

DATE06/13/2008

Columbia County Building Permit

PERMIT000027082

This Permit Must Be Prominently Posted on Premises During Construction

APPLICANTCURTIS JONES

PHONE239 591-0699

ADDRESS222SW CRSS POINTE CT

LAKE CITYFL32024

OWNERDOUGLAS & CATHY PELLEY

PHONE719-9491

ADDRESS871NW HORIZON ST

LAKE CITYFL32025

CONTRACTORCUSTIS JONES

PHONE754-4116

LOCATION OF PROPERTY90W, TR ON BROWN RD, TL ON HORIZON , 1/4 MILE ON RIGHT

TYPE DEVELOPMENTADDITION/SFD

ESTIMATED COST OF CONSTRUCTION12800.00

HEATED FLOOR AREA256.00

TOTAL AREA256.00

HEIGHT

STORIES1

FOUNDATIONCONC

WALLSFRAMED

ROOF PITCH6/12

FLOORSLAB

LAND USE & ZONINGA-3

MAX. HEIGHT

Minimum Set Back Requirments:

STREET-FRONT30.00

REAR25.00

SIDE25.00

NO. EX.D.U.1

FLOOD ZONEX

DEVELOPMENT PERMIT NO.

PARCEL ID29-3S-16-02390-025

SUBDIVISIONFARFIELD HILLS

LOT25

BLOCK

PHASE

UNIT

TOTAL ACRES

CGC1513223

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING

08-391

BK

JH

N

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: NOC ON FILE

Check # or Cash5863

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power	Foundation	Monolithic
date/app. by	date/app. by	date/app. by
Under slab rough-in plumbing	Slab	Sheathing/Nailing
date/app. by	date/app. by	date/app. by
Framing	Rough-in plumbing above slab and below wood floor	
date/app. by		date/app. by
Electrical rough-in	Heat & Air Duct	Peri. beam (Lintel)
date/app. by	date/app. by	date/app. by
Permanent power	C.O. Final	Culvert
date/app. by	date/app. by	date/app. by
M/H tie downs, blocking, electricity and plumbing		Pool
	date/app. by	date/app. by
Reconnection	Pump pole	Utility Pole
date/app. by	date/app. by	date/app. by
M/H Pole	Travel Trailer	Re-roof
date/app. by	date/app. by	date/app. by

BUILDING PERMIT FEE \$	65.00	CERTIFICATION FEE \$	1.28	SURCHARGE FEE \$	1.28		
MISC. FEES \$	0.00	ZONING CERT. FEE \$	50.00	FIRE FEE \$	0.00	WASTE FEE \$	
FLOOD DEVELOPMENT FEE \$		FLOOD ZONE FEE \$	25.00	CULVERT FEE \$		TOTAL FEE	142.56
INSPECTORS OFFICE				CLERKS OFFICE			

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



Universal  
Forest  
Products, Inc.

**Eastern Division**

5631 S. NC 62 Burlington NC 27215 Tel: (336) 226-9356 Fax: (336) 476-9146

**DELIVERY ADDRESS:**

LAKE CITY, FL 32024

TCLL-TCDL-BCLL-BCDL

**LOADING:** 20.0,7.0,0.0,10.0

**WIND:**120mph, Cat II, Exp B, Enclosed

84

**JOB #:** 58018753PER

**JOB NAME:** PELLEY ADDITION

**SUBDIV:**

BUILDING CODE: FBC2004

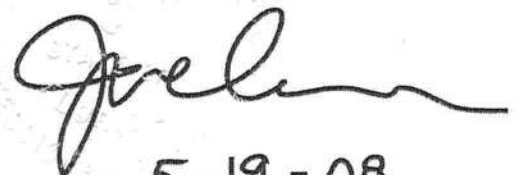
This package includes 7 individual, dated Truss Drawings designed using Mitek 20/20 software. With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

**Note:** The seal on this index sheet indicates acceptance of professional engineering responsibility solely for the Truss Design Drawings listed below and attached. The Suitability and use of each component for any particular building is the responsibility of the Building Designer, per ANSI/TPI 1-2002 Section 2.

**Truss Design Engineer's Name** Joseph Chandler

**License #:** 60527

No.	Truss ID#	Date
1	A1	05/19/08
2	A2	05/19/08
3	A3	05/19/08
4	C1	05/19/08
5	C3	05/19/08
6	E5	05/19/08
7	HJ5	05/19/08

  
5-19-08

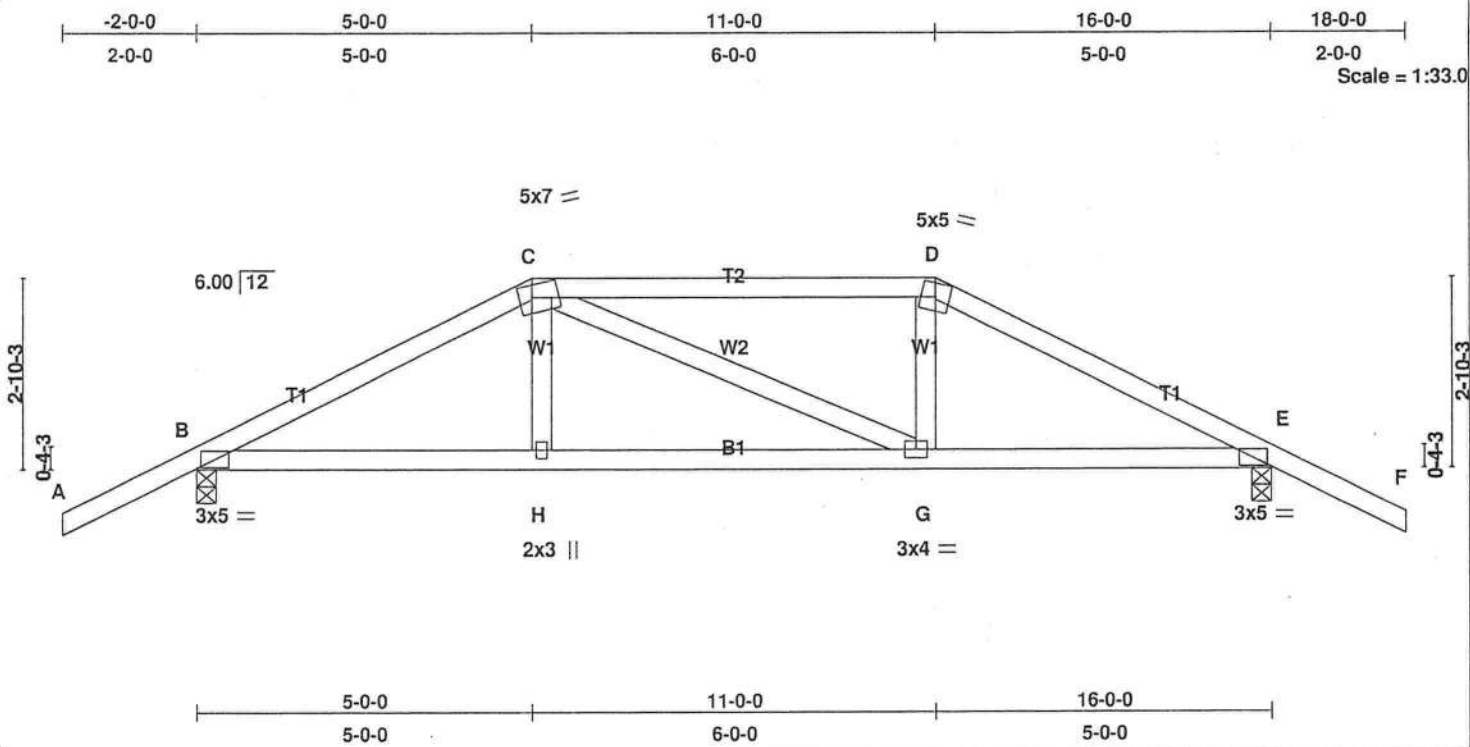


Plate Offsets (X,Y): [C:0-2-4,0-2-4]																			
LOADING (psf)		SPACING		2-0-0		CSI		DEFL		in (loc)		l/defl		L/d		PLATES		GRIP	
TCLL	20.0	Plates Increase		1.25		TC	0.52	Vert(LL)	0.07	G-H	>999	240		MT20		244/190			
TCDL	7.0	Lumber Increase		1.25		BC	0.41	Vert(TL)	-0.16	G-H	>999	180							
BCLL	0.0	Rep Stress Incr		NO		WB	0.13	Horz(TL)	0.04	E	n/a	n/a							
BCDL	10.0	Code FBC2004/TPI2002				(Matrix)										Weight: 72 lb			

LUMBER	BRACING
TOP CHORD 2 X 4 SYP No.2	TOP CHORD Structural wood sheathing directly applied or 4-4-12 oc purlins, except
BOT CHORD 2 X 4 SYP No.2	2-0-0 oc purlins (4-7-7 max.): C-D.
WEBS 2 X 4 SYP No.3	BOT CHORD Structural wood sheathing directly applied or 7-6-14 oc bracing.

REACTIONS (lb/size) B=1061/0-3-8, E=1061/0-3-8  
Max Horz B=-87(LC 6)  
Max Uplift B=-600(LC 5), E=-600(LC 6)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
TOP CHORD B-C=-1751/802, C-D=-1529/759, D-E=-1752/802  
BOT CHORD B-H=-681/1508, G-H=-683/1529, E-G=-648/1509  
WEBS C-H=-44/368, D-G=-51/393

NOTES (11)  
1) Unbalanced roof live loads have been considered for this design.  
2) Wind: ASCE 7-02; 120mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=6.0psf; Category II; Exp B; enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.  
3) Provide adequate drainage to prevent water ponding.  
4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.  
5) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.  
6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 600 lb uplift at joint B and 600 lb uplift at joint E.  
7) Girder carries hip end with 5-0-0 end setback.  
8) Design assumes 4x2 (flat orientation) purlins at oc spacing indicated, fastened to truss TC w/ 2-10d nails.  
9) Hanger(s) or other connection device(s) shall be provided sufficient to support concentrated load(s) 216 lb down and 141 lb up at 11-0-0, and 216 lb down and 141 lb up at 5-0-0 on bottom chord. The design/selection of such connection device(s) is the responsibility of others.  
10) In the LOAD CASE(S) section, loads applied to the face of the truss are noted as front (F) or back (B).  
11) Truss shall be fabricated per ANSI/TPI quality requirements. Plates shall be of size and type shown and centered at joints unless otherwise noted. Provide bracing where indicated and within 4" of interior joints. Bracing indicated is to reduce buckling of individual members only and does not replace erection and permanent bracing.  
Engineer's certification valid only when truss is fabricated by a UFPI operated plant. Building Designer shall verify all design information on this sheet for conformance with conditions and requirements of the specific building and governing codes and ordinances. The truss designer accepts no responsibility for the correctness or accuracy of the design information as it may relate to a specific building. Any references to job names and locations are for administrative purposes only and are not part of the review or certification of the truss designer.

LOAD CASE(S) Standard  
1) Regular: Lumber Increase=1.25, Plate Increase=1.25  
Uniform Loads (plf)  
Vert: A-C=-54, C-D=-91(F=-37), D-F=-54, B-H=-20, G-H=-34(F=-14), E-G=-20  
Concentrated Loads (lb)  
Vert: H=-216(F) G=-216(F)

Joseph W. Chandler, P.E.  
License No. 60527  
Universal Forest Products, Inc.  
5631 S. NC 62  
Burlington, NC 27215  
5/19/2008

Job 58018753	Truss A2	Truss Type HIP	Qty 1	Ply 1	84 Lumber/ Pelley Addition
Universal Forest Products, Inc., Burlington, NC 27215, James Pickens			7.030 s Jan 3 2008 MiTek Industries, Inc. Mon May 19 10:44:45 2008 Page 1		

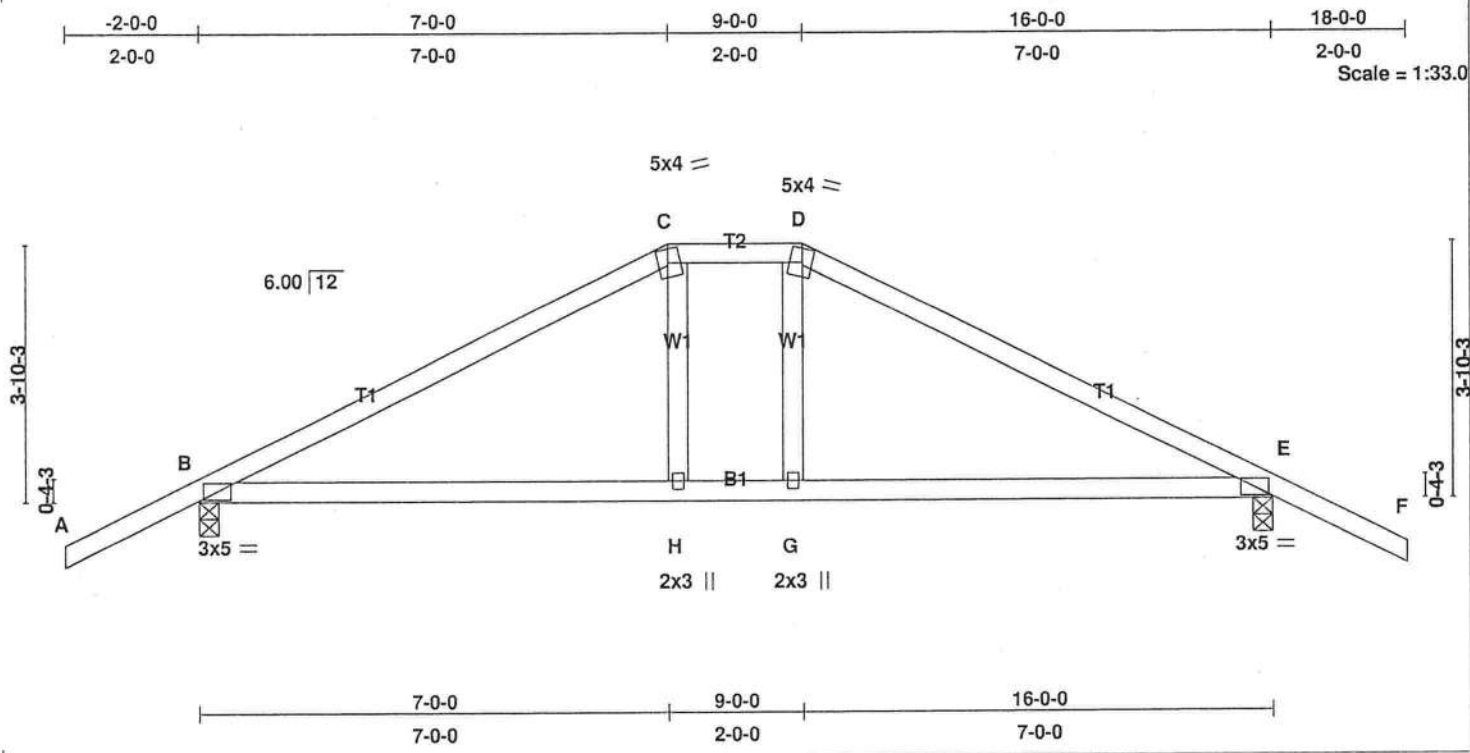


Plate Offsets (X,Y): [C:0-1-12,0-2-8], [D:0-1-12,0-2-8]							
LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	L/d
TCLL 20.0	Plates Increase	1.25	TC 0.35	Vert(LL)	-0.08	E-G	>999
TCDL 7.0	Lumber Increase	1.25	BC 0.36	Vert(TL)	-0.18	E-G	>999
BCLL 0.0	Rep Stress Incr	YES	WB 0.06	Horz(TL)	0.02	E	n/a
BCDL 10.0	Code FBC2004/TPI2002		(Matrix)				
				PLATES GRIP MT20 244/190			
				Weight: 67 lb			

LUMBER	BRACING
TOP CHORD 2 X 4 SYP No.2	TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
BOT CHORD 2 X 4 SYP No.2	BOT CHORD Structural wood sheathing directly applied or 10-0-0 oc bracing.
WEBS 2 X 4 SYP No.3	

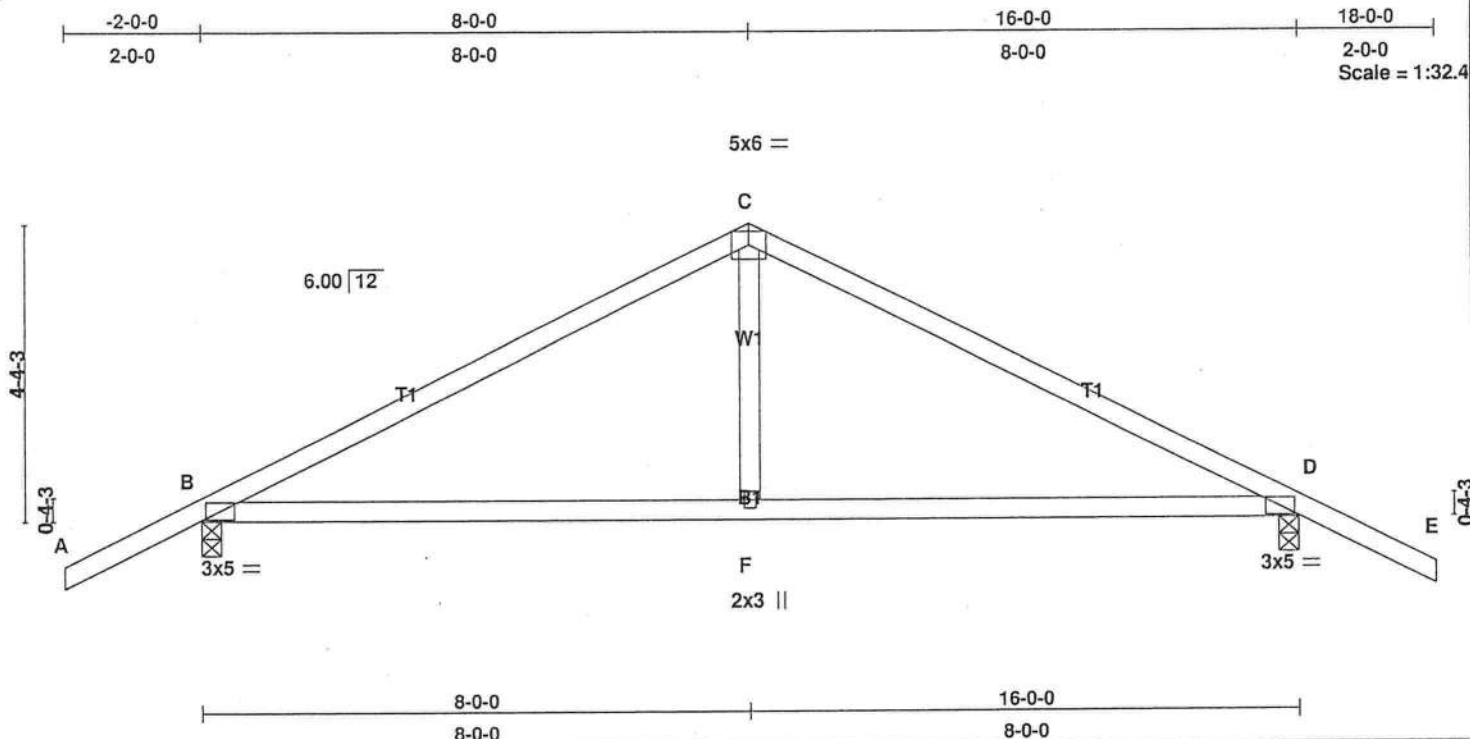
REACTIONS (lb/size) B=697/0-3-8, E=697/0-3-8  
Max Horz B=104(LC 5)  
Max Uplift B=378(LC 5), E=378(LC 6)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
TOP CHORD B-C=-836/260, C-D=-673/285, D-E=-836/260  
BOT CHORD B-H=-124/669, G-H=-120/673, E-G=-121/669

NOTES (7)  
1) Unbalanced roof live loads have been considered for this design.  
2) Wind: ASCE 7-02; 120mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=6.0psf; Category II; Exp B; enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed ; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.  
3) Provide adequate drainage to prevent water ponding.  
4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.  
5) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.  
6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 378 lb uplift at joint B and 378 lb uplift at joint E.  
7) Truss shall be fabricated per ANSI/TPI quality requirements. Plates shall be of size and type shown and centered at joints unless otherwise noted. Provide bracing where indicated and within 4" of interior joints. Bracing indicated is to reduce buckling of individual members only and does not replace erection and permanent bracing. Engineer's certification valid only when truss is fabricated by a UFPI operated plant. Building Designer shall verify all design information on this sheet for conformance with conditions and requirements of the specific building and governing codes and ordinances. The truss designer accepts no responsibility for the correctness or accuracy of the design information as it may relate to a specific building. Any references to job names and locations are for administrative purposes only and are not part of the review or certification of the truss designer.

LOAD CASE(S) Standard

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Burlington, NC 27215  
5/19/2008



LOADING (psf)		SPACING		CSI		DEFL		PLATES		GRIP	
TCLL	20.0	Plates Increase	1.25	TC	0.43	Vert(LL)	-0.07	MT20	244/190		
TCDL	7.0	Lumber Increase	1.25	BC	0.43	Vert(TL)	-0.19				
BCLL	0.0	Rep Stress Incr	YES	WB	0.12	Horz(TL)	0.02				
BCDL	10.0	Code FBC2004/TPI2002		(Matrix)							
										Weight: 63 lb	

LUMBER		BRACING	
TOP CHORD	2 X 4 SYP No.2	TOP CHORD	Structural wood sheathing directly applied or 6'-0" oc purlins.
BOT CHORD	2 X 4 SYP No.2	BOT CHORD	Structural wood sheathing directly applied or 10'-0" oc bracing.
WEBS	2 X 4 SYP No.3		

**REACTIONS** (lb/size) B=697/0-3-8, D=697/0-3-8  
Max Horz B=-112(LC 6)  
Max Uplift B=-384(LC 5), D=-384(LC 6)

**FORCES** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
TOP CHORD B-C=-825/279, C-D=-825/279  
BOT CHORD B-F=-135/657, D-F=-135/657  
WEBS C-F=0/362

**NOTES** (6)  
1) Unbalanced roof live loads have been considered for this design.  
2) Wind: ASCE 7-02; 120mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=6.0psf; Category II; Exp B; enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.  
3) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.  
4) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3'-6" tall by 1'-0" wide will fit between the bottom chord and any other members.  
5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 384 lb uplift at joint B and 384 lb uplift at joint D.  
6) Truss shall be fabricated per ANSI/TPI quality requirements. Plates shall be of size and type shown and centered at joints unless otherwise noted. Provide bracing where indicated and within 4" of interior joints. Bracing indicated is to reduce buckling of individual members only and does not replace erection and permanent bracing. Engineer's certification valid only when truss is fabricated by a UFPI operated plant. Building Designer shall verify all design information on this sheet for conformance with conditions and requirements of the specific building and governing codes and ordinances. The truss designer accepts no responsibility for the correctness or accuracy of the design information as it may relate to a specific building. Any references to job names and locations are for administrative purposes only and are not part of the review or certification of the truss designer.

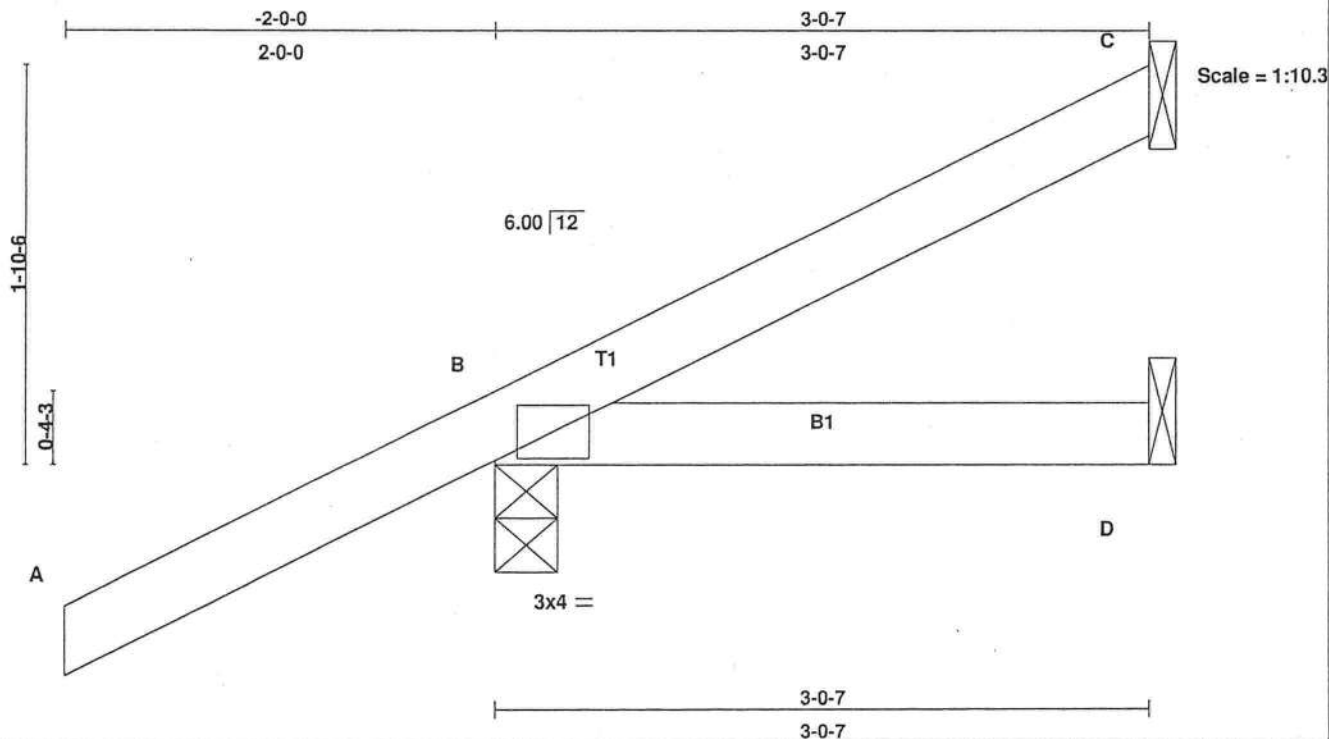
LOAD CASE(S) Standard

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5/19/2008



Universal Forest Products, Inc., Burlington, NC 27215, James Pickens

7.030 s Jan 3 2008 MiTek Industries, Inc. Mon May 19 10:44:45 2008 Page 1



LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in	(loc)	I/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase	1.25	TC 0.33	Vert(LL)	-0.00	B-D	>999	240	MT20	244/190
TCDL 7.0	Lumber Increase	1.25	BC 0.07	Vert(TL)	-0.01	B-D	>999	180		
BCLL 0.0 *	Rep Stress Incr	YES	WB 0.00	Horz(TL)	-0.00	C	n/a	n/a		
BCDL 10.0	Code FBC2004/TPI2002		(Matrix)							Weight: 13 lb

LUMBER

TOP CHORD 2 X 4 SYP No.2

BOT CHORD 2 X 4 SYP No.2

BRACING

TOP CHORD Structural wood sheathing directly applied or 3-0-7 oc purlins.

BOT CHORD Structural wood sheathing directly applied or 10-0-0 oc bracing.

**REACTIONS** (lb/size) C=32/Mechanical, B=264/0-3-8, D=28/Mechanical  
Max Horz B=158(LC 5)  
Max Uplift C=-35(LC 6), B=-241(LC 5)  
Max Grav C=32(LC 1), B=264(LC 1), D=57(LC 2)

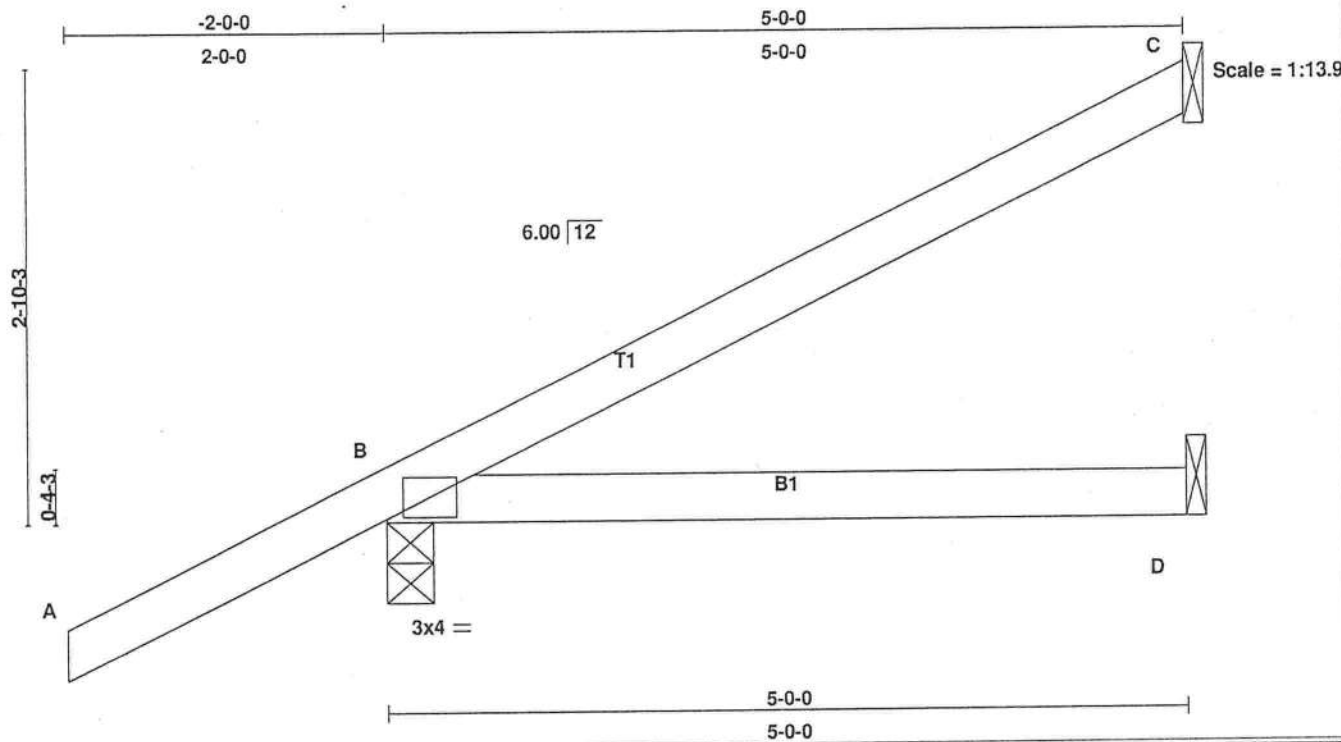
**FORCES** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

- NOTES** (5-6)
- 1) Wind: ASCE 7-02; 120mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=6.0psf; Category II; Exp B; enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed ; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
  - 2) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - 3) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
  - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 35 lb uplift at joint C and 241 lb uplift at joint B.
  - 5) Truss shall be fabricated per ANSI/TPI quality requirements. Plates shall be of size and type shown and centered at joints unless otherwise noted. Provide bracing where indicated and within 4" of interior joints. Bracing indicated is to reduce buckling of individual members only and does not replace erection and permanent bracing. Engineer's certification valid only when truss is fabricated by a UFPI operated plant. Building Designer shall verify all design information on this sheet for conformance with conditions and requirements of the specific building and governing codes and ordinances. The truss designer accepts no responsibility for the correctness or accuracy of the design information as it may relate to a specific building. Any references to job names and locations are for administrative purposes only and are not part of the review or certification of the truss designer.
  - 6) TN: Right end of top and bottom chords to be beveled 45° for tight fit to face of supporting members. Depth of beveled ends must not extend more than 1" below face of supporting member. Use two 16d common nails top and bottom installed per NDS, 1 1/2" from end of chord at 90° to face.

**LOAD CASE(S)** Standard

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7.030 s Jan 3 2008 MiTek Industries, Inc. Mon May 19 10:44:46 2008 Page 1



LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in	(loc)	I/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase	1.25	TC 0.33	Vert(LL)	-0.03	B-D	>999	240	MT20	244/190
TCDL 7.0	Lumber Increase	1.25	BC 0.21	Vert(TL)	-0.07	B-D	>831	180		
BCLL 0.0	Rep Stress Incr	YES	WB 0.00	Horz(TL)	-0.00	C	n/a	n/a		
BCDL 10.0	Code FBC2004/TPI2002		(Matrix)							Weight: 19 lb

LUMBER	BRACING
TOP CHORD 2 X 4 SYP No.2	TOP CHORD Structural wood sheathing directly applied or 5-0-0 oc purlins.
BOT CHORD 2 X 4 SYP No.2	BOT CHORD Structural wood sheathing directly applied or 10-0-0 oc bracing.

**REACTIONS** (lb/size) C=103/Mechanical, B=319/0-3-8, D=48/Mechanical  
Max Horz B=211(LC 5)  
Max Uplift C=-107(LC 5), B=-234(LC 5)  
Max Grav C=103(LC 1), B=319(LC 1), D=96(LC 2)

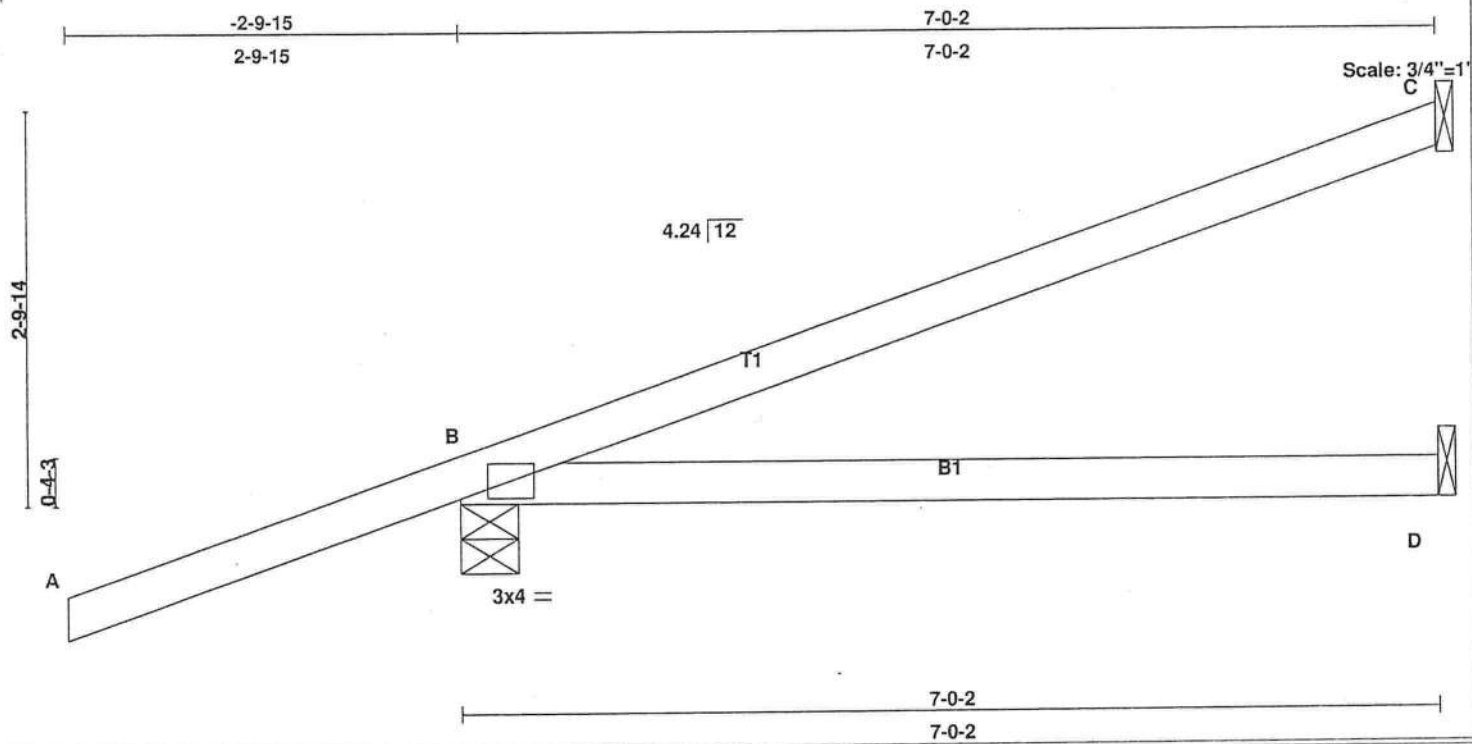
**FORCES** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

- NOTES** (5-6)
- 1) Wind: ASCE 7-02; 120mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=6.0psf; Category II; Exp B; enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
  - 2) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - 3) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
  - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 107 lb uplift at joint C and 234 lb uplift at joint B.
  - 5) Truss shall be fabricated per ANSI/TPI quality requirements. Plates shall be of size and type shown and centered at joints unless otherwise noted. Provide bracing where indicated and within 4" of interior joints. Bracing indicated is to reduce buckling of individual members only and does not replace erection and permanent bracing. Engineer's certification valid only when truss is fabricated by a UFPI operated plant. Building Designer shall verify all design information on this sheet for conformance with conditions and requirements of the specific building and governing codes and ordinances. The truss designer accepts no responsibility for the correctness or accuracy of the design information as it may relate to a specific building. Any references to job names and locations are for administrative purposes only and are not part of the review or certification of the truss designer.
  - 6) TNS: Right end cuts of top and bottom chords to butt to face of supporting members. Depth of end cut must not extend more than 1" below the face of supporting member. Use three 16d common toenails (two in one face & one in opp. face) top and bottom, installed per NDS, 1-1/8" from end of chord at 30° to face.

**LOAD CASE(S)** Standard

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Burlington, NC 27215  
5/19/2008

Job 58018753	Truss HJ5	Truss Type JACK	Qty 2	Ply 1	84 Lumber/ Pelley Addition
Universal Forest Products, Inc., Burlington, NC 27215, James Pickens			7.030 s Jan 3 2008 MiTek Industries, Inc. Mon May 19 10:44:46 2008 Page 1		



LOADING (psf)	SPACING	2-0-0	CSI	DEFL	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plates Increase	1.25	TC 0.69	Vert(LL)	-0.11	B-D	>747	240	MT20
TCDL 7.0	Lumber Increase	1.25	BC 0.45	Vert(TL)	-0.25	B-D	>321	180	244/190
BCLL 0.0	Rep Stress Incr	NO	WB 0.00	Horz(TL)	-0.00	C	n/a	n/a	
BCDL 10.0	Code FBC2004/TPI2002		(Matrix)						Weight: 26 lb

<b>LUMBER</b>	<b>BRACING</b>
TOP CHORD 2 X 4 SYP No.2	TOP CHORD Structural wood sheathing directly applied or 7-0-2 oc purlins.
BOT CHORD 2 X 4 SYP No.2	BOT CHORD Structural wood sheathing directly applied or 10-0-0 oc bracing.

<b>REACTIONS</b> (lb/size)	C=181/Mechanical, B=354/0-4-15, D=79/Mechanical
Max Horz B=197(LC 3)	
Max Uplift C=171(LC 3), B=294(LC 3)	
Max Grav C=181(LC 1), B=354(LC 1), D=147(LC 2)	

**FORCES** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

**NOTES** (6)

- 1) Wind: ASCE 7-02; 120mph (3-second gust); h=25ft; TCDL=4.2psf; BCDL=6.0psf; Category II; Exp B; enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed ; end vertical left and right exposed; Lumber DOL=1.33 plate grip DOL=1.33.
- 2) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 3) \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 1-0-0 wide will fit between the bottom chord and any other members.
- 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 171 lb uplift at joint C and 294 lb uplift at joint B.
- 5) In the LOAD CASE(S) section, loads applied to the face of the truss are noted as front (F) or back (B).
- 6) Truss shall be fabricated per ANSI/TPI quality requirements. Plates shall be of size and type shown and centered at joints unless otherwise noted. Provide bracing where indicated and within 4" of interior joints. Bracing indicated is to reduce buckling of individual members only and does not replace erection and permanent bracing. Engineer's certification valid only when truss is fabricated by a UFPI operated plant. Building Designer shall verify all design information on this sheet for conformance with conditions and requirements of the specific building and governing codes and ordinances. The truss designer accepts no responsibility for the correctness or accuracy of the design information as it may relate to a specific building. Any references to job names and locations are for administrative purposes only and are not part of the review or certification of the truss designer.

<b>LOAD CASE(S)</b> Standard
1) Regular: Lumber Increase=1.25, Plate Increase=1.25
Uniform Loads (plf)
Vert: A-B=-54
Trapezoidal Loads (plf)
Vert: B=-3(F=26, B=26)-to-C=-95(F=-21, B=-21), B=0(F=10, B=10)-to-D=-35(F=-8, B=-8)

Joseph W. Chandler, P.E.  
License No. 60527  
Universal Forest Products, Inc.  
5631 S. NC 62  
Burlington, NC 27215  
5/19/2008

**Columbia County Building Permit Application**

5867

<b>For Office Use Only</b>		Application # <u>0805-42</u>	Date Received <u>5/22/08</u>	By <u>GP</u>	Permit # <u>27082</u>
Zoning Official <u>BLK</u>	Date <u>27.05.08</u>	Flood Zone <u>X</u>	FEMA Map # <u>N/A</u>	Zoning <u>A-3</u>	
Land Use <u>A-3</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>PKJH</u>	Date <u>5-23-08</u>
Comments <u>Impact Fee Exempt legal non-conforming lot of record</u>					
<input checked="" type="checkbox"/> NOC <input type="checkbox"/> EH <input type="checkbox"/> Deed or PA <input type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Parent Parcel #					
<input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Authorization from Contractor					
<input type="checkbox"/> Unincorporated area <input type="checkbox"/> Incorporated area <input type="checkbox"/> Town of Fort White <input type="checkbox"/> Town of Fort White Compliance letter					

Septic Permit No. \_\_\_\_\_ Fax \_\_\_\_\_

Name Authorized Person Signing Permit CURTIS JONES Phone 239-591-0699

Address 222 SW CROSS POINTE CT LAKE CITY, FL 32024

Owners Name DOUGLAS + CATHY PELEN Phone 386-719-9491

911 Address 871 NW HORIZON ST., L.C. 32024

Contractors Name CJ CUSTOM CARPENTRY INC. Phone 386-754-4126

Address 222 SW CROSS POINTE CT. LAKE CITY FL, 32024

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address \_\_\_\_\_

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 29-35-16-02390-025 Estimated Cost of Construction \$ 25,000

Subdivision Name LOT 25 FAIRFIELD HILLS S/D. Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions GO W TO BROWN RD LEFT ON HORIZON HOUSE ON RT. 1/4 mile on light

Number of Existing Dwellings on Property ONE

Construction of Addition / SFD Total Acreage \_\_\_\_\_ Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 28'

Actual Distance of Structure from Property Lines - Front 80' Side 75' Side 225' Rear 125'

Number of Stories 1 Heated Floor Area 256 Total Floor Area 256 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

5/28/08  
left message to Curtis

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.


**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

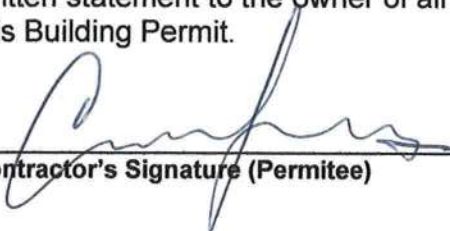
**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

  
\_\_\_\_\_  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

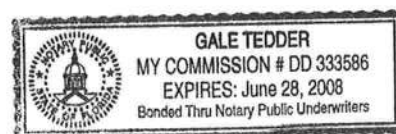
  
\_\_\_\_\_  
Contractor's Signature (Permitee)

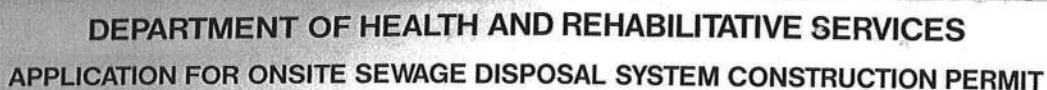
Contractor's License Number CC 1513223  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 22nd day of May 2008.  
Personally known ☒ or Produced Identification \_\_\_\_\_

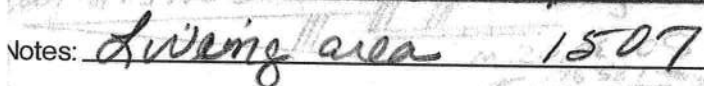
  
\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)

SEAL:





## **-PART II - SITE PLAN**



Site Plan Submitted by:

Marylin Chapel

Plan Approved

By John H. Miller

Not Approved

Columbia

TITLE

Date 11/4/23

County Public Unit

# NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 29-35-16-02390-025 HX

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): LOT 25 FAIRFIELD HILLS S/P  
a) Street (job) Address: 871 NW HORIZON ST.
2. General description of improvements: ROOM ADDITION
3. Owner Information  
a) Name and address: DOUGLAS + CATHY PELLEY 871 NW HORIZON ST  
b) Name and address of fee simple titleholder (if other than owner) LAKE CITY, FL 32025  
c) Interest in property \_\_\_\_\_
4. Contractor Information  
a) Name and address: CJ CUSTOM CARPENTRY INC - 222 SW CROSS POINTE CT LAKE CITY, FL  
b) Telephone No.: 386-754-4116 Fax No. (Opt.) 32029
5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond: N/A  
c) Telephone No.: N/A
6. Lender  
a) Name and address: \_\_\_\_\_  
b) Phone No. \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: N/A  
b) Telephone No.: N/A Fax No. (Opt.) \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:  
a) Name and address: N/A  
b) Telephone No.: N/A Fax No. (Opt.) \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

Inst: 200812009982 Date: 5/22/2008 Time: 2:16 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1150 P: 2796

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION, IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Douglas W. Pelley  
Cathy Pelley  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Douglas W. Pelley  
CATHY PELLEY  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 14 day of April, 2008, by:  
Douglas W. Pelley as Notary (type of authority, e.g. officer, trustee, attorney  
fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known \_\_\_\_\_ OR Produced Identification X Type FL DL P 400-179-52-009-0 Douglas 1-9-10  
Notary Signature Christine L Bareswill Notary Stamp or Seal: FL DL P 400-115-55-719-0 Cathy 6-19-09

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that facts stated in it are true to the best of my knowledge and belief.

NOTARY PUBLIC-STATE OF FLORIDA  
Christine L. Bareswill  
Commission #DD768742  
Expires: MAR. 17, 2012  
BONDED TRAIL ATLANTIC BONDING CO., INC.

Signature of Natural Person Signing (in line #10 above.)

PREPARED BY:  
CURTIS JONES  
222 SW CROSS POINTE CT.  
LAKE CITY, FL 32029



STATE OF FLORIDA  
DEPARTMENT OF BUSINESS AND  
PROFESSIONAL REGULATION

AC# 3156066

CGC1513223 03/22/07 050520696

CERTIFIED GENERAL CONTRACTOR  
JONES, CURTIS KEVIN  
CJ CUSTOM CARPENTRY INC

IS CERTIFIED under the provisions of Ch. 489 FS.  
Expiration date: AUG 31, 2008 L07032200107

# Columbia County Property Appraiser

DB Last Updated: 4/15/2008

## 2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 29-3S-16-02390-025 HX

Search Result: 1 of 1

### Owner & Property Info

<b>Owner's Name</b>	PELLEY DOUGLAS W & CATHY		
<b>Site Address</b>	HORIZON		
<b>Mailing Address</b>	871 NW HORIZON ST LAKE CITY, FL 32025		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Neighborhood</b>	29316.01	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA01	<b>Market Area</b>	01
<b>Total Land Area</b>	2.550 ACRES		
<b>Description</b>	LOT 25 FAIRFIELD HILLS S/D. ORB 773-1971, 834-704, 972-2115.		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$59,670.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$126,536.00
<b>XFOB Value</b>	cnt: (2)	\$14,510.00
<b>Total Appraised Value</b>		\$200,716.00

<b>Just Value</b>	\$200,716.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$155,095.00
<b>Exempt Value</b>	(code: HX) \$25,000.00
<b>Total Taxable Value</b>	\$130,095.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
1/22/2003	972/2115	WD	I	Q		\$142,000.00
2/3/1997	834/704	WD	I	Q		\$85,500.00
4/21/1993	773/1971	WD	V	Q		\$14,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1994	Common BRK (19)	1995	2305	\$126,536.00
<b>Note:</b> All S.F. calculations are based on <u>exterior</u> building dimensions.						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$830.00	1.000	0 x 0 x 0	(.00)

WARRANTY DEED

THIS INDENTURE, Made this 22<sup>nd</sup> day of January, 2003, between BENJAMIN F. LITTLE and MARGARITA F. LITTLE, his wife, whose address is Route 17, Box 817-2, Lake City, FL 32055, Grantors, and DOUGLAS W. PELLEY and CATHY PELLEY, his wife, whose address is 290 NW 120<sup>th</sup> Street, Miami, Florida 33168, Grantees,

WITNESSETH:

That said Grantors, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS, and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said Grantees, and Grantees' heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 25, Fairfield Hills, a subdivision according to the plat thereof, recorded in Plat Book 4, Page 107A, of the public records of Columbia County, Florida.

SUBJECT TO: Taxes for 2003 and subsequent years; restrictions and easements of record; and easements shown by the plat of said property.  
Tax Parcel No. 29-3S-[REDACTED]

And said Grantors do hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Eddie M. Anderson  
Print Name: Eddie M. Anderson

Benjamin F. Little  
BENJAMIN F. LITTLE

Michelle Vaughn  
Print Name: Michelle Vaughn

Margarita F. Little  
MARGARITA F. LITTLE

Witnesses as to Grantors

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 22<sup>nd</sup> day of January, 2003, by BENJAMIN F. LITTLE and MARGARITA F. LITTLE. They produced drivers license as identification.

(Notarial Seal)  Michelle Vaughn  
Commission # CC956240  
Expires Aug. 17, 2004  
Becoded Three  
Martin Binding Co., Inc.

Michelle Vaughn  
Notary Public  
My Commission Expires:

PREPARED BY:  
EDDIE M. ANDERSON, P.A.  
POST OFFICE BOX 1179  
LAKE CITY, FLORIDA 32056-1179

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

**Project Summary**  
**Entire House**  
 Glenn I. Jones Inc.

Job: Pelley addition  
 Date:  
 By: Louis Weeks

## Project Information

For: Pelley Addition

Notes:

## Design Information

Weather: Jacksonville Cecil Field NAS, FL, US

### Winter Design Conditions

Outside db	34 °F
Inside db	68 °F
Design TD	34 °F

### Summer Design Conditions

Outside db	95 °F
Inside db	75 °F
Design TD	20 °F
Daily range	M
Relative humidity	50 %
Moisture difference	40 gr/lb

### Heating Summary

Structure	5935 Btuh
Ducts	769 Btuh
Central vent (39 cfm)	1457 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	8161 Btuh

### Sensible Cooling Equipment Load Sizing

Structure	5299 Btuh
Ducts	1083 Btuh
Central vent (39 cfm)	857 Btuh
Blower	0 Btuh
Use manufacturer's data	n
Rate/swing multiplier	1.00
Equipment sensible load	7240 Btuh

### Infiltration

Method	Simplified Average	
Construction quality	Average	
Fireplaces	0	
	Heating	Cooling
Area (ft <sup>2</sup> )	256	256
Volume (ft <sup>3</sup> )	2048	2048
Air changes/hour	0.61	0.32
Equiv. AVF (cfm)	21	11

### Latent Cooling Equipment Load Sizing

Structure	499 Btuh
Ducts	184 Btuh
Central vent (39 cfm)	1068 Btuh
Equipment latent load	1751 Btuh
Equipment total load	8990 Btuh
Req. total capacity at 0.70 SHR	0.9 ton

### Heating Equipment Summary

Make	
Trade	
Model	
ARI ref no.	
Efficiency	0 HSPF
Heating input	
Heating output	0 Btuh @ 47°F
Temperature rise	0 °F
Actual air flow	273 cfm
Air flow factor	0.041 cfm/Btuh
Static pressure	0.50 in H2O
Space thermostat	

### Cooling Equipment Summary

Make	
Trade	
Cond	
Coil	
ARI ref no.	
Efficiency	0 EER
Sensible cooling	0 Btuh
Latent cooling	0 Btuh
Total cooling	0 Btuh
Actual air flow	273 cfm
Air flow factor	0.043 cfm/Btuh
Static pressure	0.50 in H2O
Load sensible heat ratio	0.81

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



27082

*CJ Custom Carpentry, Inc  
222 SW Cross Pointe Ct  
Lake City, FL 32024  
386-754-4116 Bus/Fax  
CGC1513223*

*Columbia County Building Department*

*To all building department employees:*

*On October 19<sup>th</sup>, 2008 a final inspection was requested by someone other than myself. (Permit Number 27082) I called and discovered that on October 20<sup>th</sup>, 2008 this inspection was done without my consent, I did not authorize this inspection to be done. Furthermore, I do not authorize anyone other than myself to complete out this certificate of completion. I will call when I am ready for this certificate of completion to be completed and I will be the only authorize person to pick it up. Thank you for your understanding in this matter.*

*Sincerely,*

*Curtis Jones- President  
CJ Custom Carpentry Inc.*

# CERTIFICATE OF OCCUPANCY

## OCCUPANCY

COLUMBIA COUNTY, FLORIDA

### Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 29-3S-16-02390-025

Building permit No. 000027082

Use Classification ADDITION/SFD

Fire: 0.00

Permit Holder CURTIS JONES

Waste: \_\_\_\_\_

Owner of Building DOUGLAS & CATHY PELLEY

Total: 0.00

Location: 871 NW HORIZON ST., LAKE CITY, FL

Date: 10/21/2008

*Harry Dick*

Building Inspector

POST IN A CONSPICUOUS PLACE  
(Business Places Only)

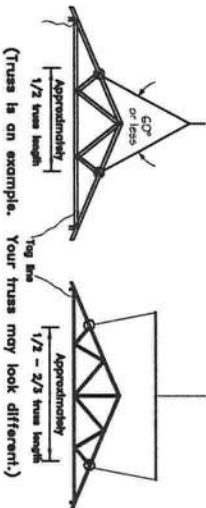


CONVENTIONAL OVERFRAMING



WARNING!

REFER TO BCSI 1-03 FOR PROPER HANDLING, INSTALLING & BRACING! Trusses must be set per below if crane is used! 30' Span or less Truss Spans 30' to 60'

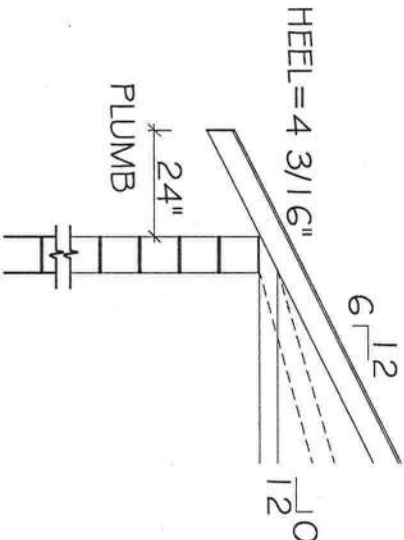


TRUSS REPAIRS: All necessary truss repairs must be reported to an Universal Forest Products, Inc. (UFP) representative within 48 hours of observation. No backcharges shall be honored unless verified & preauthourized in writing by UFP.

Note: This drawing is the property of UFP & is not to be used for any purpose detrimental to the interest of UFP.

The builder, contractor, and/or erector must install trusses in accordance with the Building Component Safety Information (BSCI 1-03) jointly produced by Wood Truss Council of America (www.woodtruss.com) & Truss Plate Institute (www.tpi.org)

Shingle Roof



ROOF LOADING	
TCL =	20 PSF
TCDL =	7 PSF
BCL =	0 PSF
BCDL =	10 PSF
TOTAL =	37 PSF
D.O.L. =	1.25
WIND METHOD: MWFRS	
WIND SPEED: 120 MPH	
TYPE: ENCLOSED	
BLDG EXPOSURE: B	
USAGE CAT.: II	
FBC2004/ASCE 7-02	
FLOOR LOADING	
TCL =	PSF
TCDL =	PSF
BCL =	PSF
TOTAL =	PSF

WALL LEGEND



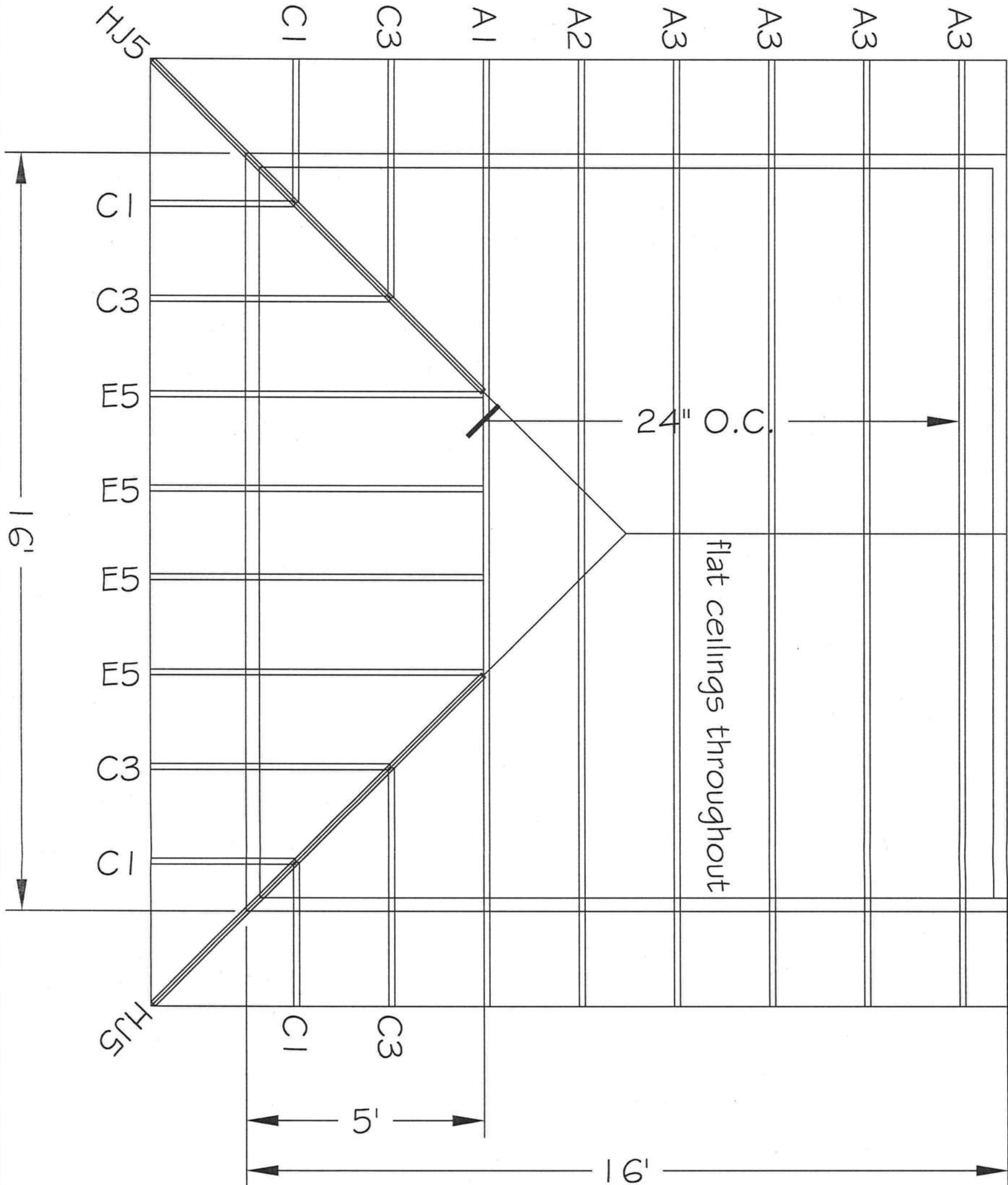
JOB INFORMATION

Builder: 84 Lumber  
Job Name/Model: Pelley Addition  
Elev. & Opt: roof layout  
Subdivision:

Address:

\* Design #: B08009959

DESCRIPTION	INT.	DATE
CREATED NEW	JLB	5.19.2008



APPROVAL

- LAYOUT AND TRUSS DESIGN BASED ON PRINTS PROVIDED BY CUSTOMER DATED    via   .
- PROFILES OF INDIVIDUAL TRUSSES MUST BE CAREFULLY REVIEWED BEFORE APPROVAL SIGN OFF.
- REQUESTED TRUSS DELIVERY DATE    (Please allow 3 weeks from approval date for truss delivery.)
- SIGNED:    TODAY'S DATE:

27082



**Middleton** Since 1952  
LAWN & PEST CONTROL

1900 33RD STREET • ORLANDO, FL 32839-8856

**1-866-FLA-FROG**

**NOTICE OF INTENT FOR PREVENTATIVE TREATMENTS FOR TERMITES**

(as required by Florida Building Code (FBC) 104.2.6)

ADDRESS OF  
TREATMENT  
OR LOT/BLOCK  
OF TREATMENT

871 New Horizon St  
Lake City, FL 32055

Date 7/16/2008

**BORA-CARE Termiticide (Wood Treatment)**

Product used

**Disodium Octaborate Tetrahydrate**

Chemical used (active ingredient)

**23% Active Ingredient**

Percent concentration

**Application will be performed onto structural wood at dried-in stage of construction**

Stage of treatment (Horizontal, Vertical, Adjoining Slab, retreat of disturbed area)

BORA-CARE Termiticide application shall be applied according to EPA registered label directions as stated in the Florida Building Code Section 1816.1.8.

(INFORMATION TO BE PROVIDED TO LOCAL BUILDING CODE OFFICES PRIOR TO CONCRETE FOUNDATION INSTALLATION)