Columbia County Building Permit Application -24317, Revised 9-23-04

For Office Use Only Application # 0603-103 Date Received 3/29 By JW Permit # 24317

Application Approved by - Zoning Official _____ Date _____ Plans Examiner _____ Date _____

Flood Zone _____ Development Permit _____ Zoning _____ Land Use Plan Map Category _____

Comments _____

Applicants Name Roger Sutton Phone 386-365-0582

Address 176 SW Boundry Way Ft. White Fla. 32038

Owners Name Ronald Seagraves Phone 386-497-1429

911 Address 193 Leegree terr Ft White Fla 32038

Contractors Name Lewis Walker Roofing Phone 386-497-1419

Address PO Box 82 Ft White Fla 32038

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address N/A

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - (Clay Elec.) - Suwannee Valley Elec. - Progressive Energy

Property ID Number 31-6S-17-09818-013-HX Estimated Cost of Construction 4100.00

Subdivision Name N/A Lot ____ Block ____ Unit ____ Phase ____

Driving Directions CR 18 East turn right on SW Leegree Terr SW Leegree Terr becomes Leegree Rd . 1/10 mile on left is 193 SW Leegree Terr.

Type of Construction Re roof Number of Existing Dwellings on Property 1

Total Acreage 12.1 Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____

Total Building Height _____ Number of Stories 1 Heated Floor Area _____ Roof Pitch 2.5

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Cindy Stanford
Commission # DD444049
Expires July 29, 2007
Bonded Troy Fain - Insurance, Inc 800-385-7019

Sworn to (or affirmed) and subscribed before me this 24th day of March 20 06.

Personally known _____ or Produced Identification ✓ S350-721-61-264-0

Contractor Signature

Contractors License Number RC0067442

Competency Card Number 5687

NOTARY STAMP/SEAL

Notary Signature

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 31-6S-17-09818-013-HX Acct# 209818-013

1. Description of property: (legal description of the property and street address or 911 address)
Comm SW cor of NW/4 Run E 50.94 Ft N 38.63 Ft for POB, Run N 121.14 Ft, E 480.30 Ft 193 SW Legree Terr Ft White Fl 32038
2. General description of improvement: Re Roof
3. Owner Name & Address Ronald Seegraves 193 SW Legree Terr Ft White Fl 32038 Interest in Property
4. Name & Address of Fee Simple Owner (if other than owner): N/A
5. Contractor Name Lewis Walker Roofing Phone Number 386 497-1419
Address PO Box 82 Ft White Fl 32038
6. Surety Holders Name N/A Phone Number N/A
Address N/A
Amount of Bond N/A
7. Lender Name N/A Phone Number N/A
Address N/A
8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:
Name N/A Phone Number N/A
Address N/A
9. In addition to himself/herself the owner designates N/A of N/A to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) – (a) 7. Phone Number of the designee N/A
10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) N/A

NOTICE AS PER CHAPTER 713, Florida Statutes:
The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Ronald M Seegraves
Signature of Owner

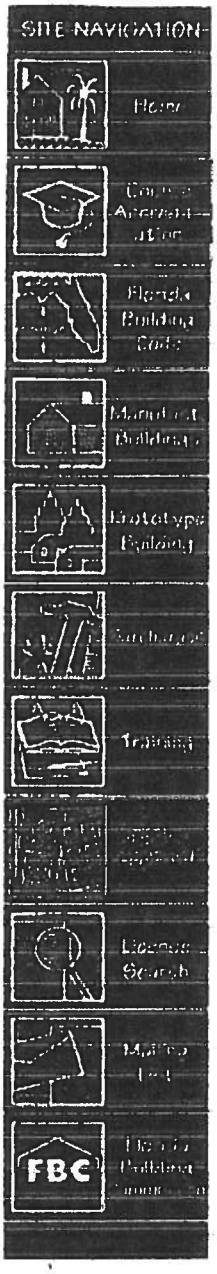
Sworn to (or affirmed) and subscribed before day of March 27, 2006

NOTARY STAMP/SEAL

Carrie L. Revelle

CARRIE L. REVELLE
MY COMMISSION # DD 181697
EXPIRES: February 11, 2007
Bonded Thru Notary Public Underwriters

Inst:2006007758 Date:03/29/2006 Time:13:00
D.C.,P.DeWitt Cason,Columbia County B:1078 P:2580



PRODUCT APPROVAL

Product Type Detail

Overview | Product Search | Organization Search | Product Application

User: Public User - Not Associated with Organization -

Need Help

Application #	FL2715
Date Submitted	05/28/2004
Code Version	2001
Product Manufacturer	Tri County Metals
Address/Phone/email:	301 SE 16th Street Trenton, FL 32693 (352) 463-0784
Category:	Roofing
Subcategory	Non-structural Metal Roofing
Evaluation Method	Evaluation Report from a Florida Registered Architect or Florida Professional Engineer

Referenced Standards from the Florida Building Code

Section	Standard	Year
section 1507	Florida Building Code	2003
	ASTM A653	1996
	ASTM A792	1996
	ASCE 7 98	1998

Florida Engineer or Architect Name:	MICHAEL ROBINSON
Florida License:	PE 28317
Quality Assurance Entity:	Keystone Certifications, Inc
Validation Entity:	ANGELO COOLURES
Authorized Signature	Robert Sullivan apc1931@yahoo.com
Evaluation/Test Reports Uploaded	PTID_2715_T_Certificate of

Tri-County Metals, LLC

Metal Roofing ~ Metal Siding

(Located Behind The Dollar General Store)

Delivery Available

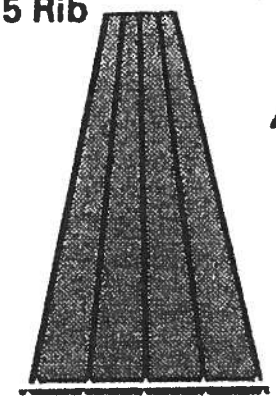
Visit Our Website @ www.tricountymetals.com

Buy Direct From The Factory

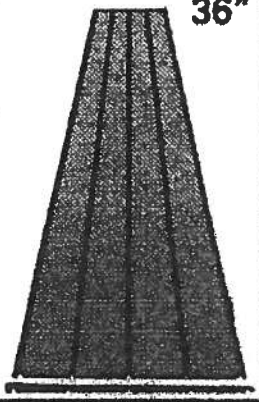
$$$$ **Cut To Any Length** **$$$$**

26 & 29 Gauge
Premium Galvalume Panels
Premium Painted Galvalume Panels
Standard Painted Galvalume Panels
Economy Painted Panels - While They Last
Matching Screws – Matching Trim
Closures – Boots
Profile Vent

5 Rib



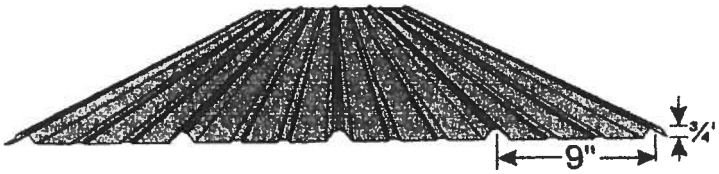
36"



All your roofing and siding needs all under one roof.

P. O. Box 417, Trenton, FL
1-800-823-9298
1-352-463-8400
Fax 1-352-463-9785

Tri- County also stocks a complete line of fasteners, sealants, and other accessories to meet every need of both the do-it-yourself home owner or roofing contractor. Both in-stock and custom-made flashings and trims are available in all colors as well.



Tri- County Metals panel is produced in a bare, G-60 to G-90 dipped Galvalume® or

Tri-County Metals

Installation of Panels

Roof Pitch

Tri-County Metals roofing panels require a certain degree of pitch to ensure proper water drainage. The minimum roof slope recommended for all panels is 3 inches of rise per foot. If the slope of the roof is below a 3/12 pitch (down to a ½ in 12 pitch), the use of ridge closures becomes more necessary, and ***precautions such as butyl sealant should be applied*** at all side-laps to prevent water from siphoning over the ribs (see *Figure 7* on page 6). Consult our representative before using metal roofing below a 3/12 pitch.

Roof Application

Panel installation should begin at the gable end of the roof opposite the prevailing rain-bearing wind (this will provide added assurance against wind-driven rain being forced under the laps). Measure one panel width in from the roof edge. At this point chalk a line from ridge to eave. Place the leading edge of the first panel along this line. It is extremely important that this panel be laid square to the eave and ridge so that the remaining panels will line up square on the roof frame. It is wise to have a person at the eave and at the ridge to ensure that the proper panel coverage is being maintained across the roof. Also be sure that the panels are properly side-lapped (see *fig. 7* on page 6).

In applications where end-lapping is necessary, the upper panel on the slope should lap over the panel that is lower on the slope. Lower roof pitch requires a greater amount of panel overlap. All end-lap applications require two horizontal rows (across the panel) of butyl sealant tape and proper fastening to provide a maximum water seal.

An overhang of 2 to 3 inches is recommended to provide a drip edge, while only 1 inch overhang is necessary where gutters are used. The open panel ribs at the eave can be sealed with inside closures. For maximum weather-tightness, a row of butyl tape can be applied above and beneath inside closures.

Trimming and Cutting Steel Panels

The best device for cutting steel panels *across the profile* is either a portable or hand shear or a nibbler. Nibblers, and especially Carborundum blades on electric saws, however, do have a tendency to either leave hot metal particles that can burn paint surfaces or leave rust marks on panels and trim. The same is true of any filings left on the roof caused by the application of screws. Care should be taken to brush all such particles from roof surfaces after application.

To *cut panels lengthwise:* Note carefully where the panel is to be cut, and, using a straightedge, score deeply down the length of the panel with a sharp-pointed utility knife. Folding the panel along the score mark, and bending back again if necessary, should produce a clean break in the panel.

CAUTION! clean all metal shavings and particles off of roof to avoid unsightly rust stains

Residential Trim

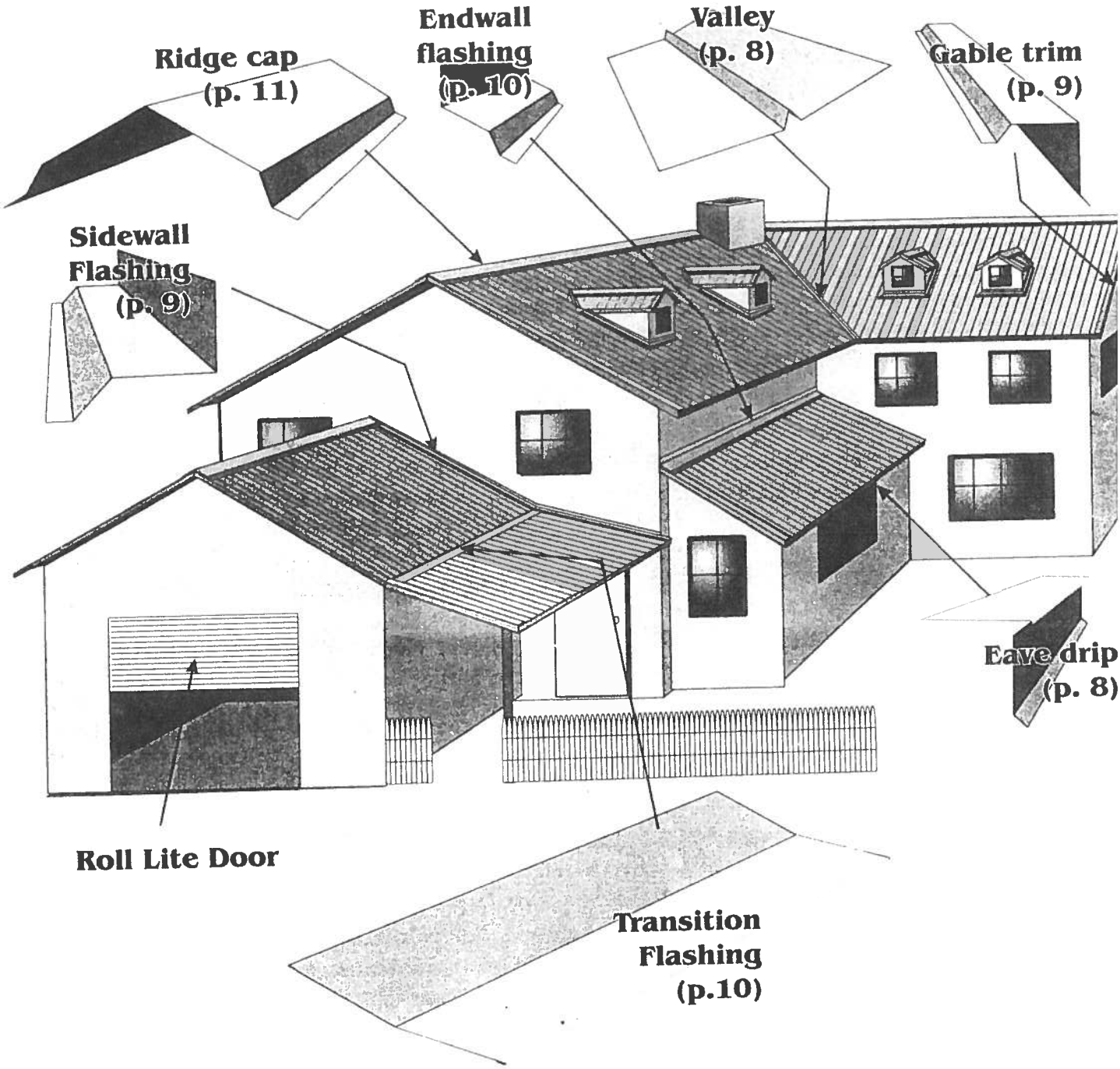


Figure 4 Roofing trims and flashings are named by the location or function of that particular piece on the buildin

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Ordering Roof Panels and Screws

Care should be taken to order panels of the correct length to avoid having to make corrective measures after purchase. Panel lengths should fall 2 to 3 inches short of the ridge *when a vented ridge is desired*, and should extend 2 to 3 inches past the eave to allow a sufficient drip edge (except as noted on pg. 3 concerning gutters). Tri-County sales personnel are ready to y to assist customers with information specific to their particular roof.

Specially-washered screws applied through the flat of the metal is the most recommended method used to attach roofing panels. 1-inch screws can be used if penetration of only ¾ inch is either necessary or desired; otherwise, 1½ inch screws are usually recommended. 2½ inch screws are also available, and are often used by those who adhere to through-the-rib fastening, and for ridge-cap application. See page 6 for more information on screw spacing and ordering.

Ordering and Applying Trim

The most common flashing for metal roofing is the ***ridge cap***, which is used at the peak of a roof where two opposing roof slopes join. Other flashings include ***transition flashing***, ***end wall*** and ***sidewall flashings***, and ***valleys*** (see diagram on right for application). Eave flashings include ***gable flashing*** and ***eave drip,*** either of which are often applied above ***fascia*** trim. When roof pitch exceeds 5/12 (a 5 inch rise in 12 inches), the slope of the roof should be mentioned when ordering ridge caps, endwalls, and eave drip. When a steeper roof slope meets a lesser slope, both slopes should be mentioned when ordering transition flashing.

At the gable edge the use of gable trim adds to the appearance of the structure and protects the fly-rafter, and sidewall flashing is used where the *side* of a panel butts up against an adjacent wall. In either case, the installer should be careful to seal between the gable rake or sidewall and panel with butyl sealant tape, and to fasten the rake every 6" to 12" up the slope of the roof with the appropriate screws. If eave drip is used on the gable, the number of 90 degree eave drip should be specified separately from that used on the drip edge when ordering.

To prevent penetration of water, insects, and debris at the ridge, outside closures may be inserted between the ridge cap and the top end of the panel*. Screws are applied through the ridge cap, closure, and rib in at least every other rib of the panels. At least a 1½" (and up to a 2½") screw should be used for attaching ridge caps. Self-drilling lap screws can also be used to attach ridge caps.

Keep Materials Dry!

Paint and finishes of Tri-County Metals panels and trim are designed to withstand severe rain and wet weather conditions. Neither paint, galvanized, or Galvalume finishes, however, are designed to be in continuous contact with water for long periods of time. ***Damage will result if uninstalled panels or trim are allowed to remain wet in storage.*** Be sure to store material that will not be installed immediately in a dry location. Wet material should be air-dried and re-stacked if installation is not planned right away.

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linear feet of panels in your order	Screw (purlin) Spacing 12 inch	18 inch	24 inch	30 inch
50	270	180	135	108
100	540	360	270	216
200	1080	720	540	432
300	1620	1080	810	648
400	2160	1440	1080	864
500	2700	1800	1350	1080
600	3240	2160	1620	1296
700	3780	2520	1890	1512
800	4320	2880	2160	1728
900	4860	3240	2430	1944
1000	5400	3600	2700	2160
1100	5940	3960	2970	2376
1200	6480	4320	3240	2592

Figure 6 Tuff-rib panel screw calculation chart

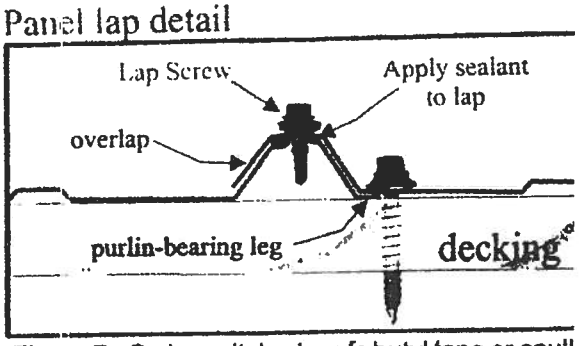

Figure 7 On low-pitched roofs butyl tape or caull should be applied at the panel lap to keep wate from overflowing the lap. Note that the *underlap* side of the panel has a short purlin-bearing leg tha rests on the roof decking.

How to figure screws:

For 2-foot spacing between rows of screws, multiply the total linear fee of metal times 2.7

Example: your order is 1250 feet of Tuff-rib roofing. 1250 x 2.7 = 3375 screws

See table above for other spacings, or contact your Tri-County Metals representative for a free estimate.

Tri-County Metals carries screws in 3 different lengths: 1 inch, 1½ inch, and 2 ½ inch. 1-inch screws w barely penetrate a 1x4, but the 1½ inch are the best all-purpose size. 1½- or 2½-inch screws are necessary f attaching ridge caps.

If care is taken, metal roofing application can be aided by pre-drilling panels, allowing screws to go quickly and accurately into the desired spacing. Pre-drilling will work provided that pilot holes ***are placed accurately*** in the proper locations on panels. Purlin spacing must be uniform and carefully measured.

To apply metal roofing over existing shingles, we recommend first overlaying the shingles with properly attached 1x4 purlins. If pressure treated purlins are used, felt paper should be applied over them in strips to prevent chemical interaction with the roofing panels. For solid decking, at least ½-inch plywood or its equivalent is required. For minimum penetration (such as might be desired over porches), 1-inch screws are recommended.

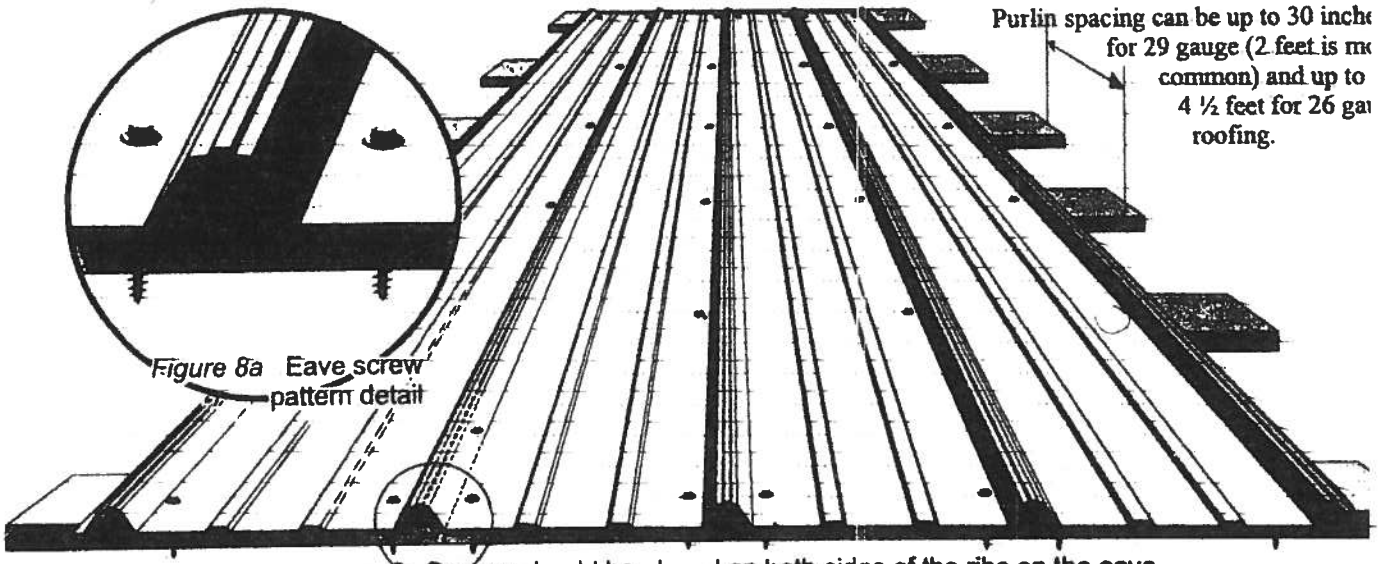

Figure 8 Screws should be placed on both sides of the ribs on the eave

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Policies

All standard trim not ordered as "economy" is manufactured from our best 29-gauge *prime* coil stock, and is returnable as long as it is deemed by our company's representative as being in good, *clean*, resalable condition, free from scratches, mars, and other damage. The same general principle applies also to the return of other accessories such as screws, boots, closures, etc. Trim that is custom-made is not returnable, and is considered the property of the customer once it has been made, whether paid for or not. Roofing panels may be returned in the above same good condition to be resold as "economy" material, and therefore are not fully refundable.

Delivery policy Delivery charges apply to all orders where delivery is requested. Please consult your Tri-County Metals sales department for details.

Sales tax All orders picked up at Tri-County Metals, and all orders delivered within the state of Florida, are subject to state sales tax. Tax exemptions should be verified prior to delivery or customer pickup. Orders delivered out-of-state are tax exempt.

Warrantied products Orders designated as "Standard panels" come with a five year adhesive warranty from Tri-County Metals. Orders designated "Prime" come with a 25-year coil manufacturer's warranty. All trim is manufactured from the best grade in stock of the particular color ordered.

Indemnity All prices and designs are subject to change without notice

Disclaimer While we have made every attempt at accuracy in this manual, we are not responsible for typographic, printing, or technical errors.

Return policy All panel orders and special order (non-stock) trim are considered the property of the customer and non-refundable once they are manufactured. Standard trim and accessories are refundable providing they are returned in a clean, resalable condition. Restocking charges will apply to any items at the discretion of the Tri-County Representative.

Summary of Stock Trims and Flashings

item	*special order information*
Ridge caps (RC-2)	**specify pitch if less than 3/12 or greater than 6/12. Also available in larger widths. Closures recommended.**
Eave drip (FHA, EF-3)	**2 common styles. FHA style is pre-pitched for 3/12 to 6/12 roofs. For appearance or ease of application, order by either specific pitch or as gable trim (90°).**
Gable flashings	**Residential (EF-1), large (GR-2), and small (GR-1) rakes available. Use butyl sealant between rake and panel.**
Valleys (PV-1)	**specify pitch if greater than 7/12. Seal with universal foam closure material. Open-hemmed valleys (PV-2) aid water-tightness.**
Sidewall (SW-1)	**Use butyl sealant between sidewall flashing and panel.**
Endwall (EW-1)	**Specify pitch if greater than 5/12. Seal with outside closures.**
Transition flashing	**Specify pitches of both roofs. Seal lower slope using outside closures and, if desired, inside closures on upper slope.**

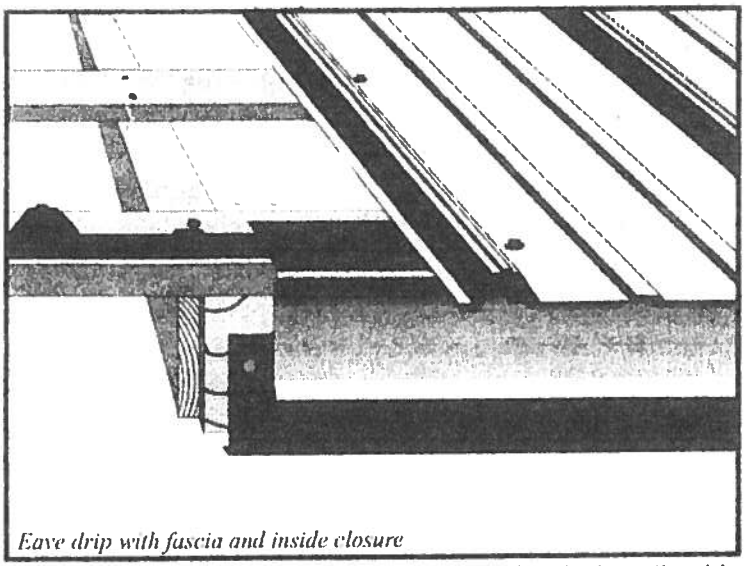
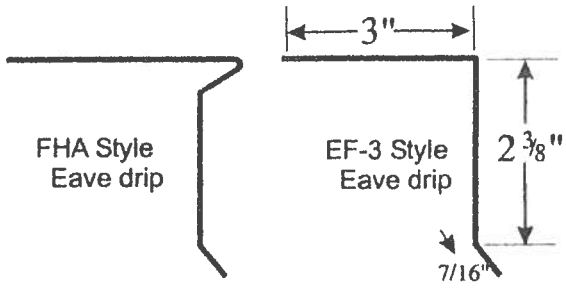
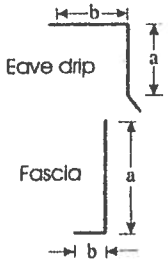


Figure 9 Eave drip and fascia give a finished look along the drip eave of the house, as well as providing protection for the materials they cover. The eave drip should completely cover the top edge of the fascia. Inside closures, which seal off the open ribs of the panels, are optional.

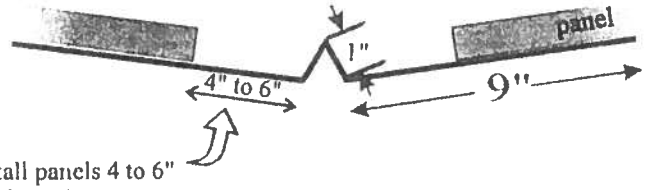
Eave Drip & Fascia



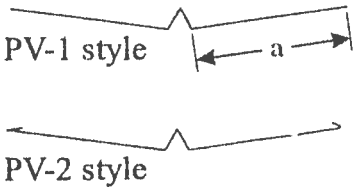


For custom eave drip, specify th amount of the eave that will be covered (dimension "a"), and, fo steeper roofs, specify pitch . If fascia is desired, be sure that the dimension you order will be hidden by the eave drip.

Preformed Valley



Install panels 4 to 6" from diverter



Two basic styles of valley are available. For custom valleys, specify dimension "a"

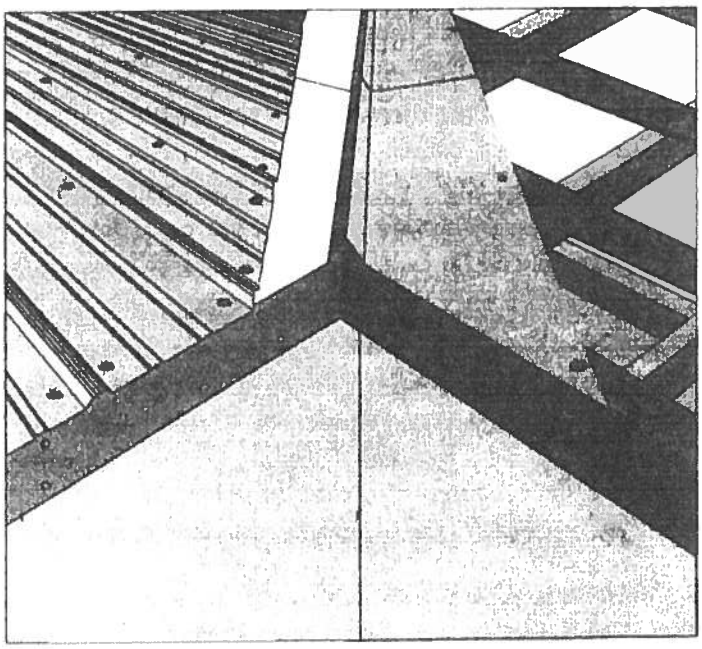


Figure 10 Pre-formed valleys use a diverter to prevent water from rushing under panels on the opposite side while meanwhile channeling water off the roof. Expanding foam closures are often used to assure a good seal.

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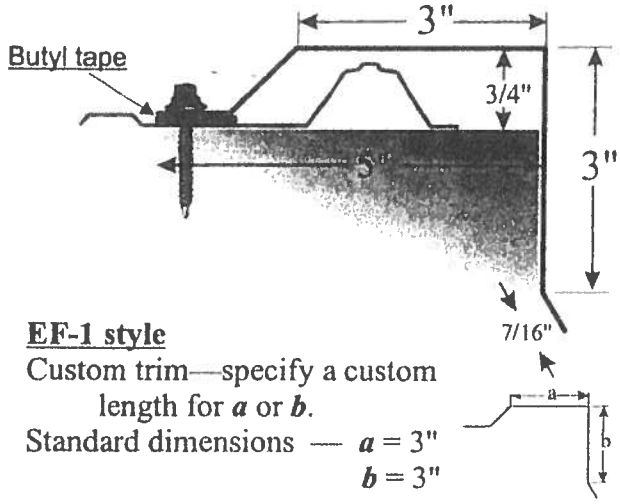
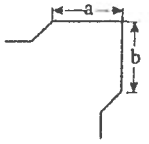
Gable Flashing ▶



EF-1 style
Custom trim—specify a custom length for ***a*** or ***b***.
Standard dimensions — ***a*** = 3"
b = 3"

GR-1 style
Custom trim—specify a custom length for ***a*** or ***b***.
Standard dimensions — ***a*** = 3"
b = 3"



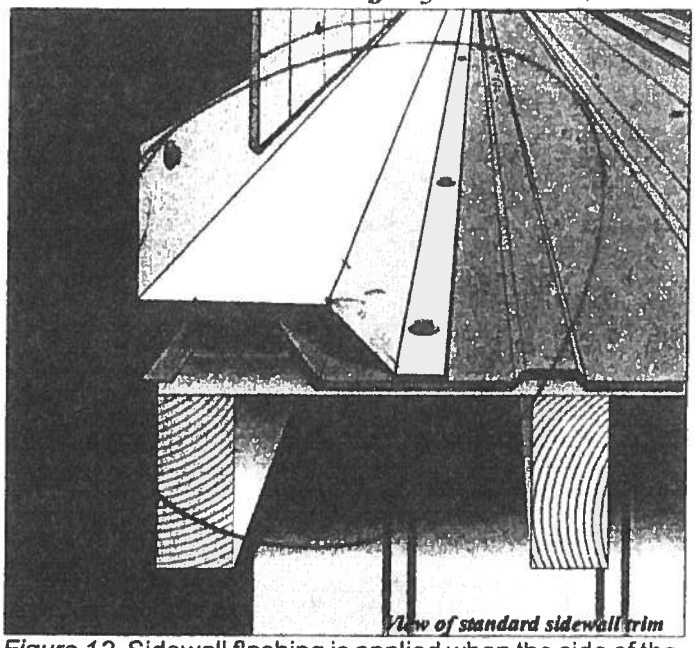


Figure 12 Sidewall flashing is applied when the side of the roof butts up against an adjacent wall. The wall-side of the flashing can either be covered over with siding or sealed with counterflashing . Butyl tape should be applied where the "foot" of the flashing attaches to the roof, and, if used, along the top edge of the counterflashing.

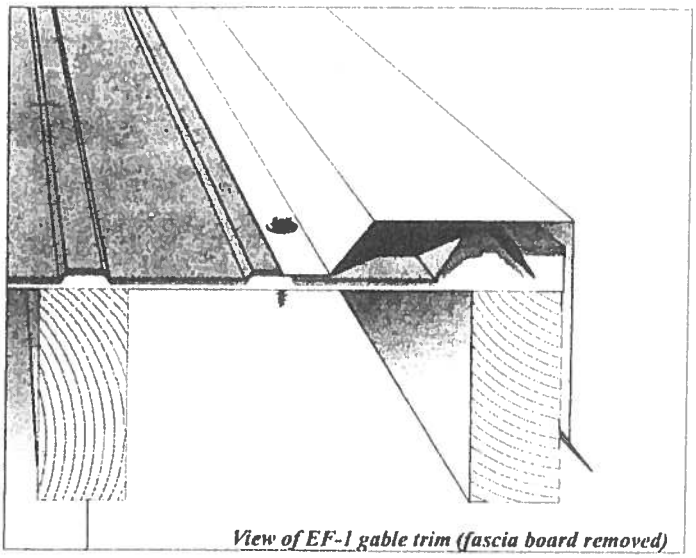
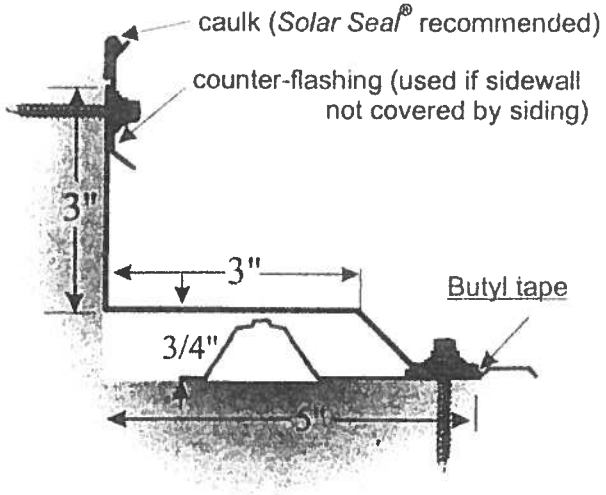
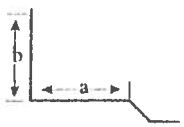


Figure 11 Gable flashing is used to trim the edge of the roofing panel at the gable end of the roof. It should match the eave drip that extends along the drip edge of the roof. If the panel is allowed to hang over the gable end, eave drip can be used instead. Butyl tape between the trim and panel eliminates leaks.

◀ Side-wall Flashing



SW-1
Custom trim—specify a custom length for ***a*** or ***b***.
Standard dimensions — ***a*** = 3"
b = 3"



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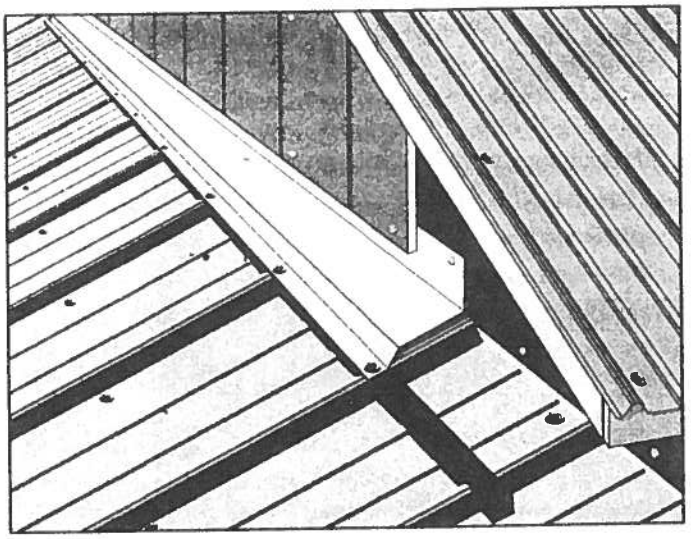
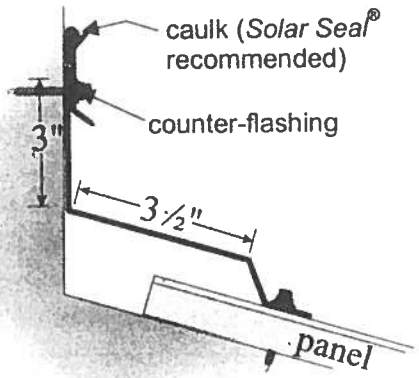
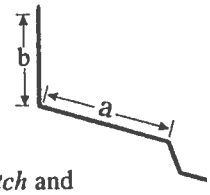


Figure 13 As with the ridge cap, the ENDWALL FLASHING above can be sealed using outside closures.

◀ End-wall Flashing

End-wall flashing is applied where the upward slope of a roof meets a wall. The wall side of the flashing can be covered with siding or counter-flashing, and outside closures are used to seal between the flashing and the panel. Roof slope should be mentioned if roof exceeds 5/12 pitch.

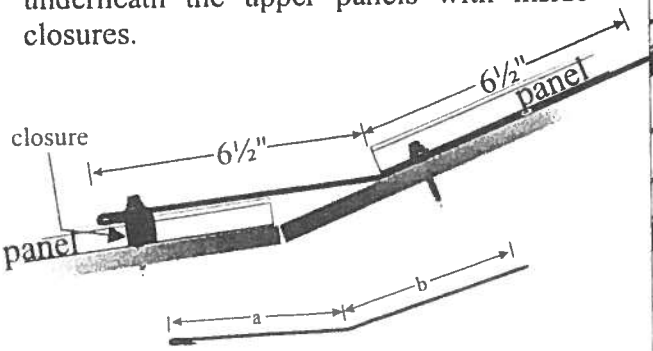




For custom end-walls, *specify roof pitch* and dimensions "a" and "b"

Transition Flashing ▶

TRANSITION FLASHING prevents leakage at the point where two different roof pitches meet. It is sealed on the lower side with outside closures, and can be sealed underneath the upper panels with inside closures.



For custom transition flashing specify the pitches of the two roof slopes and, if necessary, dimensions "a" and "b"

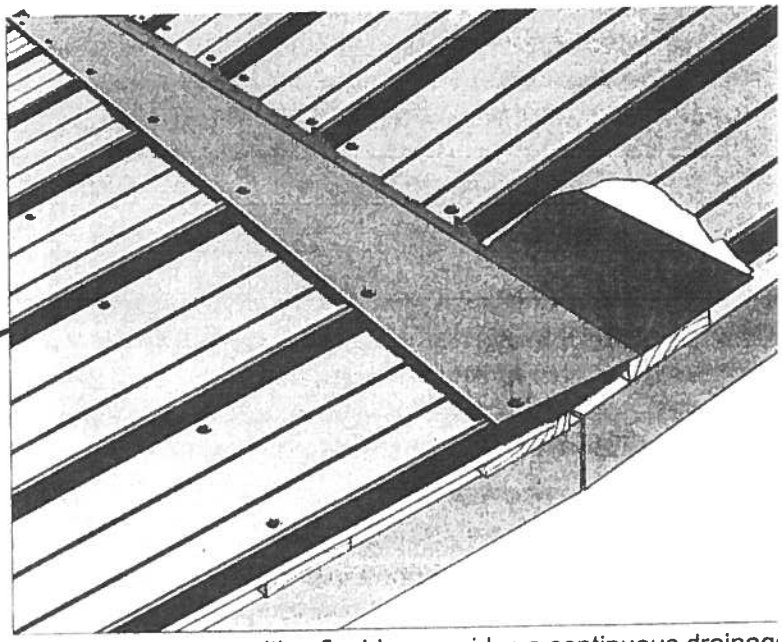


Figure 14 The transition flashing provides a continuous drainag where two slopes meet.

Ridge Cap ▶

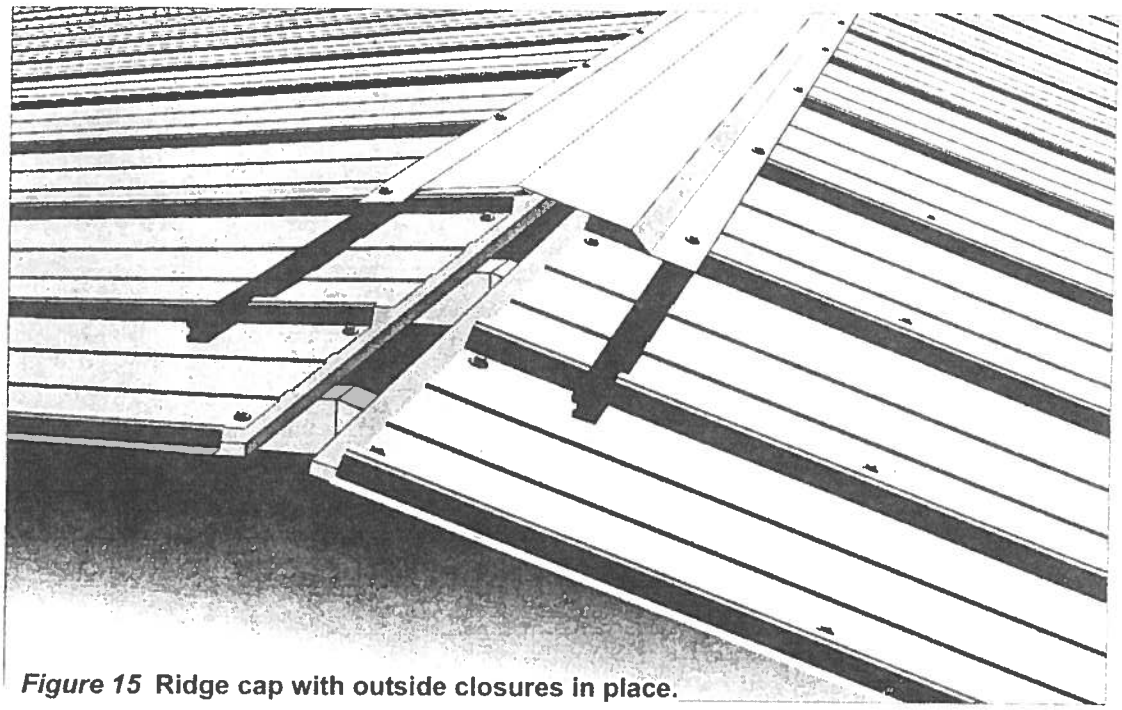


Figure 15 **Ridge cap with outside closures in place.**

The Ridge Cap is used to seal the point at which two upward slopes meet. This can be both along the ridge of the roof as well as a covering for a hip. Either woodgrip or self-drilling lap TEK screws are applied through the ribs of the metal.

Debris, insects, and blowing rain can find easy access under the ridge cap, so closures are often used to either completely or partially seal the opening. Closures under ridge caps come in 3 types: solid, vented, and hip tape.

Solid closures ("Outside Closures") are the same width as the panels. They lock together in a row placed directly under the screws that attach the ridge cap, and form a solid, water-tight, air-tight barrier. (see *Figure 14* on opposite page).

Profile Vent comes in 50 foot rolls, is 3 inches wide, and forms a water-retardant, insect resistant barrier that allows hot air to escape from the attic, and is superior to many more elaborate and expensive vent systems. Any length may be ordered.

Hip closure tape (*Peel and Seal®*) is a sticky, adhesive-backed metallic tape that seals the hip roof. It is 6 inches wide and comes in 33½ foot rolls. Because it must be conformed to the rise and fall of the panel ridges, approximately 10% extra may be needed beyond the length of the hip being covered.

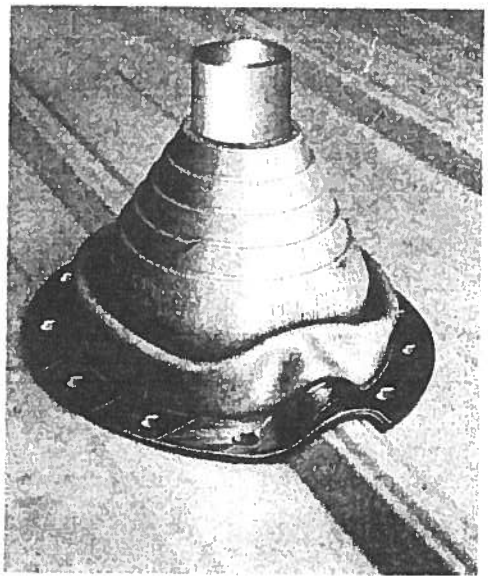
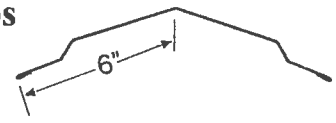
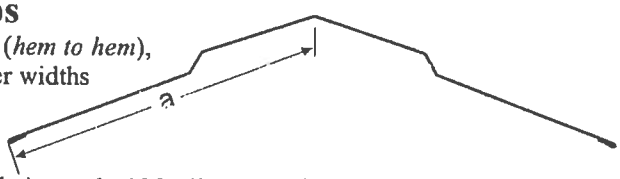


Figure 16 Pipe Boots provide a water-tight seal around roof vents and come in a variety of sizes. They seal with caulk and conform to the shape of the panel ribs.

Standard 12-inch Ridge Caps
are economical and adequate for most of your roofing needs

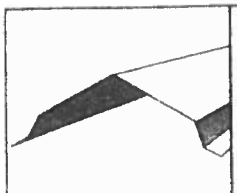


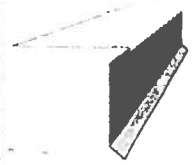
Over-sized Ridge Caps
are available in 18-inch widths (*hem to hem*), or as a *custom trim item* in other widths

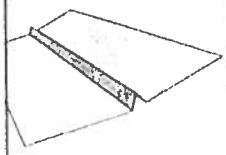


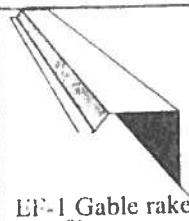
Available in ***total widths*** (2 *times* "a") of 14-, 16-, 18-, 20-, 22-, and 24-inch

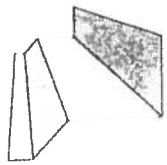
Tri-County Metals


RC-2 Ridge cap (pg. 11)

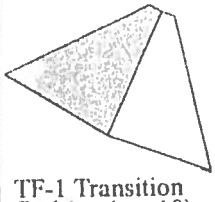

FHA eave drip (pg. 8)

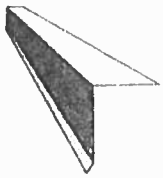

PV-1 valley (pg. 8)

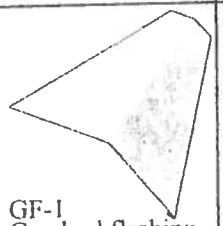

EF-1 Gable rake (pg. 9)


SW -1 Sidewall (pg. 9)


EW-1 Endwall (pg. 10)


TF-1 Transition flashing (pg. 10)


EF-3 eave drip (pg. 8)


GF-1 Gambrel flashing


GR-1 Gable rake (pg. 9)


Pipe Boot (pg. 11)


Electrical Boot


Outside Closures


Inside Closures


Univent


Expanding Foam


Peel and Seal®


Touch-up Paint


Butyl Tape

Solar Seal®


Low E® Insulation


Woodgrip® Screws

TEK screws


ZAC® screws

Manufacturers Recommended Alternate Fastening Schedule

Alternate Fastening Schedule (On Center Spacing or Fastener Row)

	Type	Placement To	Fastener Size	Wind Speed Zone 90		100		110	
				On Center Spacing	Trim Areas	On Center Spacing	Trim Areas	On Center Spacing	Trim Areas
Zone 1	Nail	Wood	10d x 1-3/4"	24"	12"	24"	12"	24"	12"
	Wood Fast Screw	Wood	#9 x 1-1/2"	24"	12"	24"	12"	24"	12"
	Wood Fast Stitch	Wood	#12 x 3/4"	12"	12"	12"	12"	12"	12"
	Metal Fast Stitch	18 Ga Steel and Higher	#12 x 1"	36"	36"	36"	36"	36"	36"
	Metal Fast Stitch	20 Ga Steel and Lower	#14 x 7/8"	12"	12"	12	12"	12"	12"
Zone 2 & 3	Nail	Wood	10d x 1-3/4"	12"	6"	10"	5"	8"	4"
	Wood Fast Screw	Wood	#9 x 1-1/2"	24"	12"	24"	12"	24"	12"
	Wood Fast Stitch	Wood	#12 x 3/4"	12"	12"	12"	12"	12"	12"
	Metal Fast Stitch	18 Ga Steel and Higher	#12 x 1"	36"	36"	36"	36"	36"	36"
	Metal Fast Stitch	20 Ga Steel and Lower	#14 x 7/8"	12"	12"	12"	12"	12"	12"

Lewis Walker Roofing Material List

Customer Name: Ronald Seegraves

Address: 193 SW Legree Terr.

Phone: Ft White Fla 32038

Item	Color	Quantity
29 GA Prime Metal	Barn Red	18 - 12' 3"
" " "	" "	18 - 12' 9"
" " "	" "	1 - 6' 2"
" " "	" "	1 - 7' 5"
" " "	" "	2 - 6' 4"
" " "	" "	2 - 8'
" " "	" "	2 - 4' 9"
Ridge Cap	" "	8 pcs
Rake + Corner	" "	6 pcs
Eavesdrip	" "	18 pcs
Boots	no color	2 - 1½"
Valley Metal	" "	3 - pcs
Outside closure	no color	54 - pcs
Screws	" "	1000
Purlins	no color	65 - 1X4X12

Date Ordered _____ Where Tri Co. Metal

Delivery Date _____ Total _____

Lewis Walker Roofing
P. O. Box 82
Ft. White, Fl. 32038
386-497-1419

March 23, 2006

To Whom it may concern:

This letter is to give Jimmie Walker, Barbara Johnston,& Roger Sutton employees of Lewis Walker Roofing, permission to pull permits for my company. If you have any further questions please feel free to call me at 386-365-4071.

Thank You,

Lewis Walker, Owner

Columbia County Property Appraiser

DB Last Updated: 3/7/2006

2006 Proposed Values

Parcel: 31-6S-17-09818-013 HX

Tax Record | Property Card | Interactive GIS Map | Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	SEEGRAVES RONALD E SR & NANCY
Site Address	LEGREE
Mailing Address	193 SW LEGREE TERR FORT WHITE, FL 32038
Brief Legal	COMM SW COR OF NW1/4, RUN E 50.94 FT, N 38.63 FT FOR POB, RUN N 121.14 FT, E 450.30 FT,

Use Desc. (code)	IMPROVED A (005000)
Neighborhood	31617.01
Tax District	3
UD Codes	MKTA02
Market Area	02
Total Land Area	12.100 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (3)	$14,750.00
Ag Land Value	cnt: (1)	$1,717.00
Building Value	cnt: (1)	$29,523.00
XFOB Value	cnt: (2)	$1,706.00
Total Appraised Value		$47,696.00

Just Value		$106,579.00
Class Value		$47,696.00
Assessed Value		$40,149.00
Exempt Value	(code: HX)	$25,000.00
Total Taxable Value		$15,149.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
3/30/1995	803/1919	WD	V	U	12	$32,500.00
9/1/1984	548/312	AG	V	U	01	$29,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1995	Vinyl Side (31)	1248	1344	$29,523.00
	Note: All S.F. calculations are based on exterior building dimensions.					

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	1991	$506.00	1.000	12 x 16 x 0	(.00)
0070	CARPORT UF	1993	$1,200.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000102	SFR/MH (MKT)	2.000 AC	1.00/1.00/1.00/1.00	$6,000.00	$12,000.00
006200	PASTURE 3 (AG)	10.100 AC	1.00/1.00/1.00/1.00	$170.00	$1,717.00
009910	MKT.VAL.AG (MKT)	10.100 AC	1.00/1.00/1.00/1.00	$0.00	$60,600.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	$2,000.00	$2,000.00
009947	SEPTIC (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	$750.00	$750.00

Columbia County Property Appraiser

DB Last Updated: 3/7/2006

1 of 1