

COLUMBIA COUNTY OKLAHOMA

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 34-3S-17-07018-145

Building permit No. 000029505

Use Classification ADDITION TO SFD

Fire: 0.00

Permit Holder BRYAN ZECHER

Waste:

Owner of Building ROY & SUSAN COLE

Total: 0.00

Location: 257 SE BECKY TERR, LAKE CITY, FL 32025

Date: 11/14/2011

Sherry Ann

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

COLUMBIA COUNTY OFFICE OF OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 34-3S-17-07018-145

Building permit No. 000029505

Use Classification SFD, Utility

Fire: 12.84

Permit Holder Bryan Zecher

Waste: 33.50

Owner of Building Roy & Susan Cole

Total: 46.34

Location: 257 SE Becky Terr, Lake City, FL 32025

Date: 8/25/2011

Joy C

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

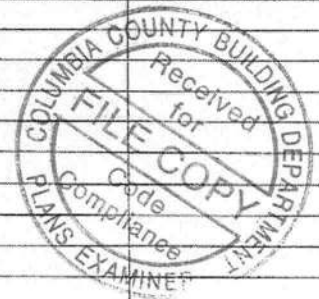


1106-81

PRODUCT APPROVAL SPECIFICATION SHEETLocation: 257 SE BECKY TUNNEL Project Name: Roy Cole

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			



Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama	N/A		
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight	N/A		
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

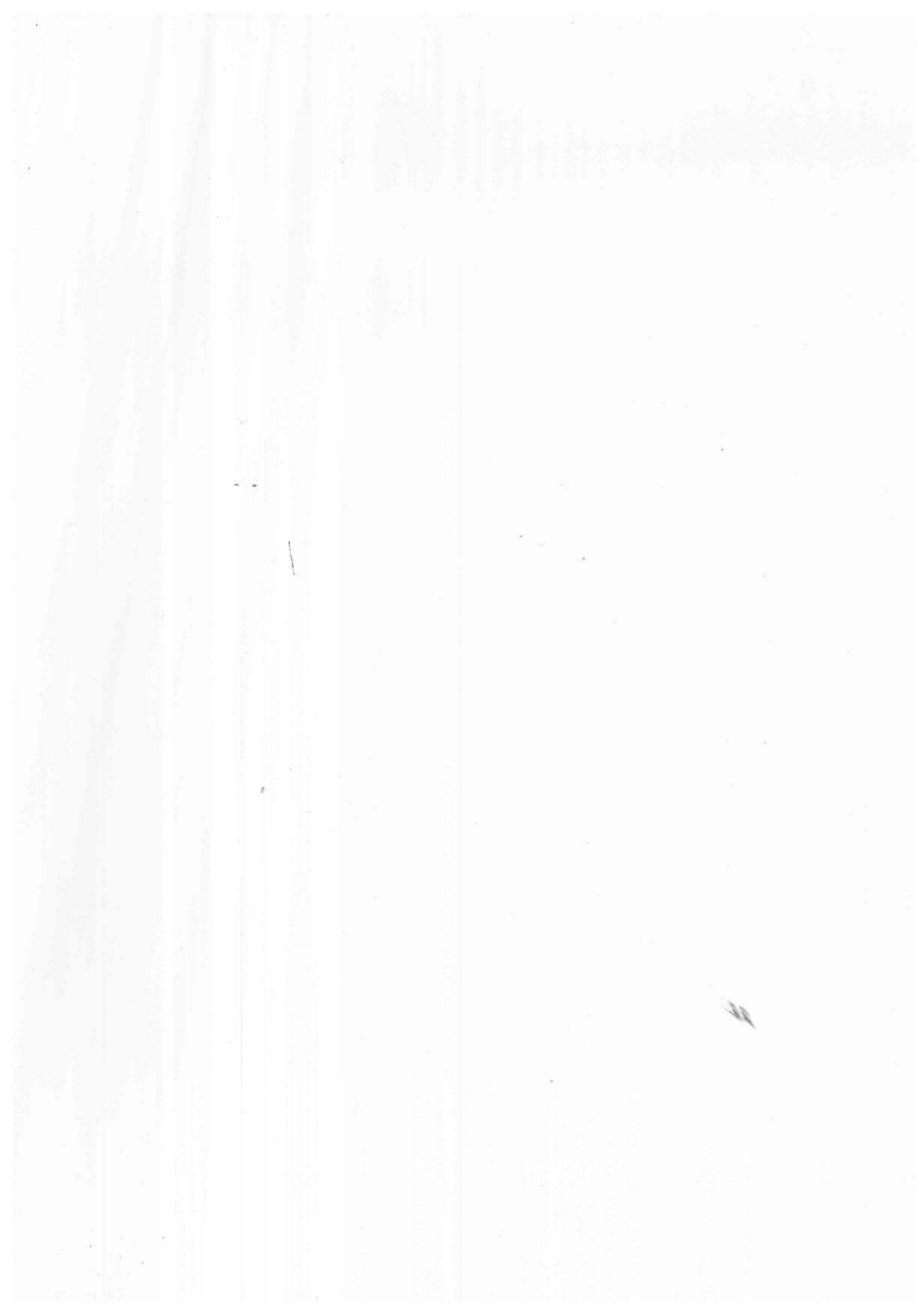
I understand these products may have to be removed if approval cannot be demonstrated during inspection

 Contractor or Contractor's Authorized Agent Signature

 Print Name

 Date

 Location



DA 2/27/2011

Columbia County Building Permit**PERMIT****This Permit Must Be Prominently Posted on Premises During Construction****000029505**

APPLICANT BRYAN ZECHER PHONE 386.752.8653
 ADDRESS POB 815 LAKE CITY FL 32056
 OWNER ROY & SUSAN COLE PHONE 386.758.8724
 ADDRESS 257 SE BECKY TERRACE LAKE CITY FL 32025
 CONTRACTOR BRYAN ZECHER PHONE 386.752.8653
 LOCATION OF PROPERTY EAST BAYA TO EASTSIE VILLAGE S.D.,TR ON PEARL, TO SABLE LN,
TO BECKY TERRACE,TL AND IT'S FIST ON R.
 TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 9600.00
 HEATED FLOOR AREA 192.00 TOTAL AREA 192.00 HEIGHT 18.00 STORIES 1
 FOUNDATION CONC WALLS FRAMED ROOF PITCH 5'12 FLOOR CONC
 LAND USE & ZONING RMF-1 MAX. HEIGHT 35
 Minimum Set Back Requirments: STREET-FRONT 20.00 REAR 10.00 SIDE 15.00
 NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 34-3S-17-07018-145 SUBDIVISION EASTSIDE VILLAGE
 LOT 45 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 0.19

 Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number CBC054575
 EXISTING X-11-044 BLK TC N
 Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: NOC ON FILE.Check # or Cash 28506**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Framing _____ Insulation _____
 date/app. by _____ date/app. by _____
 Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
 date/app. by _____ date/app. by _____
 Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Permanent power _____ C.O. Final _____ Culvert _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Reconnection _____ RV _____ Re-roof _____
 date/app. by _____ date/app. by _____ date/app. by _____

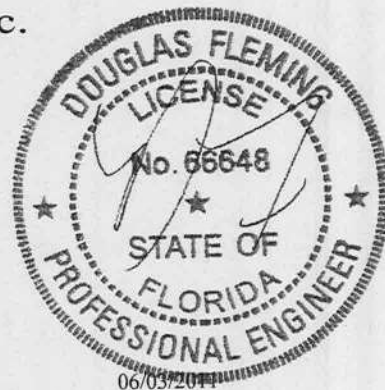
BUILDING PERMIT FEE \$ 50.00 CERTIFICATION FEE \$ 0.96 SURCHARGE FEE \$ 0.96
 MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
 FLOOD DEVELOPMENT FEE \$ _____ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ _____ **TOTAL FEE** 126.92

INSPECTORS OFFICE

CLERKS OFFICE

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1UCH487-Z0103100844



Truss Fabricator: Anderson Truss Company
Job Identification: 11-119--Fill in later BRYAN ZECHER/ COLE -- , **
Truss Count: 2
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Version 9.05.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
Address: the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Douglas Fleming
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: A1101505-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	06498--A		11154001	06/03/11
2	06499--AGE		11154002	06/03/11



EXISTING RESIDENCE

EXISTING CARPORT

A

AGE

14' 16'

12'

BRYAN ZECHE/ COLE

JOB DESCRIPTION: Fill in later
/ : BRYAN ZECHE/ COLE

JOB NO:
11-119

PAGE NO:
1 OF 1

Top chord 2x4 SP #2 Dense :T3 2x4 SP #1:
Bot chord 2x4 SP #2 Dense :B3 2x4 SP #1:
Webs 2x4 SP #3 :W5 2x4 SP #2 Dense:

Roof overhang supports 2.00 psf soffit load.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

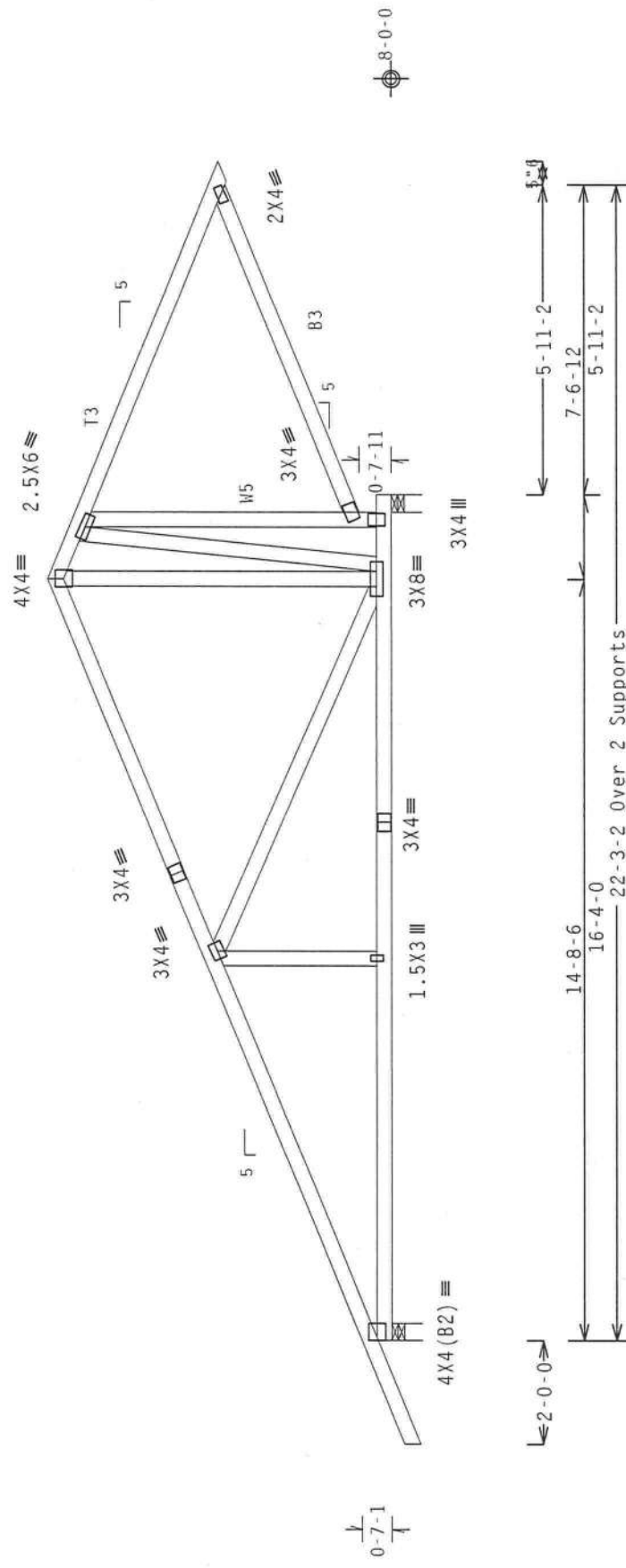
Shim all supports to solid bearing.


Wind reactions based on MWFRS pressures.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg. Located anywhere in roof, CAT II, EXP B, wind TC DL-5.0 psf, wind BC DL-5.0 psf. lw=1.00 GCpi(+/-)=0.18



<div>PLT TYP. Wave</div> <div><div>ALPINE</div></div> <div><div>nW Building Components Group Inc.</div><div>Haines City, FL 33844</div><div>FL COA #0278</div></div>	Design Crit: FBC2007Res/TPI-2002 (STD) FT/RT=10% (0%) /0 (0)		Scale = .3125" /Ft.	
	No. 66648		FL / - 4 / - / R / -	
	No. 66648		TC LL 20.0 PSF	
	No. 66648		TC DL 10.0 PSF	
	No. 66648		BC DL 10.0 PSF	
	No. 66648		BC LL 0.0 PSF	
	No. 66648		TOT.LD. 40.0 PSF	
	No. 66648		DUR.FAC. 1.25	
	No. 66648		SPACING 24.0"	
	No. 66648		REF R487-- 6498	
No. 66648		DATE 06/03/11		
No. 66648		DRW HCUSR487 11154001		
No. 66648		HC-ENG JB/DF		
No. 66648		SEQN- 206808		
No. 66648		JREF- 1UCH487_Z01		

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense :B2 2x4 SP #1:
Webs 2x4 SP #3 :M10 2x4 SP #2 Dense:

Roof overhang supports 2.00 psf soffit load.

Gable end supports 8" max rake overhang.

Stacked top chord must NOT be notched or cut in area (NWL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in noticable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in noticable area using 3x6.

Shim all supports to solid bearing.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg. Located anywhere in roof, CAT II, EXP 8, wind TC DL-5.0 psf, wind BC DL-5.0 psf. $I_w=1.00$ GCPI(+/-)=0.18

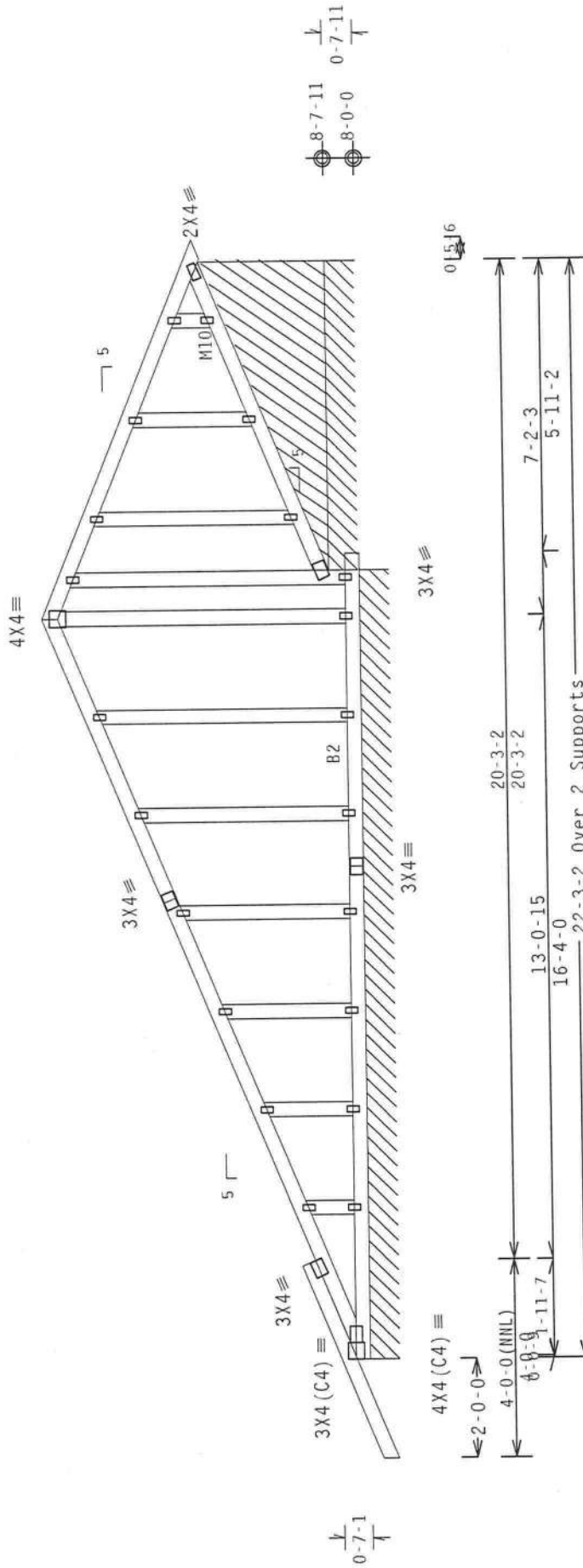
Wind reactions based on MWFRS pressures.

See DWGS A11015050109 & 68LLETIN0109 for more requirements.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.



R-88 PLF U-7 PLF W-16-0-0
RL=8/-6 PLF

Note: All Plates Are 1.5X3 Except As Shown.

Design Crit: FBC2007Res/TPI-2002 (STD)

FT/RT=10%(0%) / 0(0)

PLT TYP. Wave

Scale = .3125" / Ft.

FL / - / 4 / - / - / R / -

QTY 1

9.05.03.0319.17

9.05.03.0319.17

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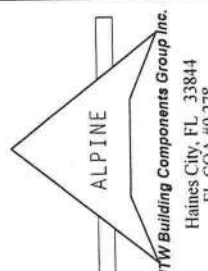
9.05.03.0319.17

9.05.03.0319.17

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of RCSC Design Guide for details on proper practices and procedures. Truss fabricators shall provide temporary bracing and bracing details. Top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint shall have bracing installed per RCSC sections B3, B7 or B10, as applicable.

LTV Building Components Group Inc. (LTVBCG) shall not be responsible for any deviation from information shown on this drawing. Refer to drawings 100-2 for standard plate positions and on the jointing and bracing of trusses. Apply plates to each face of truss and position as shown above and on the jointing and bracing of trusses. Unless noted otherwise, refer to drawings 100-2 for standard plate positions and on the jointing and bracing of trusses. The responsibility of the design shown on this drawing is the responsibility of the engineer. For more information see: This job's drawings and specifications. LTV-BCG: www.ltvbcg.com; TPI: www.tpinet.org; NCEA: www.nceaindustry.com; RCSC: www.rcsc.org



9.05.03.0319.17 PLF W-6-3-2



REF R487-- 6499

DATE 06/03/11

DRW HCUSR487 11154002

HC-ENG JB/DF

SEQN- 206805

DUR.FAC. 1.25

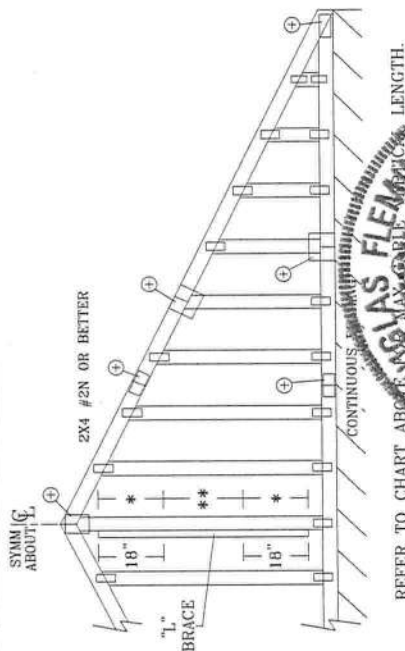
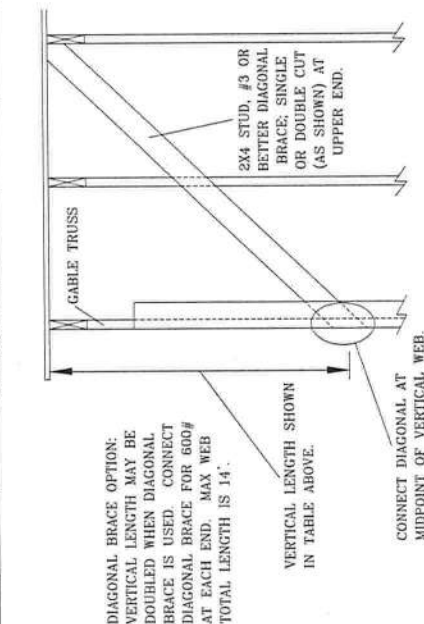
SPACING 24.0"

JREF- IUCH487_Z01

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

GABLE STUD REINFORCEMENT DETAIL

MAX GABLE VERTICAL LENGTH	GABLE VERTICAL SPACING	BRACE GRADE	2X4 L" BRACE		(1) 2X4 L" BRACE		(2) 2X4 L" BRACE		(1) 2X6 L" BRACE		(2) 2X6 L" BRACE	
			GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
24" O.C.	SPF	#1 / #2	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
	HF	STANDARD	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
	SP	#1	4' 3"	6' 8"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
	DFL	#2	4' 2"	6' 8"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
16" O.C.	SPF	#3	4' 0"	6' 2"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"
	HF	STANDARD	3' 10"	5' 3"	6' 11"	6' 11"	9' 4"	10' 10"	10' 10"	10' 10"	14' 0"	14' 0"
	SP	#1 / #2	4' 5"	7' 8"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	#3	4' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
12" O.C.	SPF	STANDARD	4' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"
	HF	#1	4' 10"	7' 8"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	#2	4' 9"	7' 8"	9' 1"	9' 9"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	#3	4' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
12" O.C.	SPF	STANDARD	4' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"
	HF	#1 / #2	4' 11"	8' 5"	10' 0"	10' 0"	11' 1"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	#3	4' 9"	8' 5"	10' 0"	10' 0"	11' 1"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	STANDARD	4' 9"	7' 3"	9' 7"	9' 7"	10' 9"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
12" O.C.	SPF	#1	5' 4"	8' 5"	10' 0"	10' 0"	11' 1"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
	HF	#2	5' 3"	8' 5"	10' 0"	10' 0"	11' 1"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	#3	5' 0"	8' 5"	10' 0"	10' 0"	11' 1"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
	DFL	STANDARD	4' 11"	7' 5"	9' 10"	9' 10"	11' 1"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"



WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET. Trusses require competent design and construction. Do not alter, modify, or remove any bracing or structural components without the approval of the original designer. Trusses shall be installed in accordance with the manufacturer's instructions and the applicable building code. Trusses shall be installed in accordance with the applicable building code. Trusses shall be installed in accordance with the applicable building code.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. Trusses shall be installed in accordance with the manufacturer's instructions and the applicable building code. Trusses shall be installed in accordance with the applicable building code. Trusses shall be installed in accordance with the applicable building code.

NOTES 1. Trusses shall be installed in accordance with the manufacturer's instructions and the applicable building code. 2. Trusses shall be installed in accordance with the applicable building code. 3. Trusses shall be installed in accordance with the applicable building code.

DOUGLAS FLEMING
Professional Engineer
No. 66648
STATE OF FLORIDA
Professional Engineer

REF: ASCE7-05-GAB1015
DATE: 1/1/09
DRWG: A11015050109
MAX. TOT. LD. 60 PSF
MAX. SPACING 24.0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:
SPRUCE-PINE-FIR
#1 / #2 STANDARD
#3 STUD
HEM-FIR
#2 STANDARD
#3 STUD
SOUTHERN PINE
#3 STUD
STANDARD

GROUP B:
HEM-FIR
#1 & BTR
#1
DOUGLAS FIR-LARCH
#1
#2

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.
PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.
ATTACH EACH "L" BRACE WITH 10d NAILS.
* FOR (1) "L" BRACE: SPACE NAILS AT 2' O.C. IN 18" END ZONES AND 4' O.C. BETWEEN ZONES.
** FOR (2) "L" BRACES: SPACE NAILS AT 3' O.C. IN 18" END ZONES AND 6' O.C. BETWEEN ZONES.
"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES
VERTICAL LENGTH NO SPLICE
LESS THAN 4' 0" 1X4 OR 2X3
GREATER THAN 4' 0" BUT LESS THAN 11' 6" 2 5X4
GREATER THAN 11' 6" 3X4
+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

TW
Building Components Group Inc.

Earth City, MO 63045



**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST REQUIREMENTS**

6-25-09

**MINIMUM PLAN REQUIREMENTS FOR THE
FLORIDA BUILDING CODE RESIDENTIAL 2007 EFFECTIVE 1 MARCH 2009 & 2009
SUPPLEMENTS EFFECTIVE 1 MARCH 2009, ONE (1) AND TWO (2) FAMILY DWELLINGS
with Supplements and Revision, OF THE NATIONAL ELECTRICAL 2008**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007
FLORIDA BUILDING CODES RESIDENTIAL EFFECTIVE 1 MARCH 2009 & 2009
SUPPLEMENTS EFFECTIVE 1 MARCH 2009. ALL PLANS OR DRAWINGS SHALL
PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND
SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE
STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE
STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY
DWELLINGS.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER
FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind
speed map) SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH

ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH

NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Items to Include-
Each Box shall be
Circled as
Applicable

		Yes	No	N/A
1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.) <u>192</u>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	Total (Sq. Ft.) under roof <u>192</u>			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIIII	IIII	IIIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	/		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	/		
11	Wind importance factor and nature of occupancy	/		
12	The applicable internal pressure coefficient, Components and Cladding	/		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifiably designed by the registered design professional.	/		

Elevations Drawing including:

14	All side views of the structure	/		
15	Roof pitch	/		
16	Overhang dimensions and detail with attic ventilation	/		
17	Location, size and height above roof of chimneys	/		
18	Location and size of skylights with Florida Product Approval	N/A		/
18	Number of stories	/		
20A	Building height from the established grade to the roofs highest peak	/		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	/		
21	Raised floor surfaces located more than 30 inches above the floor or grade	/		
22	All exterior and interior shear walls indicated	/		
23	Shear wall opening shown (Windows, Doors and Garage doors)	/		
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBCR 613.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	/		
25	Safety glazing of glass where needed	/		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			/
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails			/
28	Identify accessibility of bathroom (see FBCR SECTION 322)			/

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
---	--	--	--	--

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	/		
30	All posts and/or column footing including size and reinforcing	/		
31	Any special support required by soil analysis such as piling.	/		
32	Assumed load-bearing value of soil <u>1200</u> Pound Per Square Foot	/		
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	/		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	/		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	/		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Sub mit other approved termite protection methods. Protection shall be provided by registered termiticides	/		
----	--	---	--	--

FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type			/
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement			/

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			/
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers			/
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers			/
42	Attachment of joist to girder			/
43	Wind load requirements where applicable			/
44	Show required under-floor crawl space			/

45	Show required amount of ventilation opening for under-floor spaces			/
46	Show required covering of ventilation opening			/
47	Show the required access opening to access to under-floor spaces			/
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & interior of the areas structural panel sheathing			/
49	Show Draftstopping, Fire caulking and Fire blocking			/
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			/
51	Provide live and dead load rating of floor framing systems (psf).			/

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	/		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	/		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	/		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	/		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	/		
57	Indicate where pressure treated wood will be placed	/		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	/		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	/		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	/		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	/		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	/		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	/		
64	Provide dead load rating of trusses	/		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing			/
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			/
67	Valley framing and support details			/
68	Provide dead load rating of rafter system			/

FBCR Table 602.3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness			<input checked="" type="checkbox"/>
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas			<input checked="" type="checkbox"/>

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	<input checked="" type="checkbox"/>		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering			

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	<input checked="" type="checkbox"/>		
74	Attic space	<input checked="" type="checkbox"/>		
75	Exterior wall cavity			<input checked="" type="checkbox"/>
76	Crawl space			<input checked="" type="checkbox"/>

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			<input checked="" type="checkbox"/>
78	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required			<input checked="" type="checkbox"/>
79	Show clothes dryer route and total run of exhaust duct			<input checked="" type="checkbox"/>

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			<input checked="" type="checkbox"/>
81	Show the location of water heater			<input checked="" type="checkbox"/>

Private Potable Water

82	Pump motor horse power			<input checked="" type="checkbox"/>
83	Reservoir pressure tank gallon capacity			<input checked="" type="checkbox"/>
84	Rating of cycle stop valve if used			<input checked="" type="checkbox"/>

Electrical layout shown including

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	/		
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	/		
87	Show the location of smoke detectors & Carbon monoxide detectors	/		
88	Show service panel, sub-panel, location(s) and total ampere ratings	/		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	/		
90	Appliances and HVAC equipment and disconnects	/		
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter , Protection device.	/		

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
--	--

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	/		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	/		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	/		
95	City of Lake City A permit showing an approved waste water sewer tap			/
96	Toilet facilities shall be provided for all construction sites	/		
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			/

98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations	/		
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established	/		
100	A development permit will also be required. Development permit cost is \$50.00	/		
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.	/		
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	/		

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

[illegible]

Columbia County Property Appraiser

DB Last Updated: 5/3/2011

2010 Tax Year

Parcel: 34-3S-17-07018-145

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

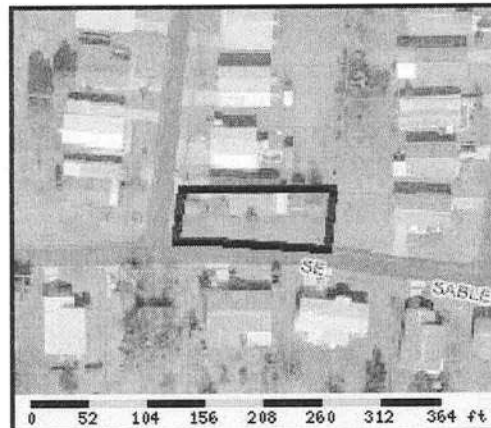
Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	COLE ROY P & SUSAN H		
Mailing Address	257 SE BECKY TERRACE LAKE CITY, FL 32025		
Site Address	257 SE BECKY TER		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	2 (County)	Neighborhood	34317
Land Area	0.190 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 45 EASTSIDE VILLAGE S/D. ORB 716-033, 808-1670-1678, 824-2033, CD 828-2073, 873-1142, 906-776.WVD1063-394.			



Property & Assessment Values

2010 Certified Values		
Mkt Land Value	cnt: (0)	\$12,150.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$70,697.00
XFOB Value	cnt: (1)	\$1,088.00
Total Appraised Value		\$83,935.00
Just Value		\$83,935.00
Class Value		\$0.00
Assessed Value		\$83,935.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value	Cnty: \$33,935 Other: \$33,935 Schl: \$58,935	

2011 Working Values

NOTE:

2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
10/24/2005	1063/392	WD	I	U	01	\$100.00
10/24/2005	1063/394	WD	I	Q		\$107,000.00
7/10/2000	906/776	WD	I	Q		\$53,500.00
1/26/1999	873/1142	WD	I	Q		\$55,000.00
7/2/1996	824/2033	WD	V	Q		\$13,000.00
8/1/1995	808/1678	WD	V	U	09	\$177,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1996	(31)	1090	1458	\$66,839.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

Clerk's Office Stamp

Inst: 201112009202 Date 6/17/2011 Time: 11:24 AM
 DC, P DeWitt Cason Columbia County Page 1 of 1 B 1216 P 1416

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- Description of property (legal description): Lot 45 Eastside Village
 a) Street (job) Address: 257 So Becky Terrace, Lake City, FL 32025
- General description of improvements: Addition
- Owner Information
 a) Name and address: Roy & Susan Cole, 257 So Becky Terrace, Lake City, FL 32025
 b) Name and address of fee simple titleholder (if other than owner): Fee Simple
 c) Interest in property: Fee Simple
- Contractor Information
 a) Name and address: Bryan Techer Construction, Inc PO Box 816 Lake City, FL 32026
 b) Telephone No.: 82-8653 Fax No. (Opt.): _____
- Surety Information
 a) Name and address: N/A
 b) Amount of Bond: _____
 c) Telephone No.: _____ Fax No. (Opt.): _____
- Lender
 a) Name and address: N/A
 b) Phone No.: _____
- Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
 a) Name and address: _____
 b) Telephone No.: _____ Fax No. (Opt.): _____
- In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
 a) Name and address: _____
 b) Telephone No.: _____ Fax No. (Opt.): _____
- Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
 COUNTY OF COLUMBIA

10. Roy P. Cole Jr.
 Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Roy P. Cole Jr.
 Printed Name

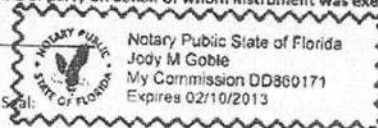
The foregoing instrument was acknowledged before me, a Florida Notary, this 14th day of June, 20 11 by: Roy P Cole Jr as _____ (type of authority, e.g. officer, trustee, attorney fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification ☒ Type FL License

Notary Signature

Jody M. Goble

Notary Stamp or Seal:



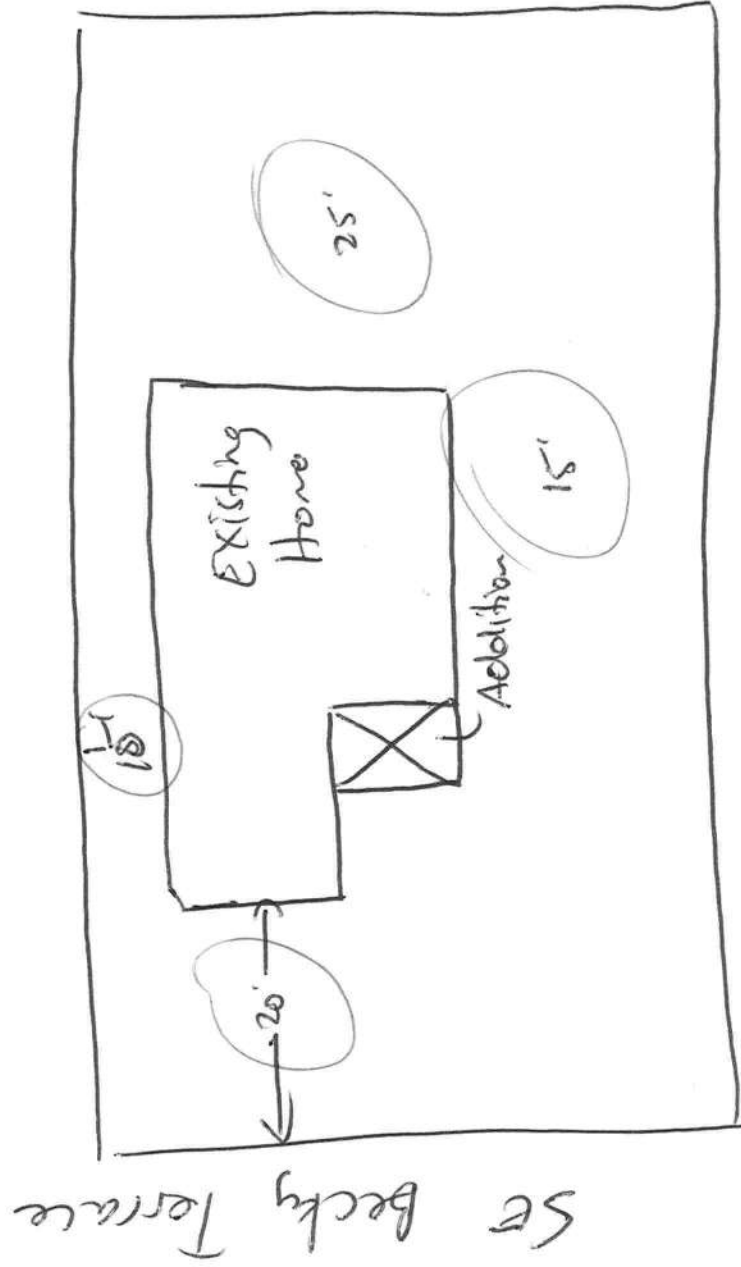
11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Roy P. Cole Jr.
 Signature of Natural Person Signing (in line #10 above.)

SITE PLAN

COLE

N↑



COLE Permit Applic

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1106-31

CONTRACTOR

Bryan Zecher

PHONE

752-8653

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL OK 76	Print Name: <u>Marc Matthews</u> License #: <u>ER-0014352</u>	Signature: <u>[Signature]</u> Phone #: <u>344-2029</u>
MECHANICAL/ A/C	Print Name: <u>Louis Weeks</u> License #: <u>CE005146</u>	Signature: <u>[Signature]</u> Phone #: <u>752-3810</u>
PLUMBING/ GAS	Print Name: <u>BUCK BURRILL</u> License #: <u>CE0021640</u>	Signature: <u>[Signature]</u> Phone #: <u>352-752-0476</u>
ROOFING	Print Name: <u>WAG JOHNSON</u> License #: <u>RC00061384</u>	Signature: <u>(see attached)</u> Phone #: <u>352-472-4443</u>
SHEET METAL	Print Name: <u>N/A</u> License #: <u></u>	Signature: <u></u> Phone #: <u></u>
FIRE SYSTEM/ SPRINKLER	Print Name: <u>N/A</u> License #: <u></u>	Signature: <u></u> Phone #: <u></u>
SOLAR	Print Name: <u>N/A</u> License #: <u></u>	Signature: <u></u> Phone #: <u></u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
YASON	000007	Kenneth Louder	[Signature]
CONCRETE FINISHER	000063	Darrell Spradley	[Signature]
FRAMING	853 CBC054575	Bryan Zecher	[Signature]
INSULATION		WAG JOHNSON	[Signature]
STUCCO		N/A	
DRYWALL	000096	Joe Madrox	[Signature]
PLASTER		N/A	
CABINET INSTALLER	00054575	Bryan Zecher	[Signature]
PAINTING	000330	Bobby Touchton	[Signature]
ACOUSTICAL CEILING		N/A	
GLASS		N/A	
CERAMIC TILE	000188	Ken HARRIS	[Signature]
FLOOR COVERING		Edley Forte	[Signature]
ALUM. VINYL SIDING	000106	Mike Nickelsen	[Signature]
GARAGE DOOR		Richard Horn	[Signature]
METAL BLDG ERECTOR		N/A	

Liability
6-27-11

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440 10 and 440 38, and shall be presented each time the employer applies for a building permit.

PREPARED BY AND RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst: [REDACTED] Date: 10/26/2005 Time: 09:36
Doc Stamp-Deed : 749.00
7MK DC, P. DeWitt Cason, Columbia County B: 1063 P: 394

Property Appraiser's
Identification Number *R07018-145*

TM File No: 05-866

WARRANTY DEED

This Warranty Deed, made this *24th* day of October, 2005, BETWEEN ROSINA M. SEMINERIO, a single person, whose post office address is 257 SE Becky Terrace, Lake City, Florida 32025, grantor*, and ROY P. COLE AND SUSAN H. COLE, Husband and Wife whose post office address is 161 SE Claudia Way, Apt. 102, Lake City, FL 32025, grantee*.

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 45, Eastside Village, a subdivision according to the plat thereof as recorded in Plat Book 5, Pages 115 and 115A, public records, Columbia County, Florida.

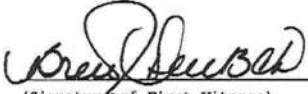
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

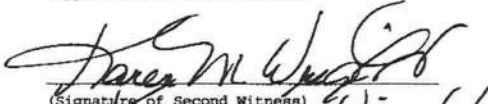
And subject to taxes for the current year and later years and all valid easements and restrictions of record, if any, which are not hereby reimposed; and also subject to any claim, right, title or interest arising from any recorded instrument reserving, conveying, leasing, or otherwise alienating any interest in the oil, gas and other minerals. And grantor does warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, subject only to the exceptions set forth herein.

In Witness Whereof, grantor has hereunto set grantor's hand
and seal the day and year first above written.

Signed, sealed and delivered
in our presence:


(Signature of First Witness)
Brett Deutsch
(Typed Name of First Witness)


ROSINA M. SEMINERIO


(Signature of Second Witness)
Karen M. Wright
(Typed Name of Second Witness)

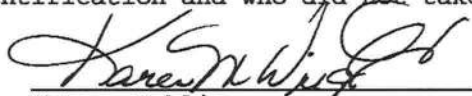
Inst:2005026735 Date:10/26/2005 Time:09:36
Doc Stamp-Deed : 749.00

DC,P.Dewitt Cason,Columbia County B:1063 P:395

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this
24th day of October, 2005, by Rosina M. Seminerio, a single
person, who is/are personally known to me or who has/have
produced _____ as identification and who did not take
an oath.

My Commission Expires:


Notary Public
Printed, typed, or stamped name:



Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Roy P. Cole Jr.
Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature (Permitee)

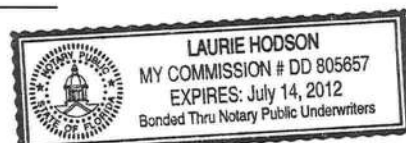
Contractor's License Number CBCOS 4578
Columbia County
Competency Card Number 853 OK

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 14 day of June 2011.

Personally known ☒ or Produced Identification ☐

[Signature]
State of Florida Notary Signature (For the Contractor)

SEAL:



Columbia County Building Permit Application

#28506

For Office Use Only Application # 1106-31 Date Received 6/14/11 By LA Permit # 29505
Zoning Official B2K Date 22 JUNE 2011 Flood Zone X Land Use RES. MED. DEX Zoning RMF-1
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C. Date 6-20-11
Comments _____
☒ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☒ State Road Info ☒ Well letter EXISTING ☐ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway N/A Letter of Auth. from Contractor ☐ F W Comp. letter _____
IMPACT FEES: EMS _____ Fire _____ Corr _____ ☒ Sub VF Form _____
Road/Code _____ School _____ = TOTAL (Suspended) ☒ App Fee Paid _____

Septic Permit No. X 11-044 In Box Fax 758-8920
Name Authorized Person Signing Permit Bryan Zeher Phone 752-8653
Address PO Box 815 Lake City, FL 32056
Owners Name Roy & Susan Cole Phone 758-8724
911 Address 257 SE Becky Terrace, L. P. #1 32055
Contractors Name Bryan Zeher Construction, Inc Phone 752-8653
Address PO Box 815 Lake City, FL 32056
Fee Simple Owner Name & Address N/A
Bonding Co. Name & Address N/A
Architect/Engineer Name & Address John Benz / Mark Diseney PO Box 868 LC, FL 32056
Mortgage Lenders Name & Address N/A
Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy
Property ID Number 34-35-17-07018-145 Estimated Cost of Construction \$18,000-
Subdivision Name Eastside Village Lot 45 Block _____ Unit _____ Phase _____
Driving Directions Bays Ave to Eastside Village @ Pearl Terri @
Sable Lane, T/L on Becky Terrace, 1st on Right
Number of Existing Dwellings on Property 1
Construction of Addition Total Acreage _____ Lot Size 50x135
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 18'
Actual Distance of Structure from Property Lines - Front 20 Side 10 Side 15 Rear 25
Number of Stories 1 Heated Floor Area 192 Total Floor Area 192 Roof Pitch 5/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE:** Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code. Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

Left Message 6-22-11 / 6-23-11

Notice of Treatment

Florida Pest Control & Chemical Co. (www.flapest.com)

City DAVIA Ave Phone 52-1703

Site Location: Subdivision EASTSIDE VILLAGE

Lot # 45 Block# 29505

Address 257 SE Becky Terrace

Product used

☒ Premise

Imidacloprid

0.1%

☐ Termidor

Fipronil

0.12%

☐ Bora-Care

Disodium Octaborate Tetrahydrate

23.0%

Type treatment:

☒ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

Addition to SED

200

60

12

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____

2-11-11

Date

1330

Time

James Parker

Print Technician's Name

Remarks: