

ABBREVIATIONS

A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
BOT	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
SIM	SIMILAR
TYP	TYPICAL
VLT	VAULT
UNO	UNLESS NOTED OTHERWISE

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

area tabulation 'b'

GARAGE	451 SF
FRONT PORCH	85 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

Carlisle

37' - 1398 - LH
Florida Region (Frame)

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB

EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF 5.7 SQUARE FEET

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition

2017 National Electrical Code, NFPA 70



Reserve at Jewel Lake
Lot 021
33-3S-16-02439-202
Lake City, FL 32024

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PLAN NUMBER:
33711398

RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
COVER SHEET

SHEET NO:
CS

Keynotes | Legend

1.

CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2.

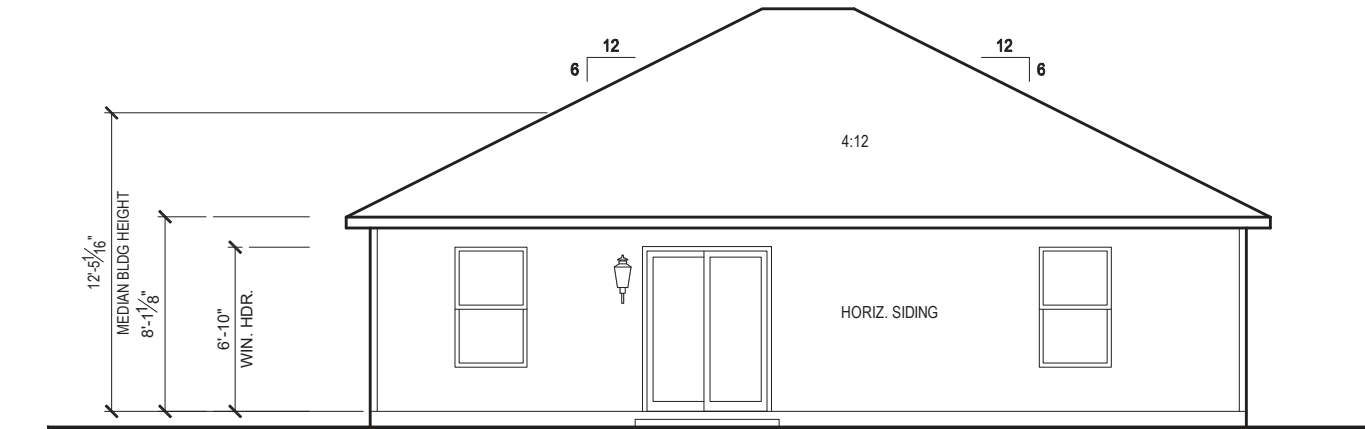
CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
3.

BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4.

STONE WAINSCOT WITH SLOPED STONE CAP.
5.

3 1/2" VINYL TRIM SURROUND
6.

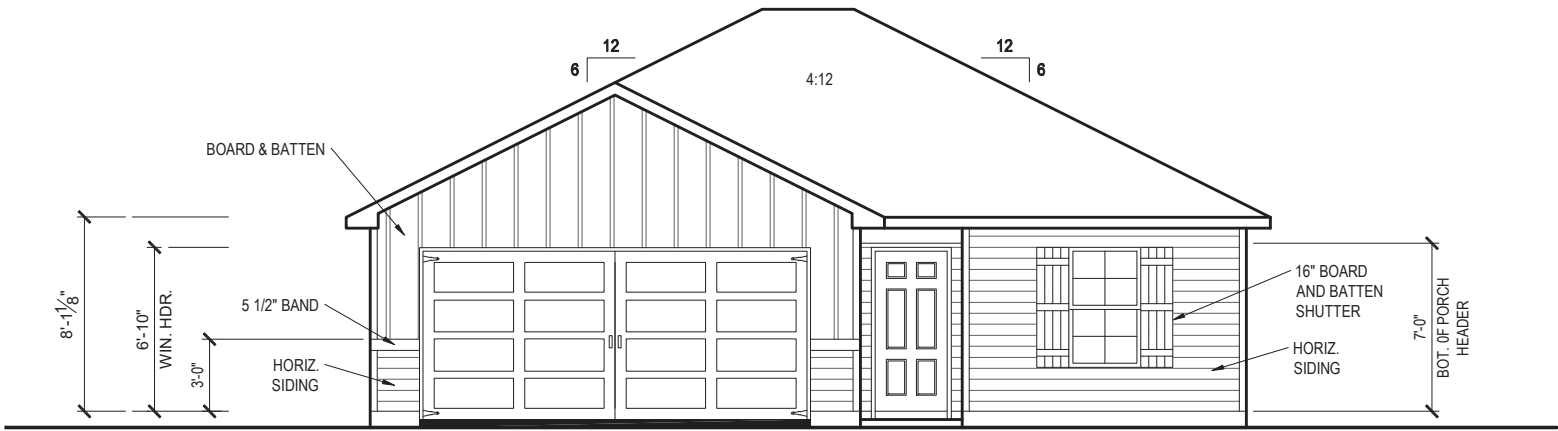
36" H. GUARDRAIL AS REQUIRED



REAR ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



FRONT ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



10-01-2021



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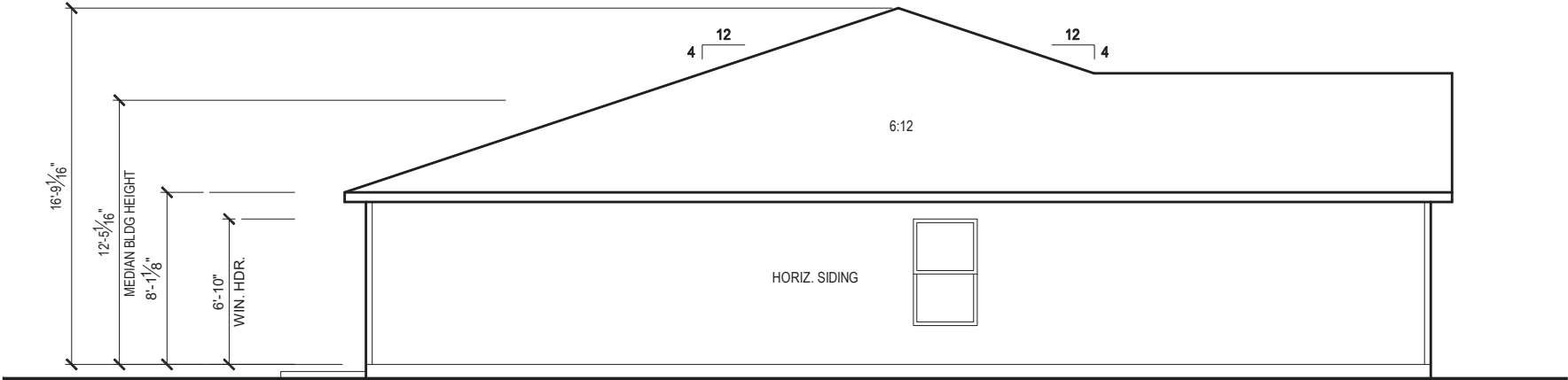
RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
EXTERIOR ELEVATIONS

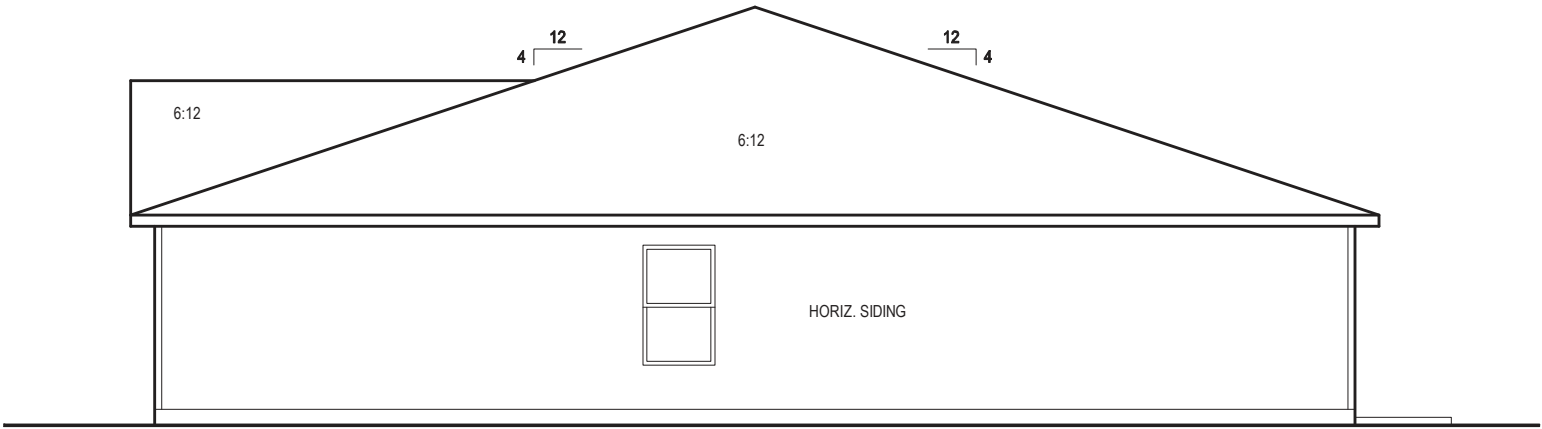
SHEET NO:

1.1-A1



LEFT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



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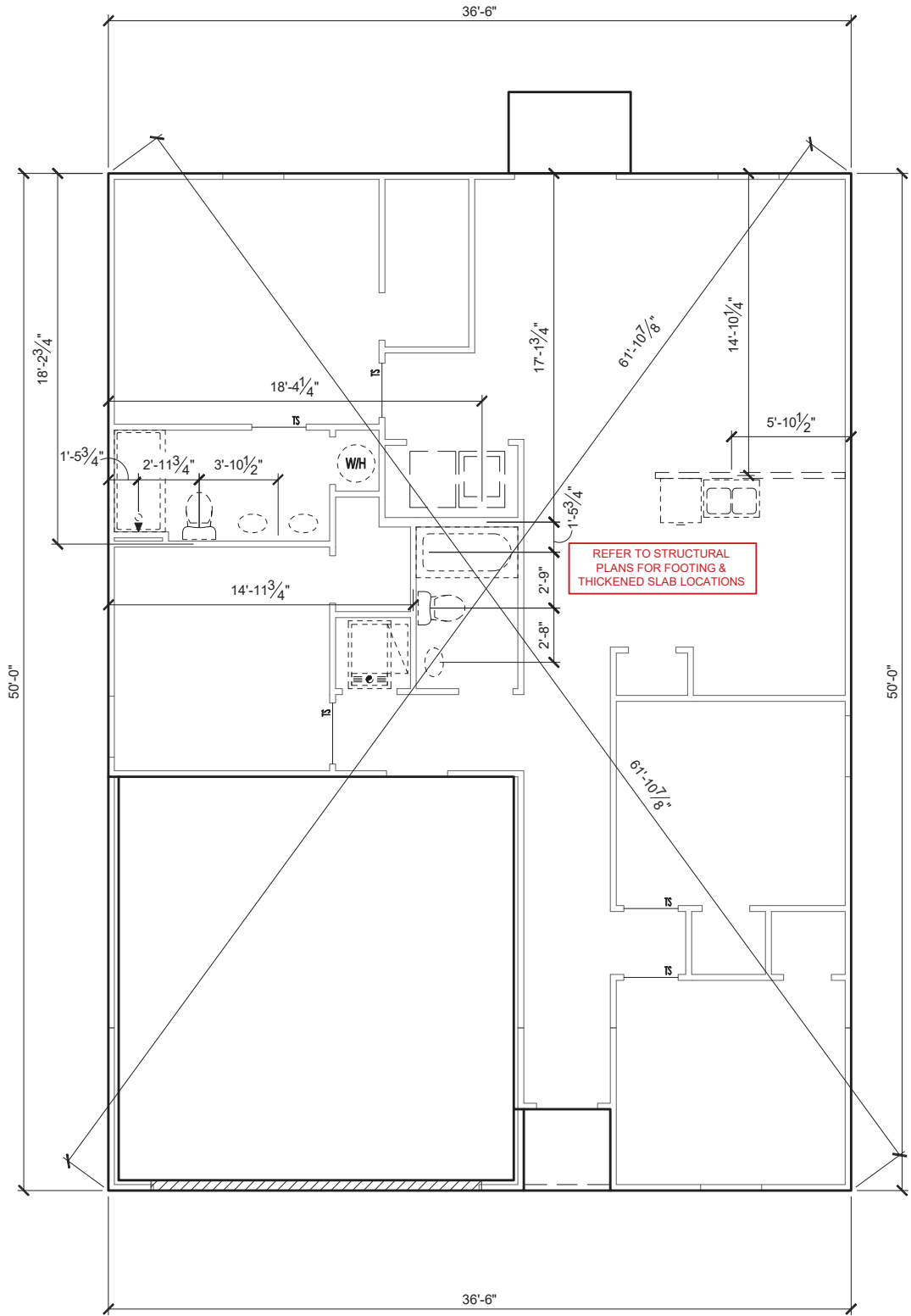
PLAN NUMBER:	33711398	RELEASE DATE:	01.11.2021
MODEL:	CARLISLE	DRAWING TITLE:	EXTERIOR ELEVATIONS

SHEET NO:

1.2-A1

GENERAL SLAB FOUNDATION NOTES

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



SLAB PENETRATION PLAN 'A1'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34



10-01-2021

FDS
FLOORING DESIGN SERVICES
256 Southrail Lane, Suite 200
O: 321.972-2491 F: 407.880.2304
Certificate Of Authorization No. 9161
☐ CARLA BROWN, PE - FL # 58128
☐ LUIS PABLO TORRES, PE - FL # 27184

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PLAN NUMBER:	33711398	RELEASE DATE:	01.11.2021
MODEL:	CARLISLE	DRAWING TITLE:	SLAB PENETRATIONS PLAN
SHEET NO:	2.1-A		

NOTES & LEGENDS

1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS

2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.

3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.

4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR

OPTIONAL WINDOW

2X4 FRAME WALL

2X6 FRAME WALL

BALLOON FRAME WALL
(PER STRUCTURALS)

KEYNOTES

A1

GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL

A2

22"x30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT

A3

PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION

A4

PULL DOWN STAIRS 25.5" x 54"

A5

TEMPERED SAFETY GLASS PER IRC R308.4

A6

HOUSE TO GARAGE DOOR SEPARATION, PROVIDE APPROVED 20 MINUTE RATED DOOR PER IRC 302.5.1

A7

A/C CONDENSER PAD, REFER TO SITE PLAN FOR FINAL LOCATION, VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS

A8

1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS

A9

LOUVERED DOOR w/ GAS FURNACE

D1

DRYWALL SOFFIT - 12" DROP FROM CEILING LINE

D2

DRYWALL SOFFIT - 8" DROP FROM CEILING LINE

K1

39" KNEE WALL WITH CAP PER SPECS

K2

38" KNEE WALL WITH 1x CAP

K3

46" KNEE WALL WITH CAP PER SPECS

K4

34 1/2" KNEE WALL

K5

42" KNEE WALL WITH 1x CAP

K6

KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING

P1

30" X 60" SHOWER ENCLOSURE PER SPECS

P2

30"x60" TUB PER SPECS

S1

BOX STAIR WITH 38" KNEE WALL & 1X CAP

S2

1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

The first floor plan 'A' shows a rectangular building with overall dimensions of 36'-6" wide by 50'-0" deep. The layout includes a large garage (451 SF) at the rear left, a front porch (17 SF), and a rear patio (24 SF). The main living area (1,398 SF) consists of a great room (8' clg), dining room (8' clg), kitchen, and a large owner's suite (8' clg) with a walk-in closet (wic) and linen closet. There are three other bedrooms (br 2, br 3, br 4) and two bathrooms (ba 1, ba 2). The plan also shows a foyer, a linen closet, a washer/dryer area (W/D), and a fireplace (FAU). Various structural details like doors, windows, and egress points are indicated with callouts and dimensions.

FIRST FLOOR PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

CENTURY
Complete

10-01-2021

FDS

ENGINEERING ASSOCIATES

258 Southall Lane, Suite 200
O: 321-972-2491 F: 407-880-2304
Certificate Of Authorization No. 9161

CARLA A. BROWN, P.E. - FL # 58128

LUIS PABLO TORRES, P.E. - FL # 27184

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Lot 021
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Lake City, FL 32024

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MODEL: CARLISLE

DRAWING TITLE: FIRST FLOOR PLAN

PLAN NUMBER: 33711398

RELEASE DATE: 01.11.2021

SHEET NO:

3.1-A

ATTIC VENT CALCULATION

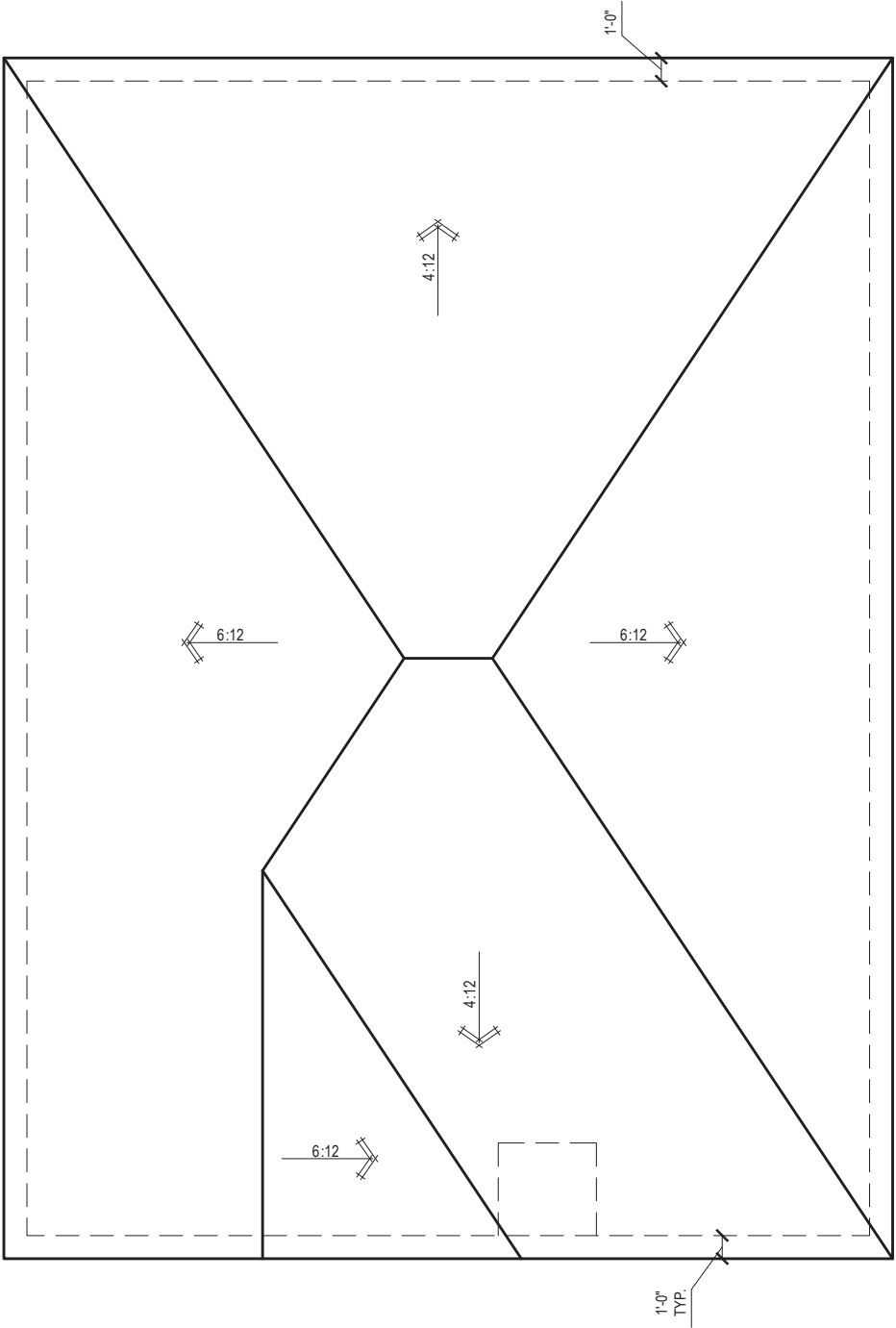
ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

ROOF VENTILATION CALCULATIONS				
ROOF AREA	2,002 SF			
TOTAL NET FREE AREA REQ'D (1 TO 300)	961.0 SQ. IN.			
MAIN HOUSE INLET (SOFFIT) VENTILATION	96.0 LF x	6.4 SQ. IN / LINEAR FT =	614.4 SQ. IN.	
POD VENT(S) REQUIRED WITH BASE HOUSE	7	VENTS AT 70.0 SQ. IN EA. =	490.0 SQ. IN.	
LOWER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	614.4 SQ. IN	55.6%		
UPPER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	490.0 SQ. IN	44.4%		

NOTE: TYPICAL VENTILATION INCLUDES:
1. SOFFIT VENTS
(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770" ATTIC VENT LOCATED 12" MIN. FROM RIDGE
(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



ROOF PLAN 'A'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



10-01-2021



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MODEL:	CARLISLE	DRAWING TITLE:	ROOF PLAN
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SHEET NO:

6.1-A

ELECTRICAL LEGEND

\$

SWITCH

\$3

3 WAY SWITCH

\$4

4 WAY SWITCH

WALL MOUNTED LIGHT

LED DOWNLIGHT

DISCONNECT

CEILING FIXTURE OUTLET

S

SMOKE DETECTOR

C

SMOKE/CARBON MONOXIDE ALARM

110v RECEPTACLE

110v SWITCHED RECEPTACLE

110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY

110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL

220v RECEPTACLE

110v FLOOR RECEPTACLE

DISPOSAL

CHIME

BATH EXHAUST FAN

CEILING FAN PREWIRE WITH BRACING FOR FUTURE FAN

SW

GFI

220v

VP=VAPOR PROTECTED

GFI OUTLET

220v RECEPTACLE

B = BRACE FOR FUTURE FAN

H = HANGING

P = OPT. PENDANT

CEILING FAN PREWIRE WITH BRACING FOR FUTURE FAN

•

PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS

•

INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G

•

ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT

•

IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

•

DWGS. ARE DIAGRAMMATICAL & INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS.

KEYNOTES

E1ELECTRICAL PANEL PER SPECS

E2INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL

E3DOOR CHIME TRANSFORMER LOCATION

E4MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER

E5COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF

E6INSTALL COACH LIGHT AT 68" AFF

FIRST FLOOR ELECTRICAL PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

10-01-2021

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Lot 021
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Lake City, FL 32024

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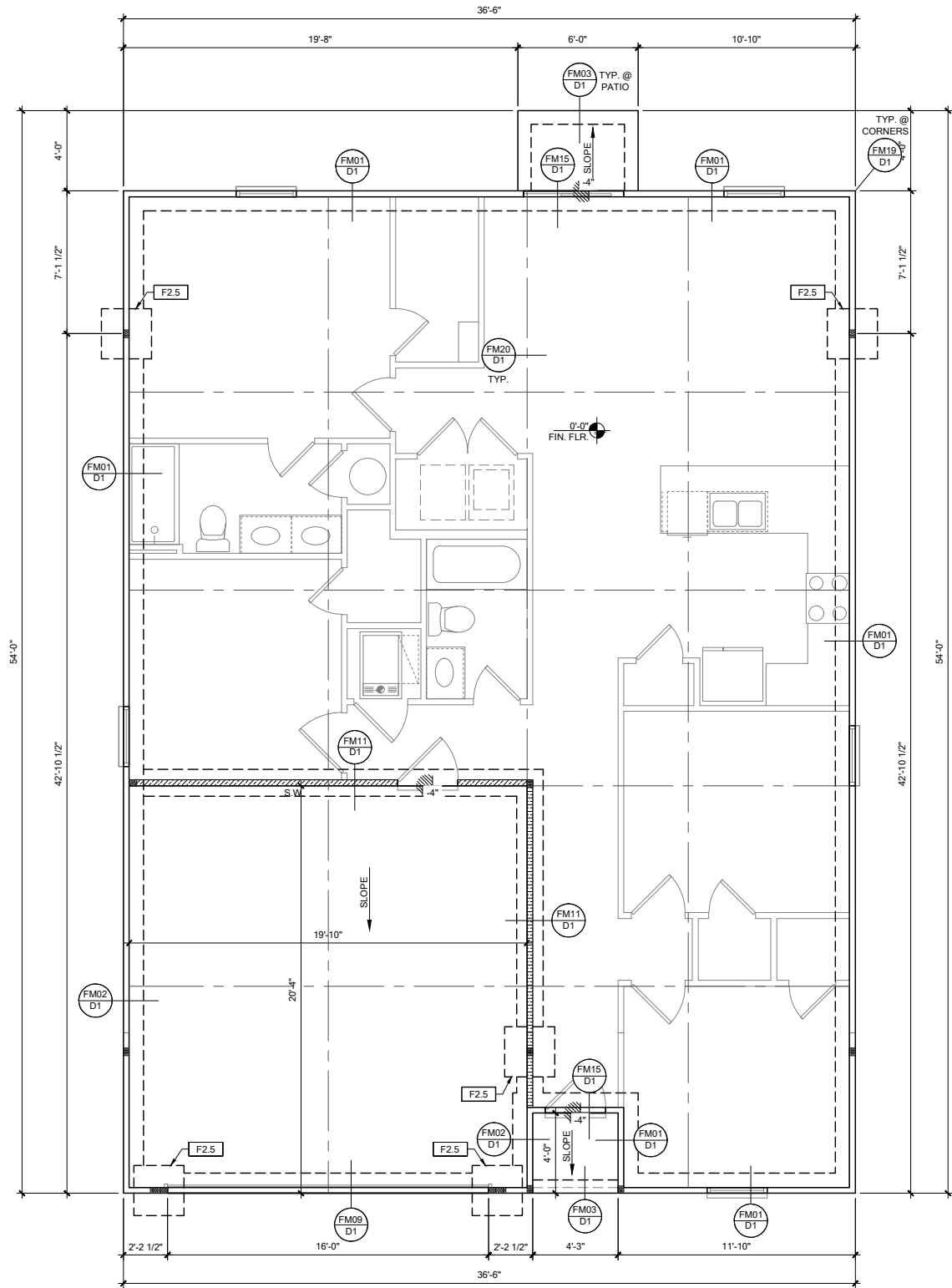
RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
FIRST FLOOR ELECTRICAL

SHEET NO:

E1.1



FOUNDATION PLAN A

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

FOUNDATION LEGEND	
SYMBOL	DESIGN DESCRIPTION
	INDICATES CONCRETE FOOTING w/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS.
	INDICATES CONSTRUCTION JOINT (IF SHOWN) SHALL BE 1/2" x 1" SAW CUTS FILLED WITH APPROVED SLAB JOINT MATERIAL COVERING A 12'x12' SQUARE MAXIMUM
	INDICATES STEP IN FOUNDATION, VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1
	4" 2500 PSI CONC. SLAB W/ REINF. PER S0 w/6 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. SEE FOUNDATION SCHEDULE ON SN
	INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT, AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB

GENERAL NOTES:
1. TYPICAL CORNER FRAMING PER DETAIL FM19/D1
2. SEE ARCHITECTURAL PLANS FOR ALL SLAB STEP DEPTHS IF SHOW SHOWN WITHIN THESE DOCUMENTS.

PLAN KEY NOTES

BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
	2x INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN
	2x WOOD FRAME EXTERIOR WALL

DATE: October 5, 2021
PROJECT NO: 33711398

33711398
33-3S-16-02439-202
LAKE CITY, FL 32024

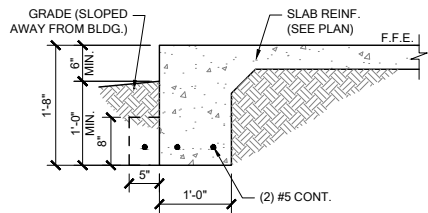
LOT 21
RESERVE AT JEWEL LAKE
33-3S-16-02439-202
LAKE CITY, FL 32024

MODEL: CARLISLE
DRAWING TITLE: FOUNDATION PLAN

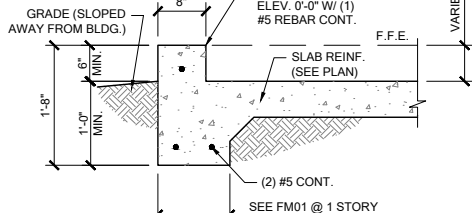
PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

SHEET NO: S1

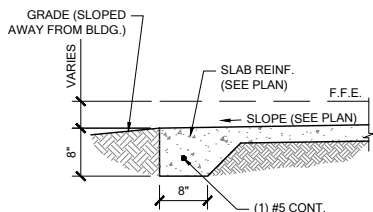
S2



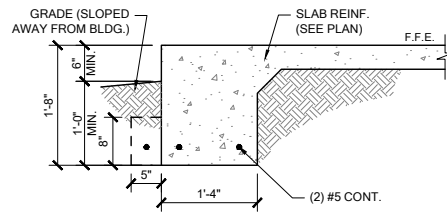
FM01 SINGLE STORY FTG
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



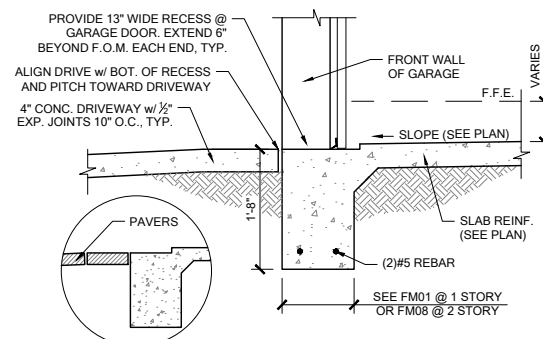
FM02 SECTION @ GARAGE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



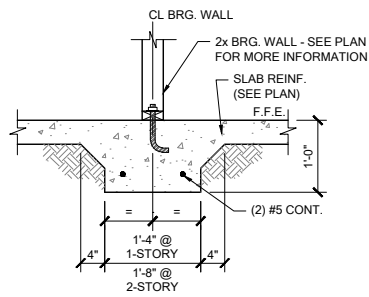
FM03 THICKENED EDGE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



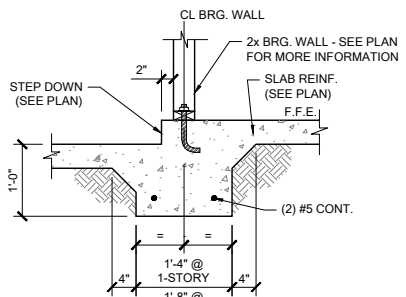
FM08 2-STORY FOOTING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



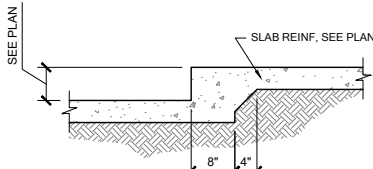
FM09 SECTION @ GARAGE DOOR
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



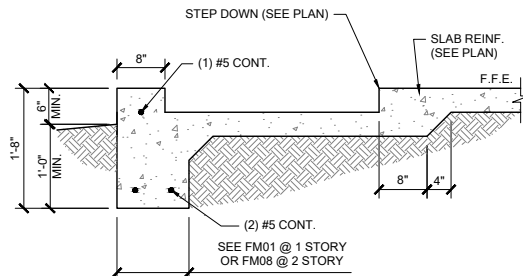
FM10 INTERIOR BEARING WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



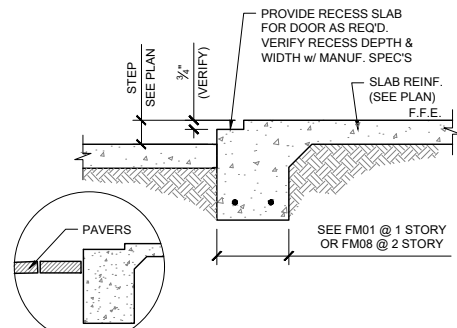
FM11 STEP DOWN BEARING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



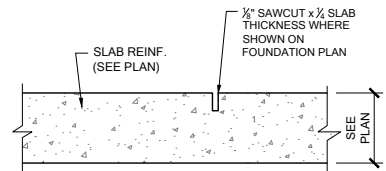
FM12 STEP DOWN @ NON BRG.
SCALE: 3/4" = 1'-0"



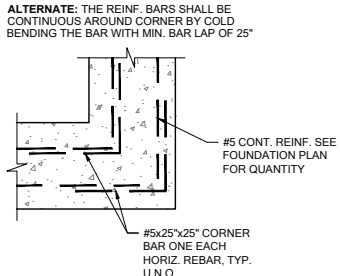
FM14 SECTION @ SHOWER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



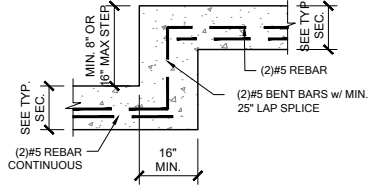
FM15 EXTERIOR BEARING @ RECESS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



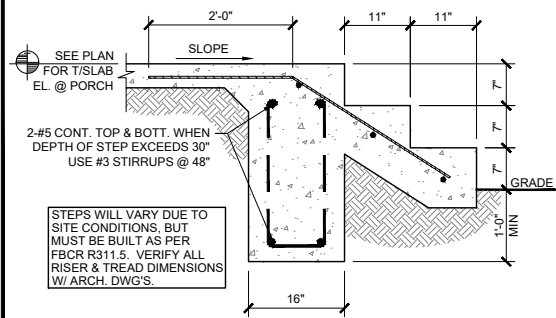
FM20 CONTROL JOINT
SCALE: N.T.S.



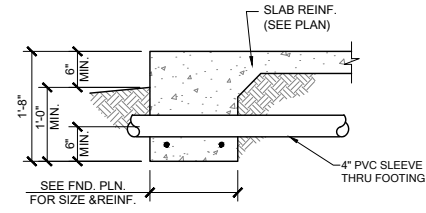
FM19 TYP. CORNER BAR DETAIL
SCALE: N.T.S.



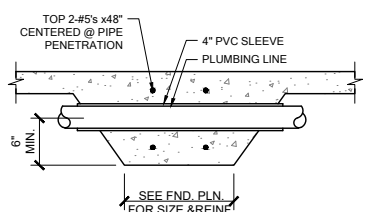
FM18 TYP. STEP FOOTING DETAIL
SCALE: N.T.S.



FM22 PORCH STEP
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

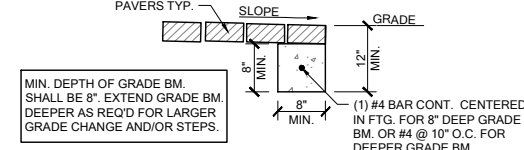


PIPE PERPENDICULAR TO EXTERIOR FOOTING

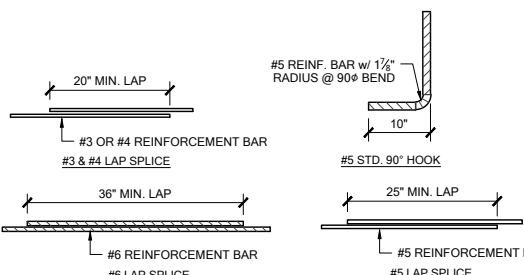


PIPE PERPENDICULAR TO INTERIOR FOOTING

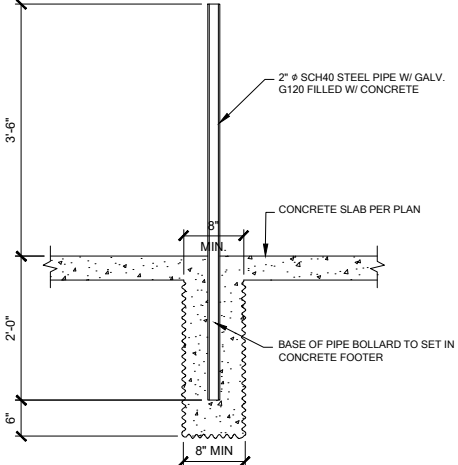
FM23 FOUNDATION PENETRATIONS, TYPICAL
SCALE: N.T.S.



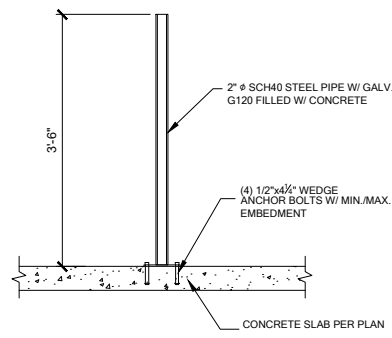
FM32 GRADE BEAM @ PAVER THRESHOLD
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



MS05 TYP. REBAR SPLICE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



GAS WATER HEATER



ELECTRIC WATER HEATER

1 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



DATE: October 5, 2021
DRAWN BY: J. L. TORRES
CHECKED BY: J. L. TORRES
DATE: 10/5/21

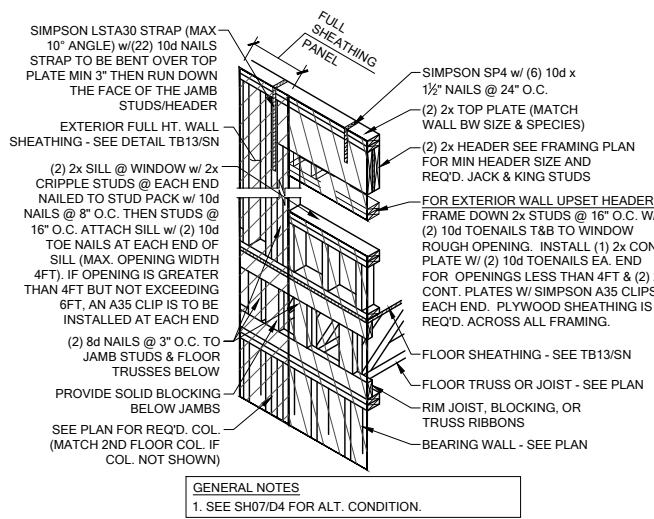


LOT 21
RESERVE AT JEWEL LAKE
33-3S-16-02439-202
LAKE CITY, FL 32024

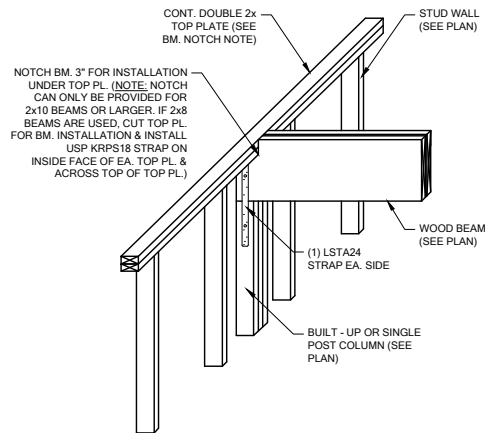
PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

MODEL: CARLISLE
DRAWING TITLE: FOUNDATION DETAILS

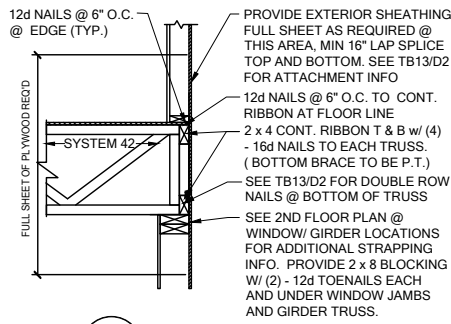
SHEET NO: D1



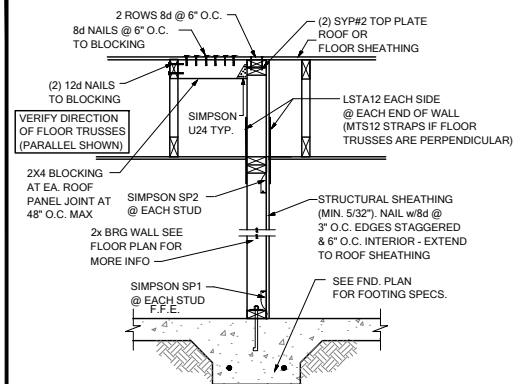
SH00 HEADER CONN. @ 2ND FLOOR (NO BASE STRAP)
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



WF103 TYP. WOOD BEAM TO WOOD WALL CONN.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

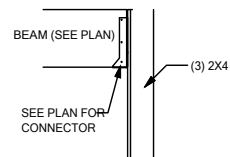


WS06 FLOOR ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

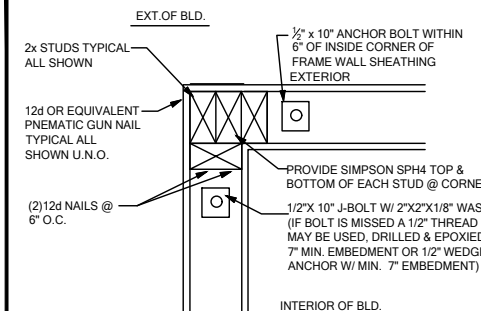


SW04 INTERIOR SHEAR WALL @ TRUSSES
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

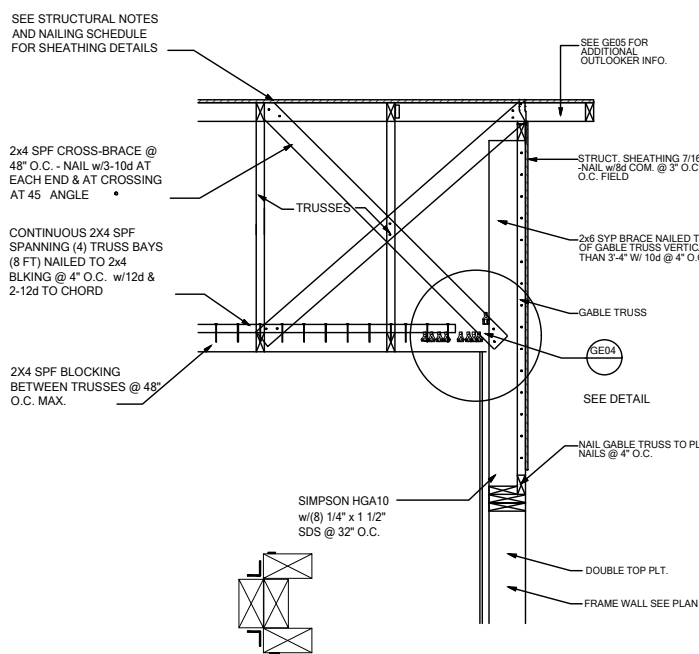
NOTE: @ ALL EXT. CONDITIONS ATTACH 2x STUDS TO TOP PLATE w/ (4) 16d TOENAILS (2) ON EA. SIDE TYP. TOE NAILS MAY BE SUBSTITUTED w/ (1) SIMPSON H2.5A CONNECTOR @ EA. STUD TO TOP PLATE w/ 8d 2 1/2" x 0.131 NAILS



CD25 BEAM TO WALL CONNECTION
SCALE: 3/4" = 1'-0"

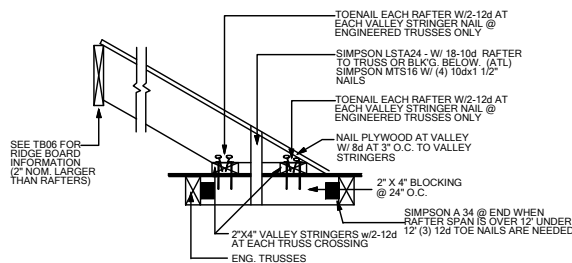


WC06 EXTERIOR FRAME CORNER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

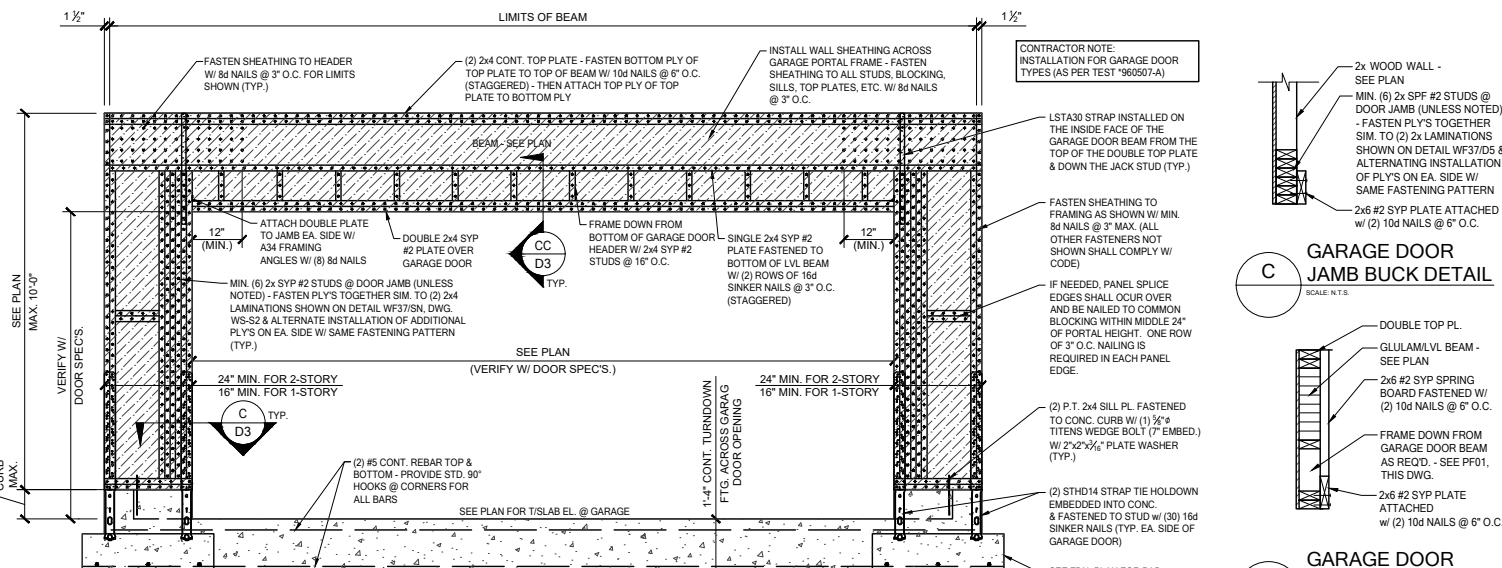


GE03 GABLE END BRACIN w/ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

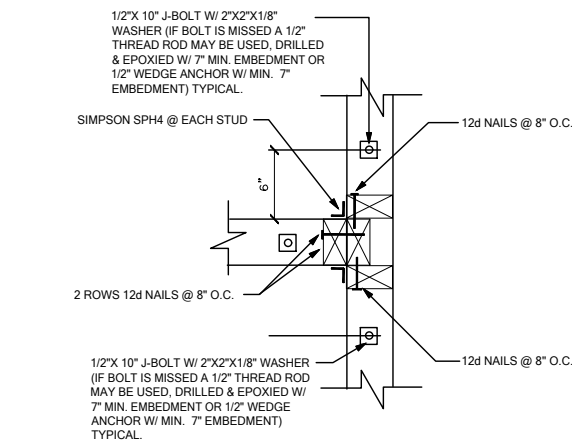
RAFTER SIZE	
0'-8" SPAN -	2"x6" W/4-12d EACH END
8'-12" SPAN -	2"x8" W/4-12d EACH END
12'-15" SPAN -	2"x10" w/ SIMPSON A 34 @ EA. END
15'-18" SPAN -	2"x12" w/ SIMPSON A 34 @ EA. END



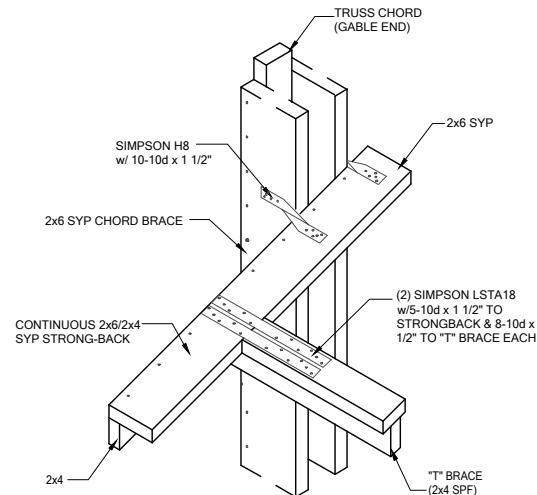
TB17 CONV. FRAMING & VALLEY FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



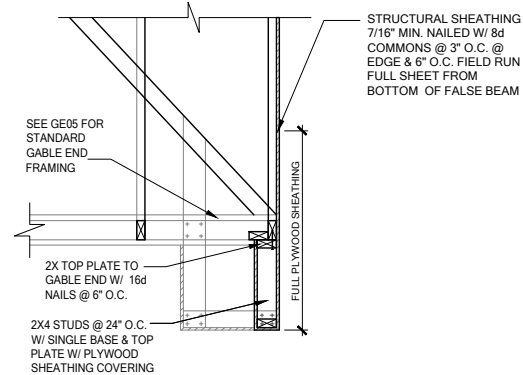
PF01 GARAGE DOOR PORTAL FRAME
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



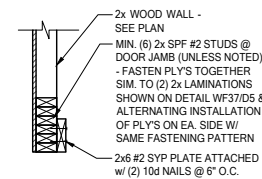
WC03 WALL TO WALL @ END OF SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



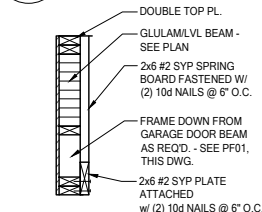
GE04 "T" BRACE CONNECTION @ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



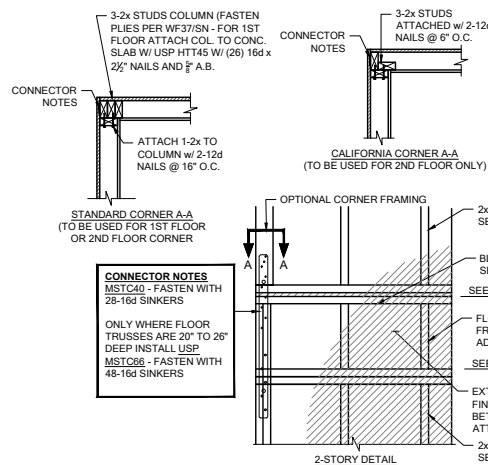
GE15 FALSE BEAM @ GABLE END
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



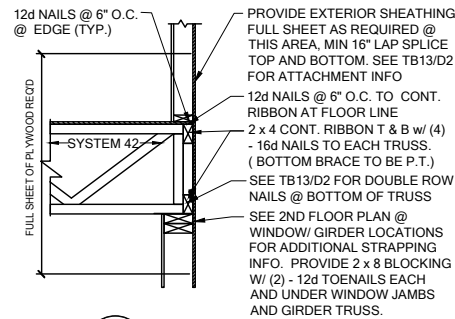
C GARAGE DOOR JAMB BUCK DETAIL



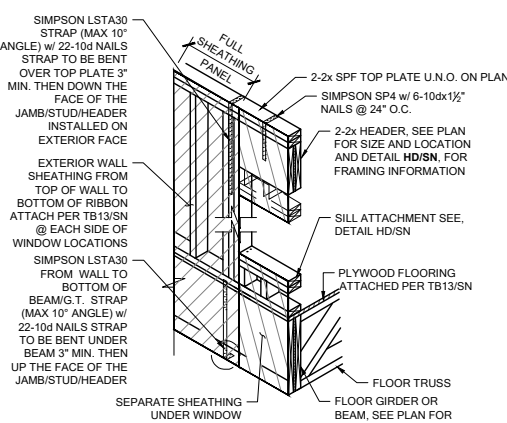
CC GARAGE DOOR HEAD BUCK DETAIL



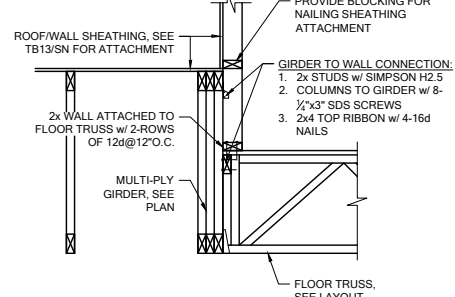
FB06 TYP. CORNER FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



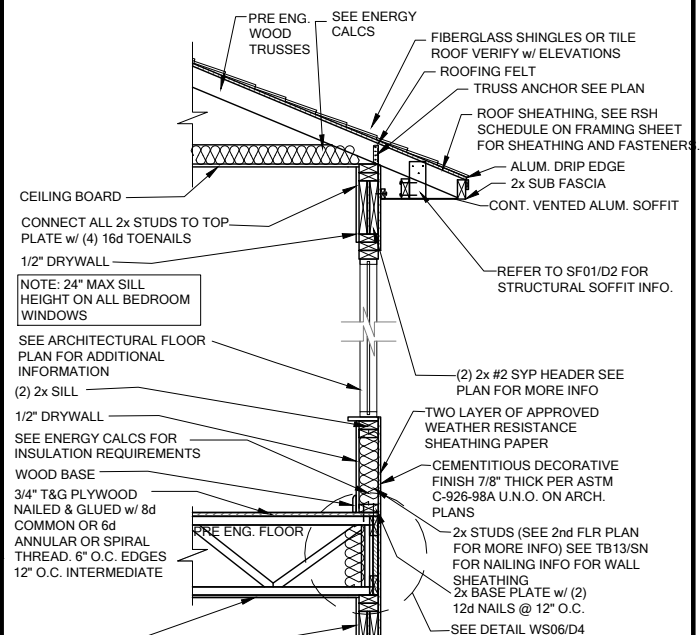
WS06 FLOOR ATTACHMENT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



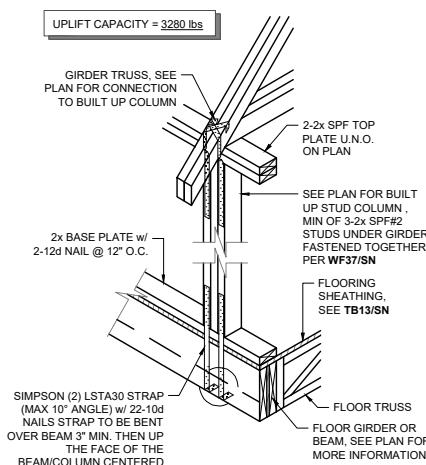
SH05 HEADER CONN. @ BEAM
SCALE: N.T.S.



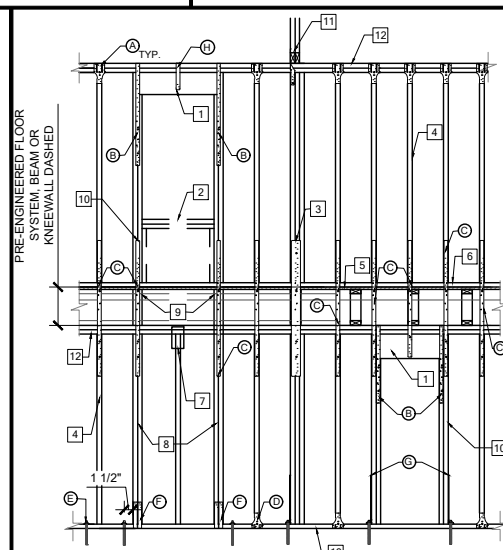
WF100 BRG. WALL OVER FLOOR SYSTEM
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



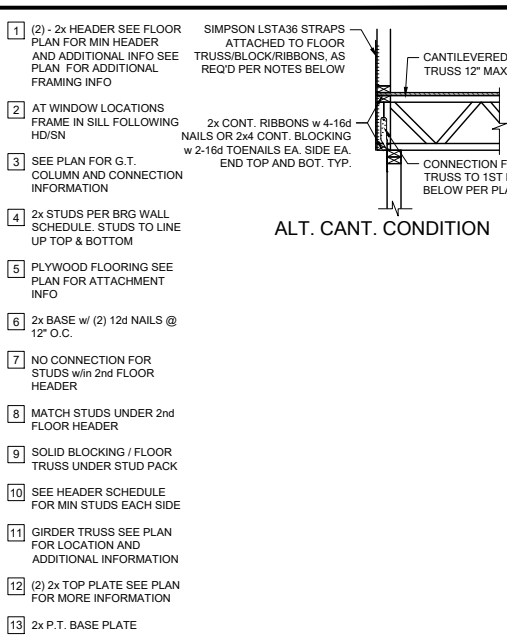
WS04 2 STORY FRAME WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



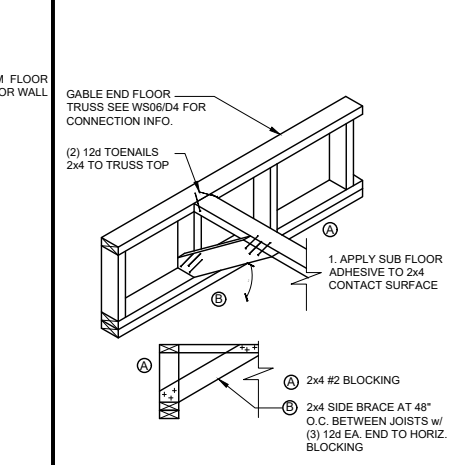
SG01 COLUMN CONN. @ BEAM
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



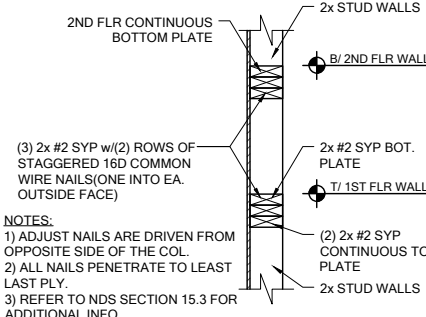
WF06 2-STORY INT. BEAR & EXT. WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



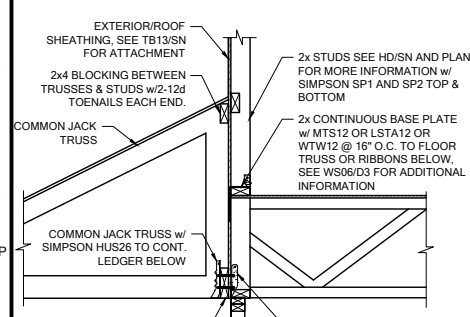
ALT. CANT. CONDITION



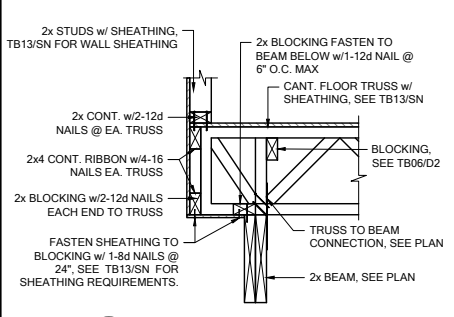
FB12 BLOCKING w/BOTTOM CHORD
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



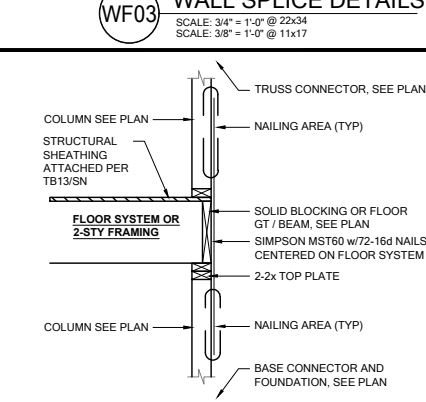
WF03 WALL SPLICE DETAILS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



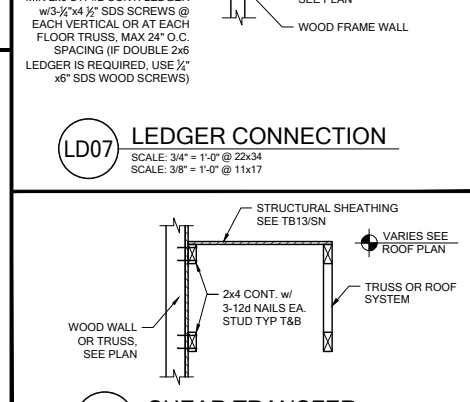
LD07 LEDGER CONNECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



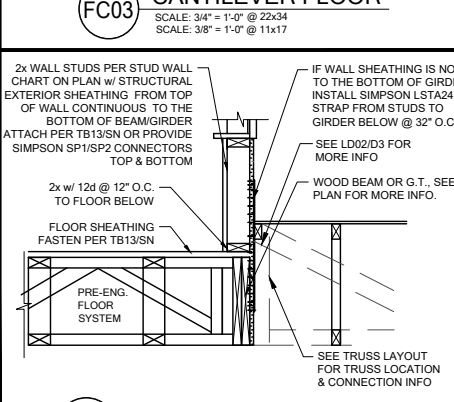
FC03 CANTILEVER FLOOR
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



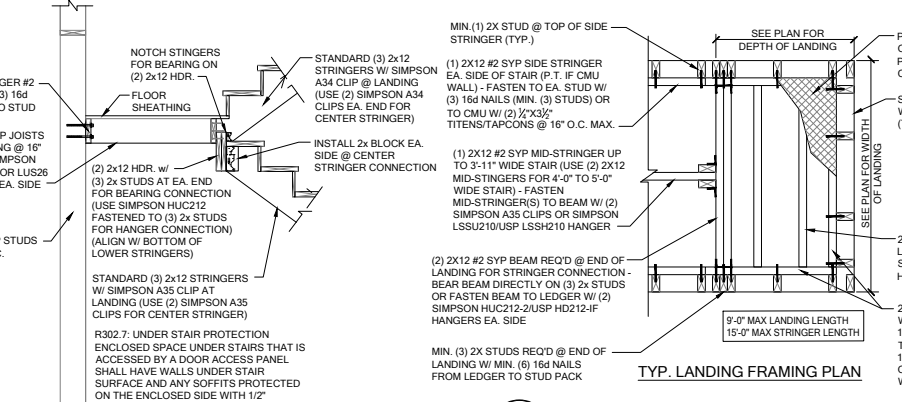
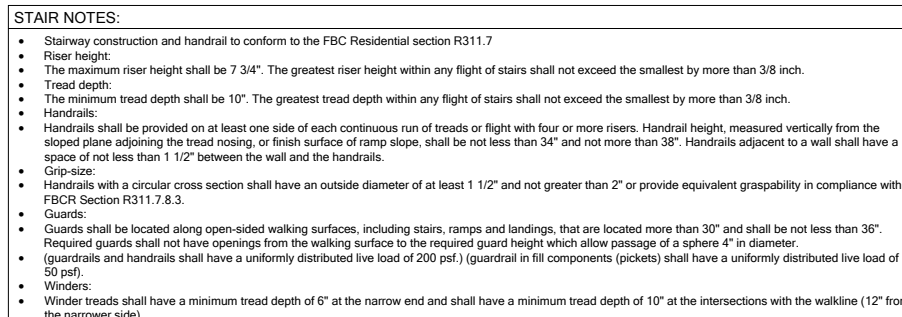
SG07 2-STORY COLUMN @ GIRDER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



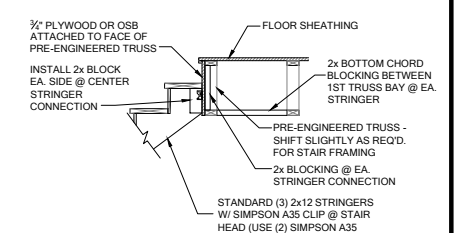
LD02 SHEAR TRANSFER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



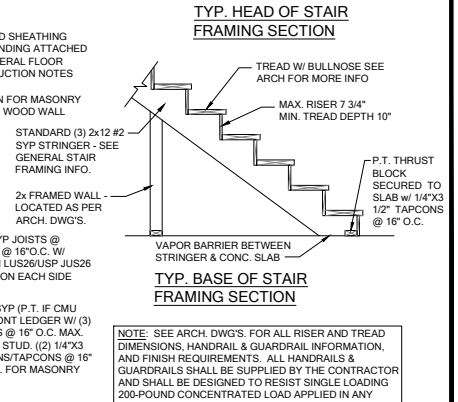
WF31 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



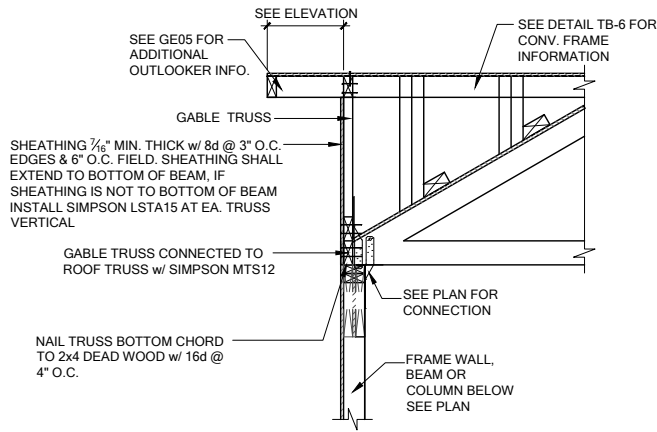
SD02 GENERAL STAIR SECTIONS & PLANS
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



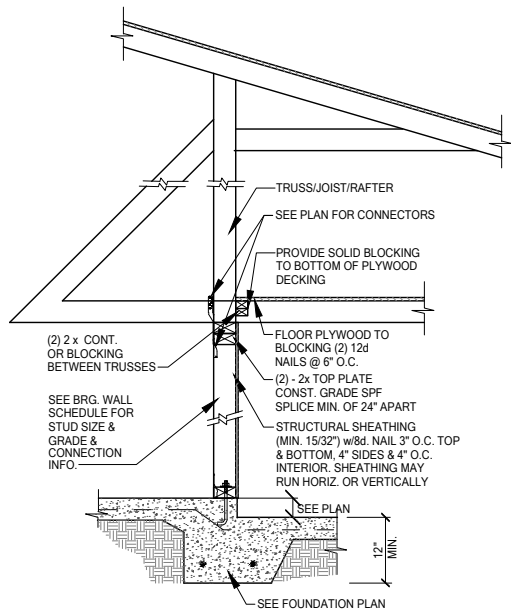
TYP. HEAD OF STAIR FRAMING SECTION



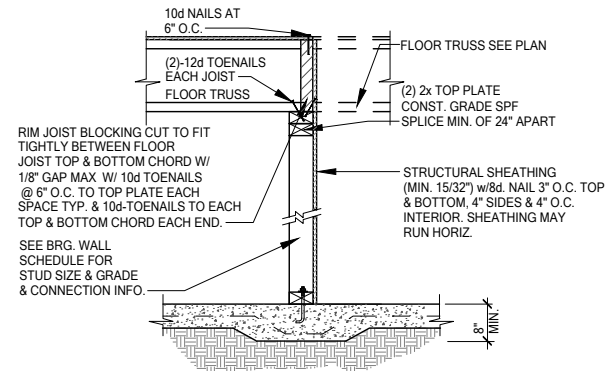
TYP. BASE OF STAIR FRAMING SECTION
NOTE: SEE ARCH. DWGS. FOR ALL RISER AND TREAD DIMENSIONS, HANDRAIL & GUARDRAIL INFORMATION, AND FINISH REQUIREMENTS. ALL HANDRAILS & GUARDRAILS SHALL BE SUPPLIED BY THE CONTRACTOR AND SHALL BE DESIGNED TO RESIST SINGLE LOADING 200-POUND CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL AS SPECIFIED IN TABLE R301.5 OF THE 2020 FLORIDA RESIDENTIAL BUILDING CODE.



GE13A SECTION AT HIP GABLE
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17

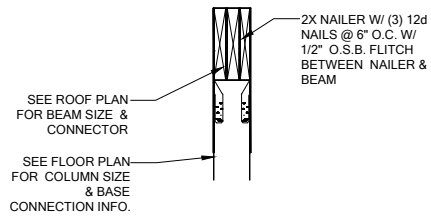


SW01 INTERIOR BEARING STEP-DOWN SHEARWALL w/UPLIFT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

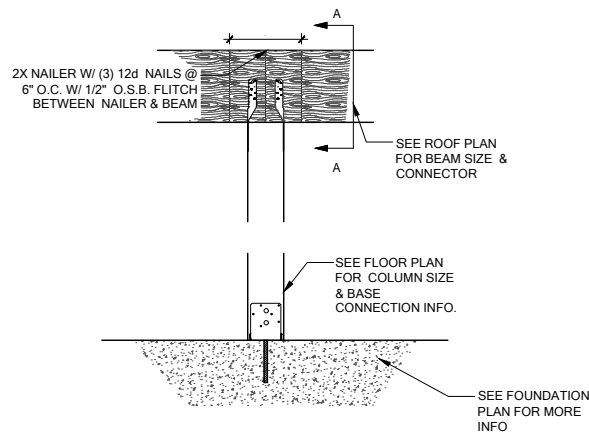


UPLIFT VALUES - (DOUBLE SIDE PLYWOOD DOUBLES VALUE BELOW)
SHEATHING I-SIDE - 860 LBS. PER TRUSS/JOIST/RAFTER

SW02 INTERIOR SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



SECTION A-A
SCALE: 3/4" = 1'-0"



CD13 COLUMN BM. ATTACHMENT
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17