

Will print original 2010 plans at pickup J.C.

Columbia County Building Permit Application

For Office Use Only Application # 1203-46 Date Received 3/26 By TD Permit # 30074
Zoning Official BLK Date 04 APRIL 2012 Flood Zone X Land Use A-3 Zoning A-3
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C. Date 4-2-12
Comments _____
☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
IMPACT FEES: EMS _____ Fire _____ Corr _____ ☒ Sub VF Form
Road/Code _____ School _____ = TOTAL (Suspended) ☒ App Fee Paid

Septic Permit No. X-27-IN BOX Carolyn Dyess Fax _____
Name Authorized Person Signing Permit _____ Phone 941-755-3332
Address P.O. Box 20872, Bradenton, FL 34204 561-662-0099 Cell #
Owners Name CAROLYN DYESS Phone 941-755-3332
911 Address 366 SW MONTANA RD FT. WHITE, FL
Contractors Name CAROLYN DYESS Phone 941-755-3332 37038
Address 366 SW MONTANA RD FT WHITE
Fee Simple Owner Name & Address _____
Bonding Co. Name & Address _____
Architect/Engineer Name & Address CAROLINA CARPORTS INC
Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy
Property ID Number 00-00-00-01191000 Estimated Cost of Construction 21,000
Subdivision Name 3-RIVERS EST. Lot 58 Block 59 Unit 19 Phase _____
Driving Directions From RT 75 441 TO RT 27 TO ENTRANCE TO 3 RIVER ESTATES / NEWARK RD, TO MONTANA RD, 2ND AVE ON L.
Number of Existing Dwellings on Property 1
Construction of GARAGE Total Acreage 1 1/4 Lot Size _____
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____
Actual Distance of Structure from Property Lines - Front 110 Side 25 Side 360+ Rear 40
Number of Stories 1 Heated Floor Area _____ Total Floor Area 30x45 = 1350 Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.

ck#: 2115 spoke to Carolyn 4-10-12

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1203-96

CONTRACTOR

Carolyn Dyess

PHONE

541.755.3332

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<input checked="" type="checkbox"/> ELECTRICAL	Print Name <u>CAROLYN DYESS</u>	Signature <u>CAROLYN DYESS</u>	Phone #: <u>941.755.3332</u>
	License #: <u>Owner</u>		
<input checked="" type="checkbox"/> MECHANICAL/ A/C	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
<input checked="" type="checkbox"/> PLUMBING/ GAS	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
<input checked="" type="checkbox"/> ROOFING	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
<input checked="" type="checkbox"/> SHEET METAL	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
<input checked="" type="checkbox"/> FIRE SYSTEM/ SPRINKLER	Print Name _____	Signature _____	Phone #: _____
	License #: _____		
<input checked="" type="checkbox"/> SOLAR	Print Name _____	Signature _____	Phone #: _____
	License #: _____		

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
<input checked="" type="checkbox"/> MASON	<u>Owner</u>	<u>CAROLYN DYESS</u>	<u>CAROLYN DYESS</u>
<input checked="" type="checkbox"/> CONCRETE FINISHER			
<input checked="" type="checkbox"/> FRAMING			
<input checked="" type="checkbox"/> INSULATION			
<input checked="" type="checkbox"/> STUCCO			
<input checked="" type="checkbox"/> DRYWALL			
<input checked="" type="checkbox"/> PLASTER			
<input checked="" type="checkbox"/> CABINET INSTALLER			
<input checked="" type="checkbox"/> PAINTING			
<input checked="" type="checkbox"/> ACOUSTICAL CEILING			
<input checked="" type="checkbox"/> GLASS			
<input checked="" type="checkbox"/> CERAMIC TILE			
<input checked="" type="checkbox"/> FLOOR COVERING			
<input checked="" type="checkbox"/> ALUM/VINYL SIDING			
<input checked="" type="checkbox"/> GARAGE DOOR			
<input checked="" type="checkbox"/> METAL BLDG ERECTOR	<u>Owner</u>	<u>CAROLYN DYESS</u>	<u>CAROLYN DYESS</u>

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)


Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20__.

Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

01191-000

Clerk's Office Stamp

201212004273 Date: 3/20/2012 Time: 12:36 PM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1231 P: 1784

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 3 RIVERS EST. UNIT-19 LOT 59
a) Street (job) Address: 366 SW MONTANA RD. FT. WHITE 32038
2. General description of improvements: GARAGE
3. Owner Information
a) Name and address: CAROLYN DYCESS
b) Name and address of fee simple titleholder (if other than owner): 366 SW MONTANA RD
c) Interest in property: OWNER
4. Contractor Information
a) Name and address: OWNER
b) Telephone No.: _____ Fax No. (Opt.): _____
5. Surety Information
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.): _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.): _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(b), Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.): _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Carolyn Dyce
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager

Printed Name

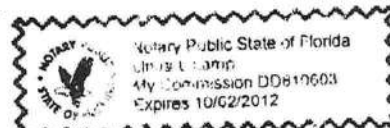
The foregoing instrument was acknowledged before me, a Florida Notary, this 9th day of March, 2012, by:

CAROLYN DYCESS as owner (type of authority, e.g. officer, trustee, attorney

fact) for mt (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification _____ Type _____

Notary Signature Gene L. Lox Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Carolyn Dyce
Signature of Natural Person Signing (In line #10 above.)



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

306 S.W. MONTANA RD, FT. WHITE, FL 32098

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

- () Single Family Dwelling () Two-Family Residence () Farm Outbuilding
() Addition, Alteration, Modification or other Improvement
() Commercial, Cost of Construction _____ Construction of _____
(X) Other GARAGE

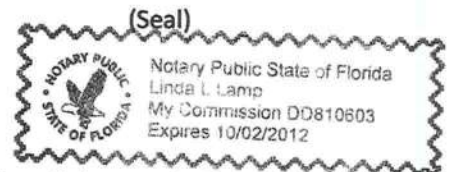
I, CAROLYN DYESS, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Carolyn Dyess _____ Date 3/9/12
Owner Builder Signature

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification personally known

Notary Signature Linda L Lamp Date 3/9/12



FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative David L. Lane

Columbia County Property Appraiser

DB Last Updated: 3/12/2012

2011 Tax Year

Parcel: 00-00-00-01191-000

<< Next Lower Parcel

Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

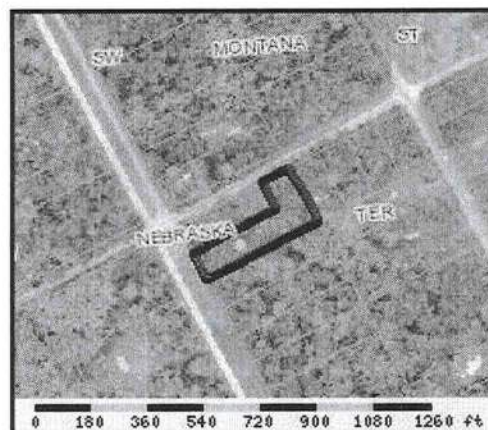
<< Prev

Search Result: 32 of 43

Next >>

Owner & Property Info

Owner's Name	DYESS CAROLYN		
Mailing Address	P O BOX 20872 BRADENTON, FL 34204		
Site Address	366 SW MONTANA ST		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	100000
Land Area	0.918 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 58-C & 59 UNIT 19 THREE RIVERS ESTATES. ORB 598-642, 827-415, 385-414, 877-2157, WD 1084-953			



Property & Assessment Values

2011 Certified Values		
Mkt Land Value	cnt: (0)	\$9,600.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (1)	\$26,669.00
XFOB Value	cnt: (2)	\$864.00
Total Appraised Value		\$37,133.00
Just Value		\$37,133.00
Class Value		\$0.00
Assessed Value		\$37,133.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$37,133 Other: \$37,133 Schl: \$37,133	

2012 Working Values

NOTE:
2012 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
5/9/2006	1084/953	WD	I	Q		\$45,000.00
3/31/1999	877/2157	WD	I	Q		\$30,000.00
8/27/1996	827/415	WD	I	U	35	\$25,000.00
9/1/1986	600/747	WD	V	U	01	\$2,700.00
7/1/1985	569/509	WD	V	U	01	\$1,700.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1991	WD ON PLY (08)	644	826	\$26,232.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0070	CARPORT UF	1993	\$384.00	0000192.000	12 x 16 x 0	(000.00)

C. Stamps \$35.00
RETURN TO
U. S. Title
642 N.E. Santa Fe Blvd.
High Springs, FL 32643
5H-3557.

Inst:2006012319 Date:05/22/2006 Time:10:03
Doc Stamp-Deed : 315.00
S.F. DC, P. Dewitt Cason, Columbia County B:1084 P:953

[Space Above This Line for Recording Data]
Parcel I.D. No.: 00-00-00-01191-000

WARRANTY DEED

This Indenture made this **9th** day of **May, 2006** BETWEEN **SCOTT A. METZGAR, A SINGLE MAN,** GRANTOR*, whose post office address is C/O WILLIAM METZGAR, 104 MARSH LANE, WIND GAP, PA 18091 and **CAROLYN DYESS, a Married Woman,** GRANTEE*, whose post office address is 2560 INISBROOK ROAD, WEST PALM BEACH, FL 33407.

WITNESSETH, That said Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee and grantee's heirs forever the following described land located in the County of COLUMBIA, State of Florida, to-wit:

Lots 58C and 59, UNIT 19, THREE RIVERS ESTATES, a subdivision as recorded in Plat Book 6, Page 13, of the Public Records of Columbia County, Florida.

SUBJECT TO covenants, restrictions and easements of record, if any; however, this reference thereto shall not operate to reimpose same.


and the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land, and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2005.

*Singular and plural are interchangeable as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

WITNESSES


Typed Name: MARIANNA WERLEY

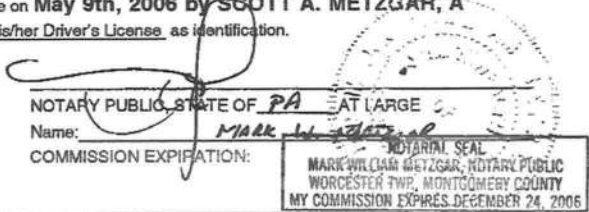

SCOTT A. METZGAR


Typed Name: JAMES CYACK

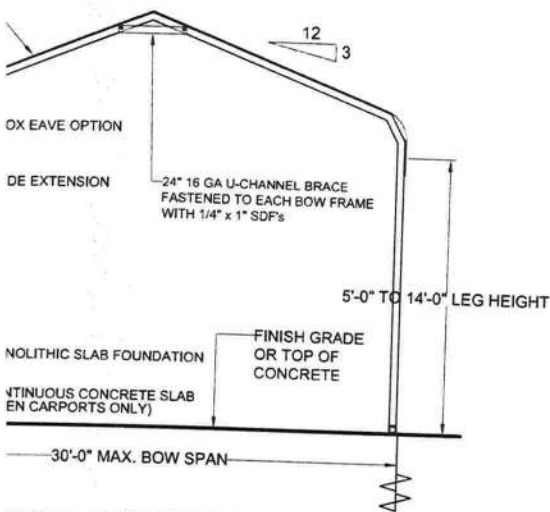
COUNTY OF
STATE OF ~~FLORIDA~~

THE FOREGOING INSTRUMENT was acknowledged before me on **May 9th, 2006** by **SCOTT A. METZGAR, A SINGLE MAN,** who is/are personally known to me or has produced his/her Driver's License as identification.

[Seal]


NOTARY PUBLIC, STATE OF PA AT LARGE
Name: MARK W. METZGAR
COMMISSION EXPIRATION: DECEMBER 24, 2006

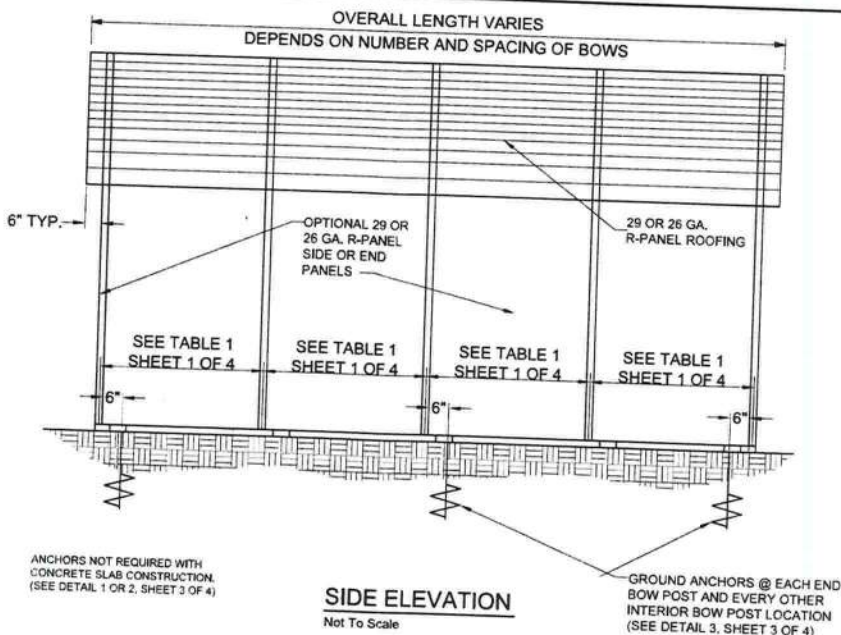
THIS INSTRUMENT WAS PREPARED BY: JANNETTE S. BOYD, an employee of U.S. TITLE, 642 N.E. SANTA FE BLVD., HIGH SPRINGS, FLORIDA 32643, as a necessary incident to fulfill the requirements of a Title Insurance Binder issued by IL USH-3557.



TYPICAL BOW SECTION

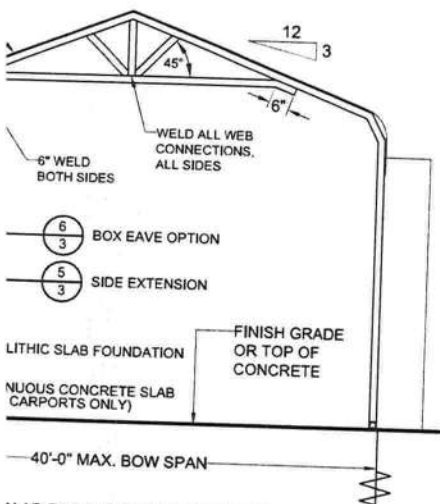
To Scale

ANCHORS NOT REQUIRED WITH CONCRETE SLAB CONSTRUCTION. (SEE DETAIL 1 OR 2, SHEET 3 OF 4)



SIDE ELEVATION

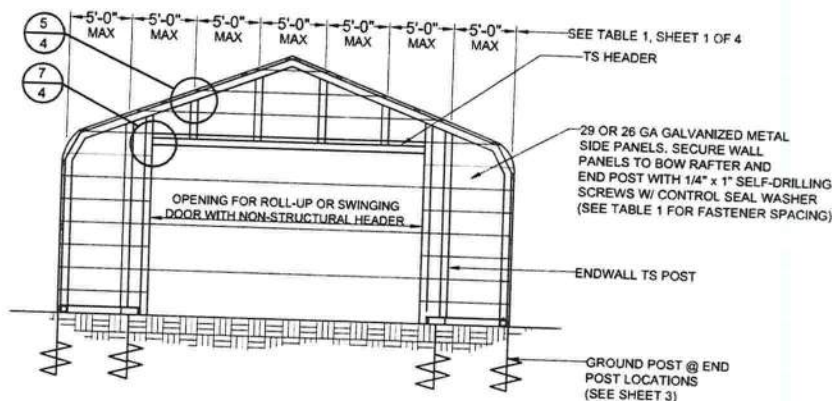
Not To Scale



BOXED BOW SECTION

To Scale

ANCHORS NOT REQUIRED WITH CONCRETE SLAB CONSTRUCTION. (SEE DETAIL 1 OR 2, SHEET 3 OF 4)

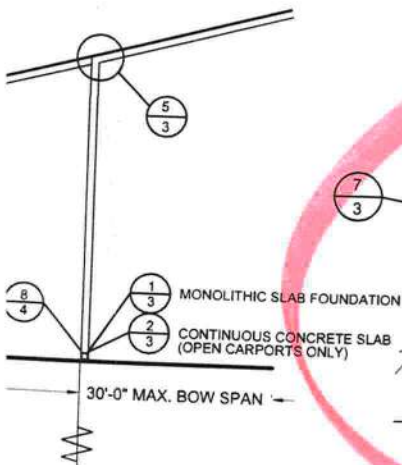


END WALL OPENING

Not To Scale

ANCHORS NOT REQUIRED WITH CONCRETE SLAB CONSTRUCTION. (SEE DETAIL 1 OR 2, SHEET 3 OF 4)

ANCHORS NOT REQUIRED WITH CONCRETE SLAB CONSTRUCTION. (SEE DETAIL 1 OR 2, SHEET 3 OF 4)

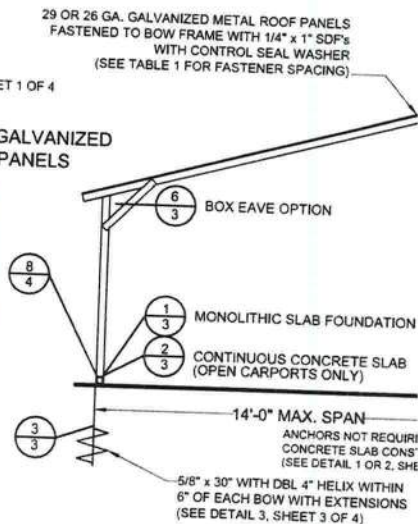


FOUNDATION



GABLED OPEN END WALL SECTION

Not To Scale



TYPICAL FREESTANDING LEG

Not To Scale

**METAL CARPORT INSTALLATION PLANS AND DETAILS
AND
FRAMING AND FASTENER SPECIFICATIONS**

FOR CONSTRUCTION IN THE
STATE OF FLORIDA

PREPARED FOR:
CAROLINA CARPORTS, INC.
P.O. BOX 1263
DOBSON, NORTH CAROLINA 27017

PREPARED BY:
BECHTOL ENGINEERING AND TESTING, INC.
605 WEST NEW YORK AVENUE
DELAND, FLORIDA 32720
Certificate of Authorization No. 00005492



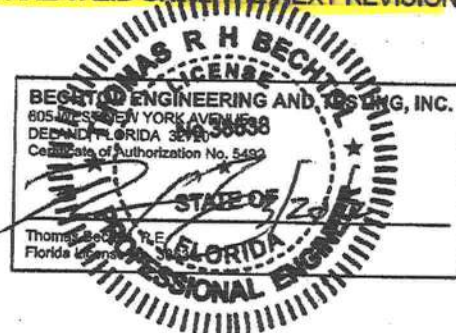
WINDOW AND DOOR NOTE

EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND BEAR AN AAMA OR WDMA OR OTHER APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT EVALUATION ENTITY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF THE FOLLOWING SPECIFICATION:

ANSI/AAMA/NWDA 101/IS2 2/97

THE CONSTRUCTION SHALL BE TESTED IN ACCORDANCE WITH ASTM E 330, STANDARD TEST METHODS FOR STRUCTURAL PERFORMANCE OF EXTERIOR WINDOWS, CURTAIN WALLS, AND DOORS BY UNIFORM STATIC AIR PRESSURE.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2010 FLORIDA BUILDING CODE. THE PLANS ARE VALID UNTIL THE NEXT REVISION OF THE FLORIDA BUILDING CODE.



CAROLINA CARPORTS, INC.



**BECHTOL ENGINEERING
AND TESTING, Inc.**

CONSULTING GEOTECHNICAL, ENVIRONMENTAL, AND MATERIALS TESTING ENGINEERS
Certificate of Authorization No. 0000492

FIELD:	DATE:	03-16-12
DRAWN: RR	SCALE:	NTS
CHECKED: JP	PROJECT NO.:	06175
APPROVED: TB	SHEET 1 OF 4	

TABLE 1
BOW/RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING SPECIFICATIONS

RISK CATEGORY	WIND EXPOSURE CATEGORY	ULTIMATE WIND SPEED (MPH)	MAXIMUM BOW AND END POST SPACING (FEET)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS (INCHES)	
				INTERIOR BOWS	END BOWS
I or II	B, C, or D	115 TO 150	5.0	6	6
		151 TO 180	4.0	6	6

NOTES: 1. Specifications applicable to 26 gauge metal panels fastened directly to 12 or 14 gauge steel tube bow frames.
2. Fasteners consist of 1/4"-14X1" self-drilling screws with control seal washer.
3. Specifications applicable only for mean roof height of 20 feet or less, and roof slopes of 14° (3:12 pitch). Spacing requirements for other roof heights and/or slopes may vary.
4. Ground anchor requirements are 1 @ each corner and one every other interior bow/rafter post location, at a maximum of 10' O.C., and both sides of openings where base rail is absent.
5. Ground anchors are not required with concrete slab construction.

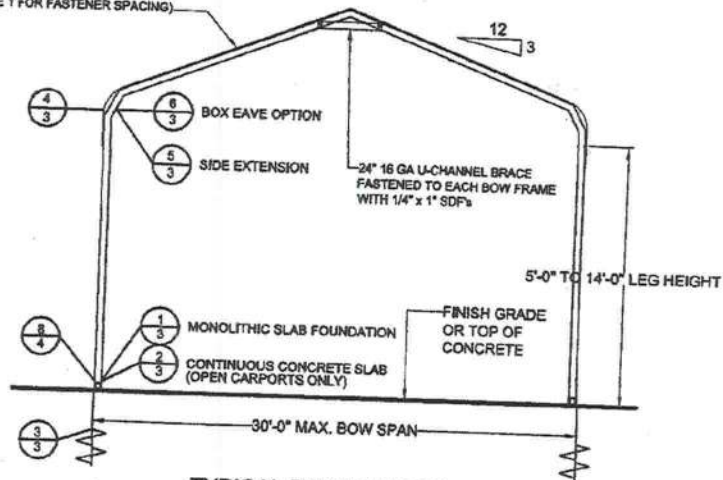
APPROVED PRODUCTS LIST

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	APPROVAL No. & DATE
STRUCTURAL COMPONENTS	ROOF DECK	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL6596-R1 10/14/08
STRUCTURAL COMPONENTS	STRUCTURAL WALL	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL6702-R1 10/14/08
EXTERIOR DOORS	SWINGING	ELIXIR INDUSTRIES GA. Model 402-14	FL1722-R3 10/13/09
EXTERIOR DOORS	ROLL-UP	ASTA INDUSTRIES INC. Model 203	FL8888-R2 12/09/09
WINDOWS	SINGLE HUNG	PHILLIPS PRODUCTS, INC. Model 23V	FL6228-R1 10/11/06

GENERAL NOTES:

1. ALL STEEL TUBING SHALL BE 50 KSI STEEL.
2. FASTEN METAL ROOF AND WALL PANELS TO FRAMING WITH 1/4" x 1" SELF DRILLING FASTENERS WITH CONTROL SEAL WASHER @ 6" O.C. AVERAGE. (SEE TABLE 1 FOR FASTENER SPACING SPECIFICATIONS)
3. ALL FIELD CONNECTIONS SHALL BE 1/4" x 1" SELF DRILLING SCREWS.
4. ALL SHOP CONNECTIONS SHALL BE WELDED.

26 GA. GALVANIZED METAL ROOF PANELS
FASTENED TO BOW FRAME WITH 1/4" x 1" SDF's
WITH CONTROL SEAL WASHER.
(SEE TABLE 1 FOR FASTENER SPACING)

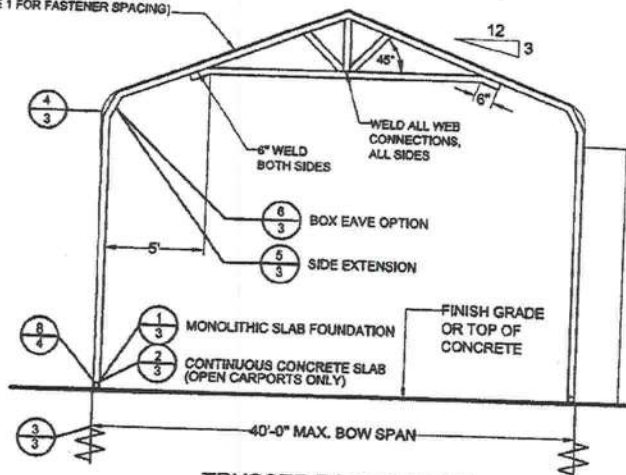


TYPICAL BOW SECTION

Not To Scale

ANCHORS NOT REQUIRED WITH
CONCRETE SLAB CONSTRUCTION.
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)

26 GA. GALVANIZED METAL ROOF PANELS
FASTENED TO RAFTER/BOW FRAME WITH
1/4" x 1" SDF's WITH CONTROL SEAL WASHER.
(SEE TABLE 1 FOR FASTENER SPACING)

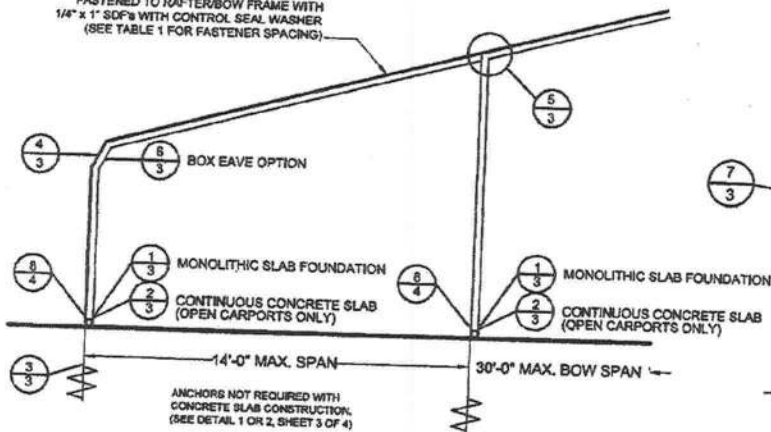


TRUSSED BOW SECTION

Not To Scale

ANCHORS NOT REQUIRED WITH
CONCRETE SLAB CONSTRUCTION.
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)

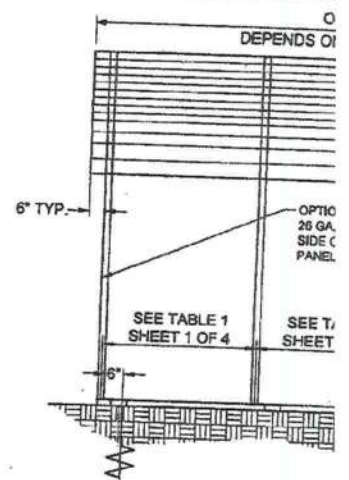
26 GA. GALVANIZED METAL ROOF PANELS
FASTENED TO RAFTER/BOW FRAME WITH
1/4" x 1" SDF's WITH CONTROL SEAL WASHER.
(SEE TABLE 1 FOR FASTENER SPACING)



TYPICAL SIDE EXTENSION SECTION

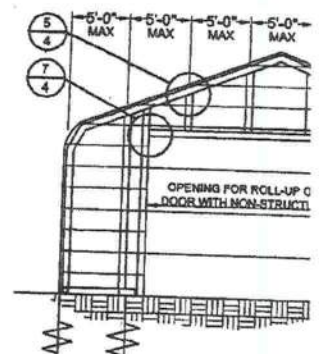
Not To Scale

ANCHORS NOT REQUIRED WITH
CONCRETE SLAB CONSTRUCTION.
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)



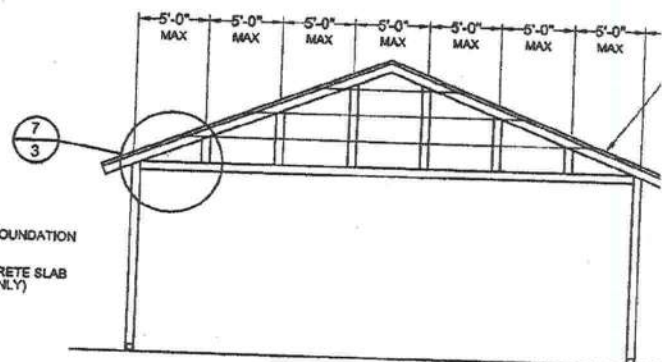
ANCHORS NOT REQUIRED WITH
CONCRETE SLAB CONSTRUCTION.
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)

SI
NOT



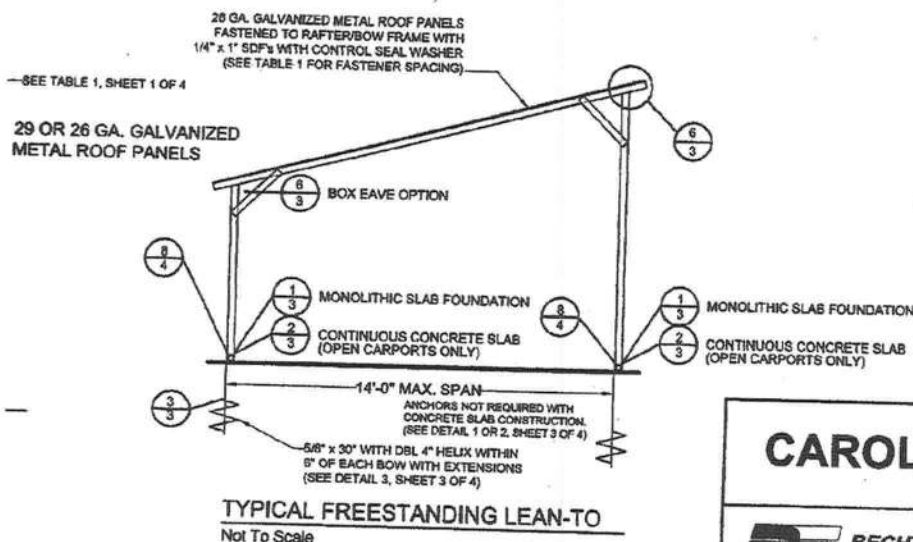
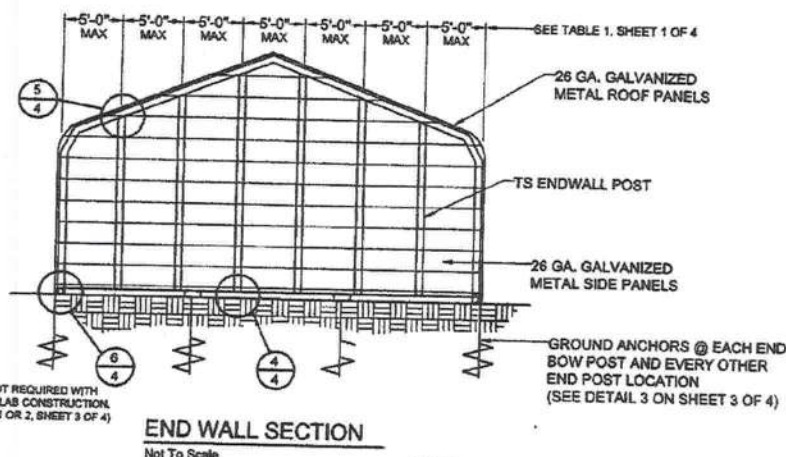
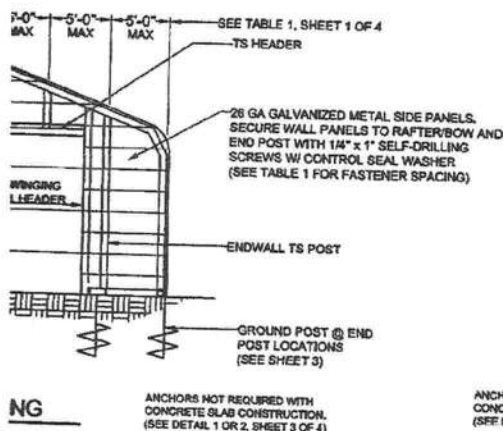
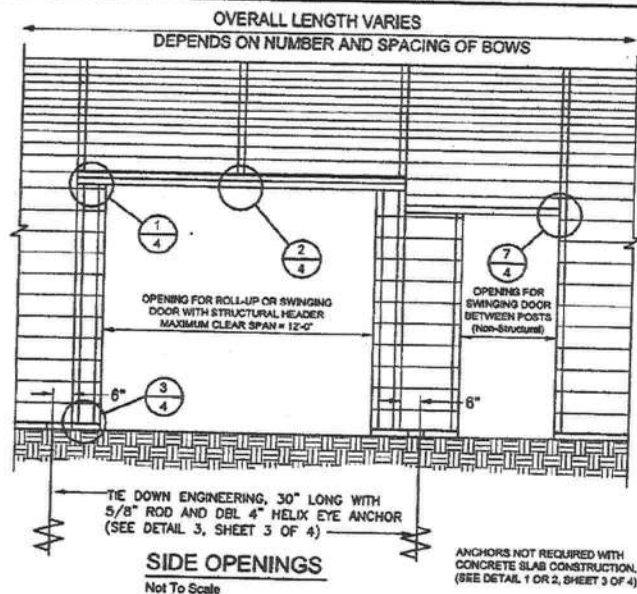
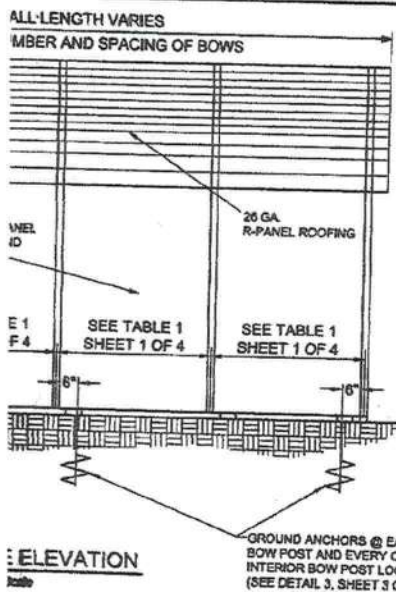
END WALL OPENING

Not To Scale



GABLED OPEN END WALL SECTION

Not To Scale



NOTE:
14 GA FRAMING IS 2-1/2" x 2-1/2" TUBE STEEL.
12 GA FRAMING IS 2-1/4" x 2-1/4" TUBE STEEL.
NIPPLES ARE 2-1/4" x 2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2" x 2" 12 GA T.S. FOR 12 GA FRAMING.



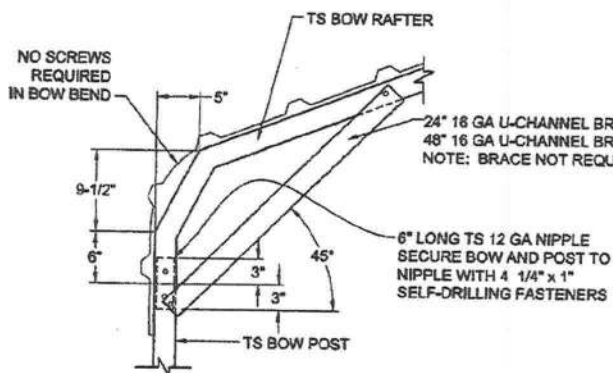
CAROLINA CARPORTS, INC.



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Certificate of Authorization No. 00001402

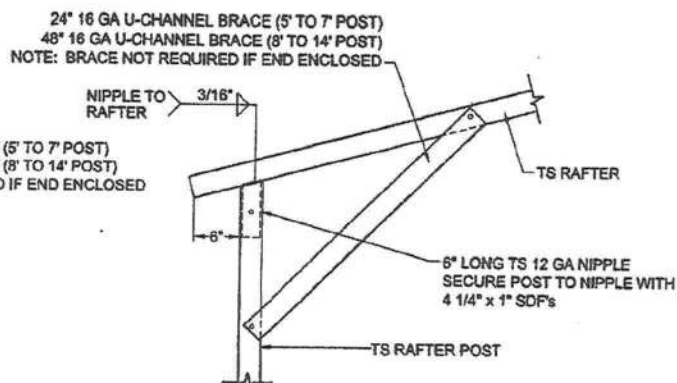
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DESIGNED: RR	SCALE: NTS
CHECKED: JP	PROJ. NO.: 06175
APPROVED: TB	SHEET 2 OF 4



4

BOW/CORNER POST DETAIL

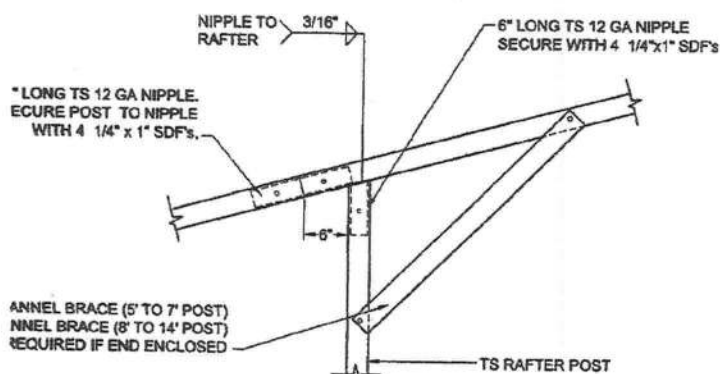
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6

BOX EAVE RAFTER/ CORNER POST DETAIL

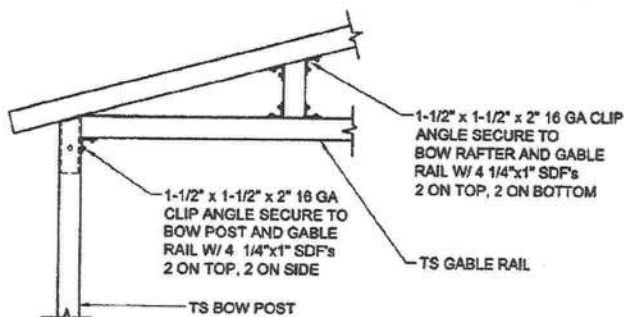
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5

SIDE EXTENSION RAFTER/ CORNER POST DETAIL

Not To Scale

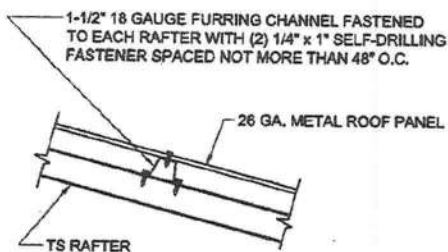


7

GABLE RAIL TO RAFTER POST CONNECTION DETAIL

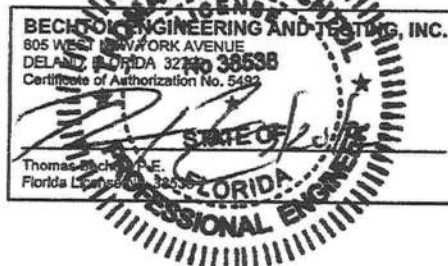
Not To Scale

NOTE:
14 GA FRAMING IS 2-1/2" x 2-1/2" TUBE STEEL.
12 GA FRAMING IS 2-1/4" x 2-1/4" TUBE STEEL.
NIPPLES ARE 2-1/4" x 2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2" x 2" 12 GA T.S. FOR 12 GA FRAMING.



ROOF PANEL ATTACHMENT

(ALTERNATE FOR VERTICAL ROOF PANELS)
Not To Scale



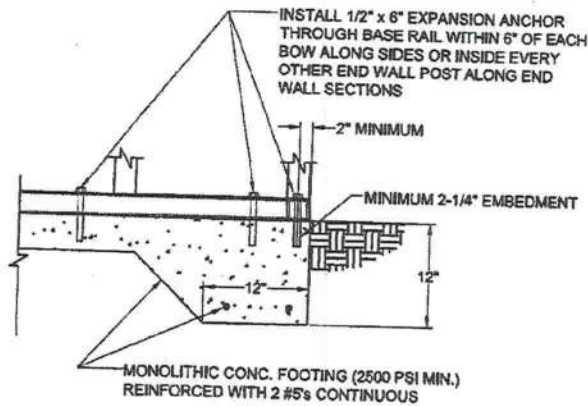
CAROLINA CARPORTS, INC.



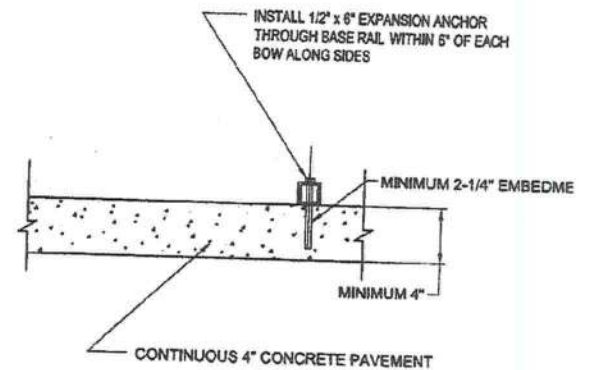
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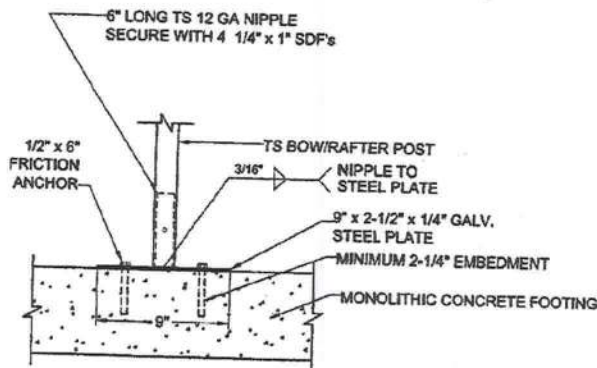
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DRAWN: RR	03-16-12
CHECKED: JP	SCALE: NTS
APPROVED: TB	PROJ. NO.: 06175
	SHEET 3 OF 4



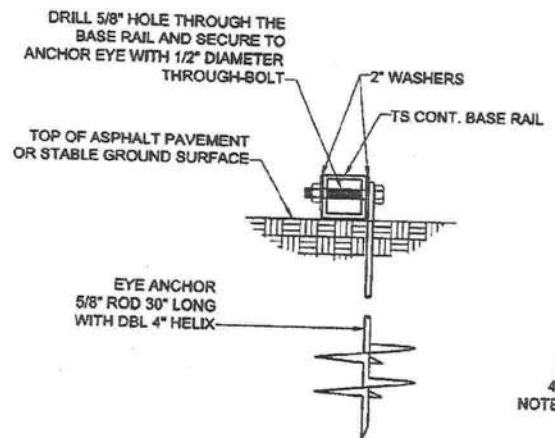
1 CONCRETE BASE RAIL ANCHORAGE
Not To Scale (OPTIONAL)



2 CONCRETE BASE RAIL ANCHORAGE
Not To Scale (OPTIONAL - OPEN CARPORTS ONLY)



ALTERNATE POST TO CONCRETE FOUNDATION CONNECTION DETAIL
Not To Scale



3 BASE RAIL ANCHORAGE
Not To Scale

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE: 3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER AND 1 1/2 INCHES ELSEWHERE. REINFORCING BARS EMBEDDED IN GROUTED CELLS SHALL HAVE A MINIMUM CLEAR DISTANCE OF 1/4 INCH FOR FINE GROUT OR 1/2 INCH FOR COARSE GROUT BETWEEN REINFORCING BARS AND ANY FACE OF A CELL. REINFORCING BARS USED IN MASONRY WALLS SHALL HAVE A MASONRY COVER (INCLUDING GROUT) OF NOT LESS THAN 2 INCHES FOR MASONRY UNITS WITH FACE EXPOSED TO EARTH OR WEATHER 1 1/2 INCHES FOR MASONRY UNITS NOT EXPOSED TO EARTH OR WEATHER.

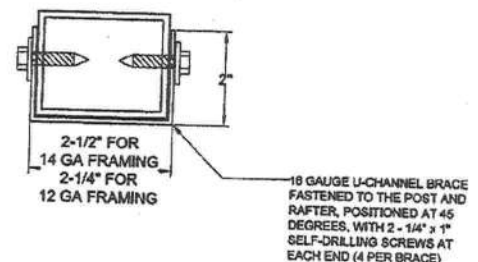
REINFORCING STEEL:
THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40.

GALVANIZATION:
METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT DIRECTLY EXPOSED TO THE WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS AND NAILS EXPOSED DIRECTLY TO THE WEATHER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

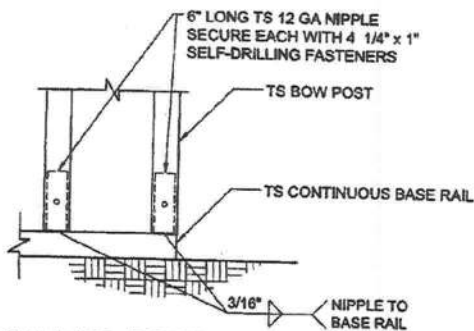
REINFORCEMENT MAY BE SENT IN THE SHOP OR THE FIELD PROVIDED:

1. ALL REINFORCEMENT IS BENT COLD,
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS AND
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

EXCEPTION: WHERE BENDING IS NECESSARY TO ALIGN DOWEL BARS WITH A VERTICAL CELL, BARS PARTIALLY EMBEDDED IN CONCRETE SHALL BE PERMITTED TO BE BENT AT A SLOPE OF NOT MORE THAN 1 INCH OF HORIZONTAL DISPLACEMENT TO 6 INCHES OF VERTICAL BAR LENGTH.

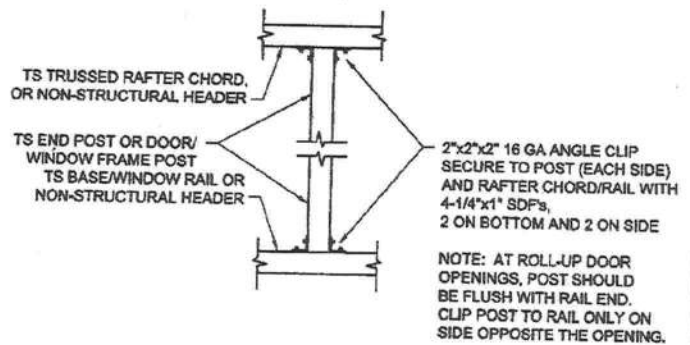


BRACE SECTION
Not To Scale



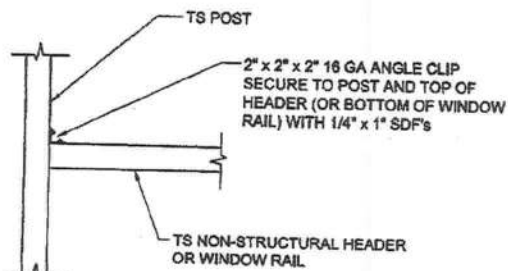
3 RAFTER POST/BASE
BASE RAIL CONNECTION DETAIL

Not To Scale



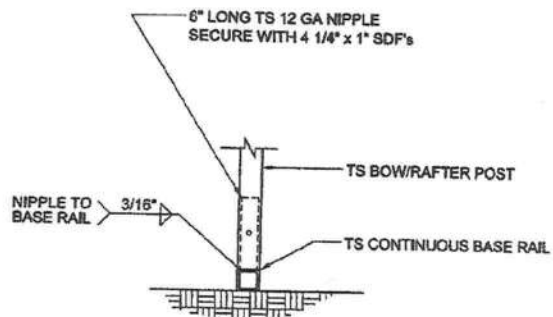
4 POST TO RAIL, TRUSS CHORD, OR
NON-STRUCTURAL HEADER CONN. DETAIL

Not To Scale



7 NON-STRUCTURAL HEADER/WINDOW
RAIL TO POST CONNECTION DETAIL

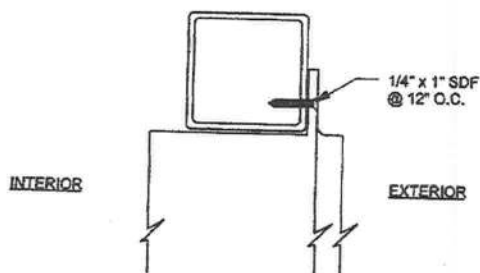
Not To Scale



8 POST/BASE RAIL CONN. DETAIL

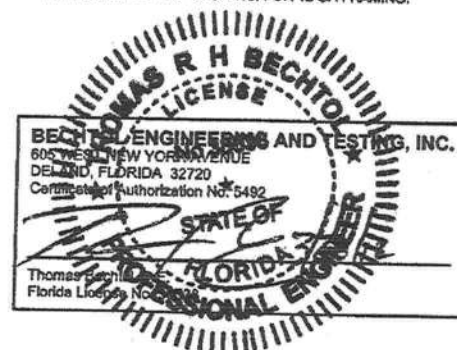
Not To Scale

NOTE:
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NIPPLES ARE 2-1/4" x 2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2" x 2" 12 GA T.S. FOR 12 GA FRAMING.



A SECTION

Not To Scale



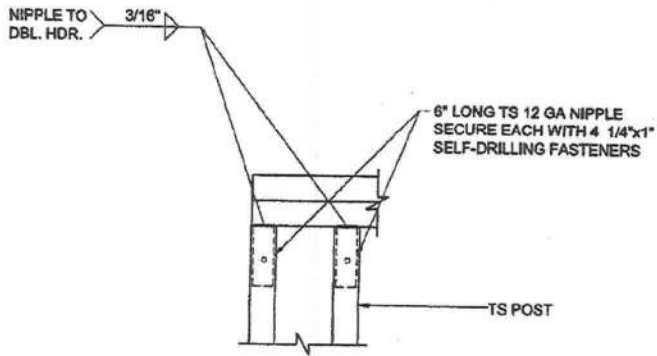
CAROLINA CARPORTS, INC.



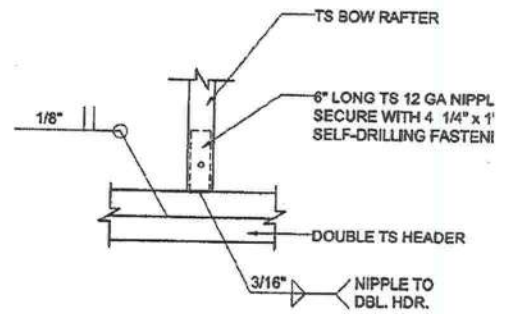
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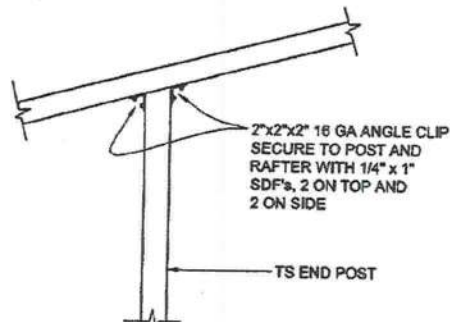
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CHECKED: JP	SCALE: NTS
APPROVED: TB	PROJ. NO.: 06175
	SHEET 4 OF 4



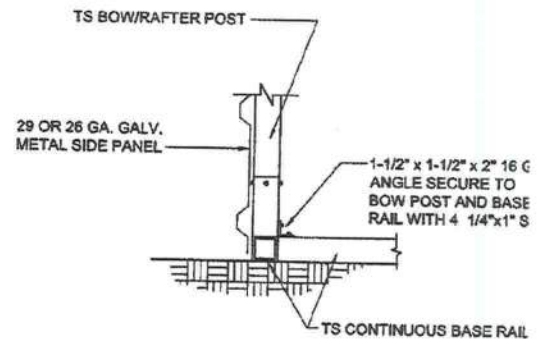
1 RAFTER POST/DBL. HEADER DETAIL
Not To Scale



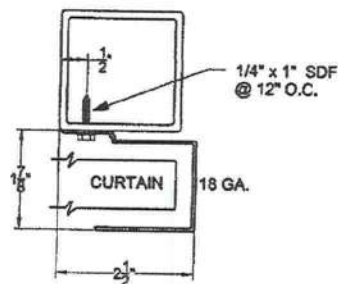
2 RAFTER POST/HEADER DETAIL
Not To Scale



5 END POST/RAFTER CONN. DETAIL
Not To Scale



6 END POST/BASE RAIL CONN.
Not To Scale



SECTION THROUGH ROLL UP
DOOR HEADER

Not To Scale CURTAIN: 26 GA. galvanized steel with
baked on epoxy primer & polyester top coat.

