

DATE 08/01/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026080

APPLICANT WILLIAM HARPER PHONE 623.3873

ADDRESS 119 SW HOBBY PLACE LAKE CITY FL 32024

OWNER FREEDOM M/H SALES PHONE 386.752.5355

ADDRESS 143 SW TREY WAY LAKE CITY FL 32024

CONTRACTOR WILLIAM HARPER PHONE 386.623.3873

LOCATION OF PROPERTY 90-W TO C-252,TO C-252,TL TO DEER CREEK S.D. @ WHITETAIL CR,  
TR,GO TO TREY WAY,TR AND IT'S THE 2ND LOT ON L.

TYPE DEVELOPMENT MODULAR/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT 16.00 STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 4'12 FLOOR CONC

LAND USE & ZONING RSF-MH-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.D.U. 0 FLOOD ZONE XPP DEVELOPMENT PERMIT NO.

PARCEL ID 03-4S-16-02732-544 SUBDIVISION DEER CREEK

LOT 44 BLOCK PHASE 3 UNIT TOTAL ACRES

000001428 R282811402

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

18"X32'MITERED X-07-0308 BLK JTH N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE. 1 FOOT ABOVE ROAD.

Check # or Cash 1337

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by

Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by

Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by

Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by

Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by

M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by

Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by

M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ 25.00 TOTAL FEE 300.00

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Ck# 1337

# Columbia County Building Permit Application

For Office Use Only Application # 0707-77 Date Received 7/27/07 By G Permit # LC080/1429  
 Application Approved by - Zoning Official B2K Date 01.08.07 Plans Examiner OKJH Date 7-30-07  
 Flood Zone X Ppt Development Permit N/A Zoning RSF/mh-3 Land Use Plan Map Category RES. MOD DEN

Comments

☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # ☐ Development Permit

Fax 386-752-2571

Name Authorized Person Signing Permit WILLIAM L. HARPER Phone 386-623-3873

Address 119 SW HOBBY PL. LAKE CITY FL. 32024

Owners Name FREEDOM MOBILE HOME SALES Phone 386-752-1432

911 Address 143 SW TREY WAY LAKE CITY, FL 32024

Contractors Name WILLIAM L. HARPER Phone 386-623-3873

Address 119 SW HOBBY PL. LAKE CITY, FL. 32024

Fee Simple Owner Name & Address

Bonding Co. Name & Address

Architect/Engineer Name & Address

Mortgage Lenders Name & Address

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 03-4516-02732-544 Estimated Cost of Construction

Subdivision Name DEER CREEK Lot 44 Block Unit Phase 3

Driving Directions GO HWY 90 WEST TO 252-B, TURN LEFT, GO APPROXIMATELY 1 MILE TO DEER CREEK SUBDIVISION (WHITE TAIL CIR.) TURN RIGHT, GO TO TREY WAY, TURN RIGHT, 2ND LOT ON LEFT.

Type of Construction MOBILE HOME Number of Existing Dwellings on Property 0

Total Acreage 0.363 Lot Size 0.363 Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 69' Side 10' Side 12' Rear 50'

Total Building Height 16' Number of Stories 1 Heated Floor Area 1960 sq ft Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Authorized Person by Notarized Letter

STATE OF FLORIDA  
COUNTY OF COLUMBIA



Amanda L. Grooms  
Commission # DD456564  
Expires August 1, 2009

Sworn to (or affirmed) and subscribed before me this

27 day of July 2007.

Personally known X or Produced Identification

William L. Harper  
Contractor Signature

Contractors License Number RR282811402

Competency Card Number 5616

NOTARY STAMP/SEAL

Amanda L. Grooms

Notary Signature

(Revised Sept. 2006)

Rdc. 18.50  
DC. 1,904.00

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

File No. 05-18

Property Appraiser's  
Parcel Identification No.  
01 4S-16-02732-532

Inst:2005005657 Date:03/10/2005 Time:15:59

Doc Stamp-Deed : 1904.00

B DC, P. Dewitt Cason, Columbia County B: 1040 P: 603

#### WARRANTY DEED

THIS INDENTURE, made this 7th day of March 2005, BETWEEN CLYDE B. MUSGROVE, as Trustee Under The Provisions of That Certain Trust Agreement dated June 24, 1987, whose post office address is 8732 US Highway 90, Live Oak, Florida 32060, of the County of Suwannee, State of Florida, grantor\*, and FREEDOM MOBILE HOME SALES, INC., a Florida corporation, whose post office address is 466 SW Deputy J. Davis Lane, Lake City, Florida 32024, of the County of Columbia, State of Florida, grantee\*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

#### PARCEL NO. 1:

Lot 32 of DEER CREEK SUBDIVISION PHASE 1I, a subdivision according to the plat thereof recorded in Plat Book 7, Pages 11 and 12 of the public records of Columbia County, Florida.

#### PARCEL NO. 2:

Lots 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 72, 74, 76 and 77 of DEER CREEK PHASE 3, a subdivision according to the plat thereof recorded in Plat Book 7, Pages 186 and 187 of the public records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

\*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, scaled and delivered  
in our presence:

Myrtle Ann McElroy  
(First Witness)  
Myrtle Ann McElroy  
Printed Name

DeEtte F. Brown  
(Second Witness)  
DeEtte F. Brown  
Printed Name

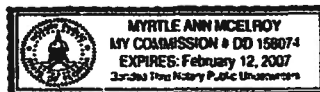
Clyde B. Musgrove (SEAL)  
Clyde B. Musgrove, As Trustee  
Under The Provisions of That  
Certain Trust Agreement dated  
June 24, 1987

Inst:2005005657 Date:03/10/2005 Time:15:59  
Doc Stamp-Deed : 1904.00  
DC,P.Dewitt Cason,Columbia County B:1040 P:604

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 7th day of March 2005, by CLYDE B. MUSGROVE, as Trustee Under The Provisions of That Certain Trust Agreement dated June 24, 1987. He is personally known to me and did not take an oath.

Myrtle Ann McElroy  
Notary Public  
My Commission Expires: \_\_\_\_\_





Survey  
911.**Columbia County Property  
Appraiser**

DB Last Updated: 5/11/2007

Parcel: 03-4S-16-02732-544

Tax Record

Property Card

Interactive GIS Map

Print

**2007 Proposed Values****Owner & Property Info**

Search Result: 1 of 19

Next &gt;&gt;

<b>Owner's Name</b>	FREEDOM MOBILE HOME SALES		
<b>Site Address</b>			
<b>Mailing Address</b>	466 SW DEPUTY J DAVIS LANE LAKE CITY, FL 32024		
<b>Use Desc. (code)</b>	VACANT (000000)		
<b>Neighborhood</b>	3416.00	<b>Tax District</b>	2
<b>UD Codes</b>	MKTA06	<b>Market Area</b>	06
<b>Total Land Area</b>	0.363 ACRES		
<b>Description</b>	LOT 44 DEER CREEK S/D PHASE 3 WD 1040-603.		

**GIS Aerial****Property & Assessment Values**

<b>Mkt Land Value</b>	cnt: (1)	\$30,000.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$30,000.00

<b>Just Value</b>	\$30,000.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$30,000.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$30,000.00

**Sales History**

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
3/7/2005	1040/603	WD	V	Q		\$272,000.00

**Building Characteristics**

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
			NONE			

**Extra Features & Out Buildings**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
						NONE

**Land Breakdown**

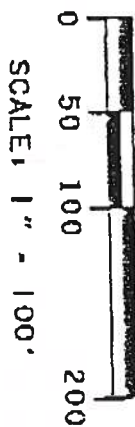
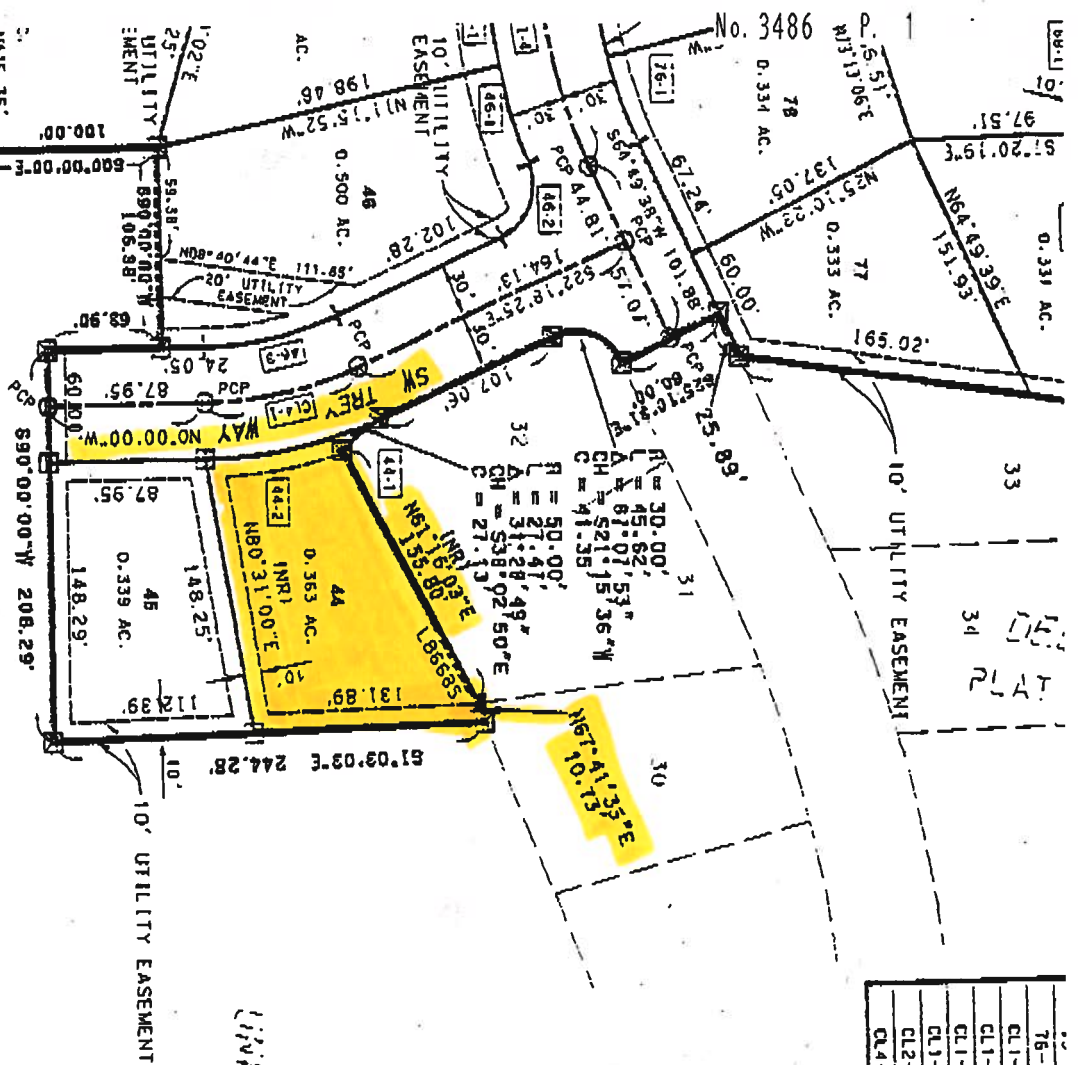
Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	1.000 LT - (.363AC)	1.00/1.00/1.00/1.00	\$30,000.00	\$30,000.00

Columbia County Property Appraiser

DB Last Updated: 5/11/2007

1 of 19

Next &gt;&gt;



76-1	235.00'	11° 55' 21" RT	48.90'	48.81'	S 70° 39' 33" N
CL1-1	230.00'	15° 34' 43" LT	62.54'	62.34'	S 36° 07' 48" W
CL1-2	265.00'	143° 30' 41" LT	663.77'	503.36'	S 43° 24' 59" E
CL1-3	265.00'	107° 02' 54" LT	495.11'	426.18'	S 25° 11' 02" E
CL1-4	265.00'	35° 27' 53" LT	160.66'	155.82'	N 83° 03' 34" E
CL2-1	230.00'	63° 26' 58" RT	254.84'	242.00'	S 29° 55' 05" E
CL4-1	230.00'	22° 18' 25" RT	89.55'	88.98'	S 11° 09' 14" E

**Columbia County Building Department  
Culvert Permit**

**Culvert Permit No.  
000001428**

DATE 08/01/2007 PARCEL ID # 03-4S-16-02732-544

APPLICANT WILLIAM HARPER PHONE 623.3873

ADDRESS 119 SW HOBBY PLACE LAKE CITY FL 32024

OWNER FREEDOM M/H SALES PHONE 386.752.5355

ADDRESS 143 SW TREY WAY LAKE CITY FL 32024

CONTRACTOR WILLIAM HARPER PHONE 386.623.3873

LOCATION OF PROPERTY 90-W TO C-252, TO C-252, TL TO DEER CREEK S.D. @ WHITETAIL CR, TR GO  
TO TREY WAY, TR 2ND LOT ON L.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT DEER CREEK 44 3

SIGNATURE



**INSTALLATION REQUIREMENTS**



Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
  - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.



Culvert installation shall conform to the approved site plan standards.



Department of Transportation Permit installation approved standards.



Other \_\_\_\_\_

**ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED  
DURING THE INSTALLATION OF THE CULVERT.**

135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055

Phone: 386-758-1008 Fax: 386-758-2160

**Amount Paid 25.00**



**COLUMBIA COUNTY 9-1-1 ADDRESSING**

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1363 \* Email: ron\_croft@columbiacountyfla.com

**Addressing Maintenance**

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 7/27/2007 DATE ISSUED: 7/30/2007

**ENHANCED 9-1-1 ADDRESS:**

143 SW TREY WAY

LAKE CITY FL 32024

**PROPERTY APPRAISER PARCEL NUMBER:**

03-4S-16-02732-544

**Remarks:**

LOT 44 DEER CREEK S/D PHASE 3

Address Issued By:

  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

Approved Address

JUL 30 2007

911Addressing/GIS Dept

873



0120.  
NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

**\*\*\*THIS DOCUMENT MUST BE RECORDED AT THE COUNTY CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.\*\*\***

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 03-45-16-02732-544.

1. Description of property: (legal description of the property and street address or 911 address)

Lot 44 Deer Creek S/D Phase 3  
WD 1040-603

Inst:200712016242 Date:7/20/2007 Time:9:43 AM

DC,P.DeWitt Cason ,Columbia County Page 1 of 1

2. General description of Improvement: Putting a modular home on the  
Property

3. Owner Name & Address First Coast Mobile Home Sales 3909 US Hwy 90W  
Lake City FL 32055 Interest in Property \_\_\_\_\_

4. Name & Address of Fee Simple Owner (if other than owner): \_\_\_\_\_

5. Contractor Name W.L. Herper Construction, Inc Phone Number 386-752-2571  
Address 119 SW Hobby Pl Lake City FL 32024

6. Surety Holders Name \_\_\_\_\_ Phone Number \_\_\_\_\_

Address \_\_\_\_\_

Amount of Bond \_\_\_\_\_

7. Lender Name \_\_\_\_\_ Phone Number \_\_\_\_\_

Address \_\_\_\_\_

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name \_\_\_\_\_ Phone Number \_\_\_\_\_

Address \_\_\_\_\_

9. In addition to himself/herself the owner designates \_\_\_\_\_ of

\_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee \_\_\_\_\_

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) \_\_\_\_\_

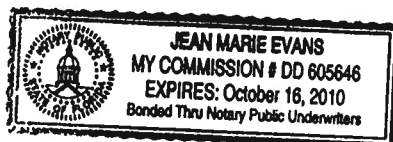
**NOTICE AS PER CHAPTER 713, Florida Statutes:**

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Jason Floyd  
Signature of Owner

Sworn to (or affirmed) and subscribed before  
day of July 16th, 2007

NOTARY STAMP/SEAL



[Signature]  
Signature of Notary

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

## Florida Department of Community Affairs Residential Whole Building Performance Method A

<b>Project Name:</b>	<b>MOD-258</b>	<b>Builder:</b>	<b>JACOBSEN HOMES</b>
<b>Address:</b>	<b>136 SW DEPUTY J DAVIS LANE</b>	<b>Permitting Office:</b>	<b>COLUMBIA COUNTY</b>
<b>City, State:</b>	<b>LAKE CITY, FL 32024-</b>	<b>Permit Number:</b>	
<b>Owner:</b>	<b>CORBETTS MH SALES</b>	<b>Jurisdiction Number:</b>	<b>221200</b>
<b>Climate Zone:</b>	<b>North</b>		

1. New construction or existing	New	<input checked="" type="checkbox"/>	12. Cooling systems	
2. Single family or multi-family	Single family	<input checked="" type="checkbox"/>	a. PTAC and Room Unit	Cap: 36.0 kBtu/hr EER: 13.00
3. Number of units, if multi-family	1	<input checked="" type="checkbox"/>	b. N/A	
4. Number of Bedrooms	3	<input checked="" type="checkbox"/>	c. N/A	
5. Is this a worst case?	Yes	<input checked="" type="checkbox"/>	13. Heating systems	
6. Conditioned floor area (ft²)	1952 ft²	<input checked="" type="checkbox"/>	a. Electric Strip	Cap: 36.0 kBtu/hr COP: 1.00
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)			b. N/A	
a. U-factor:	Description Area		c. N/A	
(or Single or Double DEFAULT) 7a. (Dble, U=0.3)	138.4 ft²	<input checked="" type="checkbox"/>	14. Hot water systems	
b. SHGC:			a. Electric Resistance	Cap: 40.0 gallons EF: 0.93
(or Clear or Tint DEFAULT) 7b. (Clear)	270.5 ft²	<input checked="" type="checkbox"/>	b. N/A	
8. Floor types			c. Conservation credits	
a. Raised Wood, Stern Wall	R=11.0, 1952.0ft²	<input checked="" type="checkbox"/>	(HR-Heat recovery, Solar DHP-Dedicated heat pump)	
b. N/A			15. HVAC credits	PT, <input type="checkbox"/>
c. N/A			(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)	
9. Wall types				
a. Frame, Wood, Exterior	R=19.0, 1209.0 ft²	<input checked="" type="checkbox"/>		
b. N/A				
c. N/A				
d. N/A				
e. N/A				
10. Ceiling types				
a. Under Attic	R=30.0, 1962.0 ft²	<input checked="" type="checkbox"/>		
b. N/A				
c. N/A				
11. Ducts				
a. Sup: Uno. Ret: Uno. AH: Interior	Sup. R=6.0, 234.8 ft	<input checked="" type="checkbox"/>		
b. N/A				

Glass/Floor Area: 0.14

Total as-built points: 27305

Total base points: 27362

**PASS**

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Paul S. Howard

DATE: 5-19-06

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: Mike J. J. J.

DATE: 5-19-06

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.905 Florida Statutes.

BUILDING OFFICIAL: Charles A. J. J.

DATE: 5/31/06 Shp-015



<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLRCSB v4.0)

PLAN# NLT-68-MDD-258

# Summary Energy Code Results

## Residential Whole Building Performance Method A

CORBETTS MH SALES  
136 SW DEPUTY J DAVIS LANE  
LAKE CITY, FL 32024

Project Title:  
MOD-258

Class 3 Rating  
Registration No. 0  
Climate: North

5/19/06

Building Loads			
Base		As-Built	
Summer:	24838 points	Summer:	29944 points
Winter:	14123 points	Winter:	9960 points
Hot Water:	7273 points	Hot Water:	7273 points
Total:	46234 points	Total:	47176 points

Energy Use			
Base		As-Built	
Cooling:	10596 points	Cooling:	8489 points
Heating:	8861 points	Heating:	10996 points
Hot Water:	7905 points	Hot Water:	7820 points
Total:	27362 points	Total:	27305 points

**PASS**  
e-Ratio: 1.00

APPROVED BY  
 MAY 31 2008  
NIA INC.

# APPLICATION ENGINEERING FOR HEATING AND COOLING

**JACOBSEN HOMES**  
901 4th St North  
Safety Harbor, FL 34685

Manufacturer's Model #: MCL-48810-258  
HVAC System Type: OVERHEAD RADIAL FLEX FOR EXT PACKAGE HP

Prepared By LaSalle-Air Systems 05/18/06 (Method & Output C 2006)  
All rights reserved: this information proprietary to LaSalle Bristol Co. & clients.

Calculations on this page are based on design parameters set forth in ASHRAE and ACCA Manuals J and D.  
Design calculations are based on worst case orientation. Room loads may vary based on actual conditions.

## ENTIRE HOUSE VALUES - DESIGN ZONE: Columbia, FL- NORTH

COOLING LOAD: 32,263 BTUH based on outside temp of 94°F with inside temp reduced to 75°F.

HEATING LOAD: 37,629 BTUH based on outside temp of 19°F with inside temp raised to 70°F.

## CONSTRUCTION DETAILS & U FACTORS (11-19-30)

OVERALL HOME SIZE:	66.00 X 28.63	TOTAL FLOOR AREA:	1,960.67 s.f.
AVG CEILING HEIGHT:	96.00 in.	ROOF:	0.036
TRUE OUTSIDE PERIMETER:	199.67 ft	WALLS:	0.061
NET WALL AREA:	1,259.22 s.f.	FLOOR:	0.167
TOTAL WINDOW AREA:	212.63 s.f.	CEILING DUCTS:	0.167
TOTAL WINDOW AREA:	40.00 s.f.	EXTERNAL DUCTS:	0.167
WINDOW, % of floor:	12.90%	CLG DUCT AREA:	81.3 s.f.
TOTAL DOOR AREA:	43.28 s.f.	EXT DUCT AREA:	149.2 s.f.
		DOORS:	0.400
		PEOPLE:	4
		LAT. GAIN:	2707.6
		DUCT GAIN/LOSS:	2970.2/3781.6
		SUN/WIN INFIL:	104.0/259.0 CFM

## ROOM BY ROOM VALUES

Heat loss, heat gain and CFM requirements based on cooling equipment design standards.

Duct design values when connected to standard residential equipment.

Calibrated Blower Test @ .30 in. W.C.

ROOM NAME	HEATING BTUH LOSS	COOLING BTUH GAIN	CFM DISE	CFM	COOLING BTUH	CFM	COOLING BTUH
Kitchen	2,944	1,719	80	104	3,120	125	4,200
Dining Room	4,541	3,378	118	104	3,120	125	4,200
Bedroom #1	4,659	3,847	134	253	7,650	270	9,000
Bath #2	2,764	1,554	54	108	3,240	117	3,900
W.I.C.	1,318	818	19	0	0	0	0
LIVING ROOM	4,460	3,432	120	223	6,690	240	8,000
BEDROOM #2	2,462	1,974	68	119	3,570	134	4,467
BATH #1	1,054	415	14	61	1,630	75	2,500
BEDROOM #3	2,366	1,949	68	107	3,210	123	4,100
BONUS	2,547	910	32	98	2,840	101	3,367
FAMILY ROOM	9,514	12,567	439	404	12,120	495	14,559
TOTALS:	37,629	32,263	1,126	1,683	47,400	1,748	30,267

Failure to install heating or cooling equipment that produces the Total Design CFM for this house may result in an unbalanced duct system.

APPROVED BY

**NIA** INC. MAY 31 2006

# DUCT AIR FLOW AND SIZING WORKSHEET (MANUAL D)

Manufacturer: JACOBSEN HOMES  
901 4th Street N.  
Safety Harbor, FL

Model #: MCL-46810-258  
System Type: Overhead Radial Flex for Ext Package  
Design Zone: FL-North

*Prepared by LaSalle Air System 05/18/2006 All rights reserved. This information proprietary to LaSalle Bristol Co. and clients.  
Calculations include factors for duct air temperature change and pressure drops through ducts. All joints are tightly fitted or sealed.*

37629 btuh Total Heat Loss      Blower CFM 1252 @ 0.8 E.S.P.  
32263 btuh Total Heat Gain      TEL= 459  
FR= 0.107 (AVC Coil Included)

## ROOM-BY-ROOM ANALYSIS

	Trunk #	Metal Duct (ft)	F. Glass Duct (ft)	Flex Duct (ft)	Bends/ Fittings (ft)	Total Eq. Length	Heat Load Btuh	Cool Load Btuh	Heat Load cfm	Cool Load cfm	Design Round Size (I.d.)	Rect Size (I.d.)	x	User Input	
														Final Size (I.d.)	Final Velocity fpm
M. BEDROOM	6			55	260	315	4659	3847	43	79	79	5.25	0	8.0	225.1
	5			62	260	322			43	80	80	5.33	0	8.0	229.4
M. BATH	3			69	335	394	2764	1554	52	65	65	5.09	0	8.0	333.5
LIVING ROOM	3			34	250	284	4450	3432	40	66	66	4.74	0	8.0	337.5
	3			44	325	369			41	69	69	5.14	0	8.0	352.9
KITCHEN	4			26	175	201	2944	1719	51	64	64	4.36	0	8.0	325.5
DINING ROOM	4			39	175	214	4541	3379	81	130	130	6.07	0	8.0	680.5
BATH #1	1			31	175	206	1054	415	19	18	18	2.21	0	4.0	212.4
BEDROOM #2	1			24	175	199	2452	1974	43	73	73	4.84	0	8.0	372.0
BEDROOM #3	2			36	250	286	2386	1948	43	76	76	5.07	0	8.0	387.0
BONUS ROOM	2			46	260	306	2547	910	46	36	46	4.04	0	8.0	235.4
FAMILY ROOM	4			37	175	212	8514	12587	75	240	240	7.75	0	8.0	687.5
	4			46	175	221			76	245	245	7.87	0	8.0	703.1
W.I.C.							1318	518							

	37629	32263	652	1240	1252										
TRUNK #1	20	105	125	12483	10686		415	8.78	0		12.0	528.2			
TRUNK #2	34	190	224	3672	3148		122	5.96	0		8.0	350.1			
TRUNK #3	30	190	220	6040	5179		201	7.29	0		10.0	368.6			
TRUNK #4	20	105	125	25166	21677		838	10.96	0		12.0	1066.5			
TRUNK #5	45	190	235	4767	4087		169	6.21	0		10.0	290.9			
LONGEST RETURN DUCT	15	50	65				1252	14.48	19	19	20.6	499.6			

APPROVED BY

**NIA** INC.

MAY 31 2008



# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: 136 SW DEPUTY J DAVIS LANE, LAKE CITY, FL, 32024-

PERMIT #:

BASE				AS-BUILT									
GLASS TYPES													
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Omt Len Hgt			Area X SPM X SOF = Points					
.18	1952.0	20.04	7041.3	Double,U=0.35,Clear	SW	0.8	4.0	7.7	42.85	0.93	305.4		
				Double,U=0.35,Clear	SW	0.8	6.2	56.1	42.85	0.99	2371.3		
				Double,U=0.35,Clear	NW	1.1	12.2	40.0	28.87	1.00	1151.3		
				Double,U=0.35,Clear	NW	1.1	8.1	12.8	28.87	0.99	365.6		
				Double,U=0.35,Clear	NE	0.8	6.2	138.4	32.37	0.99	4428.0		
				Double,U=0.35,Clear	NE	0.8	4.0	8.5	32.37	0.95	260.8		
				Double,U=0.35,Clear	NE	1.5	6.0	7.0	32.37	0.92	208.6		
				As-Built Total:			270.5			9090.9			
WALL TYPES Area X BSPM = Points				Type	R-Value			Area X SPM = Points					
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	19.0			1209.0	0.90	1088.1			
Exterior	1209.0	1.70	2055.4										
Base Total:		1209.0	2055.4	As-Built Total:			1209.0			1088.1			
DOOR TYPES Area X BSPM = Points				Type	Area X SPM = Points								
Adjacent	0.0	0.00	0.0	Exterior Insulated				21.8	4.10	89.3			
Exterior	36.5	6.10	222.9	Exterior Insulated				14.8	4.10	60.6			
Base Total:		36.5	222.9	As-Built Total:			36.5			149.8			
CEILING TYPES Area X BSPM = Points				Type	R-Value			Area X SPM X SCM = Points					
Under Attic	1952.0	1.73	3377.0	Under Attic	30.0			1952.0	1.73 X 1.00	3394.3			
Base Total:		1952.0	3377.0	As-Built Total:			1952.0			3394.3			
FLOOR TYPES Area X BSPM = Points				Type	R-Value			Area X SPM = Points					
Slab	0.0(p)	0.0	0.0	Raised Wood, Stem Wall	11.0			1952.0	-1.90	-3708.8			
Raised	1952.0	-3.99	-7788.5										
Base Total:			-7788.5	As-Built Total:			1952.0			-3708.8			
INFILTRATION Area X BSPM = Points				Area X SPM = Points									
		1952.0	10.21					1952.0	10.21	19929.9			

APPROVED BY  
MAY 31 2008  
**NIA** INC.

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: 136 SW DEPUTY J DAVIS LANE, LAKE CITY, FL, 32024-

PERMIT #:

BASE				AS-BUILT						
Summer Base Points: 24837.9				Summer As-Built Points: 29944.2						
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	=	Cooling Points
24837.9	0.4266		10595.8	<small>(sys 1: PTAC and Room Unit 96000 btuh, SEER/EFF(13.0) Ducts:Unc(S),Unc(R),int(AH),R6.0(INS)</small> 29944 1.00 (1.09 x 1.147 x 0.91) 0.262 0.950 8489.4 <b>29944.2 1.00 1.138 0.262 0.950 8489.4</b>						

APPROVED BY  
 MAY 31 2006

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: 136 SW DEPUTY J DAVIS LANE, LAKE CITY, FL, 32024-

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Omt Len Hgt			Area X WPM X WOF = Points			
.18	1952.0	12.74	4476.3	Double,U=0.35,Clear	SW	0.8	4.0	7.7	1.35	1.04	10.8
				Double,U=0.35,Clear	SW	0.8	8.2	58.1	1.35	1.01	76.8
				Double,U=0.35,Clear	NW	1.1	12.2	40.0	8.68	1.00	348.9
				Double,U=0.35,Clear	NW	1.1	8.1	12.8	8.68	1.00	111.0
				Double,U=0.35,Clear	NE	0.8	8.2	138.4	8.02	1.00	1109.3
				Double,U=0.35,Clear	NE	0.8	4.0	8.5	8.02	1.00	68.4
				Double,U=0.35,Clear	NE	1.5	6.0	7.0	8.02	1.01	58.5
				As-Built Total:		270.5			1779.9		
WALL TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	19.0			1209.0	2.20	2659.9	
Exterior	1209.0	3.70	4473.4								
Base Total:	1209.0		4473.4	As-Built Total:		1209.0			2659.9		
DOOR TYPES Area X BWPM = Points				Type	Area X WPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Insulated				21.8	8.40	182.9	
Exterior	38.5	12.30	449.4	Exterior Insulated				14.8	8.40	124.1	
Base Total:	38.5		449.4	As-Built Total:		36.6			306.9		
CEILING TYPES Area X BWPM = Points				Type	R-Value			Area X WPM X WCM = Points			
Under Attic	1952.0	2.05	4001.6	Under Attic	30.0			1952.0	2.05 X 1.00	4022.1	
Base Total:	1952.0		4001.6	As-Built Total:		1952.0			4022.1		
FLOOR TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Slab	0.0(p)	0.0	0.0	Raised Wood, Stem Wall	11.0			1952.0	1.20	2342.4	
Raised	1952.0	0.96	1873.9								
Base Total:			1873.9	As-Built Total:		1952.0			2342.4		
INFILTRATION Area X BWPM = Points				Area X WPM = Points							
	1952.0	-0.59	-1151.7	1952.0 -0.59 -1151.7							

APPROVED BY


 MAY 31 2008

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: 136 SW DEPUTY J DAVIS LANE, LAKE CITY, FL, 32024-

PERMIT #:

BASE			AS-BUILT							
Winter Base Points: 14123.0			Winter As-Built Points: 9959.5							
Total Winter X Points	System = Multiplier	Heating Points	Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points							
			(System - Points)		(DM x DSM x AHU)					
			(sys 1: Electric Strip 36000 btuh ,EFF(1.0) Ducts:Unc(S),Unc(R),Int(AH),R8.0							
14123.0	0.6274	8860.8	9959.5	1.000	(1.000 x 1.169 x 0.93)	1.000	0.950	10996.0		
			9959.5	1.00	1.162	1.000	0.950	10996.0		

APPROVED BY

MAY 31 2008


 NIA INC.

# WATER HEATING & CODE COMPLIANCE STATUS

## Residential Whole Building Performance Method A - Details

ADDRESS: 136 SW DEPUTY J DAVIS LANE, LAKE CITY, FL, 32024-

PERMIT #:

BASE				AS-BUILT					
WATER HEATING									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X Tank Ratio	Multiplier X Credit	= Total Multiplier
3		2635.00	7905.0	40.0	0.93	3	1.00	2608.67	1.00 7820.0
				As-Built Total:					7820.0

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	
10596		8861		7905		27362	
				8489		10996	
				7820		27305	

PASS

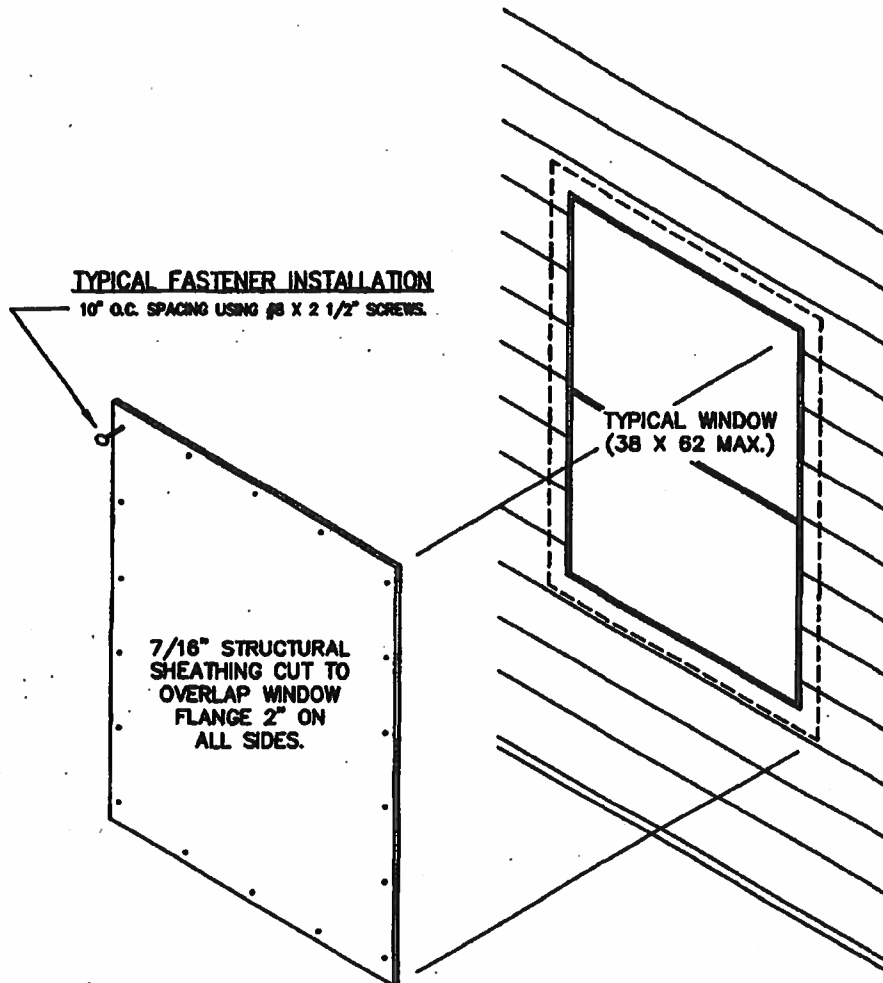


APPROVED BY

MAY 31 2008



# **WINDOW WIND BLOWN DEBRIS PROTECTION** (140 M.P.H.)



Moo 258

FLORIDA BUILDING CODE 2004

**NOTES:**

1. 7/16" SHEATHING & #8 X 2 1/2" SCREWS ARE SUPPLIED WITH YOUR HOME.
2. AFTER REMOVING SHEATHING AND SCREWS WHEN THEY ARE NO LONGER NEEDED, STORE THEM AWAY FOR FUTURE USE.
3. ALL HOLES IN THE EXTERIOR SIDING MUST BE SEALED WITH A SILICONE BASED CAULK TO PREVENT WATER DAMAGE TO SHEATHING BELOW.
4. THIS METHOD OF WINDOW WIND BLOWN DEBRIS PROTECTION IS APPLICABLE WITH WIND SPEEDS TO 140 MPH MAXIMUM.

ENGINEER APPROVAL:

*[Signature]*  
5-26-06

THIRD PARTY APPROVAL:

APPROVED BY  
MAY 31 2006  
**NIA INC.**



**JACOBSEN HOMES**

P.O. BOX 368  
SAFETY HARBOR, FLORIDA 34895  
PHONE (813) 728-1138

**NOTICE:**

THESE SPECIFICATIONS AND DRAWINGS ARE ORIGINAL, PROPRIETARY, AND CONFIDENTIAL MATERIALS OF JACOBSEN MANUFACTURING INC. SUCH MATERIALS ARE PROVIDED TO THE RECIPIENT FOR SPECIFIC PURPOSES AND MUST BE KEPT CONFIDENTIAL AND SECRET FROM OTHERS.

DRAWN BY:

M.T.

DATE:

05-18-06

REV. LETTER:

A

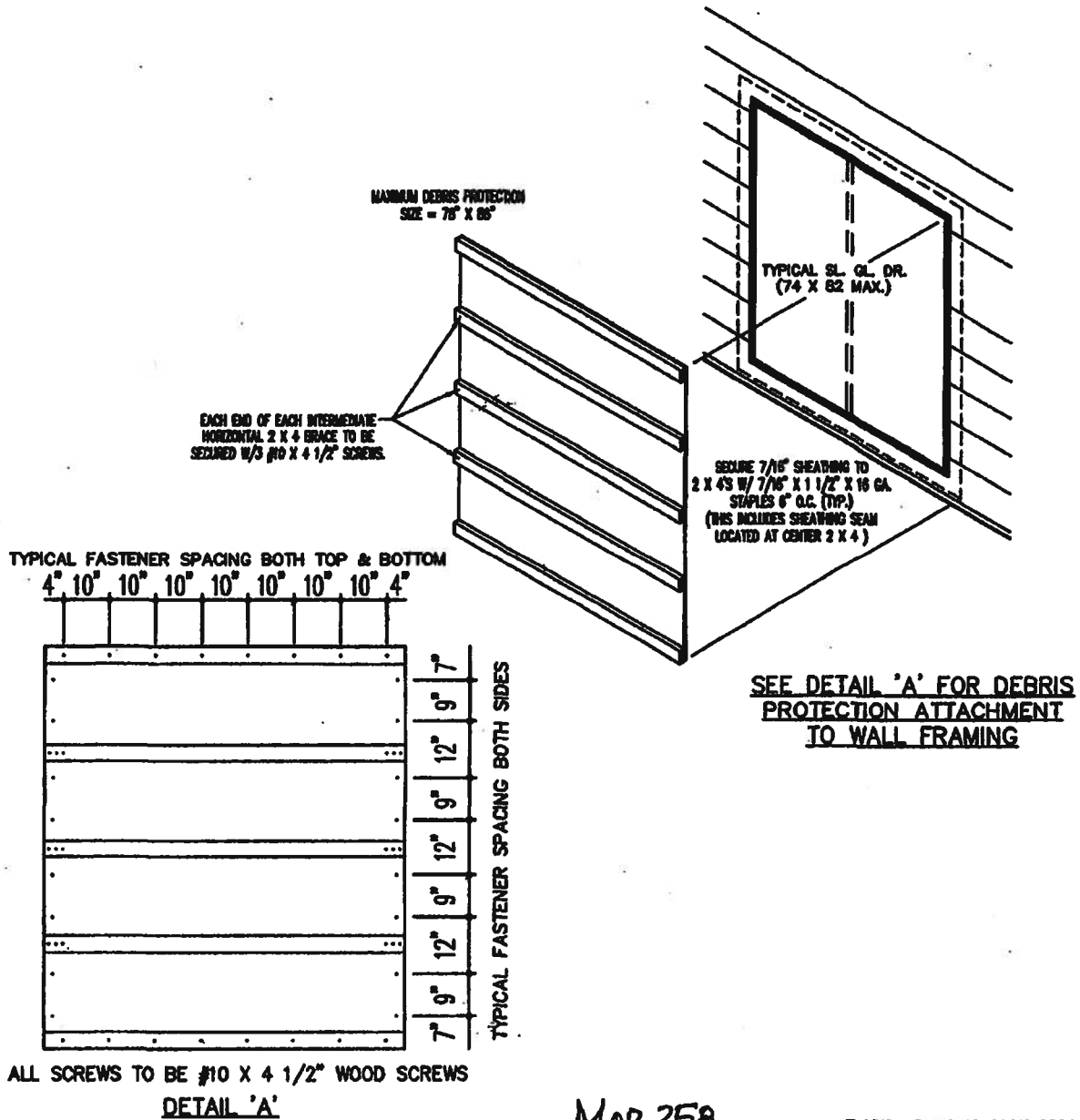
DRAWING TITLE:

WIND BLOWN DEBRIS PROTECTION

DRAWING NUMBER:

MEX-02-002

# SL. GL. DR. WIND BLOWN DEBRIS PROTECTION (150 M.P.H.)



## NOTES:

1. PROTECTION ASSEMBLY & #10 X 4 1/2" SCREWS ARE SUPPLIED WITH YOUR HOME.
2. AFTER REMOVING ASSEMBLY AND SCREWS WHEN THEY ARE NO LONGER NEEDED, STORE THEM AWAY FOR FUTURE USE.
3. ALL HOLES IN THE EXTERIOR SIDING MUST BE SEALED WITH A SILICONE BASED CAULK TO PREVENT WATER DAMAGE TO SHEATHING BELOW.
4. THIS METHOD OF WINDOW WIND BLOWN DEBRIS PROTECTION IS APPLICABLE WITH WIND SPEEDS TO 150 MPH MAXIMUM.

ENGINEER APPROVAL:

*Handwritten signature*  
5-26-06

FLORIDA BUILDING CODE 2004

ENGINEER APPROVAL:

APPROVED BY  
MAY 31 2006  
**NTA INC.**



**JACOBSEN HOMES**

P.O. BOX 368  
SAFETY HARBOR, FLORIDA 34695  
PHONE (727) 728-1138

## NOTICE:

THESE SPECIFICATIONS AND DRAWINGS ARE ORIGINAL, PROPRIETARY, AND CONFIDENTIAL MATERIALS OF JACOBSEN MANUFACTURING INC. SUCH MATERIALS ARE PROVIDED TO THE REQUESTOR FOR SPECIFIC PURPOSES AND MUST BE KEPT CONFIDENTIAL AND SECRET FROM OTHERS.

DRAWN BY:

M.T.

DATE:

01-10-06

REV. LETTER:

—

DRAWING TITLE:

WIND BLOWN DEBRIS PROTECTION

DRAWING NUMBER:

MEX-02-003



STATE OF FLORIDA  
**DEPARTMENT OF COMMUNITY AFFAIRS**

*"Dedicated to making Florida a better place to call home"*

JEB BUSH  
Governor

THADDEUS L. COHEN, AIA  
Secretary

Certification Number: MFT-68  
Manufacturer: Jacobsen Homes  
Address: P. O. Box 368  
Safety Harbor, Florida 34695

Expiration: November 09, 2007

Certified for Manufacturing: Residential Dwellings

This will confirm that Jacobsen Homes is certified to manufacture manufactured (modular) buildings, as defined by Rule Chapter 9B-1, FAC, and Chapter 553, Part I, FS, for location or sale in the State of Florida. The condition of this certification is limited to authorization specified in the above references. Each building shall bear a State Insignia located on the electrical panel box cover.

This certification renewal shall be for a period of three years, as indicated above. The manufacturer will receive a renewal notice by E-mail, generated by the Building Code Information System (BCIS) 90 days prior to expiration of this notice. The manufacturer must submit the information required in s. 553.381 F.S. and Rule Chapter 9B-1.007 FAC online at [www.floridabuilding.org](http://www.floridabuilding.org).

If you have questions regarding licensing requirements for site-related permits for installation of manufactured buildings, you may contact us, your local building department or the Department of Business and Profession Regulations at (850) 487-1395.

Sincerely,

Michael D. Ashworth  
Program Manager  
Manufactured Buildings Program  
Building Codes & Standards  
Phone: 850-922-6075  
FAX: 850-414-8436

cc:NTA

2555 SHUMARD OAK BOULEVARD • TALLAHASSEE, FLORIDA 32399-2100  
Phone: 850.488.8466/Suncom 278.8466 FAX: 850.921.0781/Suncom 291.0781  
Internet address: <http://www.dca.state.fl.us>

CRITICAL STATE CONCERN FIELD OFFICE  
2796 Overseas Highway, Suite 212  
Marathon, FL 33050-2227  
(305) 289-2402

COMMUNITY PLANNING  
2555 Shumard Oak Boulevard  
Tallahassee, FL 32399-2100  
(850) 488-2356

EMERGENCY MANAGEMENT  
2555 Shumard Oak Boulevard  
Tallahassee, FL 32399-2100  
(850) 413-9969

HOUSING & COMMUNITY DEVELOPMENT  
2555 Shumard Oak Boulevard  
Tallahassee, FL 32399-2100  
(850) 488-7956



**GERMANIC COMPANY**  
OF

**M/H OCCUPANCY**

**COLUMBIA COUNTY, FLORIDA**

**Department of Building and Zoning Inspection**

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 03-4S-16-02732-544

Building permit No. 000026080

Permit Holder **WILLIAM HARPER**

Owner of Building **FREEDOM M/H SALES**

Location: **143 SW TREY WAY, LAKE CITY, FL 32024**

Date: **10/27/2011**

*Gayle Ann*

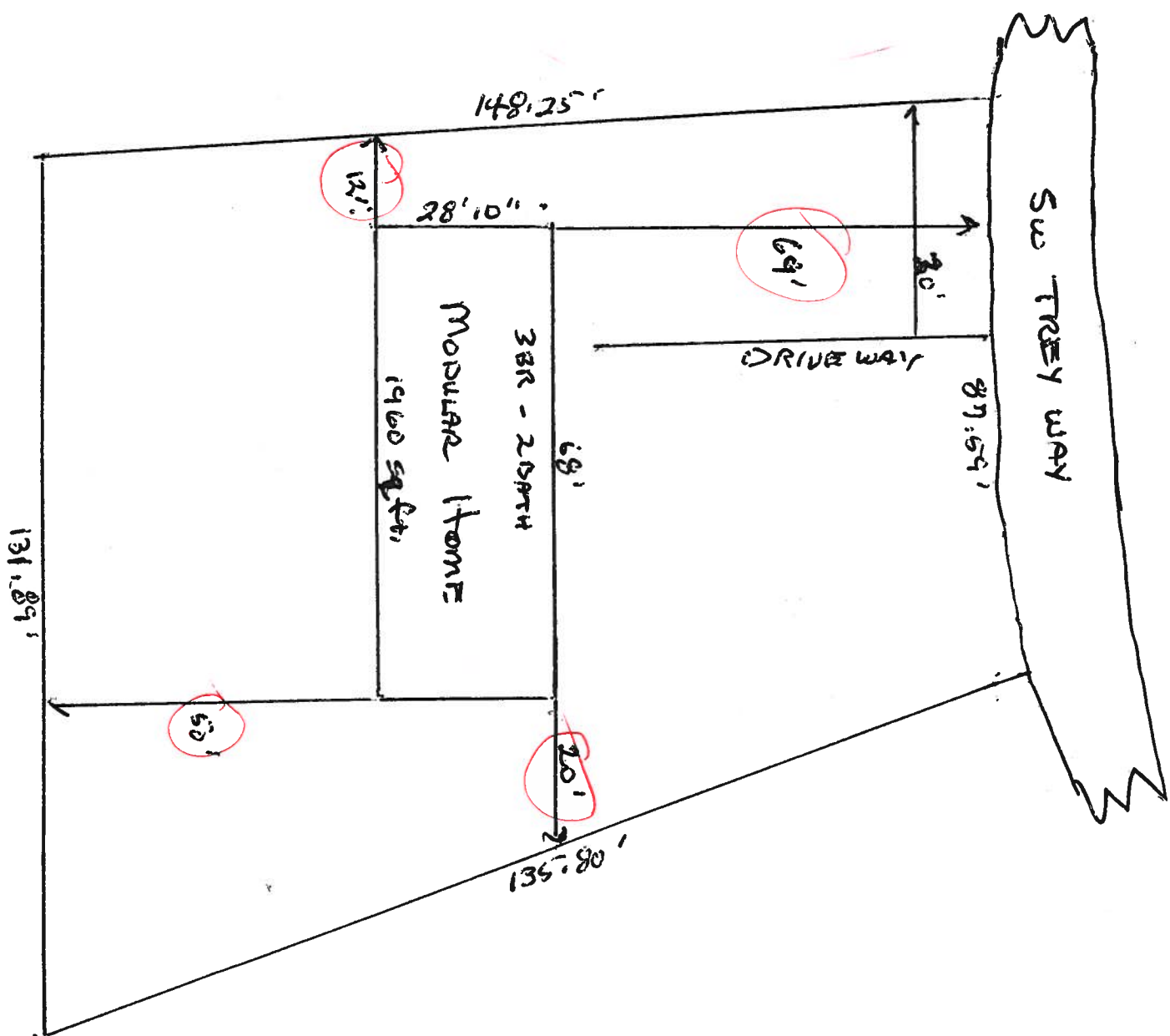
Building Inspector

**POST IN A CONSPICUOUS PLACE**  
**(Business Places Only)**



SITE PLAN

OWNER: FIRST COAST MOBILE HOME SALES  
CONTRACTOR: WILLIAM L. KARDER  
SCALE: 1" = 25'



NORTH



**600 Packard Court    Safety Harbor, Florida    34695    Phone (727) 726-1138**

**NTA INC.**

**ITEMS INSTALLED BY OTHERS** (SUBJECT TO LOCAL CODES)

DATE 3/21/62 CERT. NO. SWF-013

## SUPPLY AND PLUMBING WASTE LINES

## FOUNDATION BLOCKING AND TIE-DOWNS

### FRONT & REAR STEPS AND/OR LANDINGS

**ELECTRICAL HOOK UP TO PANEL BOX**

# FLOOR

## PRE-BUILT TRANSPORT

**FLOOR JOISTS: 2 X 10 SPF #2 @ 16" O.C.**

**DECKING: 19/32" PLYWOOD OR O.S.B.**

**INSULATION: R-11**

APPROVED BY CHARLES A. OSTERDAY, J.

**(signature)**

# DOOR SCHEDULE

(38) = 36" SLIDING DOOR	(28) = 26" SLIDING DOOR	(538) = 36" SLIDING DOOR	(158) = DEL. 36" SLIDING DOORS	(628) = DEL. 26" SLIDING DOORS	(64) = 24" B-FOLD DOOR	(74) = 48" B-FOLD DOORS
(32) = 32" SLIDING DOOR	(24) = 24" SLIDING DOOR	(528) = 26" SLIDING DOOR	(122) = DEL. 32" SLIDING DOORS	(624) = DEL. 24" SLIDING DOORS	(68) = 30" B-FOLD DOOR	(78) = 60" B-FOLD DOORS
(20) = 30" SLIDING DOOR	(18) = 16" SLIDING DOOR	(524) = 24" SLIDING DOOR	(108) = DEL. 30" SLIDING DOORS	(118) = DEL. 16" SLIDING DOORS	(62) = 36" B-FOLD DOOR	(72) = 72" B-FOLD DOORS

# WALLS-WINDOWS-DOORS

EXT. STUDS: 2 X 6 SPF #3 @ 16" O.C.	BOTTOM PLATE: 2 X 6 SPF #3	INSULATION: R-19	INT. DOORS: HOLLOW CORE	* ALL GLASS IN DOORS AND WITHIN 24" OF DOORS AND IN HALLWAYS MUST BE EJECTA ALARM
TOP PLATE: 2 X 6 SPF #3	SHEATHING: 3/8" PLYWOOD OR OSB	EXT. DOORS: /SOLID/GLASS	WINDOWS: DOUBLE PANE TINTED	

# EXTERIOR COVERING AND ROOF

SIDING: VENT LIP SIDING	DECALS: NTA/DCA	TRUSS: 16" O.C. MONO TRUSSES	INSULATION: R-30	-
BOTTOM TRIM: NONE	SPECIAL: METAL TRIM WINDOWS & DOORS	ROOF DECKING: SHEATHING	TIE DOWNS PER FOUNDATION SPEC.	-
TOP TRIM: NONE	ROOFING: FIBERGLASS SHINGLES	CEILING: 1/2" TEXTURED GYP.	-	-

# A/C & HEAT

INSTALLATION: BY OTHERS	TYPE A/C: PACKAGED	TYPE HEAT: SEE ENERGY CALC	R.A. SYSTEM: DUCTED	-
-------------------------	--------------------	----------------------------	---------------------	---

## RESTROOMS

NUMBER OF BATHS: <u>2</u>	HANDICAP LAV: <u>--</u>	MEDICINE CABINETS: <u>2</u>	HANDRAILS: <u>--</u>	60" TUB: <u>1</u>
NUMBER HANDICAP: <u>--</u>	HANDICAP COMMODE: <u>--</u>	MED. CAB. W/LIGHT: <u>--</u>	WATER HEATER: <u>40</u> GAL. W/PAN	OTHER: <u>GARDEN TUB</u>
STANDARD LAV: <u>3</u>	STANDARD COMMODE: <u>2</u>	MIRRORS: <u>3</u>	48" SHOWERS: <u>1</u>	<u>--</u>

## MISCELLANEOUS

BASIC WIND SPEED 130 M.P.H. / WIND IMPORTANCE FACTOR 1 / BUILDING CATEGORY 2 / WIND EXPOSURE C / INTERNAL PRESSURE COEFFICIENT +/- 0.18 / WALLS 49.1 - ROOF 73.1

**ACCESS BELOW REMOVABLE SWIVEL P-TRAPS / OPTIONAL FACTORY BUILT FIREPLACES INSTALLED IN ACCORDANCE WITH SUC 306.17**

**CODES: THESE PLANS COMPLY WITH THE LATEST FRC 2004 WITH 2005 SUPPLEMENTS, NEC 2002 /SEALS: FLORIDA**

THIS BUILDING IS SUBJECT TO REVIEW AND APPROVAL OF THE FIRE INSPECTOR ON SITE FOR COMPLIANCE WITH CH 633 FIRE SAFETY CODE

**THIS BUILDING HAS NOT BEEN DESIGNED OR APPROVED FOR PLACEMENT IN MIAMI-DADE OR BROWARD COUNTIES.**

FILED S. MARSHALL, A REGISTERED ENGINEER, #30907, STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL, MANUFACTURED BUILDING HAS BEEN DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE BLT PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.

**FRED S. CARSWELL, P.E., PLS**

5-19-02  
L. PE. PLS

PE#5607  
333 SOUTH HILLCR RD  
B 0047

四

ELDOA/UNIT 4  
 LARSEN, FLORENCE M  
 VOICE: 71-574-1465  
 FAX: 71-574-1600

# JACOBSEN HOMES

**600 Packard Court  
Safety Harbor, Florida 34695  
(727) 726-1138**

**LISTING AGENCY APPROVAL**

MODEL NO.: MCL-46810-258* (28'-10" X 68')		DWN. BY: D.T.	CONSTRUCTION TYPE: V	FIRE RATING EXT. WALLS: 0
THIRD PARTY: NTA Inc. 305 North Oakland Avenue Nappanee, Indiana 46550-0490 (574) 773-7975		DATE: 05-11-06	OCCUPANCY: R3	PLAN NUMBER: MFT-68-MOD-258
		SCALE: N/A	ALLOWABLE NO. OF FLOORS: 1	ALLOWABLE FLOOR LOAD: 40 PSF
		PLAN NO. MOD-258	WIND VELOCITY: (FLORIDA BUILDING CODE 2004) 130 MPH	APPROVAL DATE: MAY 31 2006
REVISION:		PAGE NO. 1 OF 10	MANUFACTURER: JACOBSEN HOMES	
			PLANS APPROVED BY:	

\*\*\* THESE PLANS COMPLY WITH RULE 9B-72 (PRODUCT APPROVAL) / RAISED SEAL SET OF PLANS ARE ON FILE IN THE THIRD PARTY AGENCY'S OFFICE (AS DIRECTED BY NDA)

JACOBSEN HOMES CERTIFIES THAT THIS MANUFACTURED BUILDING HAS BEEN EXCLUDED FROM THE REGULATION BY THE IIS DEPT OF HIN

(M258001)

# JACOBSEN HOMES



## ELECTRICAL NOTES AND SPECIFICATIONS

FLUORESCENT LIGHT RECESS OR SURFACE MOUNT	INCANDESCENT LIGHT STANDARD POSITIONED RECESSED	FAN/LIGHT COMBO. (67) (100 CFM) 2 SWITCHES	BATH AIR FAN (20652)	RECEPTACLES TYPICAL 120 VOLT TYPICAL 240 VOLT TYPICAL 120 VOLT
JUNCTION BOXES A. UNDER MIDDLE OF FLOOR B. AT EDGE OF FLOOR	SMOKE ALARM OPT. TELEPHONE PREP.	THERMOSTAT OPT. TELEVISION PREP.	ELECTRICAL PANEL WHOLE HOUSE VENT FAN	SWITCHES

## ELECTRICAL SCHEDULE

CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE (CU.)	CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE (CU.)	CIRCUIT	NOMENCLATURE	BREAKER (AMPS)	WIRE (CU.)
1 - 6(A)	SMALL APPLIANCE	20	12-2	16	ELECTRIC RANGE	40	8-3	21	ELECT. COOK TOP	40	8-3
7(7B) - 12(12B)	GENERAL LIGHTING	15	14-2	17	DISHWASHER (SEE NOTE)	15	14-2	22	WALL OVEN	30	10-3
13-13A	GROUND FAULT	15	14-2	18	DISPOSAL (SEE NOTE)	15	14-2	23	HVAC	50	6-3
14/14A	GROUND FAULT	20	12-2	19	LAUNDRY	20	12-2	24			
15 - 15/2	WATER HEATER	20	12-2	20	DRYER	30	10-3	25			

\* (A) = GROUND FAULT PROTECTED  
BEHINDS ARE ARC-FAULT CIRCUIT-INTERUPTER PROTECTED

## ELECTRICAL PANEL SIZING

GENERAL LIGHTING 1961 SF AT .003 KVA = 5.88	TOTAL KVA FROM LEFT = 35.39	ENTRANCE PANEL. 200 AMP MAIN BREAKER SINGLE PHASE
3 20 AMP ST. APPLIANCE AT 1500 VA/1000 = 4.50	FIRST 10 KVA AT 100% = 10	ENTRANCE CONDUIT: 1 - 2 INCH
RANGE/COOK-TOP @ 40 AMPS X 240/1000 = 9.60	REMAINDER AT 40% = 25.39 X .4 = 10.16	ADDITIONAL CONDUIT DROPS: 0 - 0 INCH
WALL OVEN @ N/A AMPS X 240/1000 = 0.00	TOTAL OTHER LOAD = 20.16	COMBINATION FAN/LIGHTS ON SEPARATE SWITCHES
WATER HEATER @ 19.8 AMPS X 240/1000 = 4.75	A/C AT 100% = 50 AMPS X 240/1000 = 12.00	
DISHWASHER @ 11.5 AMPS X 120/1000 = 1.38	TOTAL KVA = OTHER LOAD + AIR CONDITIONER = 32.16	
DRYER @ 24.17 AMPS X 240/1000 = 5.80	TOTAL KVA X 1000 = 32,160 VOLT AMPS	
LAUNDRY (WASHER)-20 AMPS AT 120 VA/1000 = 2.40	VOLT AMPS / 240 VOLTS = 134 AMPS	
OTHER DISPOSAL AT 9 AMPS X 120/1000 = 1.08	USE 200 AMP MAIN BREAKER MIN.	
TOTAL KVA FROM ABOVE = 35.39		

## ELECTRICAL NOTES

INCANDESCENT AND FLUORESCENT LIGHTS LOCATED IN CLOSETS MUST BE AT LEAST 12 INCHES AND 6 INCHES, RESPECTIVELY BETWEEN THE FUTURE AND THE NEAREST POINT OF A STORAGE SPACE EXTENDING FROM THE CEILING TO THE FLOOR ON ALL SIDES OF THE LIGHT.

ALL CIRCUITS CROSSING OVER MODULE MATING LINE(S) SHALL BE SITE CONNECTED IN APPROVED ACCESSIBLE JUNCTION BOXES.

THE MAIN ELECTRICAL PANEL AND FEEDERS ARE SITE INSTALLED BY OTHERS AND ARE SUBJECT TO LOCAL CODE JURISDICTION.

DISHWASHER & DISPOSAL MAY BE ON (1) 20 AMP. 12-2 CIRCUIT.

I, FRED S. CARDWELL, A REGISTERED ENGINEER, DESIGN, STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL, MANUFACTURED BUILDING HAS BEEN REVIEWED ONLY FOR ELECTRICAL, MECHANICAL, AND PLUMBING AND IS NOT GUARANTEED TO BE CORRECT ONCE SO ERRECTED OR INSTALLED.

FRED S. CARDWELL, P.E., PLS

5-19-06

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FSC

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## JACOBSEN HOMES

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## LISTING AGENCY APPROVAL

MODEL NO.: MCL-46810-258*	DWN. BY: D.T.	CONSTRUCTION TYPE: V	FIRE RATING EXT. WALLS: 0
THIRD PARTY: NTA Inc. 305 North Oakland Avenue Nappanee, Indiana 46550-0490 (574) 773-7975	DATE: 05-11-08 SCALE: N/A PLAN NO. MOD-258	OCCUPANCY: R3 ALLOWABLE NO. OF FLOORS: 1 WIND VELOCITY: (FLORIDA BUILDING CODE 2004) 130 MPH MANUFACTURER: JACOBSEN HOMES	PLAN NUMBER: MFT-68-MOD-258 ALLOWABLE FLOOR LOAD: 40 PSF APPROVAL DATE: MAY 31 2006
REVISION:	PAGE NO. 2 OF 10	PLANS APPROVED BY:	



FLOOR PLAN



APPROVED BY

FRED S. CARDWELL, A REGISTERED ARCHITECT, FLORIDA STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL MANUFACTURED BUILDING HAVE BEEN DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE WITH PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.

FRED S. CARDWELL, P.E., P.L.S.

5-17-06

P.E. #5607

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JACOBSEN HOMES

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LISTING AGENCY APPROVAL

CONSTRUCTION TYPE:	V	FIRE RATING EXT. WALLS:	0
OCCUPANCY:	R3	PLAN NUMBER:	MFT-68-MOD-258
ALLOWABLE NO. OF FLOORS:	1	ALLOWABLE FLOOR LOAD:	40 PSF
WIND VELOCITY: (FLORIDA BUILDING CODE 2004)	130 MPH	APPROVAL DATE:	MAY 31 2006
MANUFACTURER:	JACOBSEN HOMES		
PLANS APPROVED BY:			

MODEL NO.: MCL-46810-258\* (28'-10" X 68')

DWN. BY: D.T.

DATE: 05-11-06

SCALE: 3/16"=1'-0"

PLAN NO. MOD-258

PAGE NO. 3 OF 10

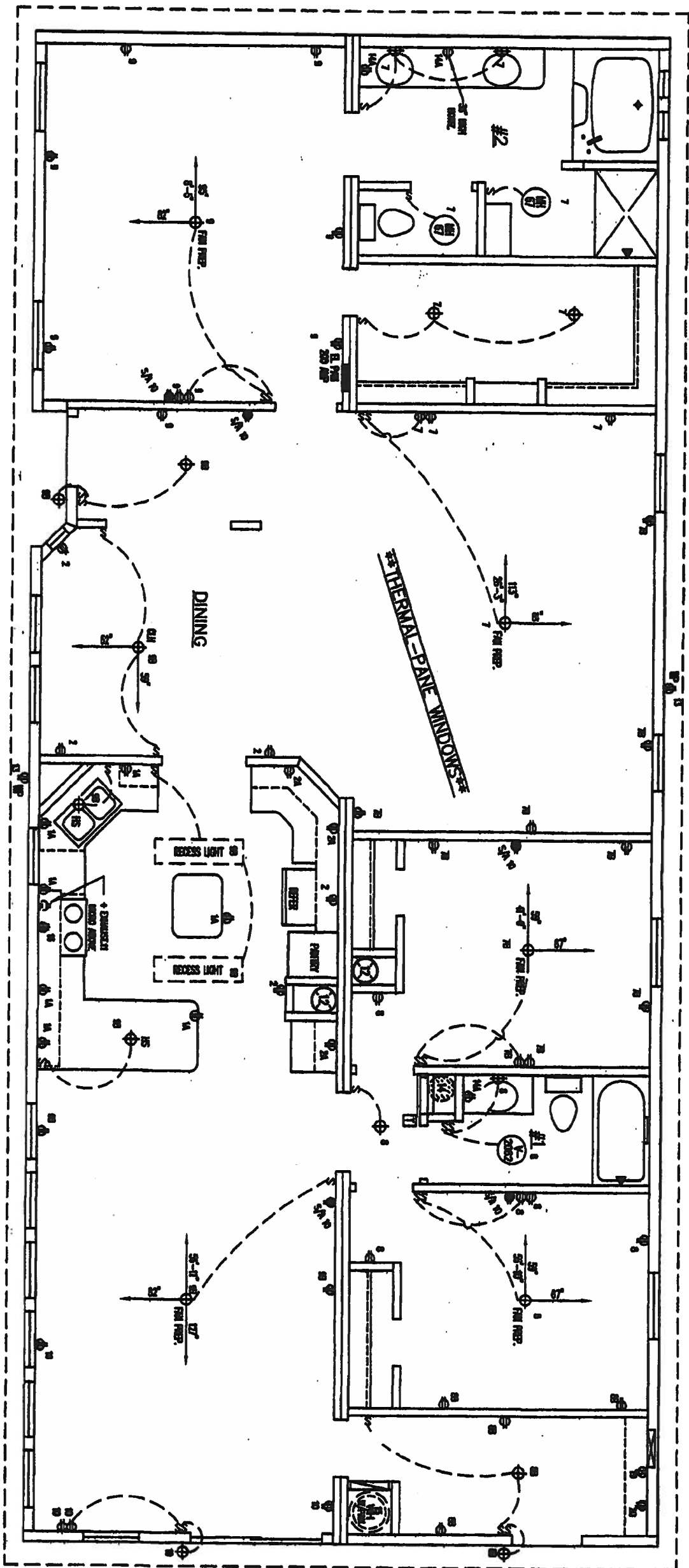
THIRD PARTY:  
NTA Inc.

305 North Oakland Avenue  
Nappanee, Indiana 46550-0490 (574) 773-7975

REVISION:

(M258003)

APPROVED BY  
**NTA INC.**



# ELECTRICAL LAY-OUT

JACOBSEN HOMES  
MCL-48810-258  
© 1998 (P-47)

MOD-258  
HITCH

I, FRED S. CARDWELL, A REGISTERED ENGINEER, PHYSICIST, STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL MANUFACTURED BUILDING HAS BEEN ISSUED ONLY FOR ERECTION OR INSTALLATION ON A SITE WITH PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.

FRED S. CARDWELL  
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## LISTING AGENCY APPROVAL

MODEL NO.: MCL-46810-258\*

DWN. BY: D.T.

DATE: 05-11-06

SCALE: 3/16"=1'-0"

PLAN NO. MOD-258

PAGE NO. 4 OF 10

THIRD PARTY:  
NTA Inc.

305 North Oakland Avenue  
Nappanee, Indiana 46550-0490 (574) 773-7975

REVISION:

CONSTRUCTION TYPE: V

OCCUPANCY: R3

ALLOWABLE NO. OF FLOORS: 1

WIND VELOCITY: (FLORIDA BUILDING CODE 2000) 130 MPH

MANUFACTURER: JACOBSEN HOMES

PLANS APPROVED BY:

FIRE RATING EXT. WALLS: 0

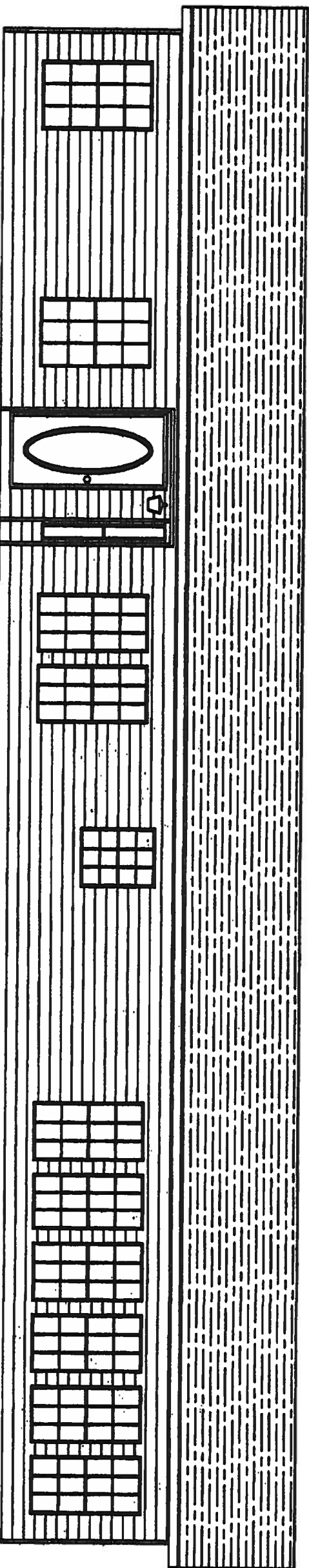
PLAN NUMBER: MFT-68-MOD-258

ALLOWABLE FLOOR LOAD: 40 PSF

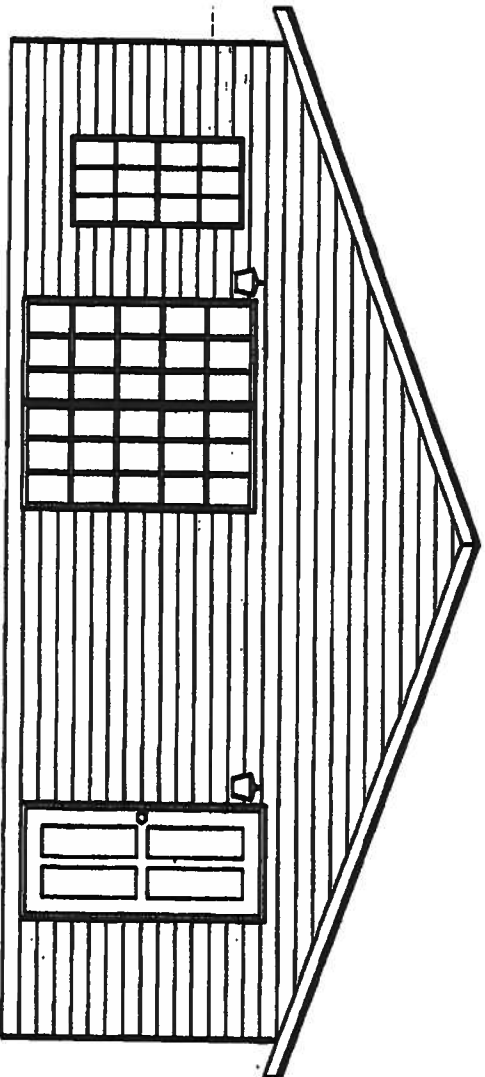
APPROVAL DATE: MAY 31 2006

(M258004)





FRONT ELEVATION



RIGHT ELEVATION

FRONT AND RIGHT ELEVATION

FOUNDATIONS ARE TO BE INSTALLED BY OTHERS, SUBJECT TO LOCAL CODES AND ORDINANCES.

ELEVATION NOTES:  
SEE CROSS-SECTION P. 1 & 10 FOR  
ROOF VENTILATION

TYPICAL FOUNDATION

1" x 6" TYPICAL ROOF  
FOUNDATION VENTILATION

APPROVED BY  
**NTA INC.**

I, FRED S. CAROWELL, A REGISTERED ENGINEER, JAS907, STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL MANUFACTURED BUILDING HAS BEEN DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE EXISTING PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.

*Fred S. Carowell*  
FRED S. CAROWELL, P.E., PLS

PE 95601  
**PE**

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LISTING AGENCY APPROVAL

MODEL NO.: MCL-46810-258\*

DWN. BY: Q.A.

THIRD PARTY:  
NTA Inc.

305 North Oakland Avenue  
Nappanee, Indiana 46550-0490 (574) 773-7975

DATE: 05-10-06

SCALE: 3/16"=1'-0"

PLAN NO. MOD-258

REVISION:

PAGE NO. 5 OF 10

CONSTRUCTION TYPE: V

OCCUPANCY: R3

ALLOWABLE NO. OF FLOORS: 1

WIND VELOCITY: (FLORIDA BUILDING CODE 2004) 130 MPH

MANUFACTURER: JACOBSEN HOMES

PLANS APPROVED BY:

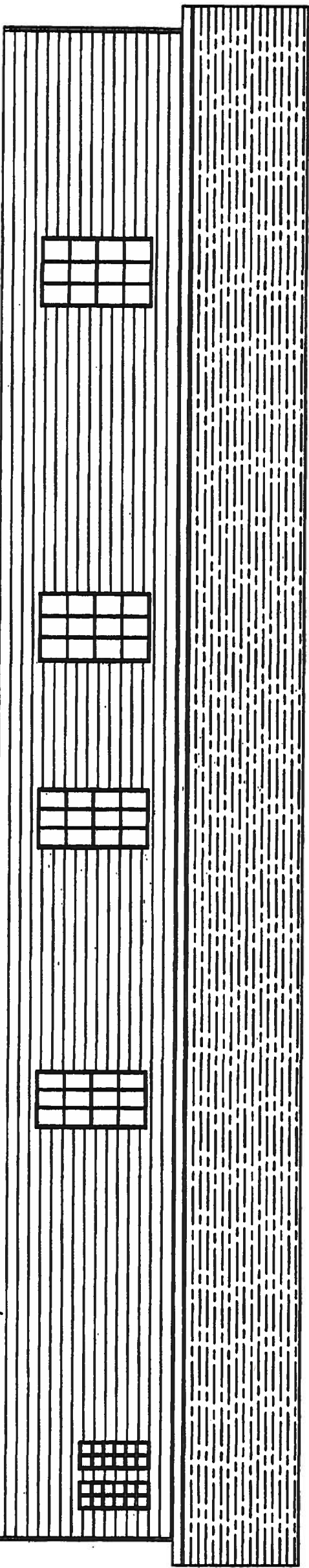
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PLAN NUMBER: MFT-68-MOD-258

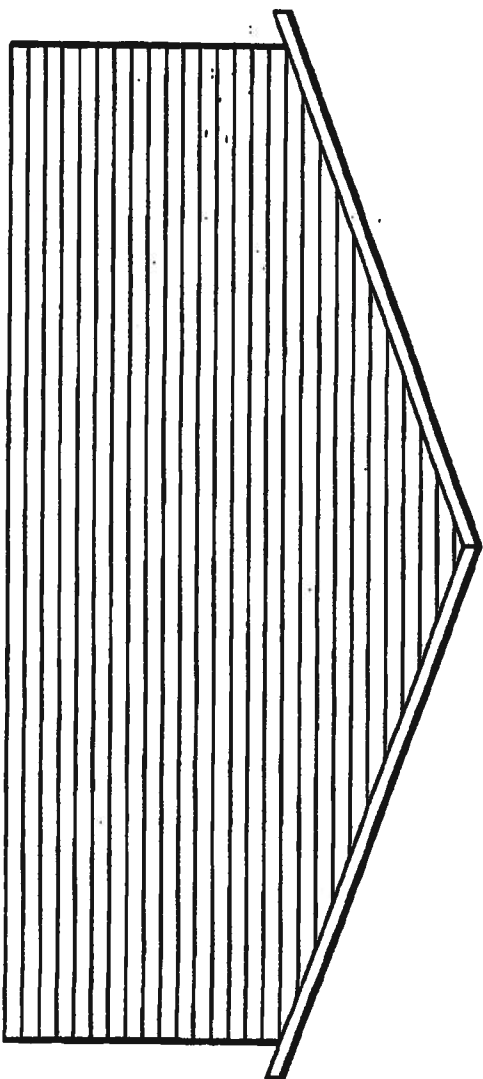
ALLOWABLE FLOOR LOAD: 40 PSF

APPROVAL DATE: MAY 31 2006





REAR ELEVATION



LEFT ELEVATION

8" x 8" AIR COND. SPLIT ACCESS (PT. COVER)

FOUNDATION SEE INSTALLED BY OWNER, SUBJECT TO LOCAL CODES AND INSPECTION.

ELEVATION NOTES:  
SEE CROSS-SECTION (Pgs. 1 & 2) FOR ROOF VENTILATION

8" x 8" TYPICAL VENT FOUNDATION VENTILATION

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**NTA INC.**

I, FRED S. CARQUELL, A REGISTERED ENGINEER, #19097, STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL MANUFACTURED BUILDING HAS BEEN ISSUED ONLY FOR ERECTION OR INSTALLATION ON A SITE WITH PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.

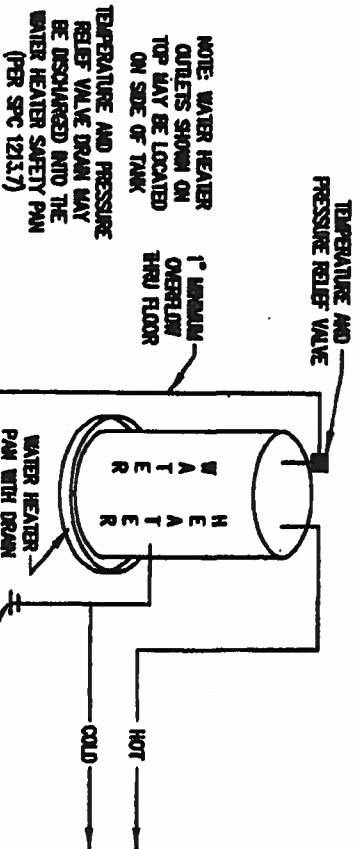
*Fred S. Carquell*  
FRED S. CARQUELL, P.E., P.L.G. 5-17-06

P.E. #5607  
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600 Packard Court  
Safety Harbor, Florida 34895  
(727) 726-1138

LISTING AGENCY APPROVAL

MODEL NO.: MCL-46810-258*		DWN. BY: O.A.	CONSTRUCTION TYPE: V	FIRE RATING EXT. WALLS: 0
THIRD PARTY: NTA Inc. 305 North Oakland Avenue Nappanee, Indiana 46550-0490 (574) 773-7975		DATE: 05-10-06	OCCUPANCY: R3	PLAN NUMBER: MFT-68-MOD-258
REVISION:		SCALE: 3/16"=1'-0"	ALLOWABLE NO. OF FLOORS: 1	ALLOWABLE FLOOR LOAD: 40 PSF
		PLAN NO. MOD-258	WIND VELOCITY: (FLORIDA BUILDING CODE 2004) 130 MPH	APPROVAL DATE: MAY 3-1-2006
		PAGE NO. 6 OF 10	MANUFACTURER: JACOBSEN HOMES	
			PLANS APPROVED BY:	



NOTE: WATER HEATER OUTLETS SHOWN ON TOP MAY BE LOCATED ON SIDE OF TANK

TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN MAY BE DISCHARGED INTO THE WATER HEATER SAFETY PAN (PER SFC 1213.7)

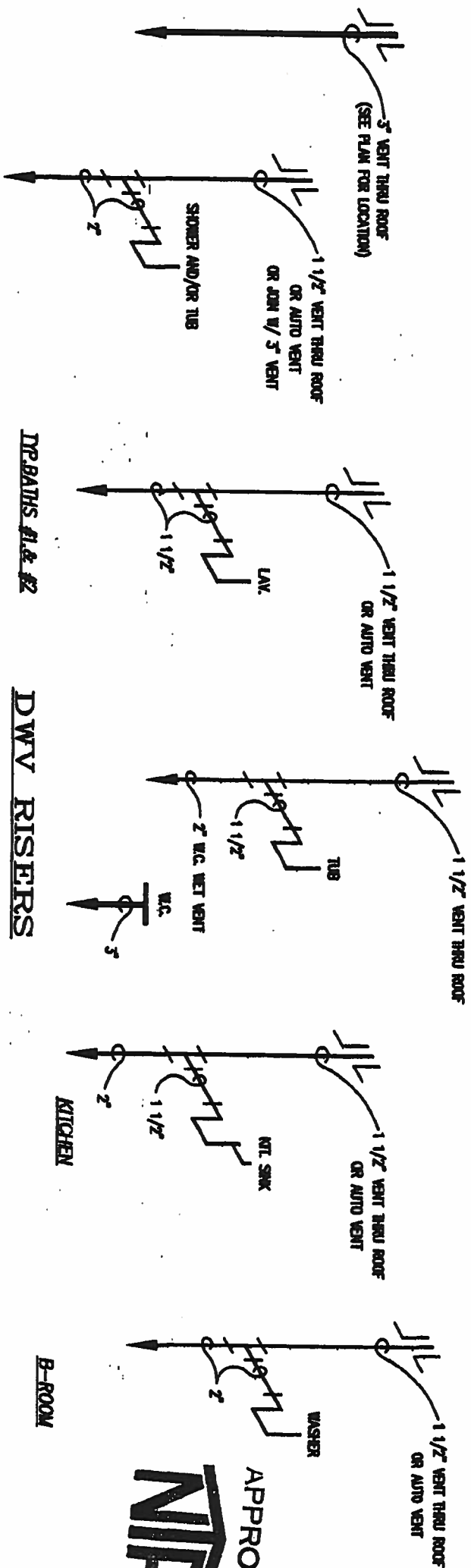
WHEN THE DISCHARGE FROM THE RELIEF VALVE(S) IS TO BE DISCHARGED INTO THE WATER HEATER PAN IT SHALL BE PIPED FULL-SIZE OF THE VALVE OUTLET PIPE TO A POINT NOT MORE THAN TWO (2) INCHES OR NO LESS THAN ONE (1) INCH ABOVE THE PAN FLOOD LEVEL RIL

WATER HEATER PAN SHALL BE 24 GA. GALV. STEEL (OR EQUIV.) 1 1/2" DEEP MINIMUM, AND OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DROPPINGS OR CONDENSATE FROM THE WATER HEATER AND THE DISCHARGE FROM THE RELIEF VALVE OR VALVES. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE NO LESS THAN ONE (1) INCH IN DIAMETER OR THE DIAMETER OF THE OUTLET OF THE REQUIRED RELIEF VALVE(S) WHICHEVER IS LARGER.

### WATER HEATER DETAIL

### DISTANCE OF FIXTURE TRAP FROM VENT

SIZE OF FIXTURE DRAIN	SIZE OF TRAP	FALL PER FOOT	DISTANCE FROM TRAP
1 1/4"	1 1/4"	1/4"	3'-6"
1 1/2"	1 1/4"	1/4"	5'-0"
1 1/2"	1 1/2"	1/4"	5'-0"
2"	1 1/2"	1/4"	8'-0"
2"	2"	1/4"	6'-0"
3"	3"	1/8"	10'-0"
4"	4"	1/8"	12'-0"



### DWV RISERS

NOTE:  
CONNECT ALL DROPS TO FPC 2004  
AND INSPECTED ON SITE

ALL WATER SUPPLY LINES TO BE 3/4"  
ALL WATER SUPPLY STUB UPS TO BE 1/2"

### PLUMBING DWV RISER LAY-OUT

APPROVED BY  
**NTA INC.**

I, FRED S. CARDWELL, A REGISTERED ENGINEER, ARCHITECT, STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL MANUFACTURED BUILDING HAVE BEEN DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE EXISTING PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.

FRED S. CARDWELL, P.E., P.L.G.

P.E. #5601  
**FLPA**

JACOBSEN HOMES  
1000 SOUTH BEECHER ROAD  
LAKE CHARLES, MISSISSIPPI  
39301-2700

### JACOBSEN HOMES

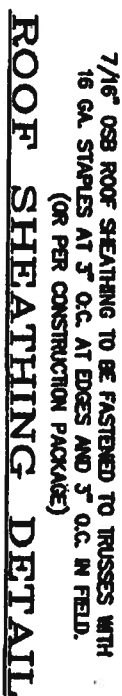
600 Packard Court  
Safety Harbor, Florida 34695  
(727) 726-1138

### LISTING AGENCY APPROVAL

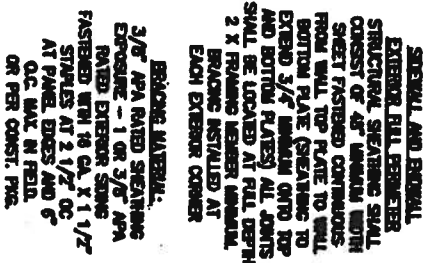
CONSTRUCTION TYPE:	V	FIRE RATING EXT. WALLS:	0
OCCUPANCY:	R3	PLAN NUMBER:	MFT-68-MOD-258
ALLOWABLE NO. OF FLOORS:	1	ALLOWABLE FLOOR LOAD:	40 PSF
WIND VELOCITY: (FLORIDA BUILDING CODE 2000)	130 MPH	APPROVAL DATE:	MAY 31 2008
MANUFACTURER:	JACOBSEN HOMES		
PLANS APPROVED BY:			

MODEL NO.: MCL-46810-258*	DWN. BY: D.T.
THIRD PARTY: NTA Inc. 305 North Oakland Avenue Nappanee, Indiana 46550-0490 (574) 773-7975	DATE: 05-11-06
REVISION:	SCALE: N/A
	PLAN NO. MOD-258
	PAGE NO. 7 OF 10





## INSULATION AIR SPACE DETAIL



**1. SEE FOUNDATION AND ANCHORING PLAN ENGINEERED BY OTHERS FOR ON SITE INSTALLATION.**

**TYPICAL CROSS-SECTION (WITHOUT CHASSIS)**

! FRED S. COWELL, A REGISTERED ENGINEER, #18807, STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL MANUFACTURED BUILDING HAS BEEN DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE BUILT PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.

**FRED S. CARDELL, P.E., PLS**

**PE#5607**

15

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OWN. BY: D.T.

**DATE:** 05-05-06

SCALE: N/A

PLAN NO. MOD-258

PAGE NO. 8 OF 10

THIRD PARTY:  
NTA Inc.

**305 North Oakland Avenue  
Nappanee, Indiana 46550-0490 (574) 773-7975**

**REVISION:**

**CONSTRUCTION TYPE:**

V

**FIRE RATING EXT. WALLS:**

0

**OCCUPANCY:**

R3

**PLAN NUMBER:** NET-68-MOD-258

**ALLOWABLE NO. OF FLOORS:**

1

**ALLOWABLE FLOOR LOAD: 40 PSF**

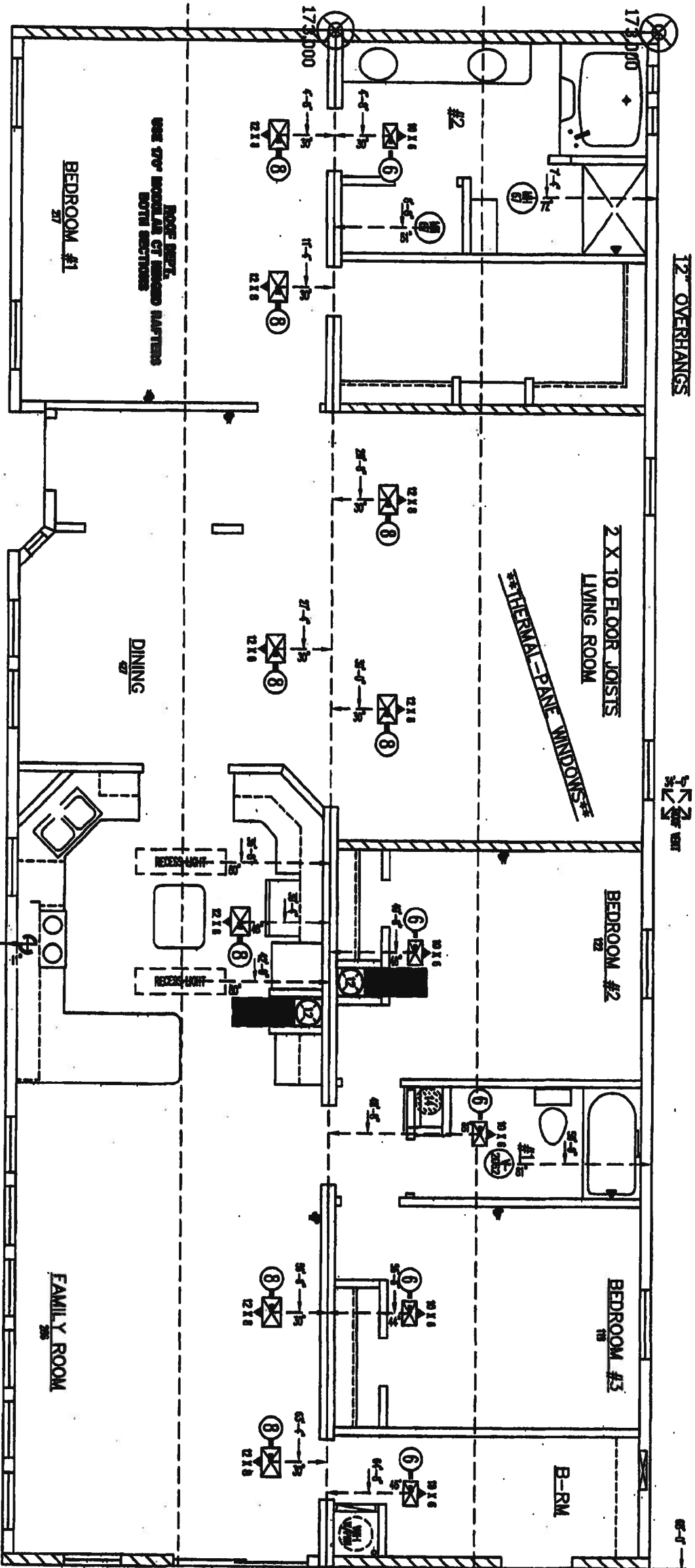
**WIND VELOCITY:** (FLORIDA BUILDING CODE 2004) 130 MPH

APPROVAL DATE MAY 31 2008

**MANUFACTURER: JACOBSEN HOMES**

**PLANS APPROVED BY:**

APPROVED BY  
**NTA INC**



OVERHEAD DUCT LAYOUT  
THIS DRAWING IS NOT PLOTTED TO SCALE

OFF FRAME

JACOBSEN HOMES  
MCL-46810-258  
© 2008 (2-1)

MOD-258  
HITCH

ALL DUCTS TO HAVE R-6 MIN. RATING

HVAC PLAN

I, FRED S. CARDWELL, A REGISTERED ENGINEER, JACOBI, STATE OF FLORIDA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL MANUFACTURED BUILDING HAVE BEEN DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE SUITABLE FOR FOUNDATION AND IS NOT DESIGNED TO BE MOVED OR RE-ERECTED OR RE-INSTALLED.

FRED S. CARDWELL, P.E., P.L.S.

P.E. #5601  
F.T.E.

600 PACKARD COURT  
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TEL: 726-1138

### JACOBSEN HOMES

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Safety Harbor, Florida 34695  
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### LISTING AGENCY APPROVAL

MODEL NO.: MCL-46810-258\*

DWN. BY: D.T.

DATE: 05-11-06

SCALE: 3/16" = 1'-0"

PLAN NO. MOD-258

REVISION:

PAGE NO. 9 OF 10

CONSTRUCTION TYPE: V

OCCUPANCY: R3

ALLOWABLE NO. OF FLOORS: 1

WIND VELOCITY: (FLORIDA BUILDING CODE 2004) 130 MPH

MANUFACTURER: JACOBSEN HOMES

PLANS APPROVED BY:

FIRE RATING EXT. WALLS: 0

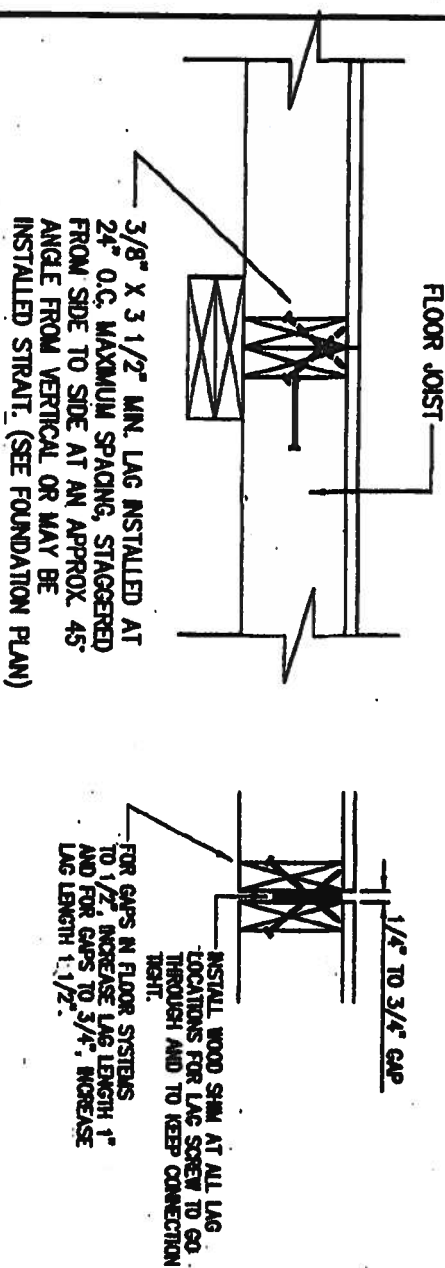
PLAN NUMBER: MFT-68-MOD-258

ALLOWABLE FLOOR LOAD: 40 PSF

APPROVAL DATE: MAY 31 2008



FLOOR CONNECTION BETWEEN SECTIONS



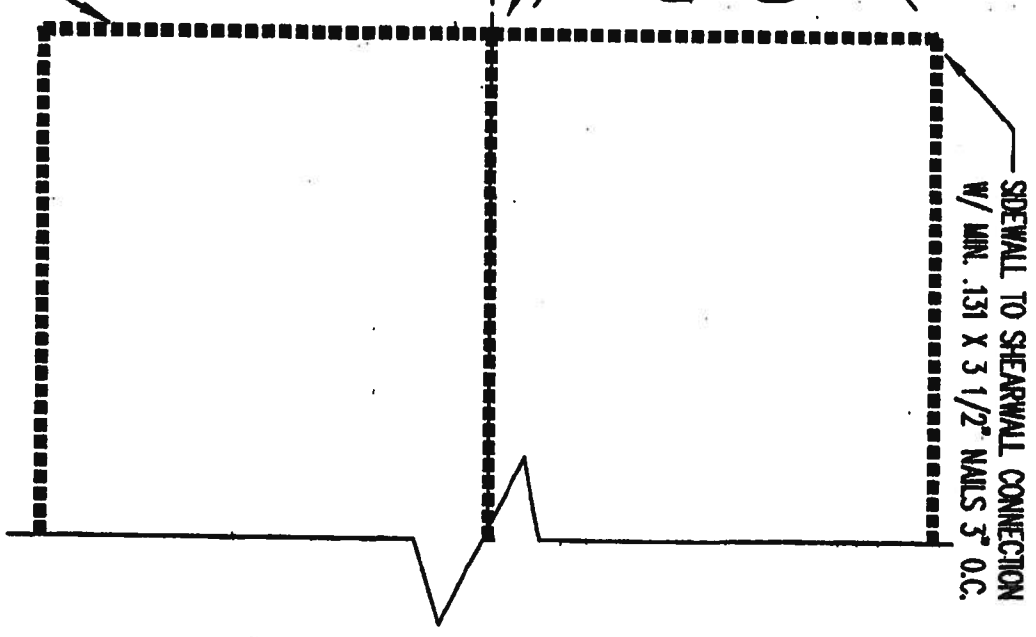
3/8" (O.S.B. OR PLYWOOD) SHEATHING FASTENED TO SHEARWALL AND SIDEWALL W/ MIN. 15 GA. 7/16" X 1 1/2" STAPLES 3" O.C. AT EDGES AND IN FIELD. SHEATHING ALSO FASTENED TO RAFTER W/ MIN. 15 GA. 7/16" X 1 1/2" STAPLES 3" O.C. TO ALL RAFTER MEMBERS

CENTER LINE WALL CONNECTIONS W/ MIN. 16d NAILS 6" O.C.

RAFTER FASTENED TO SHEARWALL W/ MIN. #8 X 4 1/2" SCREW 4" O.C. WITH 1 1/8" MIN. PENETRATION NOTE: CENTER RAFTER OVER INTERIOR SHEARWALLS

SHEARWALL FASTENED TO FLOOR W/ MIN. 131 X 3 1/2" NAILS 3" O.C. NOTE: CENTER (1) SP #1 2 X 8 FLOOR JOIST UNDER INTERIOR SHEARWALLS

SHEARWALL DETAILS



3/8" UNF RATED SHEATHING FASTENED TO ROOF TRUSS WITH 7/16" X 1 1/2" X 16 GA. UNF STAPLES 1 1/4" O.C. AT PANEL EDGES AND 3" O.C. AT ALL RAFTER MEMBERS. (NO GLE REQUIRED)

PLATE RAFTER HALF ONTO THIS DIAGONAL

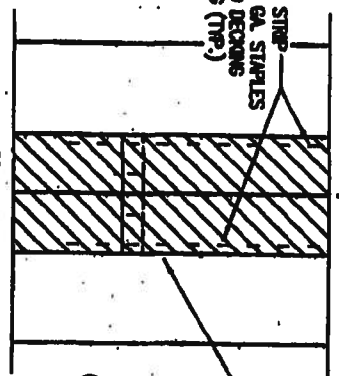
HINGED ROOF DETAILS

INSTALL SHIMMS PER MAN. INSTALL NAIL

2 1/4" X 5" LAG SCREWS (2 1/4" SMOOTH SHANK) 18" O.C. (ZONES 2 & 3) (EXP. C OR D) STAGGERED

22 GA. GALV. STEEL STRIP SECURED WITH 7/16" X 1/8" GA. STAPLES FULL PENETRATION INTO DECKING 2" O.C. MAX. SPACING (TYP.)

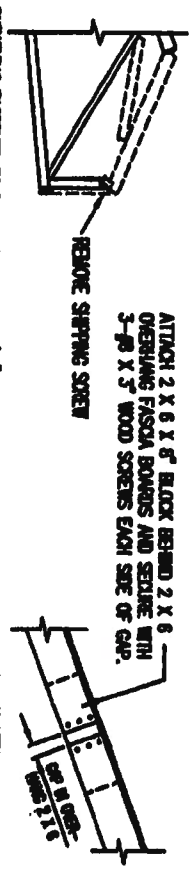
CENTER LINE OR MATING LINE OF TRIPLE WIDE UNITS



ROOF CONNECTION BETWEEN SECTIONS

TOP VIEW

22 GA. GALV. STEEL STRIP 6" X LENGTH OF ROOF (SECTIONS MAY BE OVERLAPPED 2" MIN.) W/ STAPLES AS SHOWN. INSTALL ROOF CAP PER SET-UP MAN. OVER GAL. STRIP. (30 GA. GALV. STRIPS USED MAY BE WIND DEFLECTIONS REMOVED FROM ROOF IN ORIGINAL CONDITION. EXCEPT FOR STAPLE HOLES)



APPROVED BY



FRED S. CAROUELL, A REGISTERED ENGINEER, ALABAMA STATE OF ALABAMA, DOES HEREBY CERTIFY THAT THE DESIGN PLANS OF THIS RESIDENTIAL MANUFACTURED BUILDING HAVE BEEN DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE THAT REMAINS UNOCCUPIED AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.

FRED S. CAROUELL, P.E., P.L.S.

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LISTING AGENCY APPROVAL

MODEL NO.: MCL-46810-258*	DWN. BY: D.T.	CONSTRUCTION TYPE: V	FIRE RATING EXT. WALLS: 0
THIRD PARTY: NTA Inc. 305 North Oakland Avenue Nappanee, Indiana 46550-0490 (574) 773-7975	DATE: 05-11-08	OCCUPANCY: R3	PLAN NUMBER: MET-68-MOD-258
	SCALE: N/A	ALLOWABLE NO. OF FLOORS: 1	ALLOWABLE FLOOR LOAD: 40 PSF
	PLAN NO. MOD-258	WIND VELOCITY: (FLORIDA BUILDING CODE 2004) 130 MPH	APPROVAL DATE: MAY 31 2006
REVISION:	PAGE NO. 10 OF 10	MANUFACTURER: JACOBSEN HOMES	PLANS APPROVED BY: