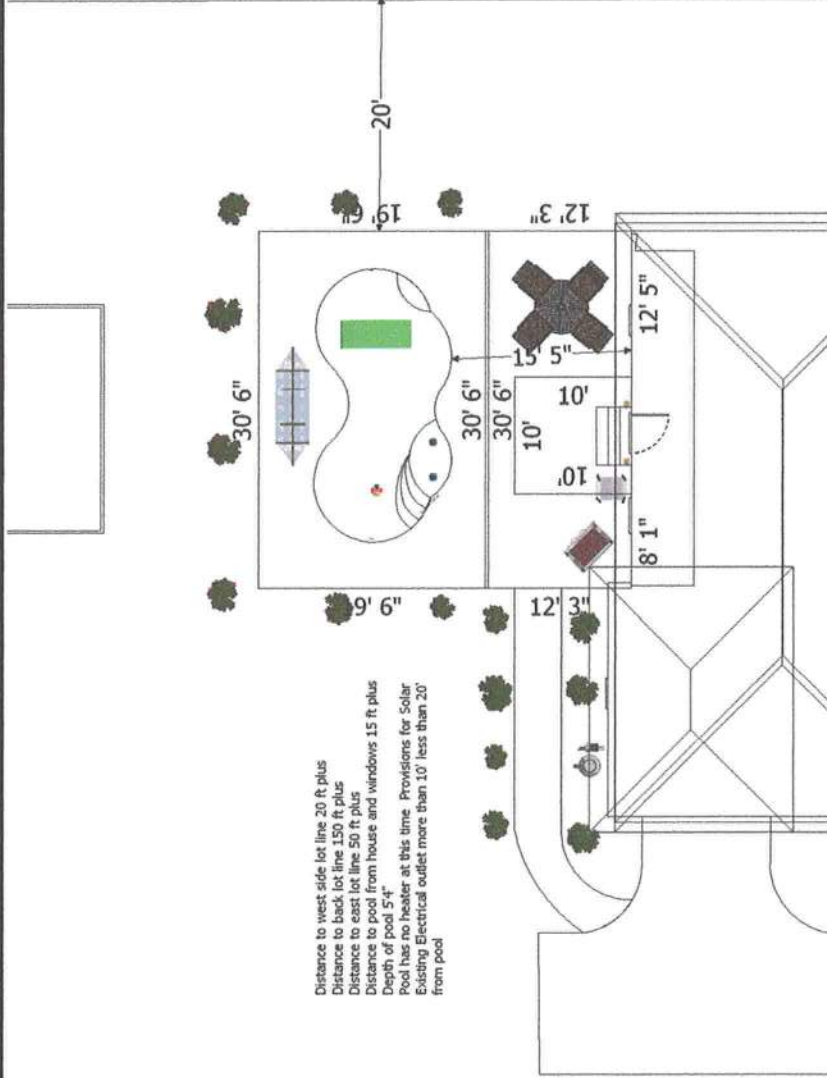
STATE OF FLORIDA AC# 2652270
DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

CPCL457112 07/11/06 068006594

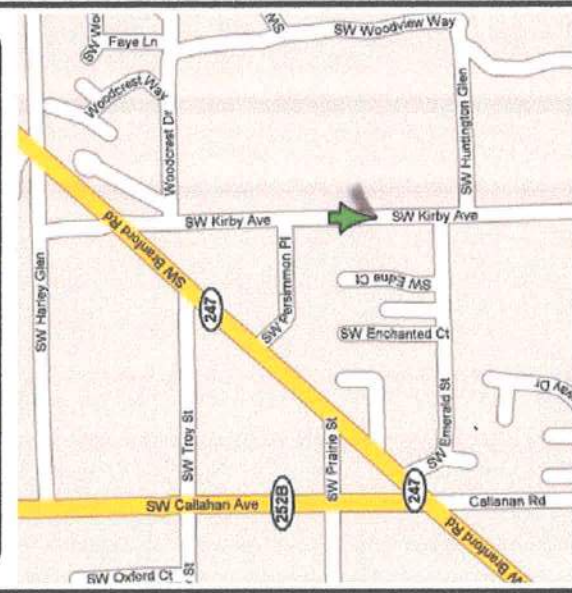
CERT COMMERCIAL POOL/SPA CONTR
ALLEN, JAMES J
POOL & SPA WORKS

IS CERTIFIED under the provisions of Ch. 489 FS.
Expiration date: AUG 31, 2008 L06071100680

PLAN VIEW



MAP



CHANGE ORDERS

CD#	DESCRIPTION	DATE

Pool Specifications

Width: 12 feet
 Length: 24 feet
 Depth: 3'6" x 5'4"
 Perimeter: 62 ft
 Square Footage: 214 sq ft
 Capacity: 5000 gal
 Material: Composite Fiberglass
 Bubbles in tanning ledge

CUSTOMER INFORMATION

NAME: Larry Ostendorf
 ADDRESS: 594 WS Kirby Ave
 CITY: Lake City STATE: FL
 ZIP: 32024 PHONE: 228-3484

Company Info

Designer: Pool & Spa Works
 Address: 186 NW Buttermilk Glen
 City: Lake City
 State/Zip: FL 32055
 Phone: 386-8671017
 Email: psworks@hughes.net
 Contact: Jim Allen
 License #: cpc1457112

Equipment

Filter Pump: 4 x 160 Pentair High E
 Filter Type: Cartridge
 Heater: Solar Ready
 Sanitation: Electronic Salt
 Pool Sweep: Pentair
 Other Equipment: LED Low Voltage lighting

Deck Specifications

Length: 31 ft
 Width: 32 ft
 Perimeter: 93 + house
 Square Footage: 900
 Material 1: Concrete with Fiber and
 Material 2: Equipotential bond

NOTE



NOTICE OF COMMENCEMENT

11-45-16

Tax Parcel Identification Number 02919-012

Inst:200812004752 Date:3/11/2008 Time:9:39 AM
 DC, P. DeWitt Cason, Columbia County Page 1 of 1

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 2 of Kirby's Oak
 a) Street (job) Address: 594 SW Kirby Ave, Lake City FL 32024
2. General description of improvements: In ground pool
3. Owner Information
 a) Name and address: LARRY FRANK & Theresa Brown Ostendorf
 b) Name and address of fee simple titleholder (if other than owner) 594 SW Kirby Ave LC 32024
 c) Interest in property OWNER
4. Contractor Information
 a) Name and address: Pool & Spa Works 186 NW Butterfield Glen LC 32055
 b) Telephone No.: 386-867-1017 Fax No. (Opt.) 386-758-0070
5. Surety Information
 a) Name and address: ---
 b) Amount of Bond: ---
 c) Telephone No.: --- Fax No. (Opt.) ---
6. Lender
 a) Name and address: ---
 b) Phone No.: ---
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
 a) Name and address: LARRY OSTENDORF 594 SW Kirby Ave LC 32024
 b) Telephone No.: 386-288-3484 Fax No. (Opt.) ---
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
 a) Name and address: Pool & Spa Works 186 NW Butterfield Glen LC 32055
 b) Telephone No.: 386-867-1017 Fax No. (Opt.) 386-758-0070
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): ---

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

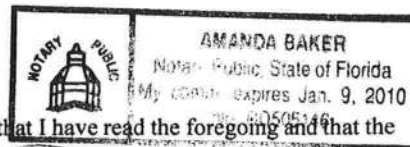
STATE OF FLORIDA
 COUNTY OF COLUMBIA

10. Larry Ostendorf
 Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Larry Ostendorf
 Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 10th day of march, 20 08, by:
Larry Ostendorf as property owner (type of authority, e.g. officer, trustee, attorney
 fact) for N/A (name of party on behalf of whom instrument was executed).

Personally Known --- OR Produced Identification ☒ Type FLDL 0235-526-63-053-0

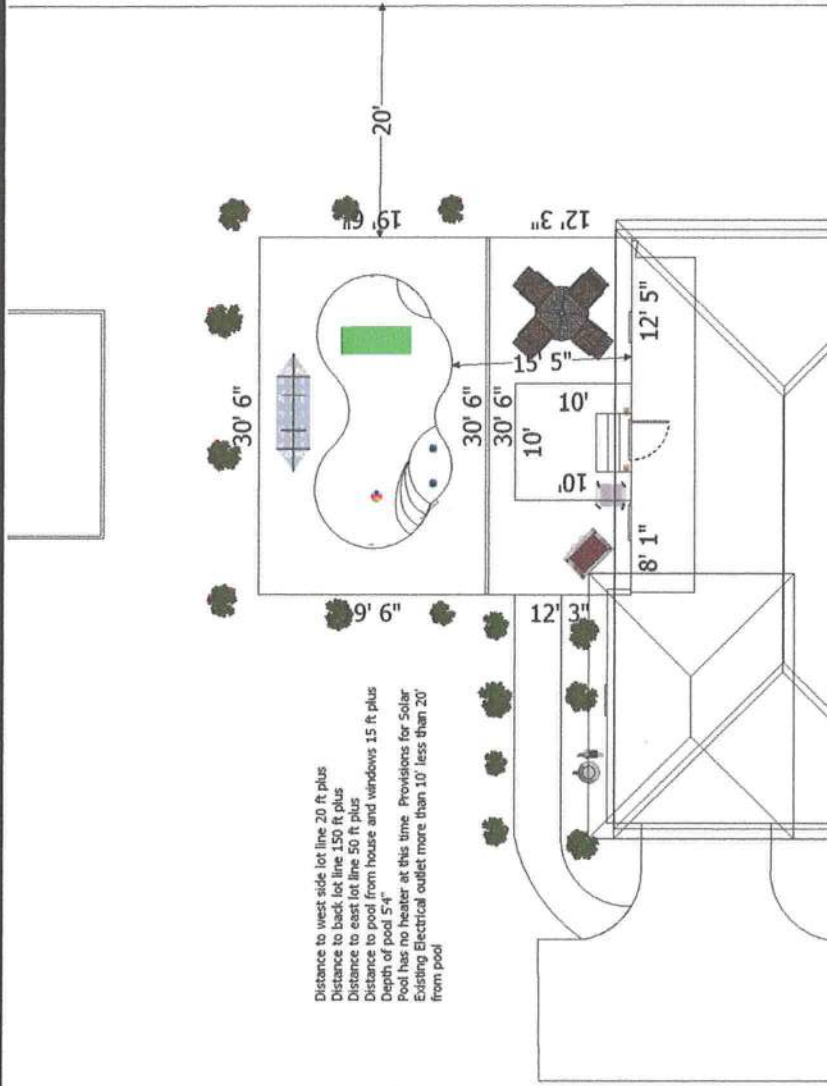
Notary Signature Amanda Baker Notary Stamp or Seal:



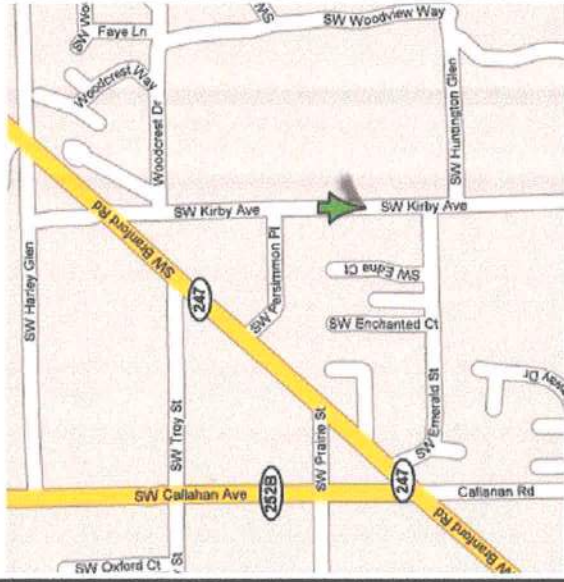
11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Larry Ostendorf
 Signature of Natural Person Signing (in line #10 above.)

PLAN VIEW



MAP



CHANGE ORDERS

DATE

DESCRIPTION

CD#

NOTE

Pool Specifications

Width: 12 feet
 Length: 24 feet
 Depth: 3'6" x 5'4"
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COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

Application Number _____

NOTICE TO SWIMMING POOL OWNERS

I Larry Osterdorf have been informed and I understand that prior to the final inspection approval and use of my pool, I will need all the inspections approved and the required fencing installed in accordance with applicable regulations. The Florida Building Code Chapter 4 Section 24 requires private residential swimming pools, hot tubs, or non-portable spas containing water over 24 inches deep to meet the following pool barrier safety feature requirements:

- The pool access must be isolated by a barrier at least 4 feet high and installed around the perimeter of the pool. Unless the pool is equipped with a safety cover complying with the specifications of American Society for Testing and Materials standard F-1346-91.
- The barrier shall not have any gaps or openings which would allow a child to crawl under, squeeze through or climb over and must be placed no less than 20 inches from the water's edge.
- Gates located in the pool barrier must open outward away from the pool and be both self-closing and self latching, with a release mechanism not less than 54" above the standing surface at the gate.
- The barrier must be separate from any other fence, wall, or other enclosure surrounding the yard unless the fence, wall or other enclosure or portion thereof is situated on the perimeter of the pool and meets the pool barrier requirements.
- Where a wall of a dwelling serves as part of the barrier **one** of the following shall apply:
 - 1) All doors and first floor windows with a sill height of less than 48 inches providing direct access from the home to the pool must be equipped with an alarm that has a minimum sound pressure rating of 85 decibels at 10 feet. The alarm shall sound immediately upon opening the window or door unless the temporary bypass mechanism is activated.
 - 2) **Or:** all doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism located at least 54 inches above the floor.

According to Florida statutes, failure to comply with these requirements is a misdemeanor of the second degree, punishable by imprisonment for up to 60 days or a fine of up to \$500, except that no penalty shall be imposed if within 45 days after arrest or issuance of a summons or notice to appear, the pool is equipped with the aforementioned safety features and the responsible person attends a drowning prevention education program developed by the Florida Department of Health. I also understand that there are several inspections required in addition to a final inspection for my swimming pool.

Larry Osterdorf 3/10/08
Owner Signature Date

Address: 594 SW Kirby Ave Lake City FL 32024

Jan J. Allie 03/10/08
Contractor Signature / Date

CPL 1457112
License Number



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

SWIMMING POOL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004

REQUIREMENTS FOR SITE BUILT POOLS. (2 Sets of plans with engineering is required to be submitted for each permit.)

- ☐ 1. Site-Plan showing the location of the pool and the distance from each property line, include structures and the distance from the pool.
- ☐ 2. Reinforcement, thickness and type concrete, depth limits, details of built in steps, footings on decks, for both pools and hot tubs or whirlpools.
- ☐ 3. Piping detail for drains, suction inlet locations, skimmers and re-circulation lines.
- ☐ 4. Entrapment protection device. (Manufacturer and Model)
- ☐ 5. Back-up vacuum relief device or means.
 - A. Approved vacuum release system. (Manufacturer and Model)
 - B. Approved vent piping.
 - C. Other approved devices or means.
- ☐ 6. Diameter and depths of proposed pool relative to adjacent foundations of other structures and any retaining walls and/or finished grades and slopes. If pool falls in the angle of repose of any existing foundation, additional engineering shall be provided indicating how the foundation shall be maintained.
- ☐ 7. Distance of any glass adjacent to the pool edge and distance from walking surface to bottom edge of glass. (As per FBC 2004 section 2405.2 any glass within 60" of the waters edge and within 60" of the walking surface on the pool side of the glazing shall be tempered.)
- ☐ 8. All accessories to the pool such as ladders, slides, diving boards etc. that are proposed.
- ☐ 9. Location of existing electrical outlets and fixtures and the proposed receptacle within the pool area.
- ☐ 10. Location and type of all proposed pool equipment, electric and gas service.
- ☐ 11. Will pool or spa have a heater and will it be gas or electric? (If gas provide layout and sizing of gas lines.)
- ☐ 12. Show detail of how POOL BARRIER REQUIREMENTS, FBC Section 424.2.17, shall be met on this specific pool.
- ☐ 13. NOTICE TO SWIMMING POOL OWNERS - Include this form signed by the owner and the contractor.

REQUIRED INSPECTIONS:

GROUND: Set-backs from property lines, distance from existing foundations, pool shell structure, bonding of all metal parts, electrical rough-in, main drains and associated piping, distance to glazing.

DECK: Slab reinforcement and deck drains, bonding of all metal equipment and parts, lighting, including potting compound, electrical deck box, suction and return piping under minimum pressure test.

FINAL: Location and installation of all equipment. Barrier requirements as per plan. Electrical receptacles and finished electric hook-ups, Completed piping and valve system, Gas heaters installed and connected to gas lines (if applicable).

Columbia County Building Permit Application

200-00
ck# 2268

For Office Use Only Application # 0803-21 Date Received 3/11 By JW Permit # 26847
Zoning Official afw Date 3/13/08 Flood Zone N/A FEMA Map # --- Zoning RSF-2
Land Use RLD Elevation --- MFE --- River --- Plans Examiner OKJH Date 3-11-08

Comments

☒ NOC ☒ EH ☒ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # ---
☐ Dev Permit # --- ☐ In Floodway ☐ Letter of Authorization from Contractor
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. --- Fax ---

Name Authorized Person Signing Permit JAMES ALLEN Phone 386-867 1017

Address 186 NW Butter milk Glen LC 32055

Owners Name Larry & Theresa Ostendorf Phone 386 288 3484

911 Address 594 SW Kirby Ave LC 32024

Contractors Name Pool & Spa Works James Allen Phone 386-867 1017

Address 186 NW Butter milk Glen LC 32025

Fee Simple Owner Name & Address ---

Bonding Co. Name & Address ---

Architect/Engineer Name & Address --- Linton Eng. Comp. Inc MINNEAPOLIS 34715

Mortgage Lenders Name & Address ---

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 11-45-16-02919-012 Estimated Cost of Construction 29,600

Subdivision Name Kirby Oaks Lot 2 Block --- Unit --- Phase ---

Driving Directions go to 247 South to left on Kirby
2nd house past big tree on right

Number of Existing Dwellings on Property 1

Construction of Swimming Pool Total Acreage --- Lot Size ---

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height ---

Actual Distance of Structure from Property Lines - Front 40ft Side 50ft Side 20ft Rear 120ft

Number of Stories --- Heated Floor Area --- Total Floor Area --- Roof Pitch ---

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

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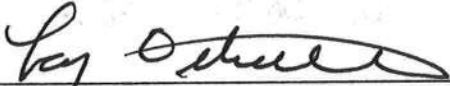
FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permitee)

Contractor's License Number

Columbia County

Competency Card Number

CPL 1457112

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20__.

Personally known ____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

GENERAL DESIGN REQUIREMENTS

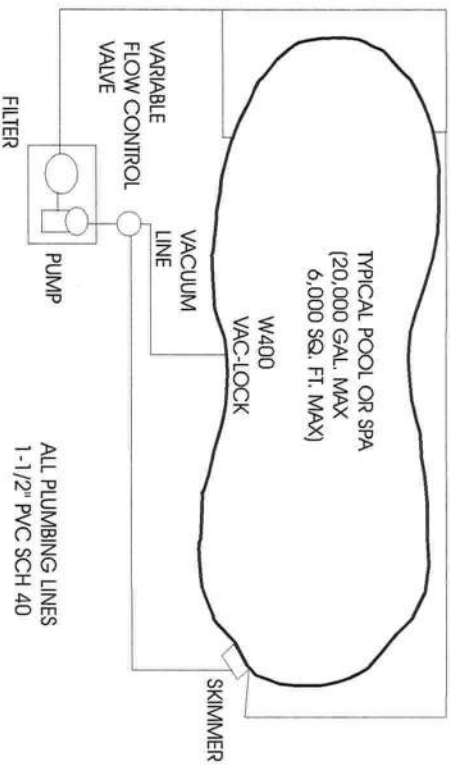
DESIGN DIMENSIONS SHALL COMPLY WITH SPECIFICATIONS IN ANS/NSPI 5 RESIDENTIAL IN-GROUND SWIMMING POOLS BASED ON THE POOL TYPE AND NSPI 3 PERMANENTLY INSTALLED RESIDENTIAL SPAS. SEE ANS/NSPI 5 FOR DIVING WATER ENVELOPES. SLIDS SHALL MEET THE MANUFACTURER'S INSTALLATION REQUIREMENTS. ENTRY/EXIT: SHALL COMPLY WITH ANS/NSPI 5 AND NSPI 3 LADDERS, UNDERWATER SEATS, AND SWIM OUTF'S (MAX 20" BELOW WATER). CIRCULATION SYSTEMS, COMPONENTS AND EQUIPMENT SHALL COMPLY WITH NSF 50. THE MAXIMUM TURNOVER RATE IS 12 HOURS. FILTERS SHALL HAVE AN AIR RELIEF AND PRESSURE GAGE. PUMPS 3 HP AND LESS SHALL MEET ANS/UL1081, CORROSION RESISTANT WITH STRAINER AND MEET THE REQUIRED FLOW. SURFACE SKIMMERS SHALL MEET NSF 50 AND THERE SHALL BE ONE FOR EVERY 800 SQUARE FEET OF SURFACE AREA. RETURN INLETS SHALL BE A MINIMUM OF ONE FOR EVERY 600 SQUARE FEET. HEATERS SHALL MEET ANS/221.56 OR UL1261 OR UL559. DISINFECTANT EQUIPMENT SHALL COMPLY WITH NSF 50. PRESSURE TEST PIPING AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER.

SPECIAL SPA REQUIREMENTS

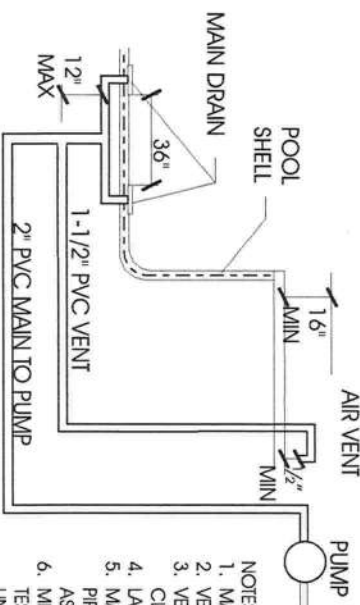
MAXIMUM WATER DEPTH 4', MAXIMUM SEAT DEPTH 28". MAX FLOOR SLOPE 1:12. STEPS: MIN TREAD 10" x 12", 7" MIN. RISER, 12" MAX. RISER EXCEPT THE BOTTOM STEP MAY BE 14" IF IT IS THE SEAT. INTERMEDIATE TREADS AND RISERS TO BE UNIFORM. IF THE SPA IS OPERATED INTERMITTENTLY IT SHALL HAVE A ONE HOUR TURNOVER. IF CONTINUOUS A SIX HOUR TURNOVER. MAXIMUM TEMPERATURE 104 DEGREES. MEET ANS/NSPI ARTICLE XVII SAFETY INSTRUCTIONS/SAFETY SIGNS. PRESSURE TEST PIPING AT 35PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER.

ELECTRICAL REQUIREMENTS

WIRING AND BONDING AND ALL ELECTRICAL TO NEC ART. 680 OR LOCAL CODE. NO OUTLET OR OVERHEAD POWER WITHIN 10' OF POOL. 8" ABOVE WATER, J BOX 4' FROM POOL. BRASS TO J BOX OR TRANSFORMER WHICH EVER IS FIRST EXCEPT WHERE PVC IS APPROVED. EQUIPOTENTIAL BONDING GRID TO BE ACCOMPLISHED PER NEC 2005, SECTION 680.26(C)(3)b.



POOL/SPA MAIN DRAINS WITH AIR VENT



- NOTES:
1. MAIN SUCTION LINE IS TO BE 2"
 2. VENT LINE IS TO BE 1-1/2"
 3. VENT LINE IS TO HAVE SCREENED CAP TO PREVENT CLOGGING WITH DEBRIS OR BUGS.
 4. LABEL VENT: HANDS OFF, POOL SAFETY DEVICE.
 5. MAXIMUM UNDERWATER LENGTH OF VENT PIPE IS 30 FEET. 90 DEGREE BENDS SHOULD BE COUNTED AS 3 FT OF PIPE. 45 DEGREE BENDS AS 2 FT.
 6. MINIMUM PUMP FLOW REQUIRED IS 42 GPM; TEST FLOW RATE OF 60 GPM CLEARED VENT LINE IN LESS THAN 3 SEC.

CALCULATIONS:

MAXIMUM FLOW IN SUCTION LINE IS 6 FPS = 60 gpm
VOLUME OF WATER IN 30 FT x 1.5' DIA VENT LINE = 2.75 gcl.
MINIMUM TIME REQUIRED TO CLEAR LINE.
 $t_{min} = (2.75 \text{ gcl}/60) \times 60 = 2.75 \text{ sec.}$
MINIMUM FLOW RATE REQUIRED TO CLEAR LINE IN 4 SECONDS:
VOLUME OF WATER IN 30 FT x 1.5' DIA VENT LINE = 2.75 gcl.
FLOW TO CLEAR LINE.
 $q_{min} = (2.75 \text{ gcl} / 4 \text{ sec}) \times 60 \text{ sec}/\text{min} = 41.25 \text{ gpm.}$

MAIN DRAINS ARE NOT REQUIRED. POOL MAY BE DRAINED USING VACUUM LINE WITH SKIMMER.

ADDITIONAL NOTES:

1. POOL INSTALLATION SHALL BE BY A QUALIFIED AND LICENSED (APPROVED BY LOCAL BUILDING DEPARTMENT) POOL CONTRACTOR. THE INSTALLATION SHALL CONFORM TO ALL LOCAL BUILDING CODES, IE. PERMITS, SPECIFICATIONS, CODES, RULES, INSPECTIONS, WORKMANSHIP, ETC.
2. TYPICAL PROPERTIES OF A REINFORCED FIBERGLASS POOL:
GLASS CONTENT BY WEIGHT 30-40
TENSILE STRENGTH, PSI AT 77°F 13,400
FLEXURAL STRENGTH, PSI AT 77°F 900,000 - 1,000,000
FLEXURAL MODULUS, PSI X 10 AT 77°F 0.72 - 0.77
1200 IMPACT FT-LBS/ INCH OF NOTCH 5.9
COMPRESSIVE STRENGTH, PSI 25,000 - 38,000
TYPICAL THICKNESS, INCHES 1/4" TO 3/8" AVG
3. POOL SHELL SHALL BEAR ON UNDISTURBED SOIL, FREE OF PEAT, MUCK, OR OTHER DELETERIOUS MATERIAL OF ANY SIGNIFICANT AMOUNT.
4. BACKFILL MATERIAL MUST NOT CONTAIN ROCKS OR OTHER MATERIALS THAT COULD DAMAGE POOL WALLS.
5. POOL TURNOVER SHALL BE 12 HOURS. MAXIMUM WITH CARTRIDGE FILTER - APPROVED PUMP (MIN. 1/4 HP W/ 29 GPM 60 TDH).
6. STEPS SHALL BE PROVIDED AT THE SHALLOW END OF THE POOL. CONVENIENCE GRAB BAR SHALL BE PROVIDED PER INSTALLATION PLAN
7. LADDERS ARE TO BE PROVIDED IN POOLS WITH GREATER THAN 5' DEPTH WITHOUT SWIM OUTF'S.
8. INSTALL LOW VOLTAGE LIGHT AS PER N.E.C. 680.
9. DIVING PLATFORMS OR DIVING BOARDS ARE NOT TO BE INSTALLED ON THESE POOLS EXCEPT FOR THE ST. CROIX POOL PLAN. THIS POOL MEETS THE ANS/NSPI 5-2002 DIVING POOL REQUIREMENTS FOR TYPE 1 & TYPE 2 POOLS.
10. DURING A HURRICANE WARNING OR ALERT, THIS POOL SHALL BE FILLED WITH WATER.
11. THESE POOL PLANS MEET OR EXCEED THE ANS/NSPI 5 2003 RESIDENTIAL INGROUND SWIMMING POOL AND ANS/NSPI 3 1999 PERMANENTLY INSTALLED RESIDENTIAL SPA STANDARDS.
12. ALL GLASS WITHIN 5' OF THE WATER'S EDGE SHALL COMPLY WITH R308.4 (9) FOR SAFETY GLAZING

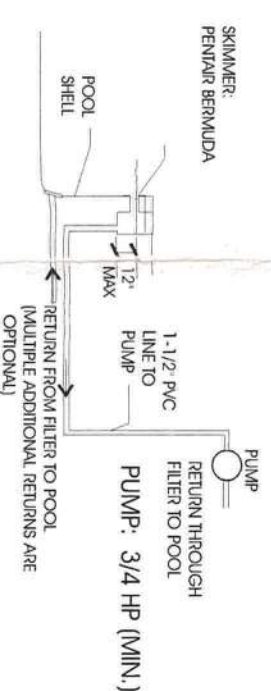
ENGINEERING MEETS:

Florida Building Code - Residential 2004 R4101
w/ 2005 & 2006 Revisions
Florida Building Code - Mechanical 2004
Florida Building Code - Plumbing 2004
Florida Building Code - Fuel Gas 2004
2005 National Electric Code
98-76 Building Construction Administrative Code

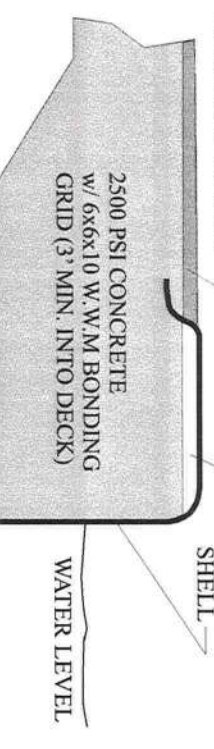
PIPING SIZING CHART (MAXIMUM)

PIPE	SUCTION	PRESSURE
1 1/2"	35 GPM	60 GPM
2"	60 GPM	100 GPM

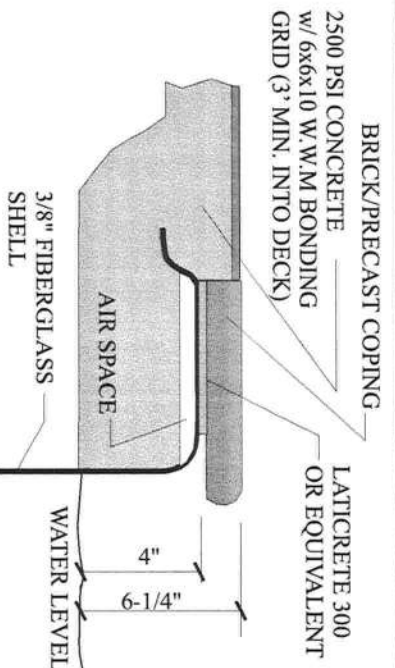
SUCTION PIPEWORK DIAGRAM FOR SKIMMER MAIN RETURN SYSTEM



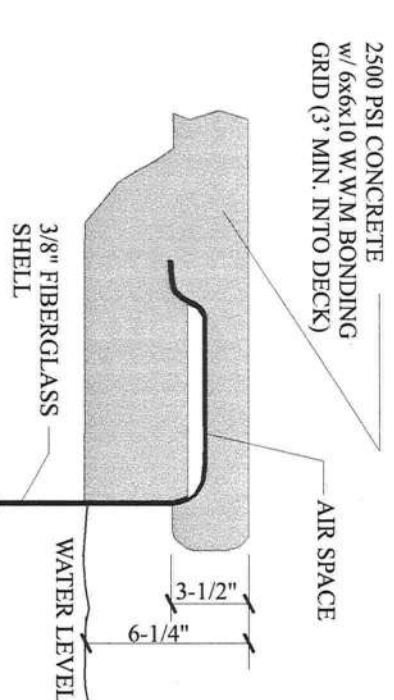
POOL DECK TOPPING



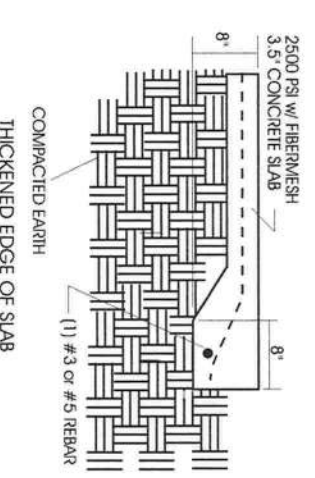
PERIMETER DECK AT POOLSIDE



OPTIONAL BRICK/PRECAST AT POOLSIDE



OPTIONAL CANTILEVER DECK AT POOLSIDE



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