

GENERAL DEVELOPMENT NOTES

1. **TITLE:** LAKE CITY HOTEL BUILDING
2. **OWNER:** LAKE CITY HOTELS, INC.
3. **ENGINEER:** JLBROWN PROFESSIONAL GROUP INC.
4. **SURVEYOR:** JLBROWN PROFESSIONAL GROUP INC.
5. **TAX PARCEL NO.:** PORTION OF 35-3S-16-02545-102
6. **PROPERTY ADDRESS:** TBD, LAKE CITY, FL
7. **SECTION:** 35
8. **TOWNSHIP:** 3 SOUTH
9. **RANGE:** 16 EAST
10. **PRESENT ZONING:** COMMERCIAL, HIGHWAY INTENSIVE (CHI)
11. **PARCEL SIZE:** 2.60 AC
12. **USE:** HIGHWAY INTERCHANGE
13. **DEVELOPMENT DATA:**

A. TOTAL SITE AREA: 2.60 AC

B. BUILDING AREA: 0.45 AC

C. PAVEMENT & SIDEWALK AREA: 1.20 AC

D. TOTAL IMPERVIOUS AREA: 1.65 AC

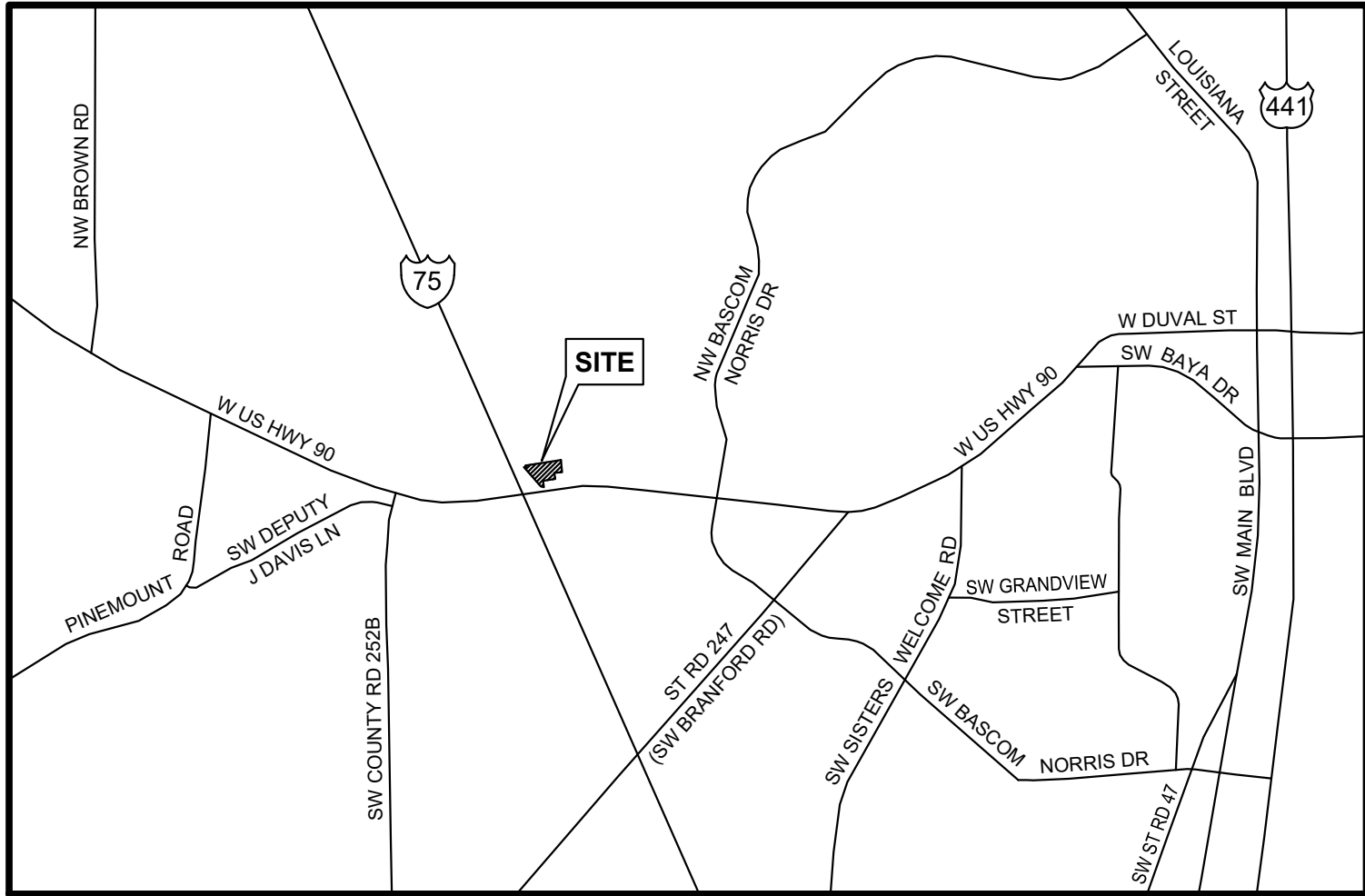
E. OPEN AREA: 0.51 AC
14. **PARKING:**

A. PARKING CRITERIA: 1 SPACE PER ROOM + 2 FOR OWNER/MANAGER

B. REQUIRED PARKING: 106 ROOMS, THEREFORE 106 + 2 = 108 TOTAL PARKING SPACES

C. PARKING PROVIDED: 119 SPACES, INCLUDING 5 DISABLED SPACES

CONSTRUCTION DRAWINGS
OF
LAKE CITY HOTEL
FOR
LAKE CITY HOTELS, INC



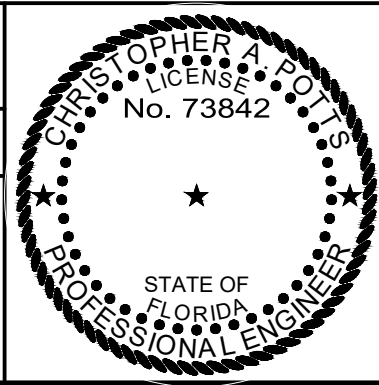
LOCATION MAP

LAKE CITY HOTEL	
SHEET INDEX	
SHEET NO.	TITLE
C0.0	COVER SHEET
C1.0	LEGEND, ABBREVIATIONS, AND NOTES
C1.1	STORMWATER POLLUTION PREVENTION PLAN
C1.2	EROSION & SEDIMENTATION CONTROL PLAN
C1.3	DEMOLITION PLAN
C2.0	DIMENSION PLAN
C2.1	ACCESSIBILITY PLAN
C3.0	PAVING, GRADING & DRAINAGE PLAN
C3.1	BASIN GRADING PLAN
C4.0	UTILITY PLAN
C4.1	GAS SERVICE CONNECTION PLAN
C5.0	DETAILS AND NOTES
SUR-1	BOUNDARY & TOPOGRAPHIC SURVEY
SUR-2	BOUNDARY & TOPOGRAPHIC SURVEY
SUR-3	BOUNDARY & TOPOGRAPHIC SURVEY
SUR-4	BOUNDARY & TOPOGRAPHIC SURVEY
SUR-5	BOUNDARY & TOPOGRAPHIC SURVEY
A2.1	1ST FLOOR BUILDING PLAN
A2.2	2ND FLOOR BUILDING PLAN
A2.3	3RD FLOOR BUILDING PLAN
A2.4	4TH FLOOR BUILDING PLAN
A2.5	5TH FLOOR BUILDING PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.1	CROSS SECTIONS
A2.10	POOL PLAN
A5.05	DUMPSTER PLAN AND DETAILS

2:\370-20-03 - Townplace Suites - Lake City\Production\Civil\Sheets\C0.0_COVER_SHEET.dwg, 11/2/2021 11:52:21 AM, Jone, AutoCAD PDF (General Documentation).pc3

REVISIONS				
NO.	DATE	DESCRIPTION	DRWN	APPR

ENGINEER OF RECORD:	CHRISTOPHER A. POTTS, P.E. FLORIDA LICENSE NO. 73842
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Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: COVER SHEET	
CLIENT: INN OF COMMERCE, LLC LAKE CITY, FL	PROJECT: LAKE CITY HOTEL

DATE: OCTOBER 2021
PROJECT NO: 370-20-03
SHEET NO: C0.0

PAVING, GRADING AND DRAINAGE SPECIFICATIONS

1. ALL DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE LATEST FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE CLEARED AND GRUBBED. SUITABLE TOP SOIL REMAINING ONSITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS. TREES TO REMAIN SHALL BE PROTECTED PRIOR TO STARTING CONSTRUCTION AND SHALL BE PROTECTED THROUGHOUT SITE CONSTRUCTION.
3. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-2, A-3, OR A-4 AND SHALL BE PLACED IN 6" - 12" LOOSE LIFTS AND COMPACTED TO 95% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
- B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 16" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
- C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL CONFORM TO SECTION 914 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUE OF 40 PER DESIGN SECTION.
- D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" (PER DESIGN SECTION) MINIMUM COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
- E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE SUPERPAVED (TYPE & THICKNESS PER DESIGN SECTION) AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330.
4. ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, SPILLWAYS, CURBING, ETC. SHALL BE CLASS 1 CONFORMING TO SECTION 346.
5. SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 522.
6. REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SECTION 449.
7. HIGH DENSITY POLY ETHYLENE (HDPE) SHALL CONFORM TO SECTION 431-2.3 AND 431-3.3.
8. SILT FENCE SHALL BE TYPE III PER FDOT INDEX NO. 102.
9. EXISTING TOPOGRAPHY INFORMATION DEPICTED IS BASED ON TOPOGRAPHIC SURVEYS PROVIDED BY JBRW PROFESSIONAL GROUP INC ON 4/8/2020. JBRPO IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC CONDITIONS DEPICTED. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATION GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WILL AFFECT FINISH GRADE DESIGN FOR PROPER RUNOFF CONDITIONS PRIOR TO CONSTRUCTION. JBRPO WILL ASSIST THE CONTRACTOR IN REVISING ANY GRADING DISCREPANCIES PRIOR TO CONSTRUCTION TO ASSURE PROPER RUNOFF CONDITIONS RESULT UPON COMPLETION OF CONSTRUCTION.

GENERAL CONSTRUCTION NOTES

1. TRAFFIC CONTROL WITHIN EXISTING R/W SHALL BE IN ACCORDANCE WITH LATEST MUTCD OR FDOT STANDARDS FOR CONTROL OF TRAFFIC THROUGH WORK ZONES.
2. COLUMBIA COUNTY SHALL BE NOTIFIED 24 HOURS IN ADVANCE FOR INSPECTION OF PERTINENT STAGES OF CONSTRUCTION WITHIN THEIR R/W. SUCH STAGES INCLUDE SUBGRADE PREPARATION, LIMEROCK PLACEMENT, INSPECTION OF THE SWEPT LIMEROCK BASE PRIOR TO THE PLACEMENT OF ASPHALT, AND OTHERS AS REQUIRED FOR APPROVAL.
3. WHERE SUBSOIL EXCAVATION IS REQUIRED, THE LIMITS OF EXCAVATION SHALL BE A MINIMUM OF 18" BELOW THE LIMEROCK BASE. EXACT LOCATIONS OF SUBSOIL EXCAVATION SHALL BE AS DIRECTED BY CITY OF GAINESVILLE.
4. CONTRACTOR SHALL DISPOSE OF SUBSOIL EXCAVATED MATERIALS (UNSUITABLE FOR FILL) OFF-SITE TO A PERMITTED LOCATION OR PER AN APPROVED DISPOSAL PLAN AND LOCATION SITE.
5. ALL ROADSIDE PUBLIC UTILITY EASEMENTS (PUE'S) ARE TO BE CLEARED AND GRUBBED.
6. TRAFFIC CONTROL AND SIGNING FOR CONSTRUCTION WITHIN OR INTERSECTING EXISTING CITY OR STATE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH FDOT INDEX NO 600 THRU 651 AND THE MUTCD, AS APPROPRIATE. WHERE POST MOUNTED SIGNS ARE REQUIRED, THE FIRST TWO WARNING SIGNS SHALL HAVE AN 18" x 18" ORANGE FLAG AND A TYPE B (HIGH INTENSITY, FLASHING) WARNING LIGHT OPERATING AT ALL TIMES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN THE WORK LIMITS OF ALL IMPROVEMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES DURING CONSTRUCTION. IN THE EVENT THAT A UTILITY CONFLICT OCCURS, CONTRACTOR SHALL NOTIFY JBRPO AND THE UTILITY PROVIDER TO COORDINATE REMEDIAL ACTION.
8. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SEEDDED, FERTILIZED, AND MULCHED UNLESS SODDING IS OTHERWISE SPECIFIED. SODDING IS REQUIRED ON ALL SLOPES 3:1 OR STEEPER.
9. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL FOREIGN DEBRIS AND MATERIAL OFFSITE. DISPOSAL METHODS AND LOCATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.

EROSION AND SEDIMENTATION CONTROL

1. SEE DEMOLITION AND TREE PROTECTION PLAN FOR SPECIFIC EROSION/SEDIMENTATION CONTROL MEASURES.
2. SILT FENCING AND/OR STAKED HAYBALES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION. ALL STORMDRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT INDEX NO. 102.
3. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER 1/2" OR GREATER RAINFALL.
4. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE MAINTAINED UNTIL VEGETATION IS FULLY ESTABLISHED.
5. THE STORMDRAIN SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.
6. ALL DISTURBED AREAS IN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX NO. 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
7. DEBRIS IN THE ISOLATOR ROWS OF THE EXFILTRATION SYSTEM SHALL BE MANUALLY REMOVED OR VACUUMED UPON COMPLETION OF CONSTRUCTION.

WORK WITHIN COUNTY RIGHT-OF-WAY

1. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY COLUMBIA COUNTY.
2. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE RIGHT-OF-WAY WITHOUT INSPECTION BY COLUMBIA COUNTY. THE CONTRACTOR SHALL FURNISH COLUMBIA COUNTY WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
3. COLUMBIA COUNTY RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THEIR RIGHT-OF-WAY TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORN BY THE CONTRACTOR.
4. TRAFFIC CONTROL WITHIN EXISTING R/W SHALL BE IN ACCORDANCE WITH LATEST MUTCD OR FDOT STANDARDS FOR CONTROL OF TRAFFIC THROUGH WORK ZONES.

STORMWATER MAINTENANCE NOTES

1. MAINTENANCE RESPONSIBILITY:

LAKE CITY HOTELS, LLC SHALL BE THE ENTITY RESPONSIBLE FOR THE MAINTENANCE OF THE MASTER STORMWATER MANAGEMENT SYSTEM. THE CITY OF GAINESVILLE SHALL BE THE ENTITY RESPONSIBLE FOR MAINTAINING THE STORMWATER MANAGEMENT SYSTEM WITHIN THE CITY RIGHTS-OF-WAY.

2. MAINTENANCE PLAN:

- A. THE EXFILTRATION SYSTEM SHALL BE INSPECTED MONTHLY AND CLEANED/VACUUMED IF ANY ACCUMULATE SEDIMENT HAS BUILT UP.
- B. THE EXFILTRATION BASIN, STORMPIPES AND DRAINAGE STRUCTURES SHALL BE INSPECTED SEMI-ANNUALLY FOR STRUCTURAL SOUNDNESS AND OPERATIONAL FUNCTION. ANY DEFECTS DISCOVERED SHOULD BE REPAIRED TO ORIGINAL DESIGN CONDITION.
- C. THE STORMPIPES SHALL BE CLEANED OUT OF ANY ACCUMULATED SEDIMENTATION BUILDUP ANNUALLY. IF THE EXFILTRATION SYSTEM IS SHOWING EXCESSIVE SEDIMENT ACCUMULATION, THE EXFILTRATION SYSTEM SHALL BE MANUALLY CLEANED OR VACUUMED OUT MORE OFTEN AS THE CONDITION DICTATES.
- D. ANY LANDSCAPING PROVIDED FOR EROSION CONTROL SHALL BE MAINTAINED IN A SOUND CONDITION AT ALL TIMES AND SHALL BE REMOVED OR REPLACED IF NOT FUNCTIONING PROPERLY. E. IN THE EVENT THAT ANY KARST FEATURES SUCH AS SINKHOLES, SOLUTION CAVITIES, CHIMNEYS, ETC. ARE DISCOVERED DURING ROUTINE INSPECTIONS OF THE STORMWATER BASINS, THE FOLLOWING REMEDIATION PROCEDURE SHALL BE PERFORMED:

1. SHALLOW REPAIR (SEE DETAIL):

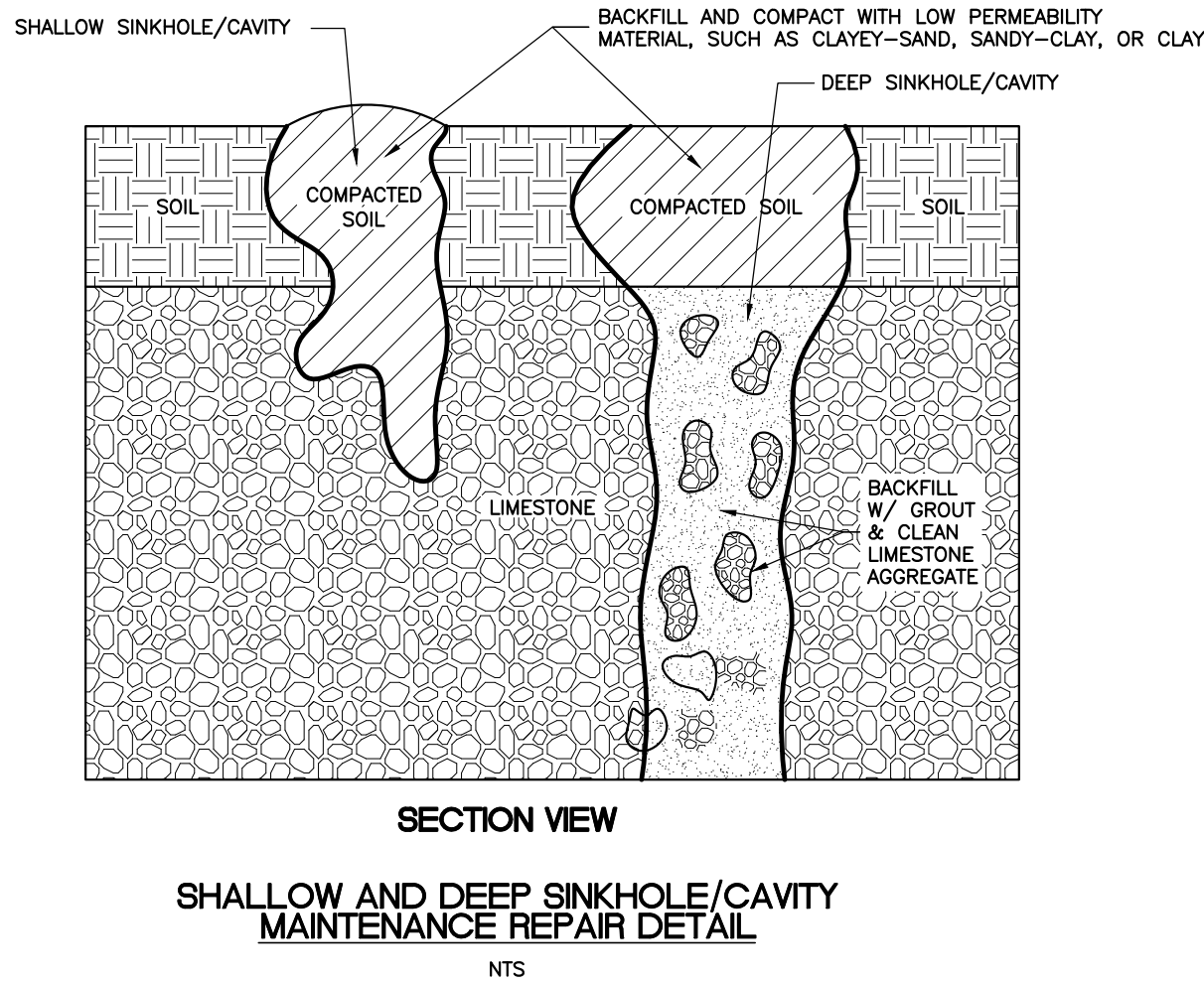
IF THE COLLAPSE IS SHALLOW (<6" DEEP) AND THE VOIDS IN THE LIMESTONE ARE SMALL, THEN THE SINKHOLE CAN BE REPAIRED BY BACKFILLING WITH A LOWER-PERMEABILITY MATERIAL, SUCH AS CLAYEY-SAND OR CLAY. THE MATERIAL SHOULD BE COMPACTED AND THE REPAIR SHALL BE SLIGHTLY ABOVE THE ORIGINAL BOTTOM IN ORDER TO CREATE A SMALL MOUND TO ACCOUNT FOR SETTLING.

2. DEEP REPAIR (SEE DETAIL):

IF THE COLLAPSE IS DEEP, THEN THE REPAIR SHALL BE MORE PERMANENT. THE COLLAPSE SHALL BE EXCAVATED TO THE LIMESTONE BEDROCK. THE VOID(S) IN THE BEDROCK SHALL BE PLUGGED WITH CLEAN GROUT. A LOW PERMEABILITY MATERIAL SHALL BE PLACED OVER THE CONCRETE PLUG. THE MATERIAL SHALL BE COMPACTED AND BROUGHT TO EXISTING BASIN BOTTOM.

3. NOTIFICATION:

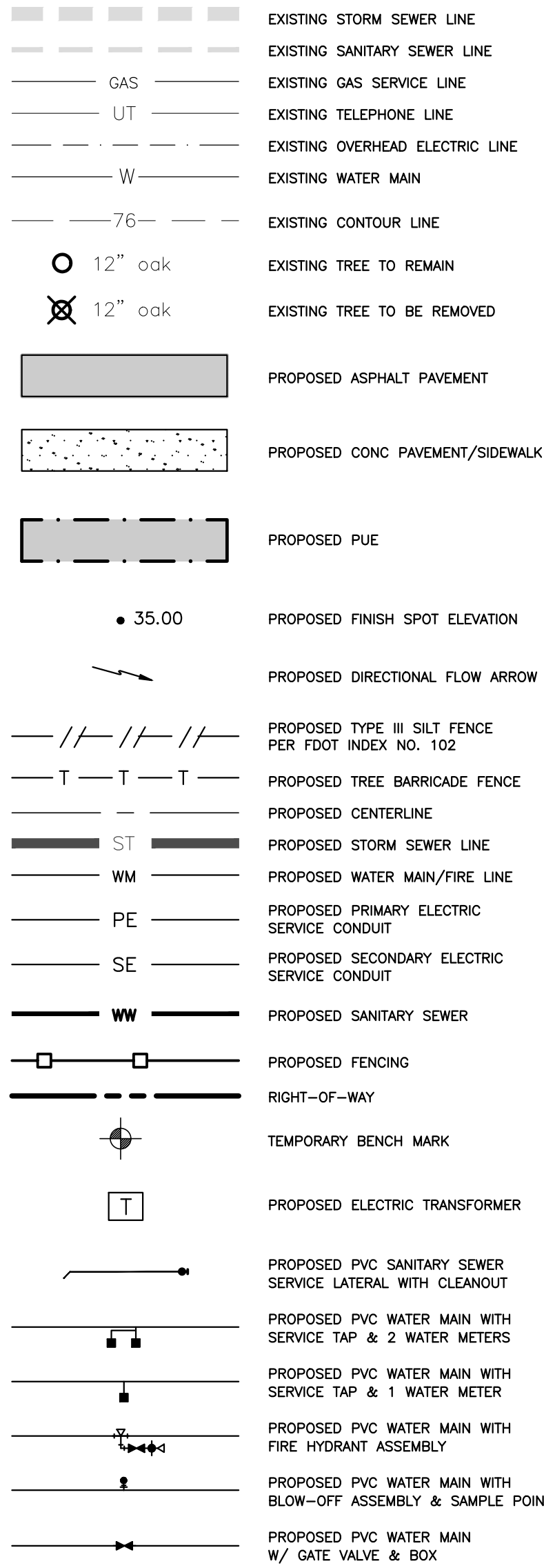
THE SUWANNEE RIVER WATER MANAGEMENT DISTRICT (SRWMD) SHALL BE NOTIFIED OF ANY SINKHOLE DEVELOPMENT WITHIN 48 HOURS OF DISCOVERY AND THE PROPOSED METHOD BY WHICH THE SINKHOLE WILL BE REPAIRED SHALL BE SUBMITTED TO THE SRWMD FOR APPROVAL WITHIN 30 DAYS. THE SRWMD WILL THEN NOTIFY THE RESPONSIBLE PARTY AS TO THE ACCEPTANCE, DENIAL OR NEED FOR MODIFICATION OF THE REPAIR METHOD.



ACPW	ALACHUA COUNTY PUBLIC WORKS	LAT	LATITUDE
ADJ	ADJACENT	LONG	LONGITUDE
ALUM	ALUMINUM	LP	LOW POINT
APT	APARTMENT	LT	LEFT
ASPH	ASPHALT	MAINT	MAINTENANCE
B&J	BORE & JACK	MAX	MAXIMUM
BC	BACK OF CURB	MES	MITERED END SECTION
BCOMP	BITUMINOUS COATED CORRUGATED METAL PIPE	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCHMARK	MO	MONTH
BOP	BEGINNING OF PROFILE	N	NORTH
BSL	BUILDING SETBACK LINE	N/A	NOT APPLICABLE
C&G	CURB & GUTTER	NE	NORTH EAST
C1	CURVE ONE	NG	NATURAL GRADE
CATV	CABLE TELEVISION	NIC	NOT IN CONTRACT
CET	CURB END TAPER	NO	NUMBER
CF	CURB FEET	NW	NORTH WEST
CI	CAST IRON	OC	ON CENTER
CL	CENTER LINE	PCPE	PERFORATED CORRUGATED POLYETHYLENE PIPE
CLF	CHAIN LINK FENCE	PE	PROFESSIONAL ENGINEER
OMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
OMP	CORRUGATED METAL PIPE ARCHED	PR	PRIMARY
CMU	CONCRETE MASONRY UNIT	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PT	PRESSURE TREATED (NON ARSENIC)
COG	CITY OF GAINESVILLE	PUE	PUBLIC UTILITY EASEMENT
COMM	COMMUNICATIONS	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	PVMT	PAVEMENT
CPE	CORRUGATED POLYETHYLENE PIPE	R/W	RIGHT OF WAY
CY	CUBIC YARD	R1'	ONE FOOT RADIUS
DBI	DITCH BOTTOM INLET	RB	REACTION BLOCK
DCBP	DOUBLE CHECK BACKFLOW PREVENTER	RCP	REINFORCED CONCRETE PIPE
DEG	DEGREES	REF	REFERENCE
DHWL	DESIGN HIGH WATER LEVEL	RPBFP	REDUCED PRESSURE BACKFLOW PREVENTER
DI	DUCTILE IRON	RT	RIGHT
DIA	DIAMETER	S	SOUTH
DIM	DIMENSION	S/W	SIDEWALK
DIP	DUCTILE IRON PIPE	SE	SOUTH EAST
E	EAST	SEC	SECONDARY
E/M	EASEMENT	SF	SQUARE FEET
EL	ELEVATION	SG	SWITCH GEAR
ELEC	ELECTRIC	SI	SURFACE INLET
EOP	END OF PROFILE	SRWMD	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
EP	EDGE OF PAVEMENT	SPA	SPACE
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	SPT	STANDARD PENETRATION TEST
EX	EXISTING	SRWMD	SUWANNEE RIVER WATER MANAGEMENT DISTRICT
FC	FACE OF CURB	SS	SANITARY SEWER
FDC	FIRE DEPARTMENT CONNECTION	SSL	STAINLESS STEEL
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	ST	STORM SEWER
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	STA	STATION
FF	FINISH FLOOR	STD	STANDARD
FG	FINISH GRADE	STL	STEEL
FH	FIRE HYDRANT	SW	SOUTH WEST
FL	FIRE LINE	SWFWM	SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT
FLL	FLOW LINE	SY	SQUARE YARD
FM	FORCE MAIN	TBC	TRAFFIC BEARING COVER
FO	FIBER OPTIC	TBM	TEMPORARY BENCHMARK
FP	FLOOD PLAIN	TEL	TELEPHONE
FT	FEET	TMFR	TRANSFORMER
FUT	FUTURE	TV	TELEVISION
GALV	GALVANIZED	TW	TOP OF WALL
GRU	GAINESVILLE REGIONAL UTILITIES	TYP	TYPICAL
GV	GATE VALVE	UD	UNDER DRAIN
HC	HANDICAP	UTL	UTILITIES
HP	HIGH POINT	VCP	VITRIFIED CLAY PIPE
HR	HOUR	VEH	VEHICLE
INV	INVERT	W	WEST
JBRPO	JBRW PROFESSIONAL GROUP, INC.	W/	WITH
LF	LINEAR FEET	WM	WATER MAIN
L1	LINE ONE	YR	YEAR

STANDARD ABBREVIATIONS

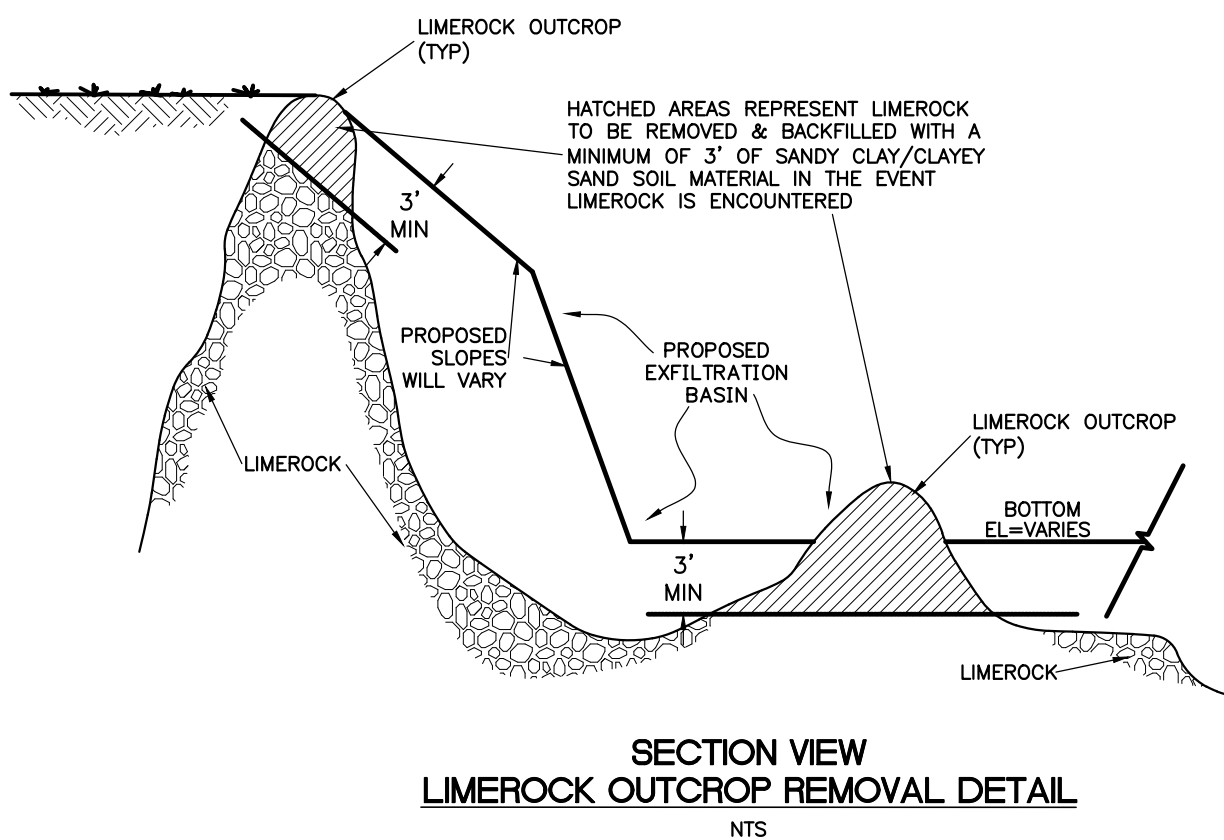
LEGEND



EXFILTRATION BASIN LIMEROCK OUTCROP CONSTRUCTION NOTES

1. IN THE EVENT THAT A LIMEROCK OUTCROP IS ENCOUNTERED DURING CONSTRUCTION OF THE RETENTION BASINS, THE FOLLOWING TREATMENT SHALL BE PERFORMED:
- THE LIMEROCK OUTCROP SHALL BE EXCAVATED TO AN ELEVATION OF THREE (3) FEET BELOW THE DESIGN BASIN BOTTOM. THE EXCAVATED AREA SHALL BE BACKFILLED TO THE DESIGN BASIN BOTTOM ELEVATION WITH LAYEY-SAND/SANDY-CLAY (AASHTO SOIL GROUP - A2) SOILS. A MIXTURE OF THE BACKFILL MATERIAL SHALL BE PLACED IN SIX INCH LIFTS AND ROLLED WITH HEAVILY LOADED RUBBER Tired EQUIPMENT. BOTH SRWMD AND CITY OF GAINESVILLE SHALL BE NOTIFIED WHEN LIMEROCK OUTCROPS ARE ENCOUNTERED AND PRIOR TO COMMENCING REMEDIAL ACTION.
2. IN THE EVENT THAT ANY KARST FEATURES, SUCH AS SOLUTION CAVITIES, CHIMNEYS, OR SINKHOLES APPEAR IN THE RETENTION BASIN, THE FOLLOWING ACTIONS SHALL BE REQUIRED:

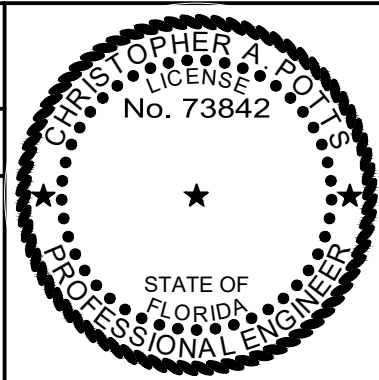
- A. JBRPO, SRWMD, AND COLUMBIA COUNTY SHALL BE NOTIFIED WHEN THE FEATURE IS ENCOUNTERED PRIOR TO REMEDIAL ACTION.
- B. A LICENSED GEOTECHNICAL ENGINEERING FIRM SHALL BE RETAINED TO EVALUATE THE SIGNIFICANCE OF THE FEATURE AND TO DETERMINE THE REMEDIAL ACTION NECESSARY. SEE SHALLOW AND DEEP SINKHOLE/CAVITY MAINTENANCE REPAIR DETAIL.
- THE GEOTECHNICAL ENGINEERING FIRM SHALL BE REQUIRED TO MONITOR THE REMEDIAL WORK AND SEND A SUMMARY REPORT UPON REPAIR COMPLETION TO JBRPO, SRWMD, AND COLUMBIA COUNTY.



2:37:00-20:03 - Townplace Suites - Lake C10A Construction Civil/Sheet/C10A_Lake.dwg, 11/22/2021 11:52:20 AM, C:\Users\AutoCAD PDF (General Documentation)\p33

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NO.	DATE	DESCRIPTION	DRWN	APPR	

ENGINEER OF RECORD:	CHRISTOPHER A. POTTS, P.E. FLORIDA LICENSE NO. 73842
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SHEET TITLE:	LEGEND ABBREVIATIONS AND NOTES		DATE: OCTOBER 2021
CLIENT:	INN OF COMMERCE, LLC LAKE CITY, FL	PROJECT:	PROJECT NO: 370-20-03
			SHEET NO: C1.0

J. K. AutoCAD PDF (General Documentation).pc3
J:\370-20-03 - Townplace Suites - Lake City\Production\Civil\Sheets\C1.1_SWPPP.dwg, 11/2/2021 11:52:36 AM, Gabe,

PROJECT NAME: LAKE CITY HOTEL
ADDRESS: 117 NW KNIGHTS AVE.
LAKE CITY, FL 32055
COUNTY: COLUMBIA COUNTY
SECTION / TOWNSHIP / RANGE: 35/35/16E
COUNTY PARCEL No: 02545-102
LATITUDE: 30° 10' 53.5" N
LONGITUDE: 82° 41' 11.8" W
PROJECT AREA: 2.60 AC

THE SITE MAP IS DEPICTED ON SHEET C1.2 - EROSION AND SEDIMENTATION CONTROL PLAN

THIS PROJECT CONSISTS OF CONSTRUCTION OF A NEW 5 STORY, 102 ROOM HOTEL BUILDING IN COLUMBIA COUNTY, FLORIDA. THE PROJECT WILL ALSO CONSIST OF A NEW PARKING LOT AND ASSOCIATED UTILITY AND STORMWATER IMPROVEMENTS.

1. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AND IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL PLAN.
2. EXCAVATION OF STORMWATER MANAGEMENT BASIN IMPROVEMENTS, STABILIZE BASIN SLOPES.
3. CLEARING AND GRUBBING OF PROPOSED ROAD RIGHT-OF-WAY AND UTILITY EASEMENTS AND BUILDING PAD AREAS.
4. SITE GRADING.
5. INSTALLATION OF STORM SEWER, SANITARY SEWER AND UTILITIES.
6. ROAD AREA SUBGRADE.
7. CONSTRUCTION OF CURB & GUTTER.
8. ROAD AREA BASE.
9. FINISHED GRADING OF LOT BUILDING PADS, LOT GRADING, AND STABILIZATION OF THE SITE.
10. ASPHALT PAVING.
11. INSTALLATION OF SIDEWALKS.
12. FINAL GRASSING AND LANDSCAPING.
13. CLEANING SEDIMENT FROM STORM SEWER SYSTEM AND BASIN OUTFALL.

F. TOTAL AREA OF THE SITE TO BE DISTURBED: 2.60 ACRES±

1. SOILS ARE ALL HYDROLOGICAL SOIL GROUP A - BLANTON FINE SAND
2. THERE IS NO CONFINING LAYER FOUND AT THIS LOCATION.
3. THE ESTIMATED SEASONAL HIGH WATER TABLE IS EXPECTED TO BE AT ELEV = 151.875 FT

STORMWATER BASIN NO.	DRAINAGE AREA	LOCATION OF DISCHARGE POINT	RECEIVING WATERS
BASIN 1	2.69 AC	NORTHEAST CORNER OF BASIN	NO RECEIVING WATERS

1. PRIOR TO SOIL DISTURBING ACTIVITIES THE CONTRACTOR SHALL INSTALL THE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
2. THE CONTRACTOR SHALL CONTROL AND RESTRICT SITE ACCESS. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MATERIALS AT THE ACCESS POINT, AS REQUIRED, TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND OR STORM WATER TRANSPORT.
3. THE CONTRACTOR SHALL CONSTRUCT, INSTALL AND STABILIZE STORM WATER BASINS. SITE GRADING SHALL DIRECT STORM WATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. UPON INSTALLATION, THE CONTRACTOR SHALL PROTECT THE STORM AND WASTEWATER SEWER SYSTEMS WITH HAYBALES AND/OR FILTER FABRIC TO PREVENT DEBRIS AND SEDIMENTS FROM ENTERING THESE SYSTEMS.
5. THE CONTRACTOR SHALL UTILIZE TEMPORARY CONTROLS SUCH AS SEEDING, MULCHING, GEOTEXTILES, WATERING, SOD STABILIZATION OR OTHER MEANS TO PREVENT EROSION OF EXPOSED SOILS FROM WIND, WATER OR RAIN.

1. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE STORM WATER RUNOFF DOES NOT LEAVE THE PROJECT SITE WITHOUT FIRST PASSING THROUGH A SEDIMENT BASIN TO ALLOW SETTLING OF SUSPENDED SOLIDS IN THE STORM WATER POND TO DISCHARGE FROM THE PROJECT SITE.
2. THE CONTRACTOR SHALL INSTALL SILT FENCING AS SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
3. THE CONTRACTOR SHALL CONSTRUCT, INSTALL AND STABILIZE STORM WATER BASINS. SITE GRADING SHALL DIRECT STORM WATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. THE CONTRACTOR SHALL USE SILT FENCING, TEMPORARY SWALES, EARTHEN DIKES, CHECK DAMS OR OTHER MEANS TO DIRECT STORM WATER RUNOFF TO TEMPORARY SETTLING BASINS OR STORM WATER BASINS DURING CONSTRUCTION.

1. THE CONTRACTOR SHALL CONSTRUCT, INSTALL AND STABILIZE STORM WATER BASINS OR SUMP OUTFALLS. THE CONTRACTOR SHALL USE THESE FACILITIES AS TEMPORARY SEDIMENT BASINS DURING THE SITE CONSTRUCTION PHASE. SITE GRADING SHALL DIRECT STORM WATER RUNOFF TO THESE FACILITIES DURING CONSTRUCTION AND PRIOR TO DISCHARGE FROM THE PROJECT SITE.
2. THE CONTRACTOR SHALL CLEAN STORM WATER BASINS OF SILT AND SEDIMENT DEPOSITS AT THE END OF CONSTRUCTION AND DISPOSE OF THE MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.

1. THE COMPLETED PROJECT HAS TWO (2) PERMANENT STORMWATER MANAGEMENT FACILITIES. ALL STORMWATER MANAGEMENT FACILITIES ARE PERMITTED AND APPROVED BY THE SJRWMD.
2. THE COMPLETED PROJECT WILL INCORPORATE AND MAINTAIN PERMANENT GRASSING, LANDSCAPING AND/OR GROUND COVERS TO PROTECT SITE SOILS FROM EROSION AND TRANSPORT.

1. WASTE DISPOSAL: WASTE CONSTRUCTION MATERIALS, DEBRIS AND GARBAGE WILL BE PLACED IN APPROPRIATE CONTAINERS. THE CONTRACTOR SHALL DISPOSE OF THESE MATERIALS IN AN APPROPRIATE MANNER AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. NO WASTE MATERIALS SHALL BE BURIED ON SITE.
2. OFFSITE VEHICLE TRACKING: THE CONTRACTOR SHALL CONTROL AND RESTRICT SITE ACCESS. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MATERIALS AT THE VEHICLE ACCESS POINT, AS REQUIRED, TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND OR STORM WATER TRANSPORT.
3. FERTILIZERS, HERBICIDES AND PESTICIDES: FLORIDA FRIENDLY FERTILIZERS AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED APPLICATION RATES. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
4. TOXIC SUBSTANCES: THE CONTRACTOR SHALL NOT STORE FUELS, PAINT, CHEMICALS OR OTHER MATERIALS THAT ARE CONSIDERED TO BE TOXIC ON SITE. SHOULD THE CONTRACTOR DESIRE TO STORE SUCH MATERIALS ON SITE, THE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN PLAN TO ADDRESS STORAGE, SPILL PREVENTION AND CLEANUP PRIOR TO STORING THE MATERIALS ON SITE.
5. OTHER: PORT-0--LETS OR OTHER TEMPORARY SANITATION FACILITIES SHALL BE LOCATED AWAY FROM THE INLET POINTS TO THE STORM SEWER SYSTEM AND AWAY FROM THE STORM WATER BASINS. THE CONTRACTOR SHALL NOT ALLOW VEHICLE MAINTENANCE ON SITE.

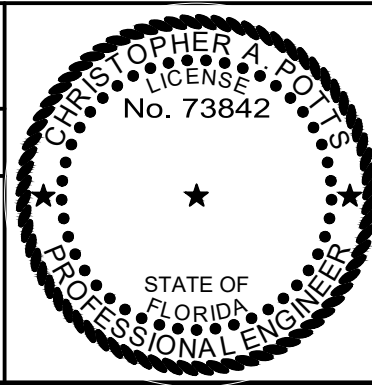
1. THE CONTRACTOR SHALL MAINTAIN PERMANENT AND TEMPORARY SEDIMENT AND EROSION CONTROL FEATURES IN ACCORDANCE WITH THE PLANS AND TECHNICAL SPECIFICATIONS.
2. SILT FENCING SHALL BE INSPECTED WEEKLY BY THE CONTRACTOR AND ANY NECESSARY REPAIRS TO SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT FROM THE SILT FENCING WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
3. THE CONTRACTOR SHALL MAINTAIN THE SITE VEHICULAR ACCESS POINT TO PREVENT TO PREVENT MIGRATION OF ERODABLE MATERIALS OFFSITE, EITHER BY VEHICLE, WIND OR STORM WATER TRANSPORT.
4. THE CONTRACTOR SHALL INSPECT INLETS, MANHOLES AND OUTFALLS IMMEDIATELY AFTER EACH RAINFALL EVENT AND REPAIR THE CONTROLS NECESSARY TO PREVENT SILT AND SEDIMENTS FROM ENTERING THE STORM AND SANITARY SEWERS OR FROM DISCHARGING OFFSITE.
5. MULCH OR SOD THAT HAS WASHED OUT SHALL BE REPLACED IMMEDIATELY.
6. THE CONTRACTOR SHALL MAINTAIN ALL AREAS OF THE PROJECT SITE WITH PROPER EROSION AND SEDIMENT CONTROLS THROUGHOUT THE SITE CONSTRUCTION PERIOD OF THE PROJECT.

1. QUALIFIED PERSONNEL WILL INSPECT ALL POINTS OF DISCHARGE, ALL DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN STABILIZED, ACTIVE CONSTRUCTION AREAS, VEHICULAR ACCESS POINTS AND ALL BEST MANAGEMENT PRACTICES AT LEAST EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCHES OR GREATER. AREAS OF THE PROJECT SITE THAT HAVE BEEN STABILIZED SHALL BE INSPECTED AT LEAST ONCE A MONTH. THESE INSPECTIONS SHALL CONTINUE UNTIL A NOTICE OF TERMINATION IS FILED.

1. IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES MAY OCCUR FROM THE SITE DURING CONSTRUCTION: FIRE FLOW TESTS OR FLUSHING, WATER FROM UTILITY LINE FLUSHING, PAVEMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED) AND UNCONTAMINATED GROUNDWATER (FROM DEWATERING ACTIVITIES).
2. DEWATERING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NONCONTAMINATED SITE ACTIVITY.
3. IF NON-STORM WATER DISCHARGES DO OCCUR, WATERS SHOULD BE DIRECTED TO STORM WATER BASINS OR TEMPORARY BASINS PRIOR TO DISCHARGE FROM THE PROJECT SITE.
4. TURBID WATERS FROM STORM WATER PONDS SHALL NOT BE PUMPED OFFSITE OR DIRECTLY TO OFFSITE RECEIVING WATERS.
5. ANY PUMPED WATER FROM THE STORM WATER PONDS SHALL BE TREATED SO AS NOT TO ALLOW DISCHARGE OF POLLUTED WATERS FROM THE PROJECT SITE. TREATMENT OPTIONS INCLUDE SILT FENCES, SETTLING PONDS, PROPERLY USED FLOCCULATING AGENTS OR OTHER APPROPRIATE MEANS.

[illegible][illegible]

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STORMWATER POLLUTION PREVENTION PLAN

INN OF COMMERCE, LLC
LAKE CITY, FL

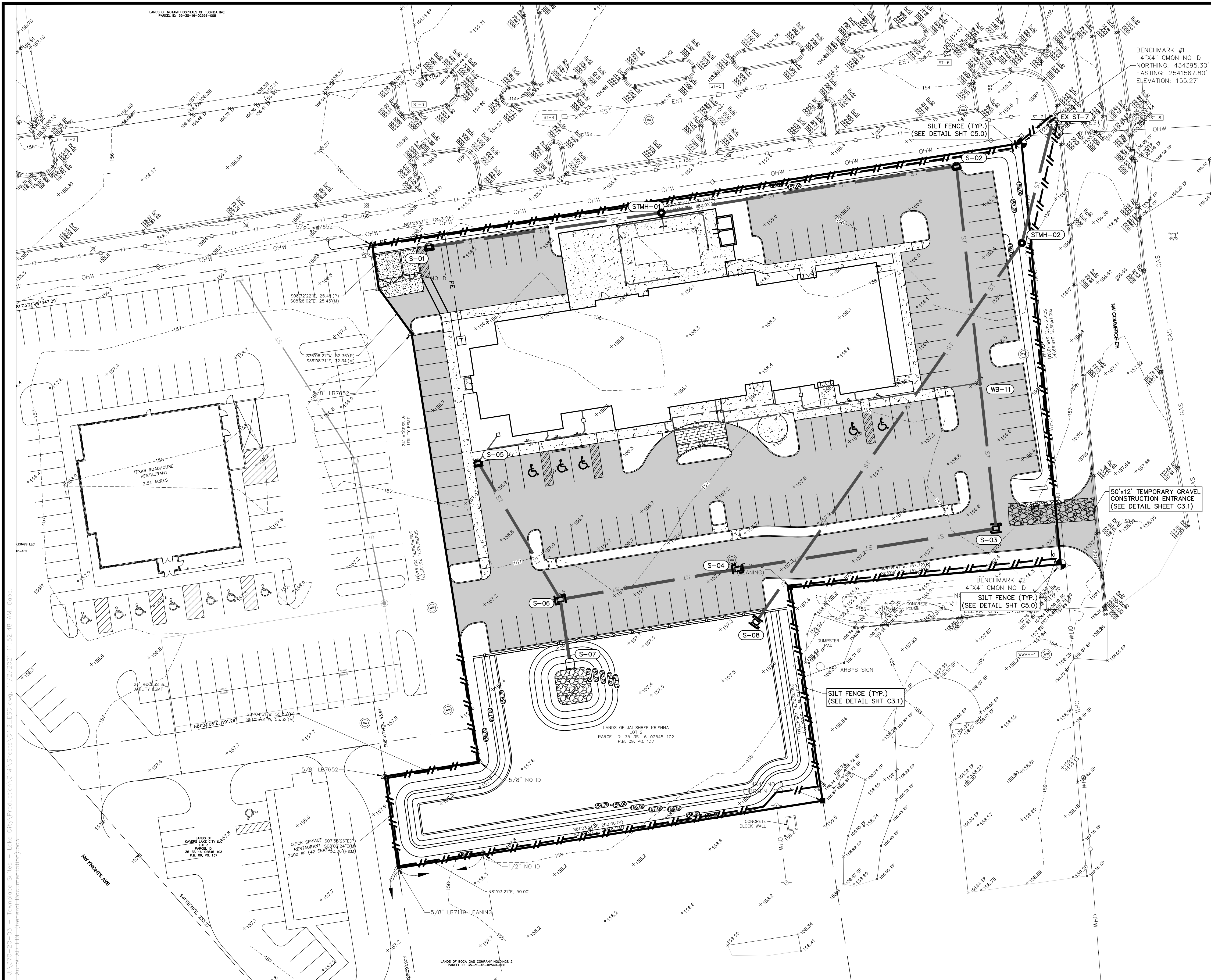
LAKE CITY HOTEL

OCTOBER 2021

PROJECT NO:
370-20-03

SHEET NO:

C1.1

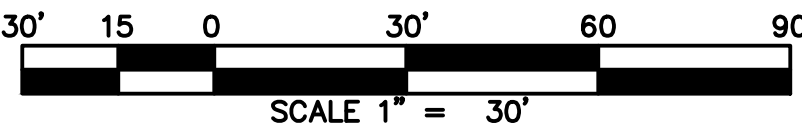
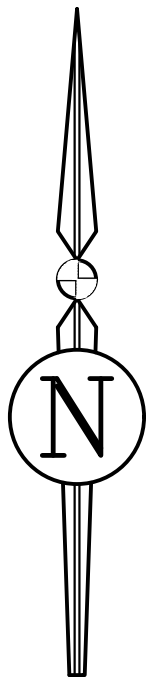


EROSION AND SEDIMENTATION CONTROL NOTES

1. THE CONTRACTOR SHALL UTILIZE THE EROSION AND SEDIMENTATION CONTROL PLAN AS A GENERAL GUIDE AND DIRECTION FOR MINIMUM CONTROL MEASURES. CONTRACTOR SHALL UTILIZE EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO MINIMIZE EROSION AND SEDIMENTATION BUILDUP ONSITE AND TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFF PROPERTY.
2. CONTRACTOR SHALL EMPLOY AN FDEP CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR TO MONITOR THE CONTRACTOR'S EROSION AND SEDIMENTATION CONTROL WORK EFFORT THROUGHOUT CONSTRUCTION.
3. DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY, AND SHALL ROUTE DISCHARGE WATER IN SUCH A MANNER TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM THE SITE.
4. SILT FENCING AND OTHER SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION. ALL STORM DRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL (JUNE 2007) TO PREVENT SEDIMENT DISCHARGE TO THE EXISTING STORMWATER MANAGEMENT SYSTEM.
5. THE RETENTION BASINS SHALL BE PROTECTED FROM SEDIMENT DISCHARGE BY SILT FENCE AT THE DISCHARGE STORM STRUCTURE. CAREFUL ATTENTION SHALL BE PAID TO PREVENT EROSION FROM ENTERING THE BASIN BOTTOM BEYOND THE IMMEDIATE EXIT OF THE STRUCTURE. REMOVE ALL SEDIMENT BUILDUP AT THE DISCHARGE STRUCTURE REGULARLY THROUGHOUT CONSTRUCTION.
6. PROTECT EXISTING STORMWATER INLET STRUCTURES WITH FILTER FABRIC OR OTHER EROSION CONTROL DEVICE TO PREVENT SEDIMENTS FROM ENTERING STORM SEWER SYSTEM.
7. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER 1/2" OR GREATER RAINFALL. ANY DEFICIENCIES DISCOVERED SHALL BE REPAIRED, ADJUSTED, OR IMPROVED AS REQUIRED.
8. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE AND APPROVED, AND VEGETATION IS FULLY ESTABLISHED.
9. CONTRACTOR SHALL MINIMIZE AIR POLLUTION FROM PARTICULATES AND DUST. WATER SHALL BE APPLIED AS NEEDED TO REDUCE DUST DURING CONSTRUCTION. USE OTHER STABILIZATION METHODS SUCH AS HYDROMULCHING AS NEEDED.
10. CONTRACTOR SHALL STOCKPILE AND STORE MATERIALS SUCH THAT STORMWATER FLOW IS NOT IMPEDED DURING CONSTRUCTION AND MATERIAL EROSION DOES NOT OCCUR.
11. ALL DISTURBED OPEN AREAS WITHIN THE PROJECT CONSTRUCTION LIMITS SHALL BE COMPLETELY GRASSSED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL (JULY 2013). EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
12. THE STORM SEWER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

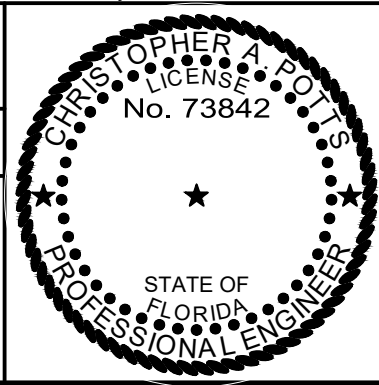
LEGEND

- T — TREE PROTECTION BARRICADE
- // — SILT-FENCE BARRIERS PER FDOT EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL (JUNE 2007)
- [Dashed Box] FILTER CLOTH INLET PROTECTION
- [Hatched Box] FILTER SOCK INLET PROTECTION



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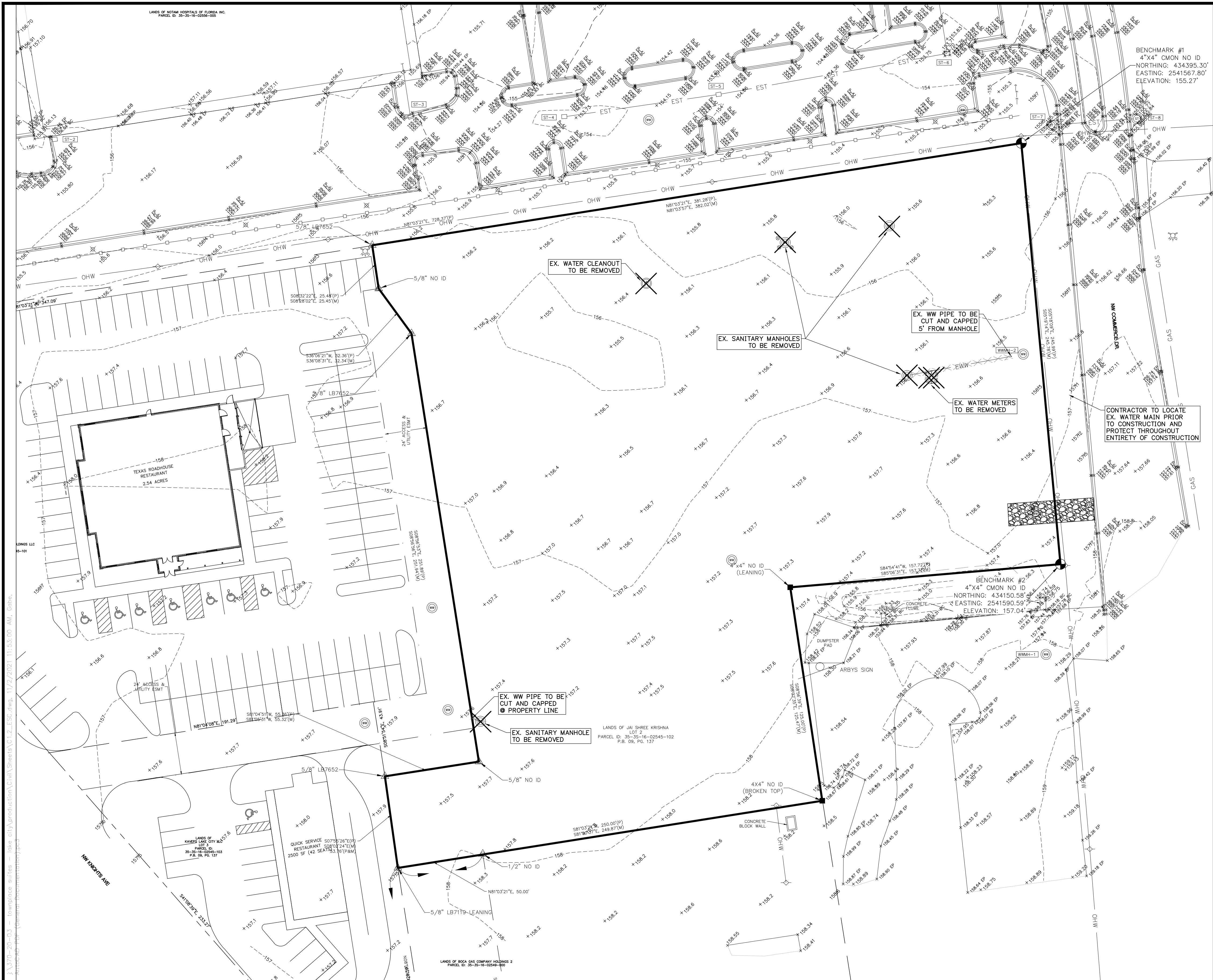
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SHEET TITLE: EROSION AND SEDIMENTATION CONTROL PLAN		DATE: OCTOBER 2021
CLIENT: INN OF COMMERCE, LLC LAKE CITY, FL		PROJECT: LAKE CITY HOTEL
PROJECT:		SHEET NO: C1.2



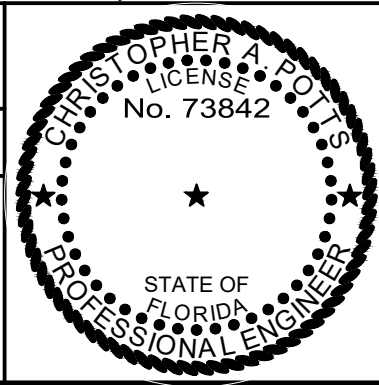
- LEGEND**
- EX. STRUCTURE TO BE REMOVED
 - EXISTING UTILITY LINE AND/OR FENCING TO BE REMOVED

GENERAL DEMOLITION NOTES

- PRIOR TO DEMOLITION AND CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES TO BE REMOVED OR RELOCATED.
- CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEMOLITION AND MATERIAL REMOVAL. IN ADDITION TO THE DEMOLITION SHOWN, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS TRASH, DEBRIS, FENCING ETC., IN ORDER TO PROVIDE A CLEAN CONSTRUCTION SITE.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL DEMOLITION MATERIAL OFF SITE. DISPOSAL METHODS AND LOCATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH RANGE OF 5.5 - 6.5.
- CONTRACTOR TO COORDINATE WITH GRU FOR INSTALLATION OF NEW ELECTRIC SERVICES AND ANY ADJUSTMENT FOR NEW ELECTRIC LIGHTING CONNECTIONS.
- TREE BARRICADES SHALL BE ERECTED, INSPECTED & APPROVED BY THE CITY OF GAINESVILLE PRIOR TO DEMOLITION OR CONSTRUCTION. CONTACT CITY OF GAINESVILLE ARBORIST, MATTHEW MEARS AT (352) 393-8171 FOR TREE BARRICADE INSPECTION PRIOR TO COMMENCING CONSTRUCTION IF DEEMED NECESSARY.
- ALL OFF SITE TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE A TEMPORARY CONSTRUCTION ENTRANCE AND STOCKPILE AREA.
- EXISTING SIGNS SHALL BE REMOVED AND STORED DURING DEMOLITION SO THAT THEY CAN BE REINSTALLED DURING CONSTRUCTION.

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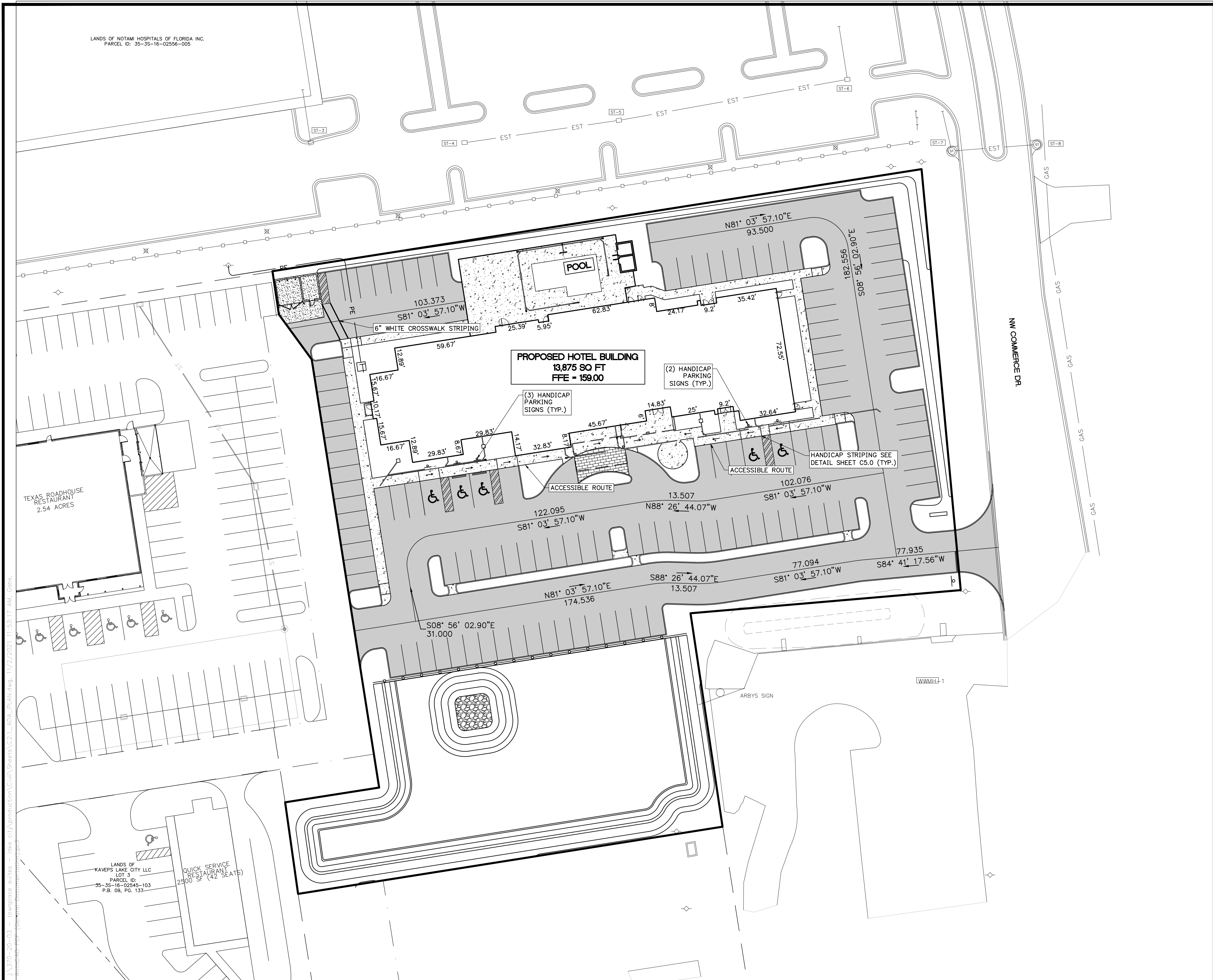
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SHEET TITLE:
DEMOLITION PLAN
CLIENT:
INN OF COMMERCE, LLC
LAKE CITY, FL

PROJECT:
LAKE CITY HOTEL

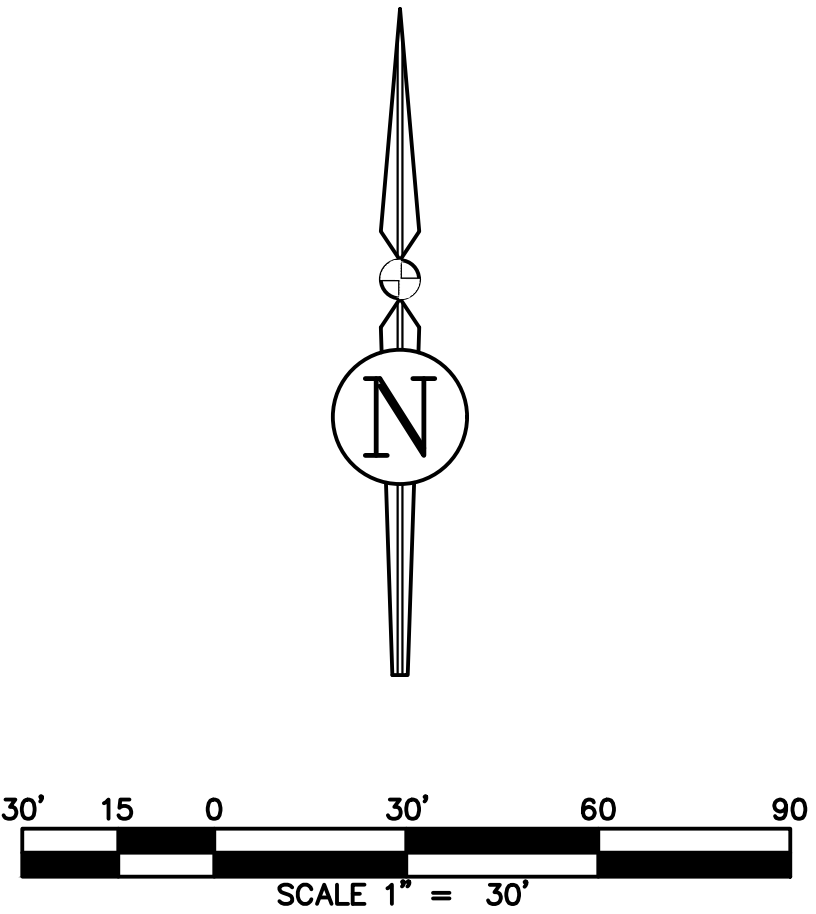
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PROJECT NO:
370-20-03
SHEET NO:
C1.3



LEGEND

NEW ASPHALT PAVEMENT

NEW CONCRETE SIDEWALK



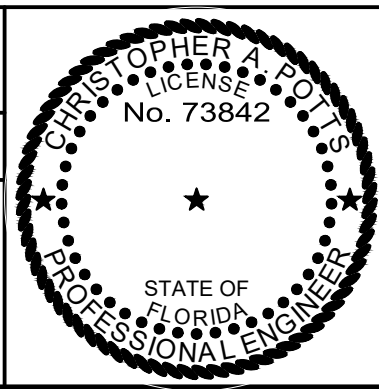
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SHEET TITLE:

ACCESSIBILITY PLAN

CLIENT:

INN OF COMMERCE, LLC
LAKE CITY, FL

PROJECT:

LAKE CITY HOTEL

DATE:

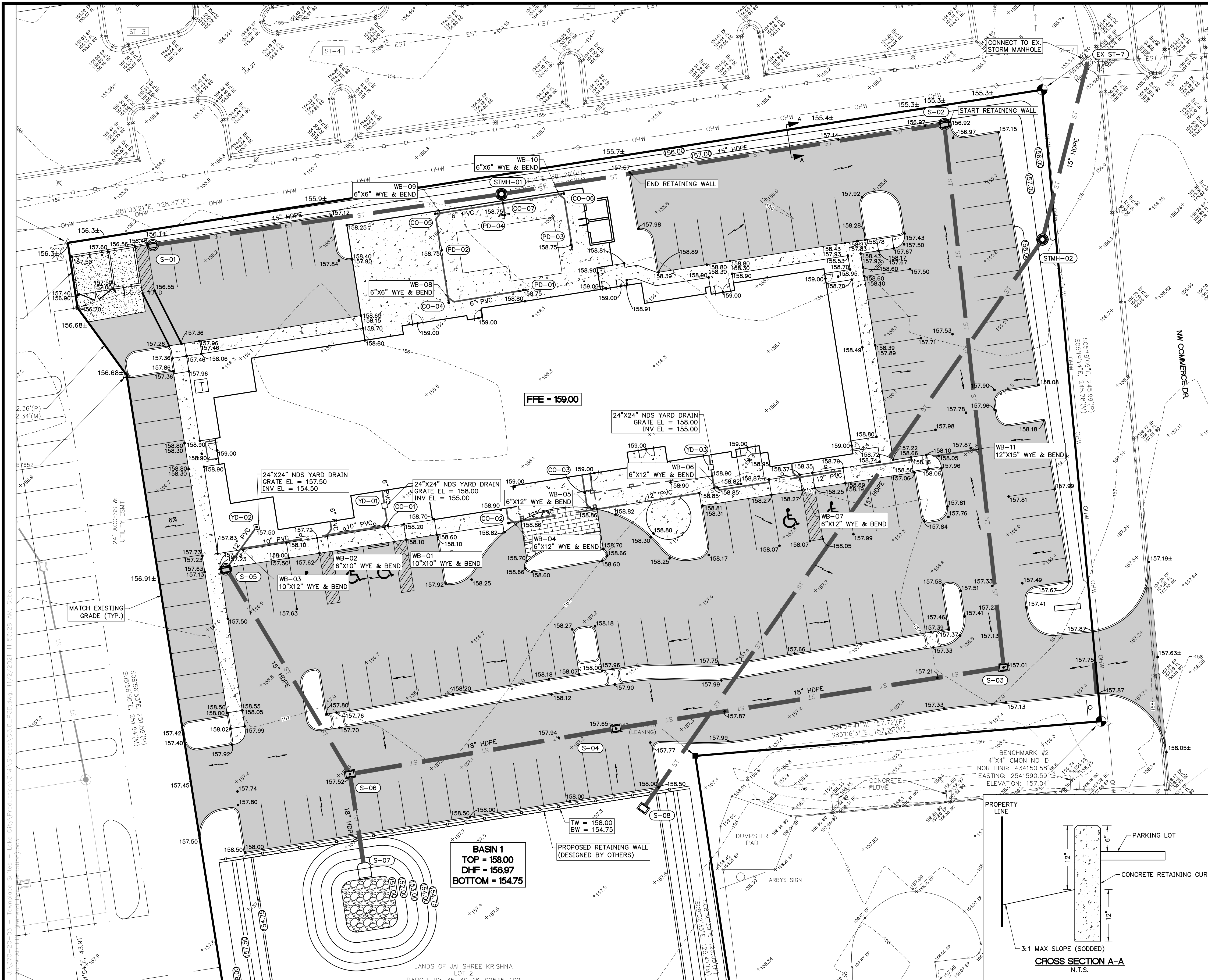
OCTOBER 2021

PROJECT NO:

370-20-03

SHEET NO:

C2.1



STORM SEWER STRUCTURE SCHEDULE

TYPE 9 CURB INLETS

S-01
TYPE 9 CURB INLET
FDOT INDEX 425-052
RIM EL = 156.46
N INV EL = 157.23
E INV EL = 153.77 (15")

S-02
TYPE 9 CURB INLET
FDOT INDEX 425-052
RIM EL = 156.92
S INV EL = 152.71 (15")
W INV EL = 152.71 (15")

S-05
TYPE 9 CURB INLET
FDOT INDEX 425-052
RIM EL = 157.23
SE INV EL = 152.73 (15")

TYPE 5 CURB INLET

EX ST-7
TYPE 5 CURB INLET
FDOT INDEX 425-025
RIM EL = 156.73
EX. N INV = 151.28 (15")
EX. E INV = 151.48 (15")
NEW SW INV = 151.48 (15")

DITCH BOTTOM INLETS

S-03
TYPE C DBI
FDOT INDEX 425-052
RIM EL = 157.01
N INV EL = 151.99 (15")
W INV EL = 151.99 (18")

S-04
TYPE C DBI
FDOT INDEX 425-052
RIM EL = 157.65
E INV EL = 151.88 (18")
W INV EL = 151.47 (18")

S-06
TYPE C DBI
FDOT INDEX 425-052
RIM EL = 157.52
NW INV EL = 151.63 (15")
S INV EL = 151.11 (18")
E INV EL = 151.11 (18")

S-08
TYPE C DBI
FDOT INDEX 425-052
RIM EL = 158.00
NE INV EL = 154.88 (15")
S ORIFICE EL = 156.00 (7")

MITERED END

S-07
MITERED END SECTION
N INV EL = 151.50 (18")

MANHOLES

STMH-01
TYPE 8 MANHOLE
RIM EL = 157.51
E INV EL = 153.30 (15")
W INV EL = 153.30 (15")
S INV EL = 152.66 (6")

STMH-02
TYPE 8 MANHOLE
RIM EL = 156.25
SW INV EL = 152.19 (15")
N INV EL = 152.19 (15")

STORM PIPE TABLE

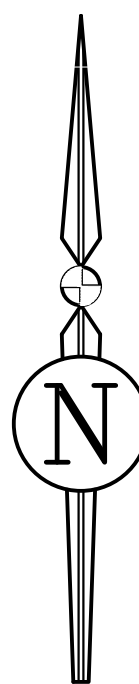
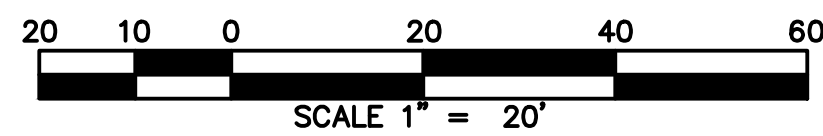
UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH (LF)	SLOPE
BLDG	YD-01	6" PVC	5	1.00%
YD-01	WB-01	10" PVC	7	1.00%
WB-01	WB-02	10" PVC	22	1.00%
BLDG	WB-02	6" PVC	5	6.00%
WB-02	WB-03	10" PVC	34	1.00%
YD-02	WB-03	12" PVC	9	6.90%
WB-03	S-5	12" PVC	8	1.00%
BLDG	WB-04	6" PVC	6	1.10%
WB-04	WB-05	12" PVC	31	1.10%
BLDG	CO-03	6" PVC	7	3.00%
CO-03	WB-05	6" PVC	7	3.00%
WB-05	WB-06	12" PVC	50	1.10%
BLDG	YD-03	6" PVC	4	8.00%
YD-03	WB-06	6" PVC	9	8.00%
WB-06	WB-07	12" PVC	4	1.10%
BLDG	WB-07	6" PVC	6	1.00%
WB-07	WB-011	12" PVC	72	1.39%
PD-01	WB-08	6" PVC	27	1.00%
WB-08	PD-02	6" PVC	17	1.00%
PD-02	WB-09	6" PVC	12	1.00%
WB-09	CO-07	6" PVC	26	1.00%
PD-03	WB-10	6" PVC	18	2.05%
WB-10	CO-07	6" PVC	22	2.05%
PD-04	CO-07	6" PVC	5	1.00%
CO-07	SWMH-01	6" PVC	2	1.00%

STORM PIPE TABLE

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
S-01	STMH-01	15" HDPE	137'	0.34%
S-02	WB-11	15" HDPE	129'	0.34%
S-03	S-04	18" HDPE	152'	0.34%
S-04	S-06	18" HDPE	105'	0.34%
S-05	S-06	15" HDPE	94'	1.17%
S-06	S-07	18" HDPE	37'	0.30%
S-08	STMH-02	15" HDPE	269'	1.00%
STMH-01	S-02	15" HDPE	174'	0.34%
STMH-02	EX ST-7	15" HDPE	71'	0.98%
WB-11	S-03	15" HDPE	83'	0.34%

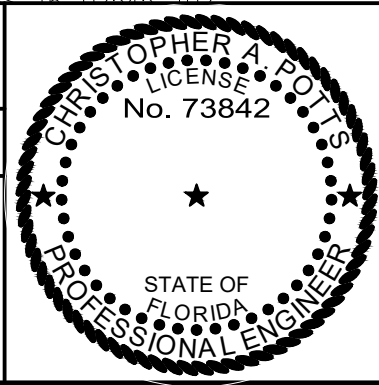
STORM SEWER CLEANOUT SCHEDULE

CO-01 CLEANOUT RIM EL = 158.07 W INV EL = 154.96	CO-05 CLEANOUT RIM EL = 158.95 E INV EL = 154.47
CO-02 CLEANOUT RIM EL = 158.85 E INV EL = 154.96	CO-06 CLEANOUT RIM EL = 158.95 W INV EL = 154.67
CO-03 CLEANOUT RIM EL = 158.88 N INV EL = 154.79 S INV EL = 154.79	CO-07 CLEANOUT RIM EL = 158.80 N INV EL = 154.20 S INV EL = 154.20
CO-04 CLEANOUT RIM EL = 158.95 N INV EL = 154.75	



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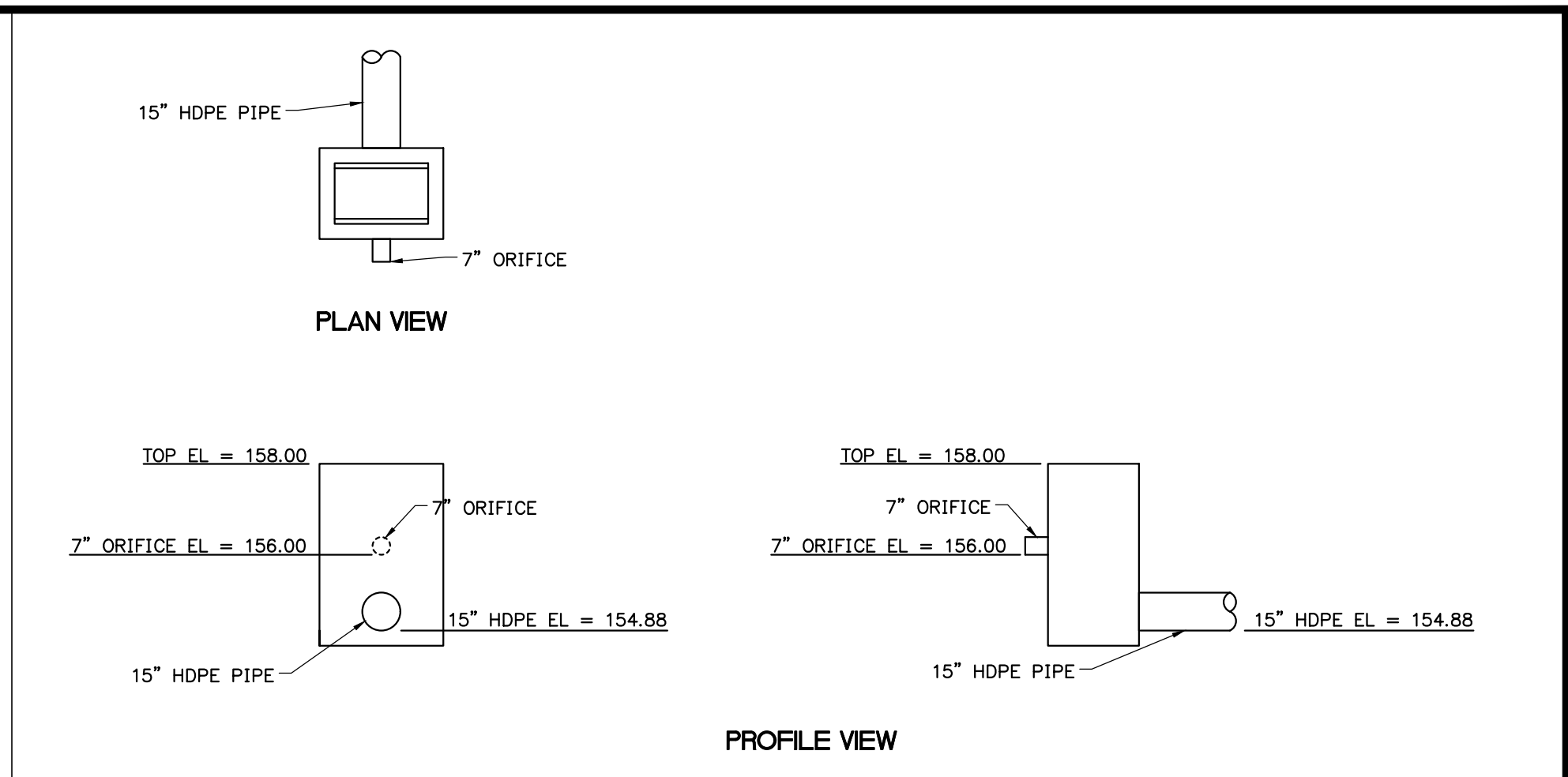
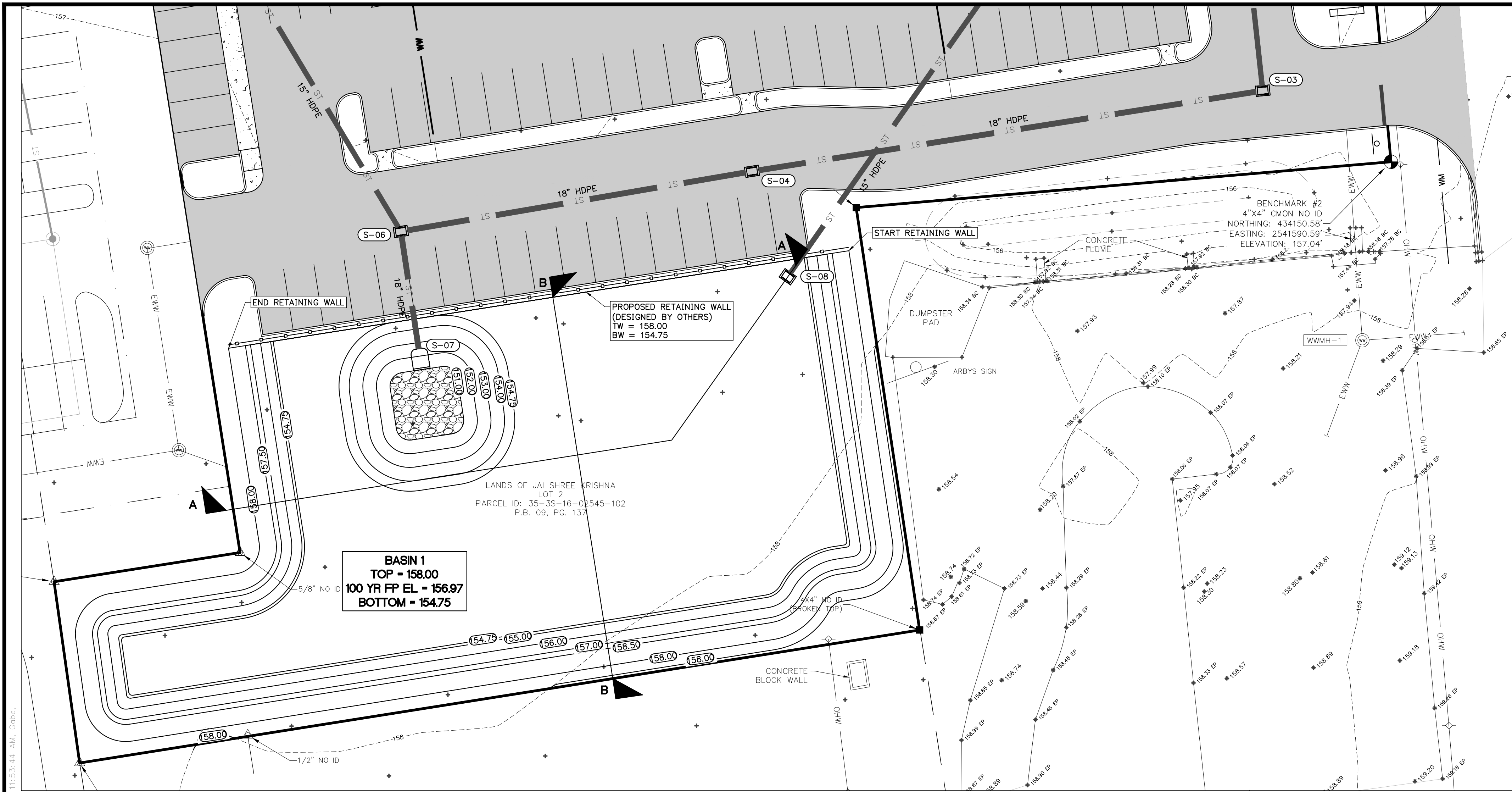
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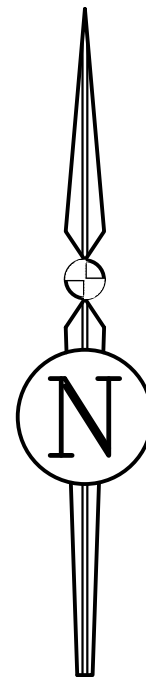
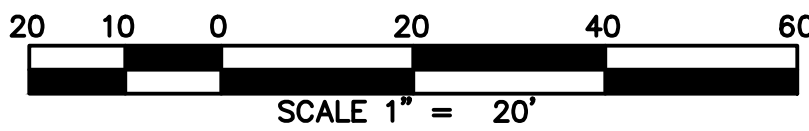
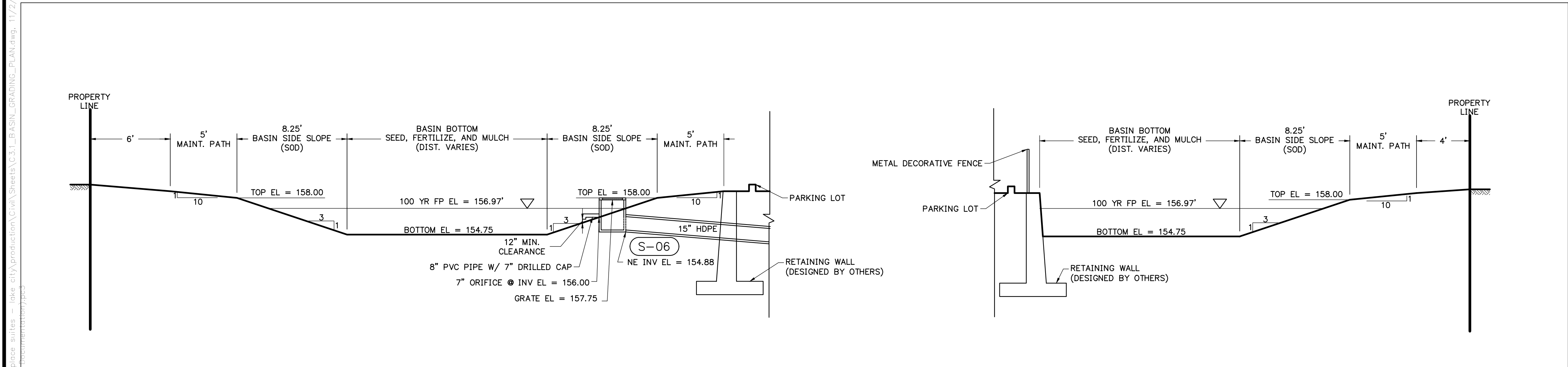
SHEET TITLE:
PAVING GRADING AND DRAINAGE
CLIENT:
INN OF COMMERCE, LLC
LAKE CITY, FL

PROJECT:
LAKE CITY HOTEL

DATE:
OCTOBER 2021
PROJECT NO:
370-20-03
SHEET NO:
C3.0

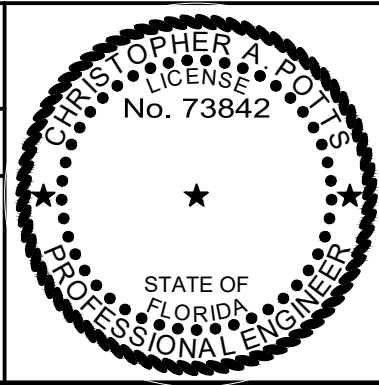


DISCHARGE STRUCTURE DETAIL
N.T.S.



REVISIONS				
NO.	DATE	DESCRIPTION	DRWN	APPR

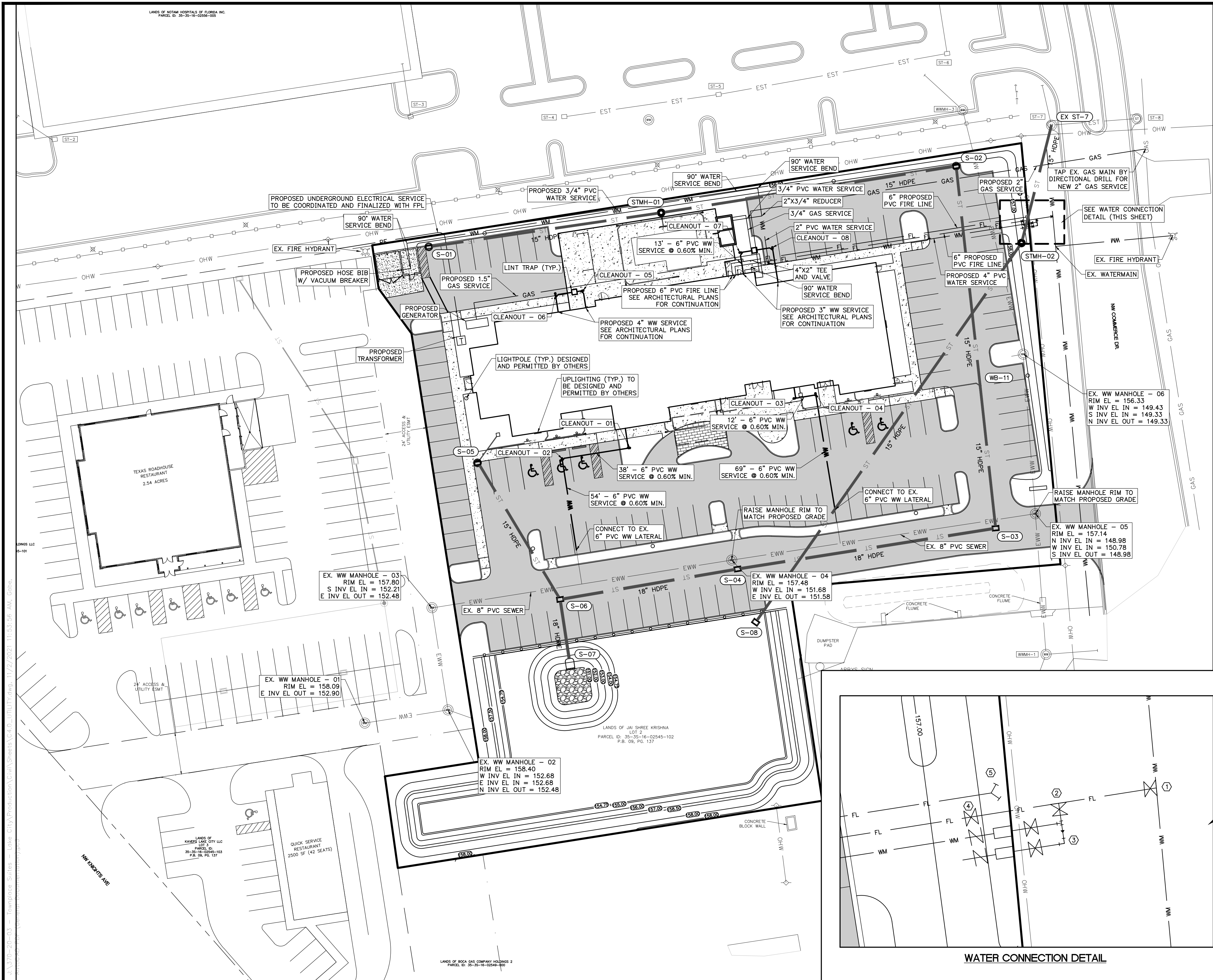
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SHEET TITLE:		DATE:	
BASIN GRADING PLAN		OCTOBER 2021	
		PROJECT NO:	
370-20-03		SHEET NO:	
CLIENT:			
INN OF COMMERCE, LLC		PROJECT:	
LAKE CITY, FL			
LAKE CITY HOTEL		SHEET NO:	
		C3.1	



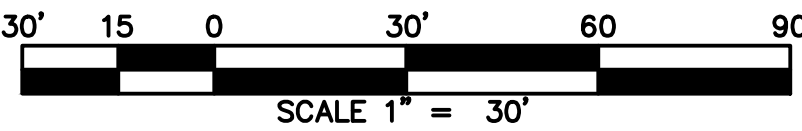
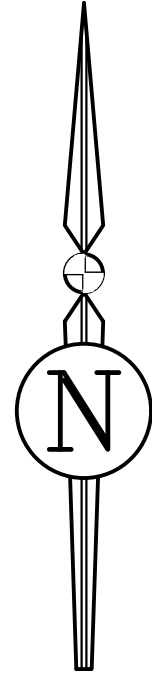
GENERAL UTILITY NOTES

1. A UTILITY PERMIT IS REQUIRED FROM LAKE CITY UTILITIES.
2. ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO LAKE CITY UTILITIES MOST RECENT POTABLE WATER, WASTEWATER, & RECLAIMED WATER SYSTEM DESIGN AND CONSTRUCTION STANDARDS, AND APPROVED MATERIALS MANUAL.
3. CONTRACTOR SHALL FIELD VERIFY EXISTING WATER MAIN AND POINT OF NEW BUILDING WATER MAIN CONNECTION.
4. PRIOR TO CONNECTION TO EXISTING UTILITIES, CONTRACTOR SHALL CONTACT LAKE CITY UTILITIES AND COORDINATE CONNECTION WITH WATER/WASTEWATER INSPECTOR A MINIMUM OF 7 DAYS BEFORE PLANNED CONNECTION.
5. THE FLORIDA BUILDING/PLUMBING CODE GOVERNS THE CONNECTION BETWEEN THE WATER METERS AND THE BUILDINGS. JBPRO HAS SPECIFIED A RECOMMENDED ROUTE FOR THIS CONNECTION. HOWEVER, SHOULD THE REQUIREMENTS OF THE FLORIDA BUILDING CODE DIFFER FROM WHAT IS DEPICTED ON THE PLANS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND PLUMBER TO NOTIFY JBPRO AND THE OWNER TO COORDINATE ANY SITE PLAN CHANGES IN ORDER TO BE IN COMPLIANCE WITH THE FLORIDA BUILDING CODE.
6. PVC WATER MAIN AND FITTINGS SHALL BE SCH. 40 PER ASTM D1785.
7. WATER MAINS SHALL BE INSTALLED WITH 30" TO 36" OF COVER. WATER MAINS AND ASSOCIATED FITTINGS MAY BE DEFLECTED IN ACCORDANCE WITH THE SPECIFIED LIMITATIONS FROM THE MANUFACTURER.
8. WATER METERS SHALL BE OUTSIDE OF LANDSCAPE AND PAVED AREAS, A MINIMUM OF 5' FROM BUILDINGS, BEHIND SIDEWALKS, AND BE A MINIMUM OF 2 FEET FROM THE EDGE OF PAVEMENT.
9. FOR WATER MAINS, ALL MECHANICAL JOINT FITTINGS SHALL HAVE RESTRAINING JOINT GLANDS. PIPE SHALL BE RESTRAINED FOR SUFFICIENT LENGTH TO PROVIDE REACTION FOR BENDS & DEAD ENDS.
10. ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
11. GRAVITY WASTEWATER MAINS WITH 14 FEET OF COVER OR LESS FROM THE PROPOSED GRADE SHALL BE SDR 35 PVC. GRAVITY WASTEWATER MAINS WITH GREATER THAN 14 FEET OF COVER BUT LESS THAN 20 FEET SHALL BE SDR 26 PVC. GRAVITY MAINS WITH 20-25 FEET OF COVER SHALL BE DR-18 PVC.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF UNSUITABLE MATERIALS AND FURNISH LAKE CITY UTILITIES APPROVED MATERIAL FOR THE BACKFILLING OF WASTEWATER LINES AT NO ADDITIONAL COST TO OWNER. THE CONTRACTOR MAY DISPOSE OF UNSUITABLE MATERIAL ONSITE WITH PERMISSION OF THE OWNER.
13. PVC GRAVITY WASTEWATER MAINS SHALL HAVE A MINIMUM OF 3 FEET OF COVER FROM PROPOSED GRADE.
14. WASTEWATER LATERAL CLEANOUTS INSTALLED OUTSIDE OF PAVEMENT SHALL HAVE ADJUSTABLE TOPS, TO ALLOW FOR ADJUSTMENT WITH FINAL LOT GRADING.
15. WASTEWATER LATERALS CONNECTING TO THE MAIN SHALL BE CONNECTED WITH A WYE FITTING ROTATED 45 DEGREES UP. THE INVERT ELEVATION OF THE SERVICE AT THE MAIN SHALL BE AT OR ABOVE THE CROWN OF THE MAIN.
16. ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 35) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
17. WASTEWATER CLEANOUT COVERS LOCATED WITHIN PAVEMENT AND SIDEWALKS ADJACENT TO PAVED AREAS SHALL BE RATED FOR TRAFFIC LOAD BEARING. WASTEWATER CLEANOUT COVERS IN OTHER SIDEWALKS/WALKWAYS SHALL BE BRASS WITH A SQUARE RECESS.
18. A/C CONDENSATE WATER SHALL NOT FLOW TO WASTEWATER (SANITARY SEWER).

WATER FITTING SCHEDULE

- 1 - 12" X 6" WET TAP AND VALVE (COORDINATE W/ LAKE CITY W/WW DEPT. 7 DAYS IN ADVANCE)
CONTACT: BRIAN SCOTT (386) 758-5456
- 1 - 6" X 4" PVC TEE
1 - 4" GATE VALVE AND BOX
1 - 4" PVC TEE
1 - 1.5" POTABLE WATER METER (END OF LAKE CITY MAINT.)
1 - 2" RPZBFP
- 1 - 4" X 2" REDUCER
1 - 2" PVC 90° BEND
1 - 2" GATE VALVE AND BOX
1 - 3/4" IRRIGATION METER (END OF LAKE CITY MAINT.)
1 - 1" RPZBFP
- 1 - 6" POST INDICATION VALVE (PIV)
- 1 - REMOTE FDC

CLEANOUT SCHEDULE		
CLEANOUT NUMBER	TOP EL	INV EL
01	158.94	154.94
02	158.88	154.70
03	158.93	154.93
04	158.93	154.86
05	158.60	154.60
06	157.90	154.50
07	158.80	154.80
08	158.30	154.70

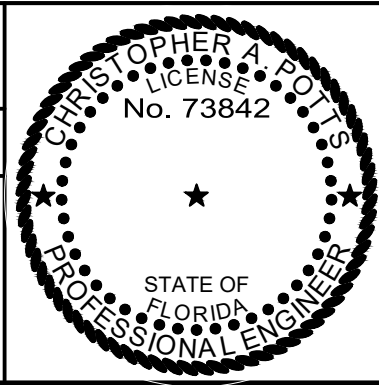


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ENGINEER OF RECORD:
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SHEET TITLE:
UTILITY PLAN

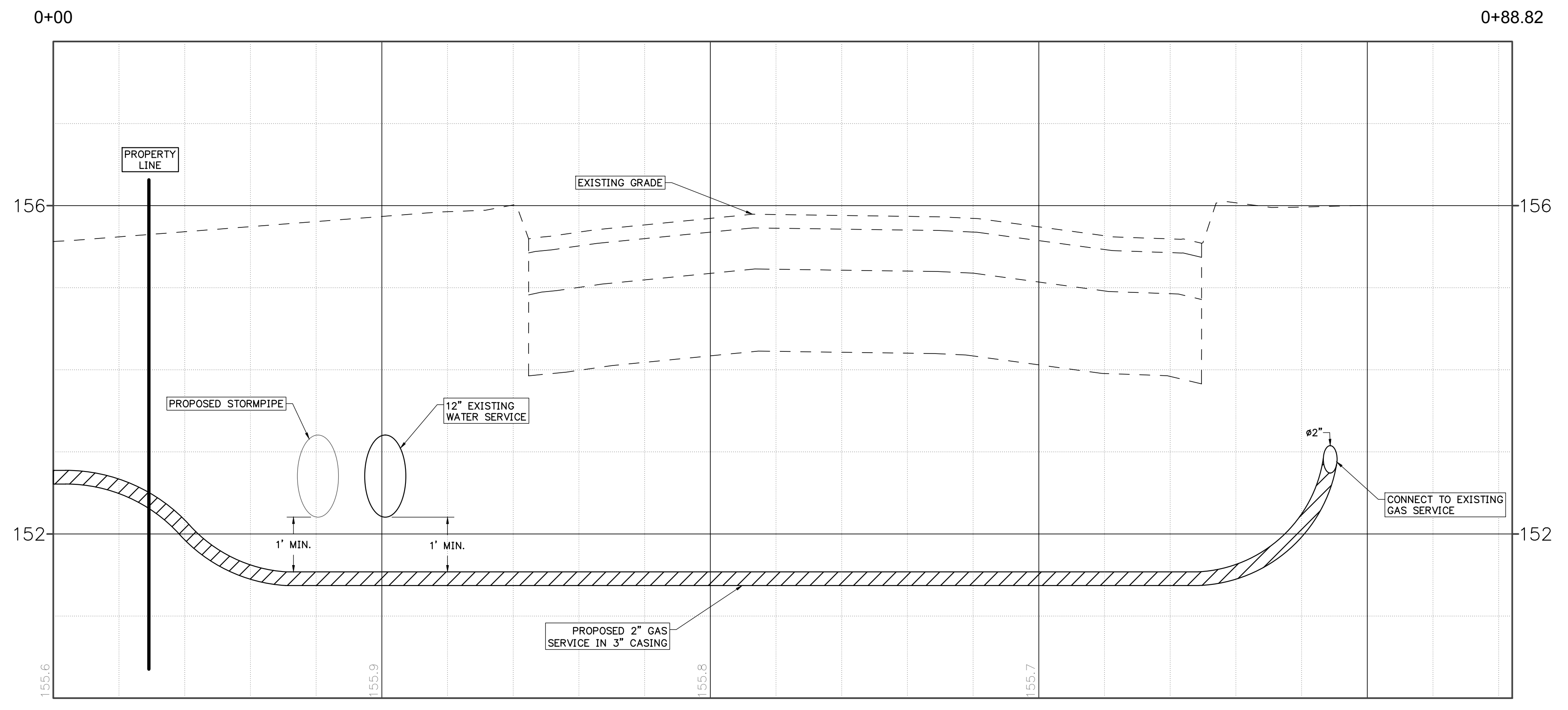
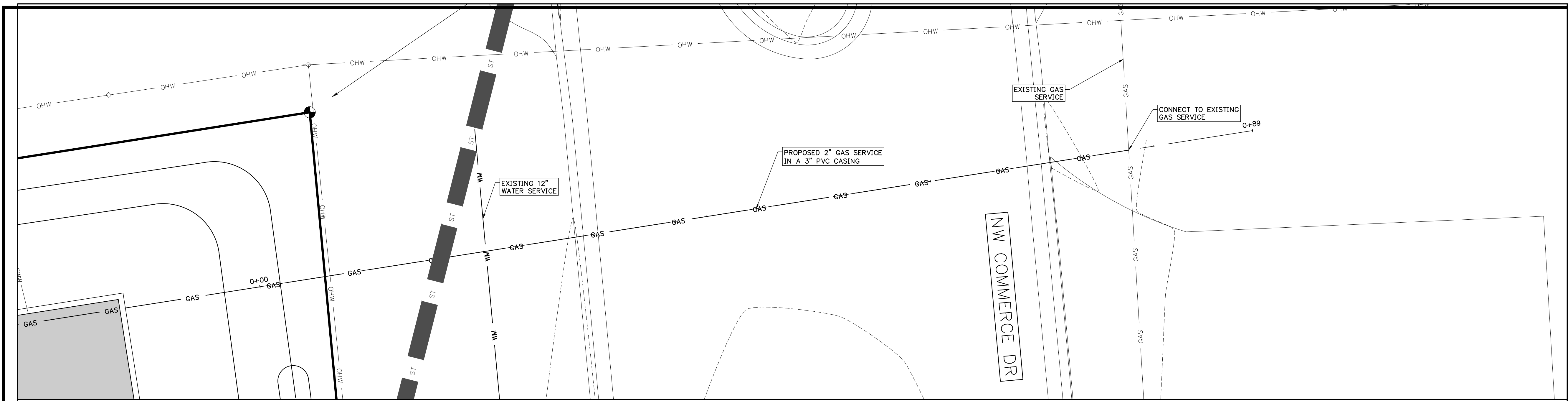
DATE:
OCTOBER 2021

PROJECT NO:
370-20-03

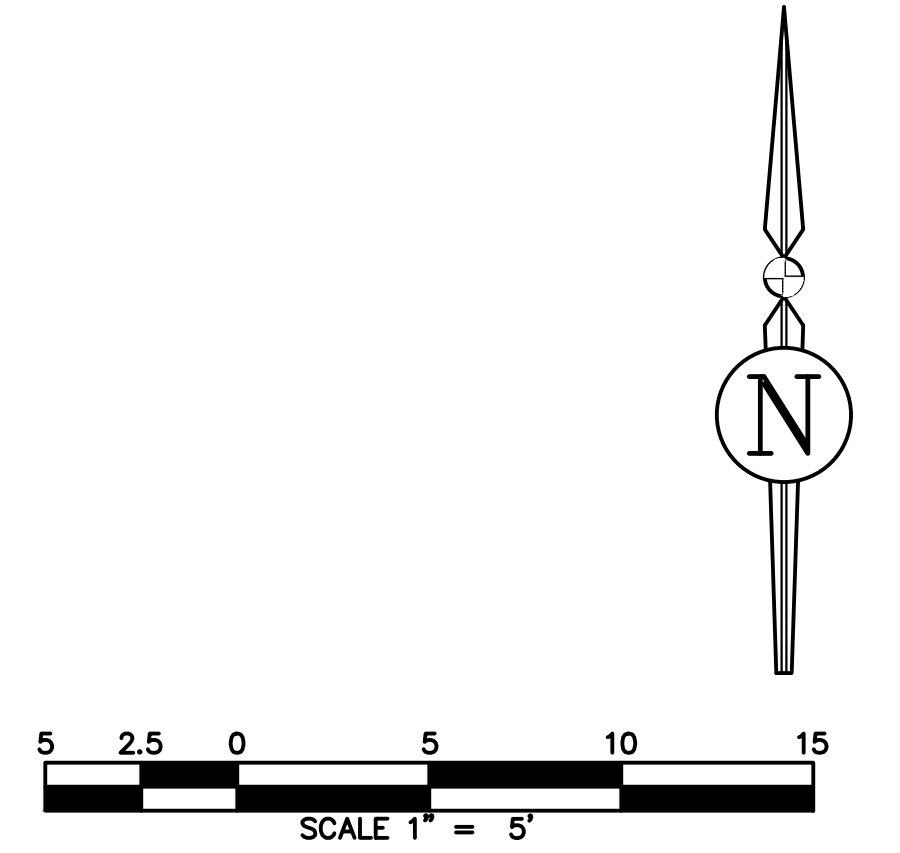
CLIENT:
INN OF COMMERCE, LLC
LAKE CITY, FL

PROJECT:
LAKE CITY HOTEL

SHEET NO:
C4.0



PROFILE VIEW - Roadway Bore Profile
1"=5' H, 1"=1' V



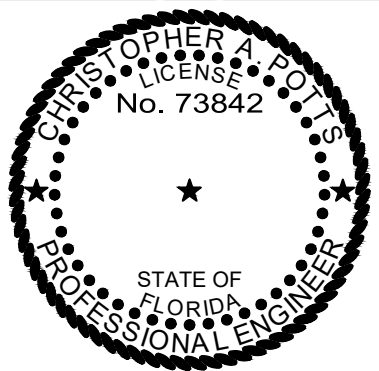
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SHEET TITLE: GAS SERVICE CONNECTION PLAN	
CLIENT: INN OF COMMERCE, LLC LAKE CITY, FL	PROJECT: LAKE CITY HOTEL

DATE: OCTOBER 2021
PROJECT NO: 370-20-03
SHEET NO: C4.1



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Attachment 11 – Landscape Plan

PLOTDATE: 11/02/2021 9:12 AM USER: SARAH MCCOWN
 FILENAME: C:\USERS\SARAH MCCOWN\BOX\PROJECT\2021\21-088 COLUMBIA CO INN HOTEL - JIBPRO\04_PRODUCTION\02_SPR\2021-10-26_SPR_1\01_SHEETS\21-088 COLUMBIA CO

SPECIFIC LANDSCAPE REQUIREMENTS

1. LANDSCAPE BUFFER REQUIREMENTS

- LDC SEC. 4.2.13.1 SUPPLEMENTARY DISTRICT REGULATIONS - LANDSCAPE BUFFER AREAS
 - WHERE THE LAND DEVELOPMENT REGULATIONS REQUIRE A LANDSCAPED BUFFER AREA, THE FOLLOWING REQUIREMENT NEEDS TO BE MET:
 - AREAS SHALL BE DESIGN AND PLANTED FOR 80% OR MORE OPAQUE BETWEEN TWO AND SIX FEET ABOVE AVERAGE GROUND LEVEL WHEN VIEWED HORIZONTALLY; PROVIDED, HOWEVER, THAT PLANTINGS LOCATED IN THE REQUIRED FRONT YARD SHALL NOT EXCEED TWO AND ONE-HALF FEET IN HEIGHT.
 - 80% OPACITY MUST BE MET WITHIN NO LONGER THAN 12 MONTHS OF THE DATE OF FIRST PLANTING.
 - THE REMAINDER OF THE REQUIRED BUFFER AREA NOT COVERED BY PLANTING SHALL BE LANDSCAPED WITH GRASS, GROUND COVER, OR OTHER LANDSCAPE TREATMENT
- LDC SEC. 4.15.7 MINIMUM YARD REQUIREMENTS
 - ALL PERMITTED 'CH' COMMERCIAL, HIGHWAY INTERCHANGE USES ARE TO HAVE A YARD WIDTH OF 20 FEET IN THE FRONT AND 15 FEET IN THE REAR. NO SIDE YARD REQUIREMENT. NO LESS THAN 15 FEET OF THE DEPTH OF THE REQUIRED FRONT YARD SHALL BE MAINTAINED AS A LANDSCAPE AREA. THE DEPTH OF THIS LANDSCAPED AREA SHALL BE MEASURED AT RIGHT ANGLES TO THE PROPERTY LINE AND SHALL BE ESTABLISHED ALONG THE ENTIRE LENGTH AND CONTIGUOUS TO THE DESIGNATED PROPERTY LINE.
 - THE LANDSCAPED AREA MAY BE PENETRATED AT RIGHT ANGLES BY DRIVEWAYS.
 - THE REMAINDER OF THE REQUIRED YARD MAY BE USED FOR OFF-STREET PARKING, BUT NOT FOR BUILDINGS.

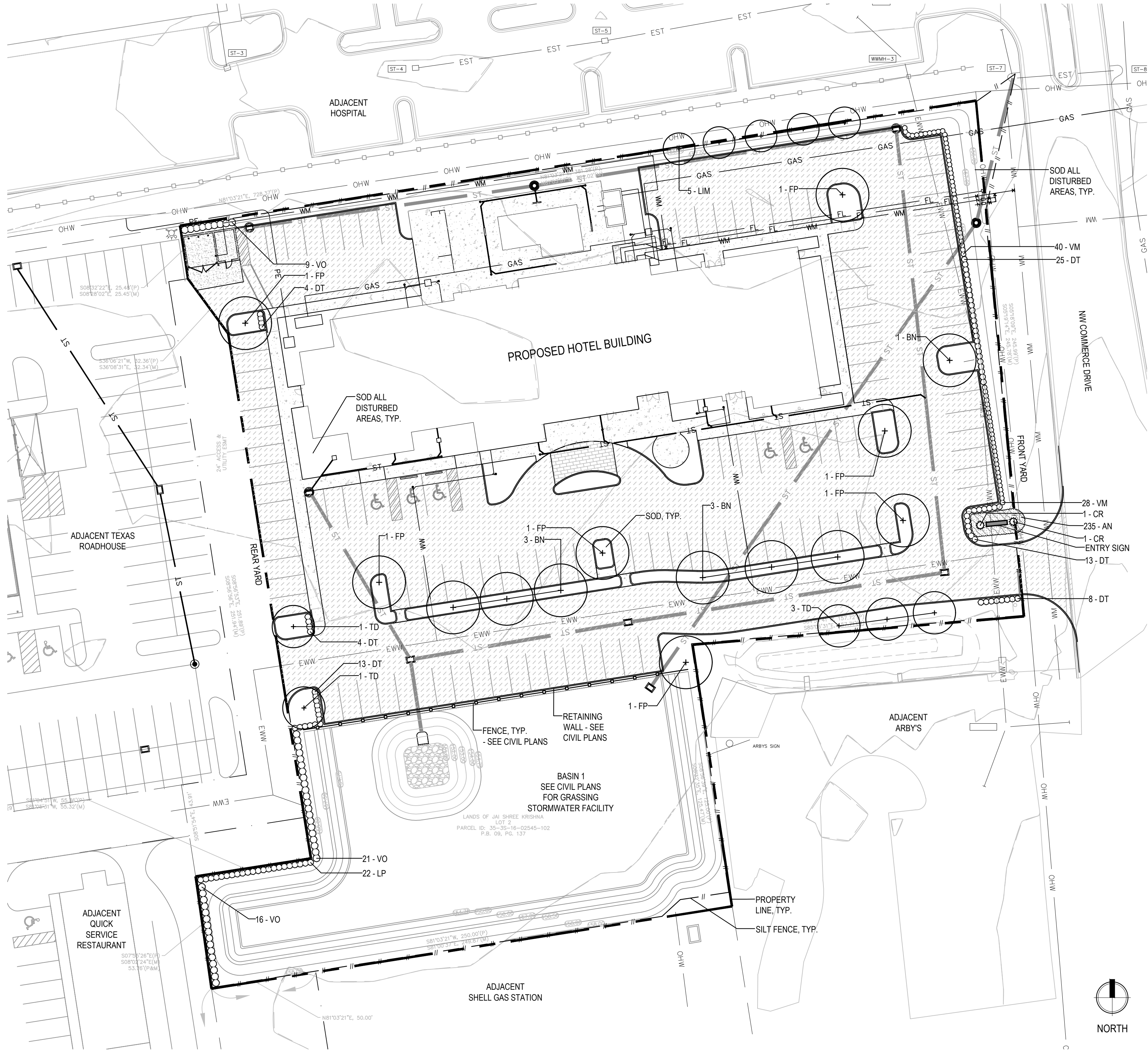
- REQUIRED:
 - FRONT / EASTERN AREA = CONTINUOUS HEDGE, 2-1/2' HEIGHT MAX.
 - REAR / WESTERN AREA = CONTINUOUS HEDGE

- PROVIDED:
 - FRONT / EASTERN AREA = CONTINUOUS HEDGE
 - REAR / WESTERN AREA = CONTINUOUS HEDGE

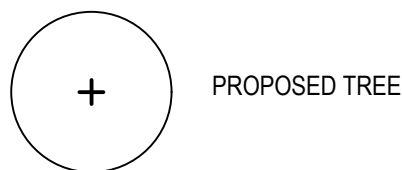
2. VEHICULAR USE AREAS

- LDC SEC. 4.2.17.10. OFF-STREET PARKING : LANDSCAPE REQUIREMENTS
 - WHEREVER IN ANY ZONING DISTRICT OFF-STREET PARKING FACILITIES ARE PROVIDED, SUCH OFF-STREET PARKING FACILITIES SHALL CONFORM TO THE MINIMUM LANDSCAPING REQUIREMENTS AS FOLLOWS:
 - A MINIMUM NUMBER OF 10% OF ANY OFF-STREET PARKING AREA SHALL BE LANDSCAPED WITH GRASS, PLANTS, SHRUBS, AND/OR TREES. REQUIRED LANDSCAPING MAY, IN PART, BE LOCATED AROUND THE PERIPHERY OF THE OFF-STREET PARKING AREA; HOWEVER WHERE POSSIBLE A PORTION OF THE REQUIRED LANDSCAPING SHALL ALSO BE LOCATED WITHIN THE INTERIOR OF THE OFF-STREET PARKING AREA AND SHALL BE LOCATED IN SUCH A MANNER AS TO DIVIDE AND BREAK UP THE EXPANSE OF PAVING AND GUIDE TRAFFIC FLOW AND DIRECTION.
 - EACH SEPARATE LANDSCAPED AREA SHALL CONTAIN A MINIMUM OF 50 SF AND SHALL HAVE A DIMENSION OF AT LEAST THREE FEET, AND SHALL INCLUDE AT LEAST ONE TREE, WITH THE REMAINING AREA ADEQUATELY LANDSCAPED WITH SHRUBS, GROUND COVER, OR OTHER LANDSCAPING MATERIAL.
 - THE TOTAL NUMBER OF TREES SHALL NOT BE LESS THAN ONE FOR EACH 200 SF OR FRACTION THEREOF OF REQUIRED LANDSCAPING. TREES SHALL BE A MINIMUM OF FOUR FEET OVERALL HEIGHT IMMEDIATELY AFTER PLANTING. TREES SHALL NOT BE PLANTED CLOSER THAN SIX FEET TO ANY PUBLIC STREET OR OTHER PUBLIC WORKS, UNLESS THE TREE ROOT SYSTEM IS COMPLETELY CONTAINED WITHIN A BARRIER.
- REQUIRED:
 - 47,188 SF OF PARKING AREA X 10% = 4,719 SF LANDSCAPE AREA REQUIRED
 - SEPARATE LANDSCAPE AREA = ONE TREE WITH LANDSCAPE MATERIAL
 - TOTAL NUMBER OF TREES = 4,719 SF/ 200 SF = 24 TREES REQUIRED

- PROVIDED:
 - SEPARATE LANDSCAPE AREA = ONE TREE WITH LANDSCAPE MATERIAL
 - 24 TREES PROVIDED



LEGEND



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
BN	7	Betula nigra 'Duraheat'	Duraheat River Birch	15 gal., 8' ht. x 36" spr., 1.5" cal.	As shown	Multi-trunk, 3 canes minimum
FP	7	Fraxinus pennsylvanica	Green Ash	15 gal., 9' ht. x 36" spr., 1.5" cal.	As shown	
LIM	5	Lagerstroemia indica x faurei 'Muskogee'	Muskogee Crape Myrtle	15 gal., 8' ht. x 20" sprd., 1.5" cal.	As shown	Multi-trunk, five canes minimum
TD	5	Taxodium distichum	Bald Cypress	7 gal., 5' ht. x 20" sprd., 3/4" cal.	As shown	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
CR	2	Cycas revoluta	Sago Palm	15 gal	As shown	Single Head, Male Specimen
DT	67	Dianella tasmanica 'Variegata'	Variegated Flax Lily	3 gal., 24" ht. x 18" sprd.	30" o.c.	
LP	22	Loropetalum chinense rubrum 'Plum Delight'	Plum Delight Loropetalum	3 gal., 24" ht. x 18" sprd.	30" o.c.	Full
VM	68	Viburnum obovatum 'Mrs Shillers Delight'	Mrs Shillers Delight Viburnum	3 gal., 24" ht. x 18" sprd.	24" o.c.	
VO	46	Viburnum odoratissimum	Sweet Viburnum	3 gal., 24" ht. x 18" sprd.	36" o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
AN	235	Annuals, mixed	Seasonal Annuals	4" pot, 6" ht. x 6" sprd., full	9" o.c.	Full
SOD/SEED		BOTANICAL NAME	COMMON NAME	SIZE		NOTES
SOD		Paspalum notatum 'Argentine'	Bahia Grass	sod		Sand grown and weed free

PROJECT NAME:

INN OF COMMERCE

Lake City, FL

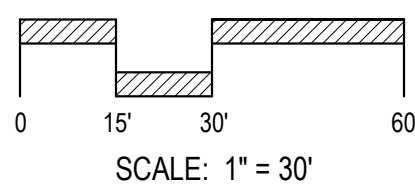
for
INN OF COMMERCE, LLC

SEAL:

PROJECT NO: 21-088
 CLIENTS NO.:
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 2 NOV 2021
 REVISIONS:

SCALE:



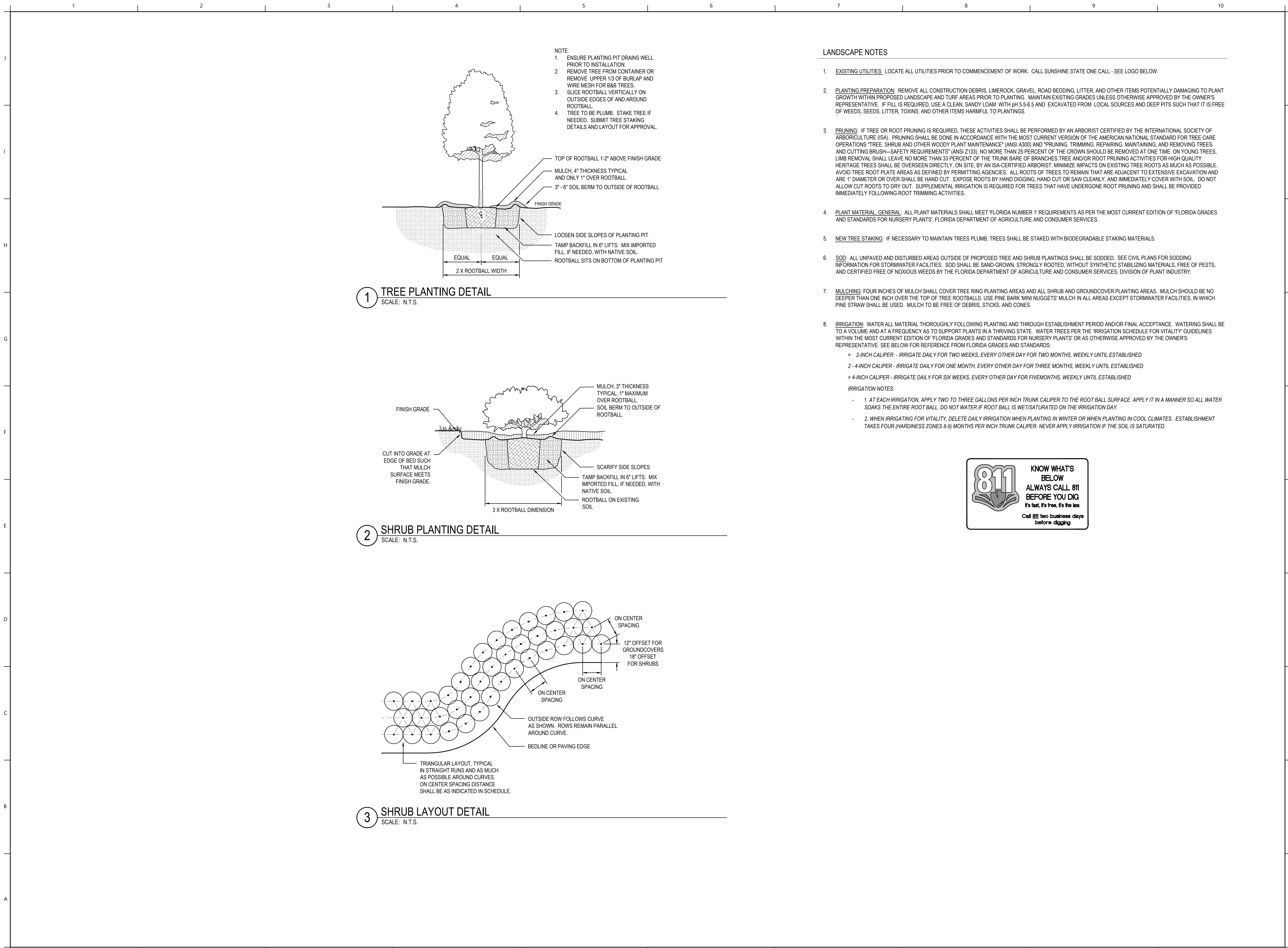
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LANDSCAPE PLAN AND CALCULATIONS

SHEET NUMBER:

L.001

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Manley Design, LLC
 224 NW 2nd Avenue, Suite E
 Gainesville, Florida 32601
 (352) 363-7412
 Certificate of Authorization No. LC26000575

PROJECT NAME:

LAKE CITY HOTEL

Lake City, FL

for
LAKE CITY HOTELS, LLC

SEAL:

PROJECT NO: 21-088
 CLIENTS NO:
 ISSUED FOR: **SITE PLAN REVIEW**

ISSUED DATE: 2 NOV 2021
 REVISIONS:

SCALE:

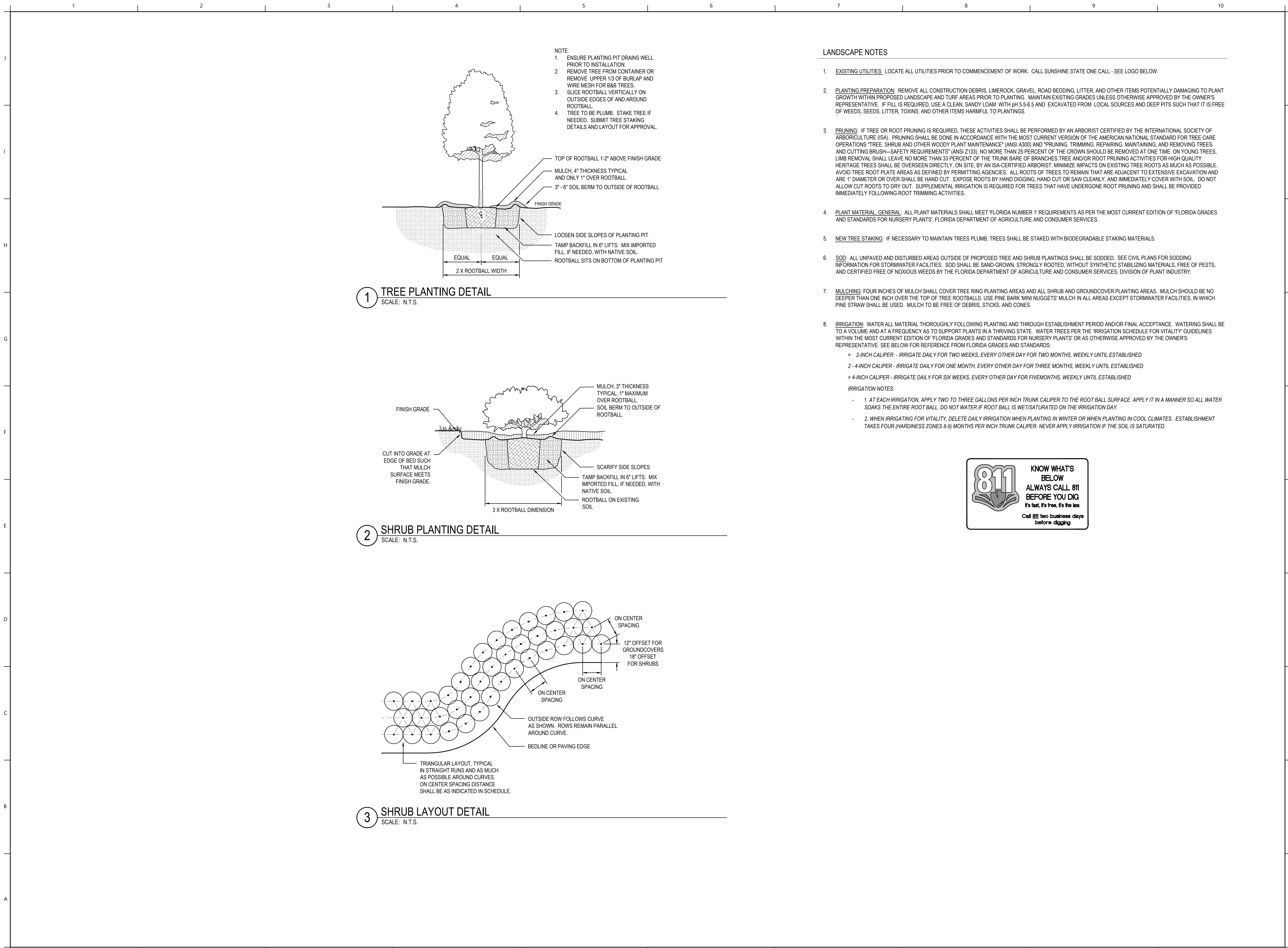
AS SHOWN

SHEET TITLE:
LANDSCAPE NOTES AND DETAILS

SHEET NUMBER:

L.002

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LAKE CITY
 HOTEL

Lake City, FL

for
 LAKE CITY HOTELS, LLC

SEAL:

PROJECT NO: 21-088
 CLIENTS NO:
 ISSUED FOR: SITE PLAN REVIEW

ISSUED DATE: 2 NOV 2021
 REVISIONS:

SCALE:

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SHEET TITLE:
 LANDSCAPE NOTES
 AND DETAILS

SHEET NUMBER:

L.002

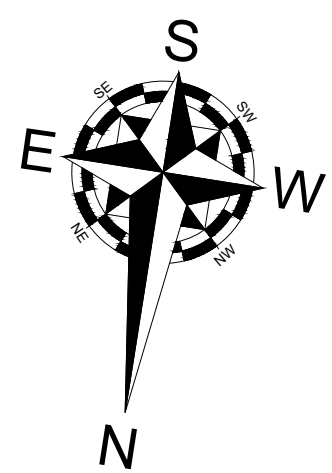
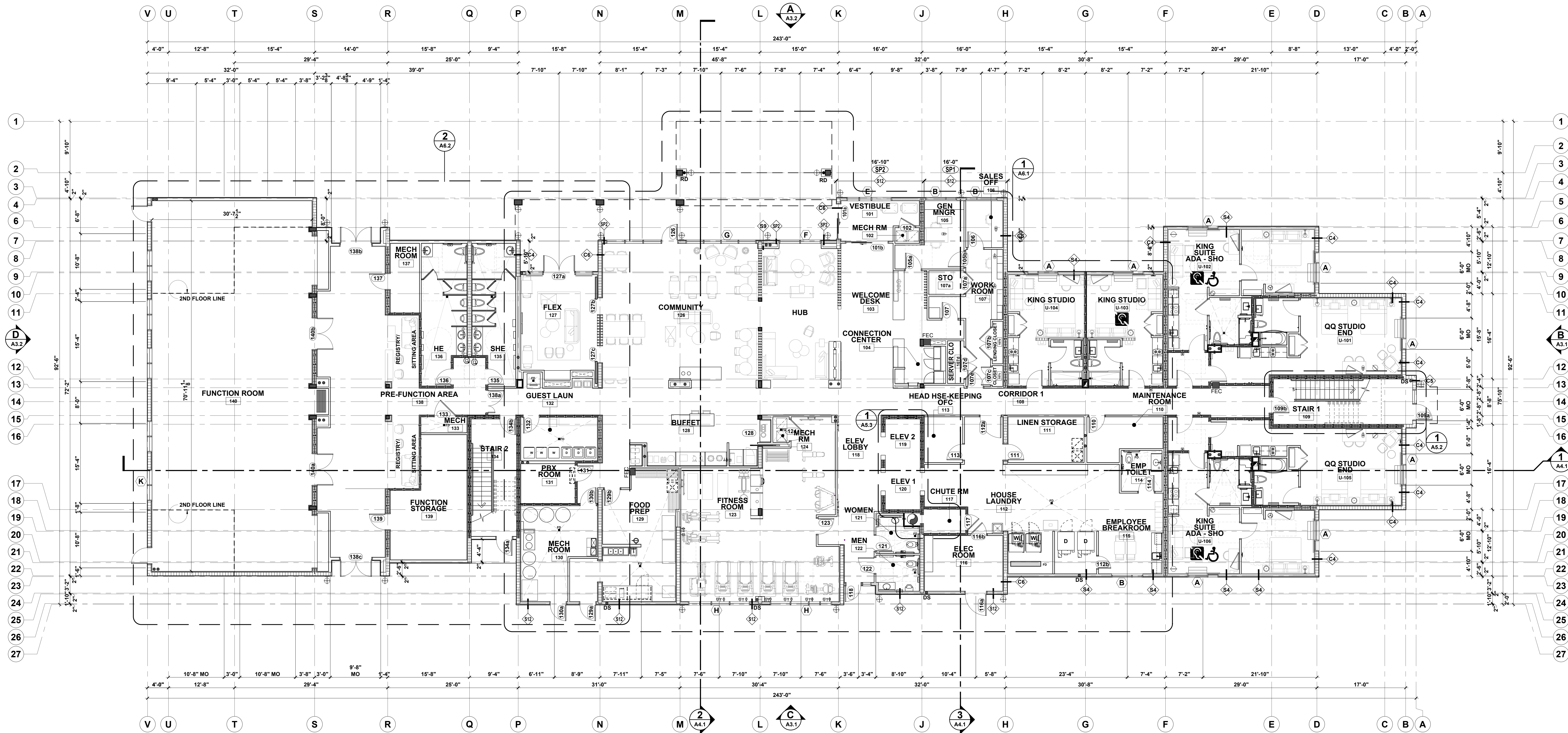


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Attachment 12 – Architectural Plans



1ST FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

1ST FLOOR UNIT DATA					
UNIT TYPE	TOTAL	SHOTUB	ADA UNITS	SPECIAL ACCESSIBILITY	HEARING IMPAIRED UNITS
QUEEN - STUDIO END	2 UNITS	SHO			
KING - STUDIO	2 UNITS	TUB			U-103
KING-SUITE LOCKOUT-ADA-SHO	2 UNITS	SHO	U-102; U-106		U-102; U-106
	6 UNITS				
TOTAL UNITS: 6 UNITS			2 UNITS	2 UNITS	3 UNITS

TOTAL AREA: 15,621 SQ. FT.

90% REVIEW SET
NOT FOR CONSTRUCTION

HARTER - ADAMS P.A.
ARCHITECTS AND PLANNERS
377 MAITLAND AVE. SUITE 200, ALTAMONTE SPRINGS, FL 32701
PHONE 407-597-5300 FAX 407-597-5302

TOWNEPLACE HOTEL
LAKE CITY, FLORIDA

REVISION

JOB NO.

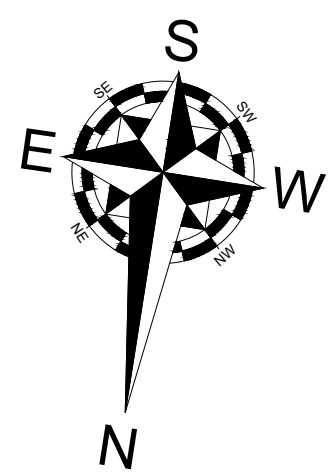
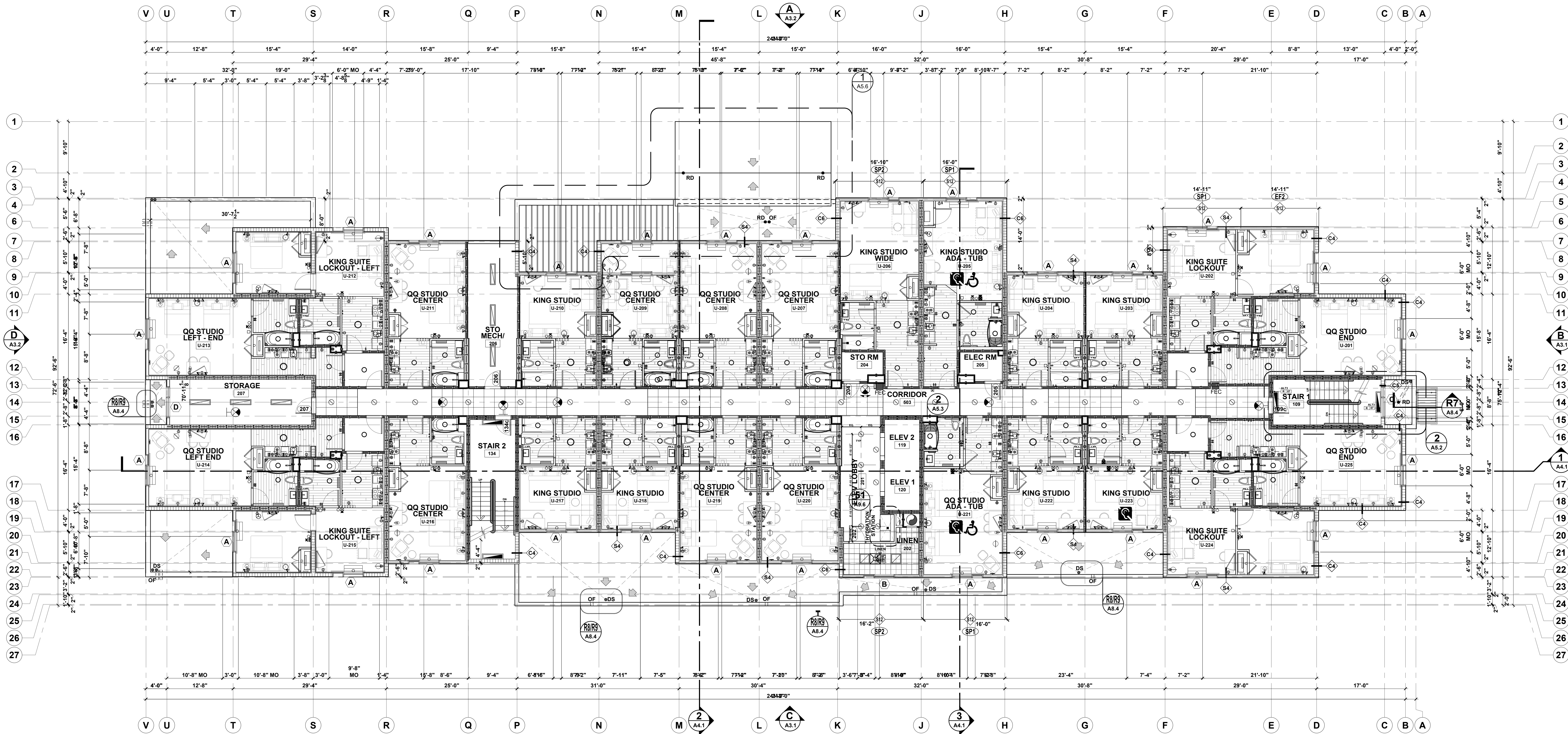
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DATE

AUGUST 12, 2021

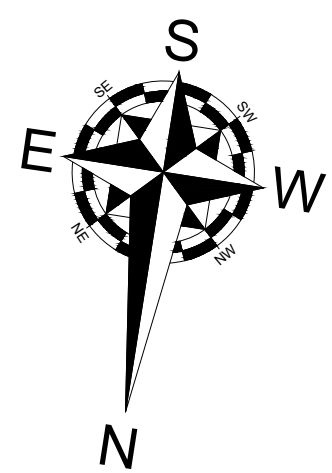
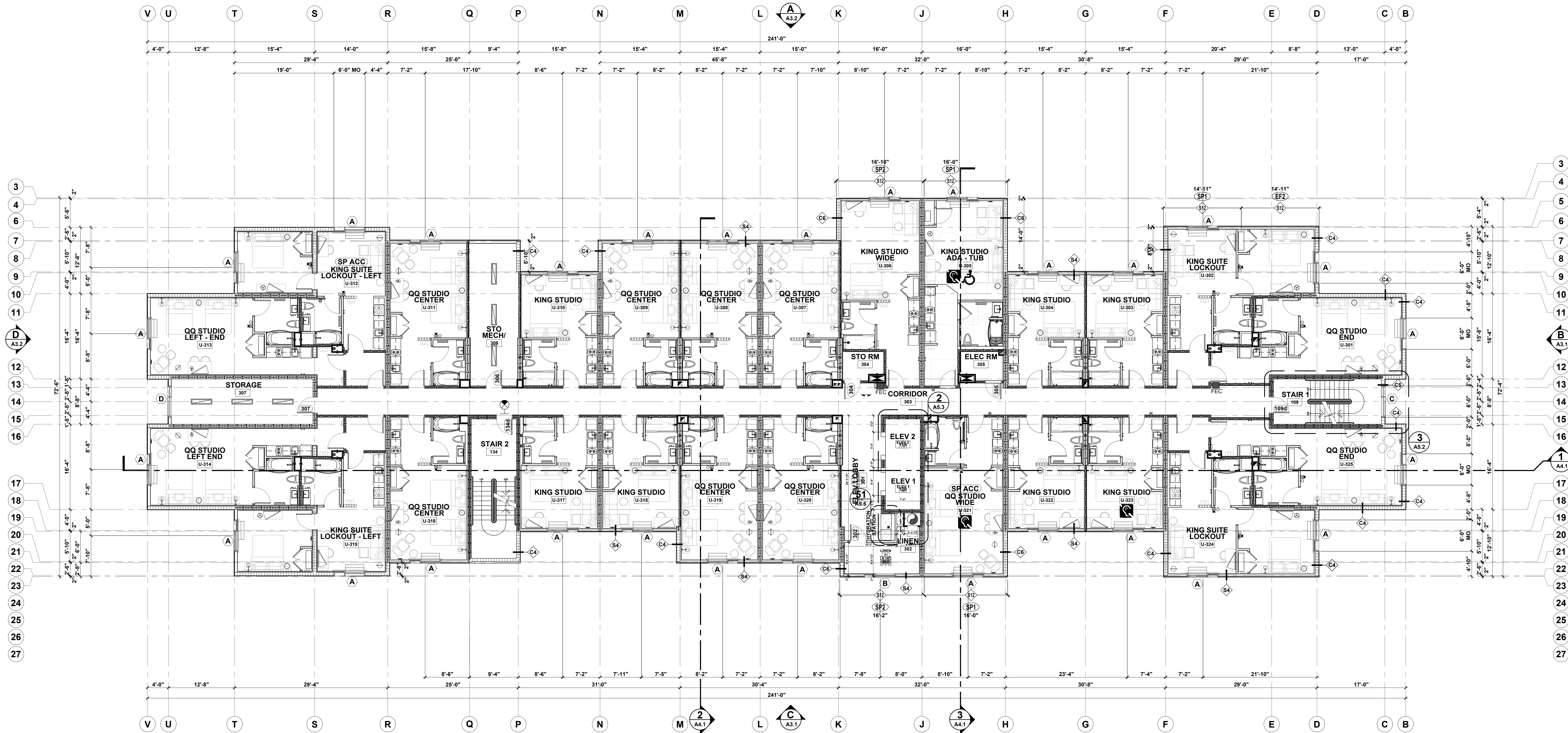
SHEET

A2.1



2ND FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

2ND FLOOR UNIT DATA					
UNIT TYPE	TOTAL	SHO/TUB	ADA UNIT/S	SPECIAL ACCESSIBILITY	HEARING IMPAIRED UNITS
QQ - STUDIO CENTER	7 UNITS	TUB			
QUEEN - STUDIO END	2 UNITS	TUB			
QUEEN - STUDIO LEFT - END	2 UNITS	TUB			
QQ - STUDIO ADA TUB	1 UNIT	TUB	U-221		U-221
KING - STUDIO	7 UNITS	SHO			U-223
KING - STUDIO WIDE	1 UNIT	SHO			
KING - SUITE LOCKOUT	2 UNITS	TUB			
KING - SUITE LOCKOUT - LEFT	2 UNITS	TUB			
KING - STUDIO - ADA TUB	1 UNIT	TUB	U-205		U-205
TOTAL UNITS: 25 UNITS			1 UNIT	1 UNIT	2 UNITS
TOTAL AREA: 14,161 SQ. FT.					



3RD FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

3RD FLOOR UNIT DATA					
UNIT TYPE	TOTAL	SHO/TUB	ADA UNIT/S	SPECIAL ACCESSIBILITY	HEARING IMPAIRED UNITS
QQ - STUDIO CENTER	7 UNITS	TUB			
QQ - STUDIO WIDE - SP ACC	1 UNIT	TUB		U-321	U-321
QUEEN - STUDIO END	2 UNITS	TUB			
QUEEN - STUDIO END - LEFT	2 UNITS	TUB			
KING - STUDIO	7 UNITS	SHO			U-323
KING - STUDIO WIDE	1 UNIT	SHO			
KING - SUITE LOCKOUT	2 UNITS	TUB			
KING - SUITE LOCKOUT - LEFT	1 UNIT	TUB			
KING - SUITE LOCKOUT - SP ACC - LEFT	1 UNIT	TUB		U-312	
KING - STUDIO - ADA TUB	1 UNIT	TUB	U-305		U-305
TOTAL UNITS: 25 UNITS			1 UNIT	2 UNITS	3 UNITS

TOTAL AREA: 14,161 SQ. FT.

90% REVIEW SET
NOT FOR CONSTRUCTION

HARTER - ADAMS P.A.
ARCHITECTS AND PLANNERS
377 MATLAND AVE. SUITE 200, ALTAMONTE SPRINGS, FL 32701
PHONE 407-647-5301 FAX 407-647-5302

TOWNEPLACE HOTEL
LAKE CITY, FLORIDA

REVISION

JOB NO.

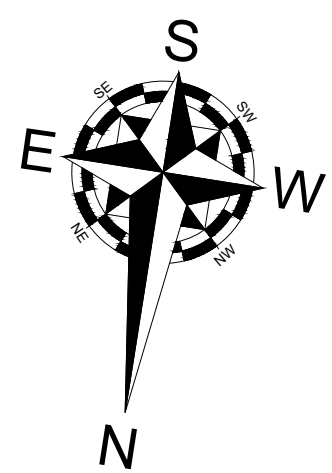
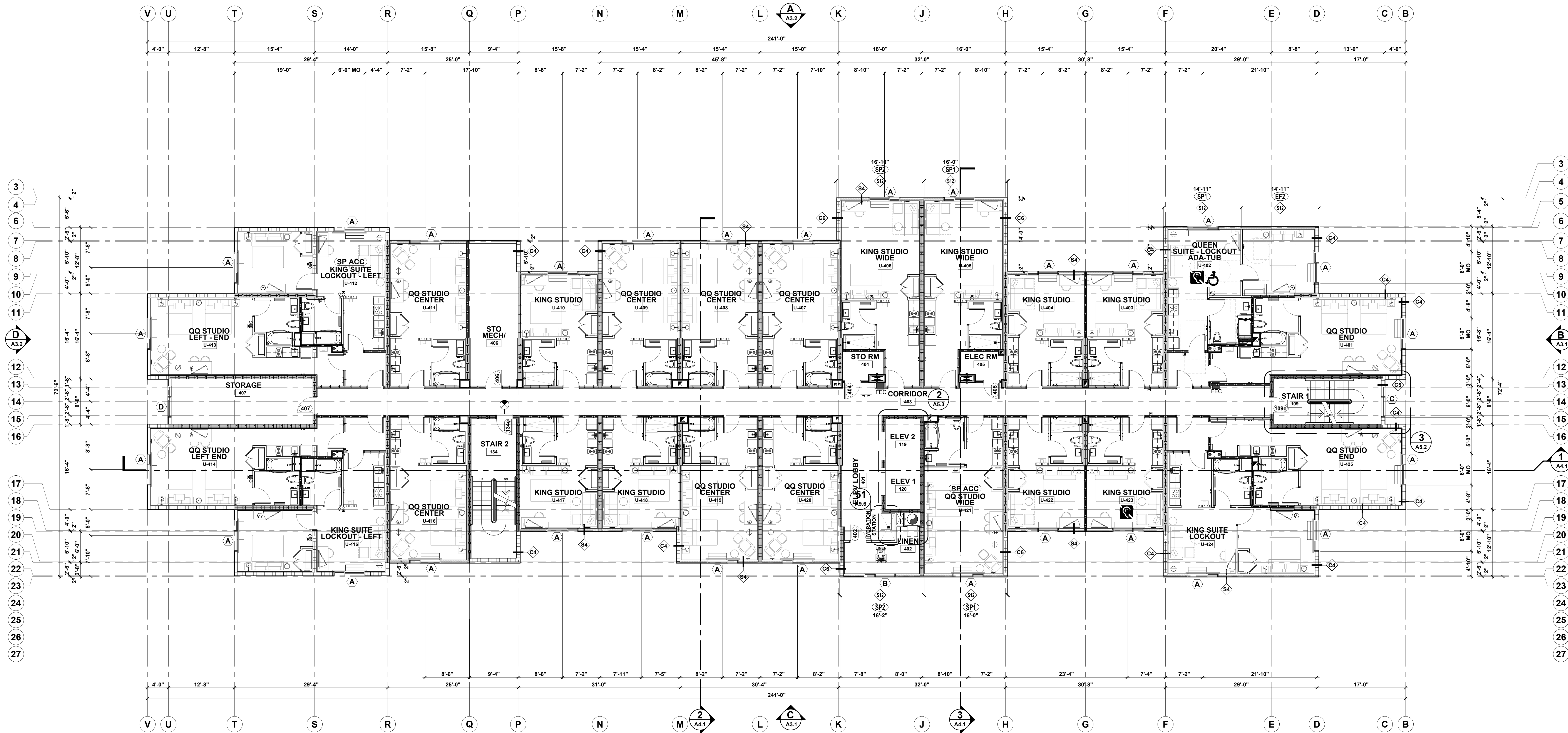
20036

DATE

AUGUST 12, 2021

SHEET

A2.3



4TH FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

4TH FLOOR UNIT DATA					
UNIT TYPE	TOTAL	SHO/TUB	ADA UNIT/S	SPECIAL ACCESSIBILITY	HEARING IMPAIRED UNITS
QQ - STUDIO CENTER	7 UNITS	TUB			
QQ - STUDIO WIDE - SP ACC	1 UNIT	TUB		U-421	
QUEEN - STUDIO END	2 UNITS	TUB			
QUEEN - STUDIO LEFT - END	2 UNITS	TUB			
QUEEN - SUITE LOCKOUT - TUB - ADA	1 UNIT	TUB	U-402		U-402
KING - STUDIO	7 UNITS	SHO			U-423
KING - STUDIO WIDE	2 UNITS	SHO			
KING - SUITE LOCKOUT	1 UNIT	TUB			
KING - SUITE LOCKOUT - LEFT	1 UNIT	TUB			
KING - SUITE LOCKOUT - LEFT - SP ACC	1 UNIT	TUB		U-412	
TOTAL UNITS: 25 UNITS			1 UNIT	2 UNITS	2 UNITS
TOTAL AREA: 14,161 SQ. FT.					

90% REVIEW SET
NOT FOR CONSTRUCTION

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TOWNEPLACE HOTEL
LAKE CITY, FLORIDA

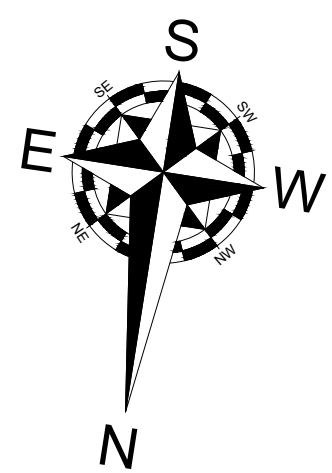
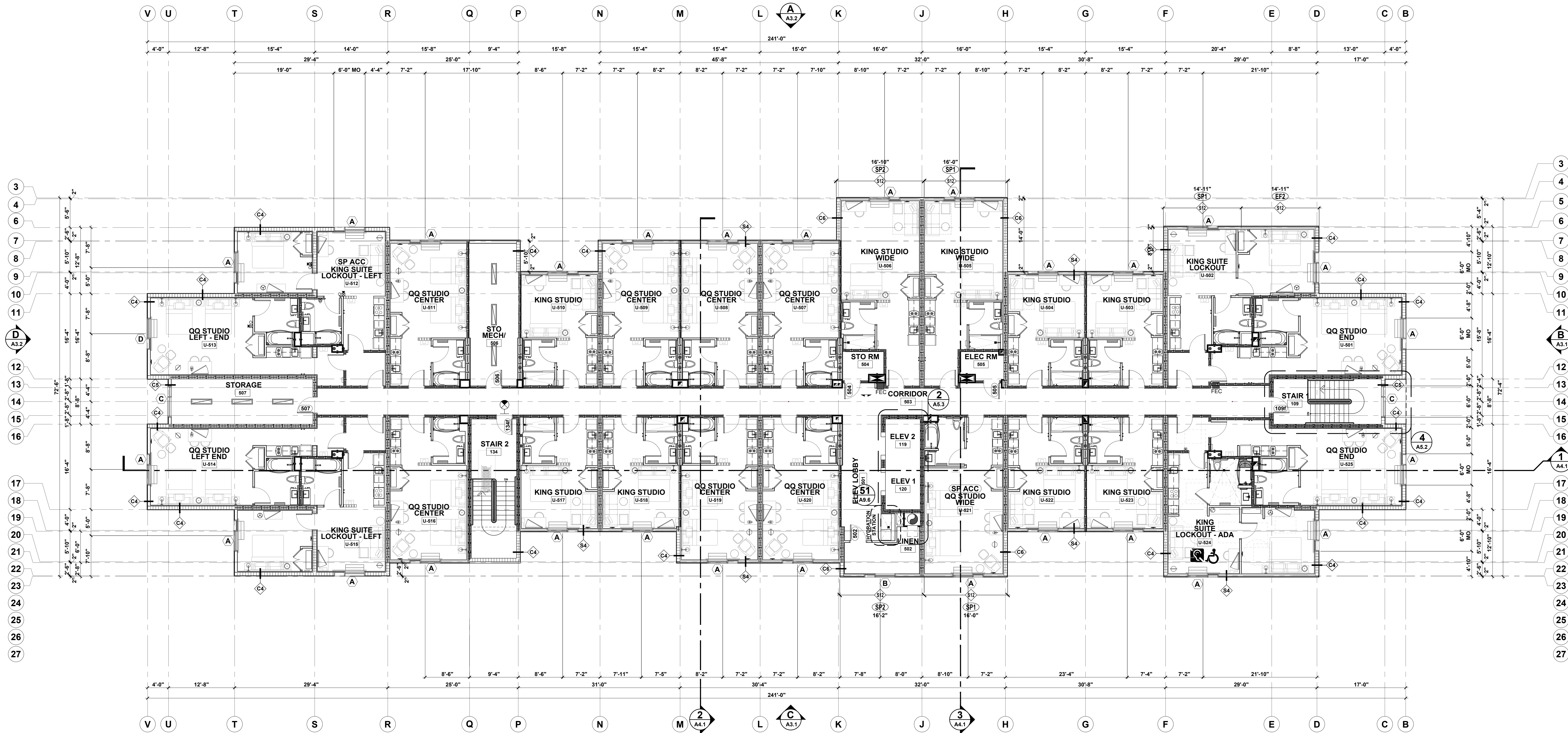
REVISION

JOB NO.

DATE

SHEET

A2.4



5TH FLOOR BUILDING PLAN
SCALE: 1/8" = 1'-0"

5TH FLOOR UNIT DATA					
UNIT TYPE	TOTAL	SHO/TUB	ADA UNIT/S	SPECIAL ACCESSIBILITY	HEARING IMPAIRED UNITS
QQ - STUDIO CENTER	7 UNITS	TUB			
QQ - STUDIO WIDE - SP ACC	1 UNIT	TUB		U-521	
QUEEN - STUDIO END	2 UNITS	TUB			
QUEEN - STUDIO END LEFT	2 UNITS	TUB			
KING - STUDIO	7 UNITS	SHO			
KING - STUDIO WIDE	2 UNITS	SHO			
KING - SUITE LOCKOUT	1 UNIT	TUB			
KING - SUITE LOCKOUT - LEFT	1 UNIT	TUB			
KING - SUITE LOCKOUT - LEFT - SP ACC	1 UNIT	TUB		U-512	
KING - SUITE LOCKOUT - ADA - TUB	1 UNIT	TUB	U-524		U-524
TOTAL UNITS: 25 UNITS			1 UNIT	2 UNITS	1 UNIT

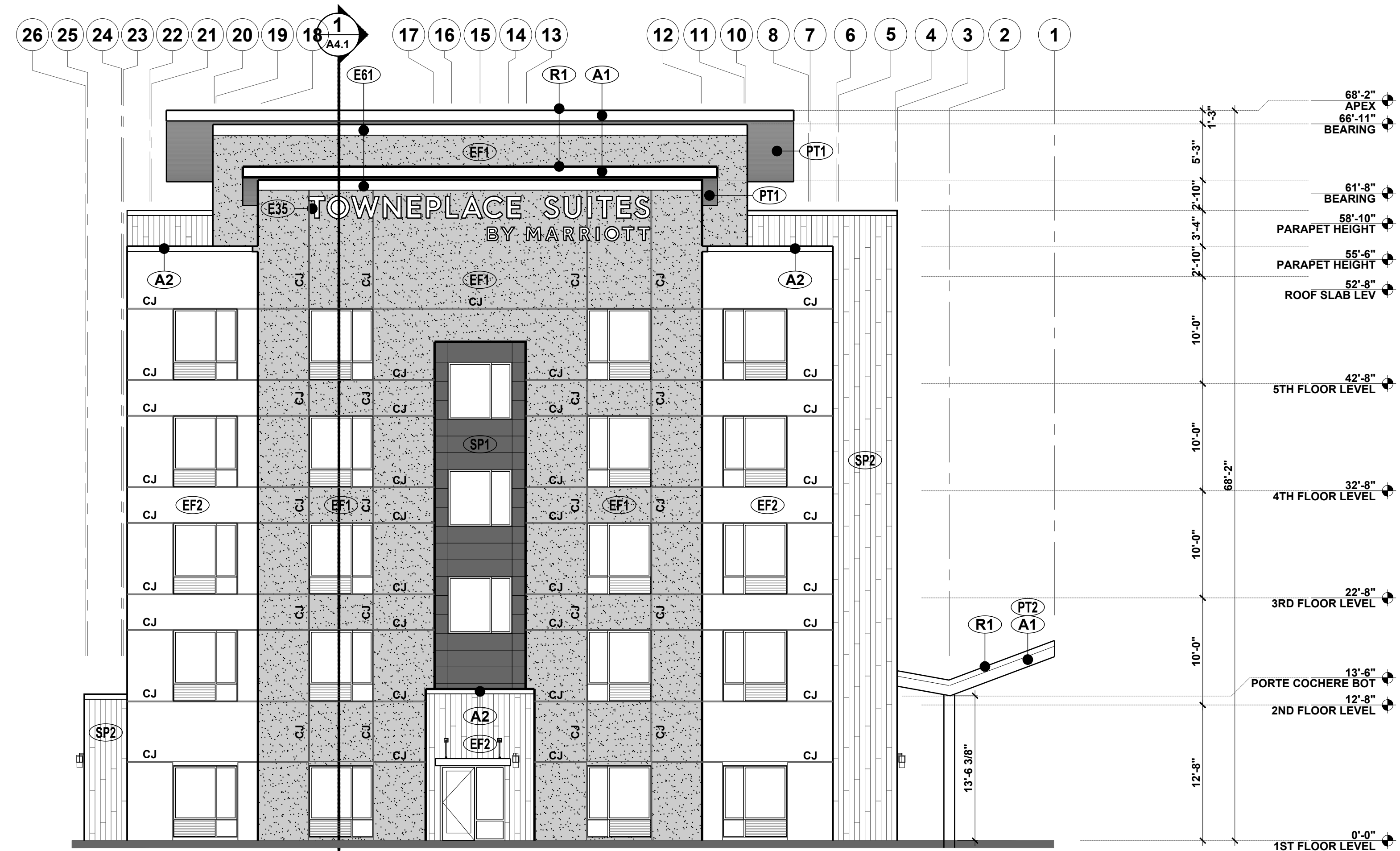
TOTAL AREA: 14,161 SQ. FT.



A WEST BUILDING ELEVATION

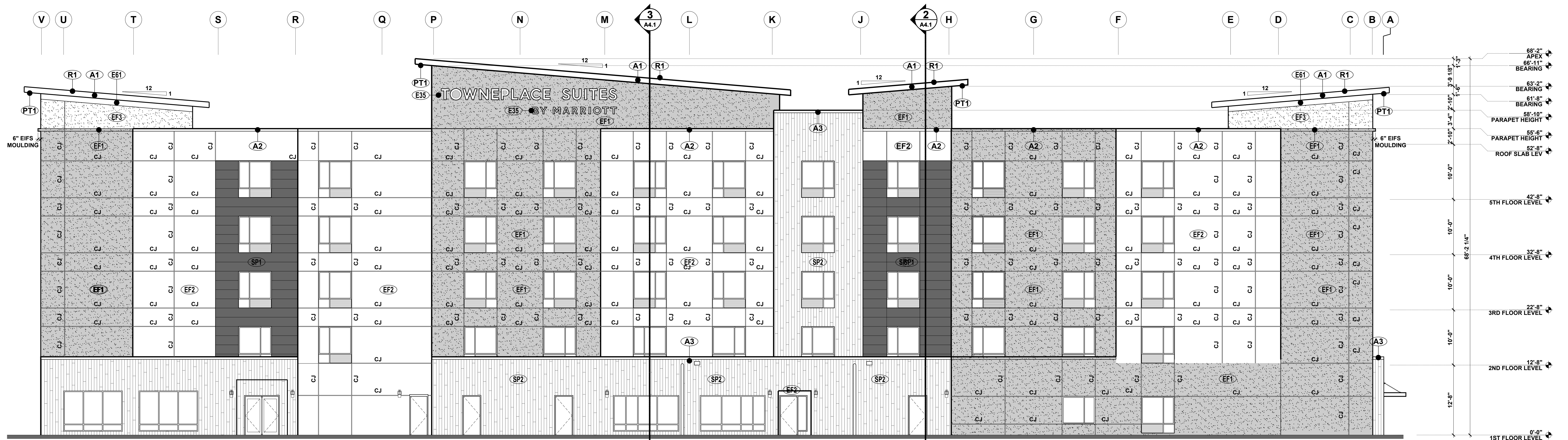
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE		
EF1	EIFS 1	
EF2	EIFS 2	
EF3	EIFS 3	
SP1	FIBER CEMENT SIDING PANEL	
SP2	FIBER CEMENT SIDING PANEL	
A1	ALUMINUM COPING	
A2	ALUMINUM COPING COLOR TO MATCH ADJACENT SURFACE	
A3	ALUMINUM COPING	
R1	SLOPED MEMBRANE ROOFING	
PT1	PAINTED SURFACE	
PT2	PAINTED SURFACE	
E35	EXTERIOR SIGNAGE PROVIDE ACCESS MOUNTING & BLOCKING REF TO ELECTRICAL PLANS	
E61	BOTTOM OF SOFFIT LINEAR LIGHT FIXTURE	
1. PTAC LOUVER INTEGRAL WITH WINDOW FRAME TO MATCH FINISH		
2. CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER.		
3. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.		



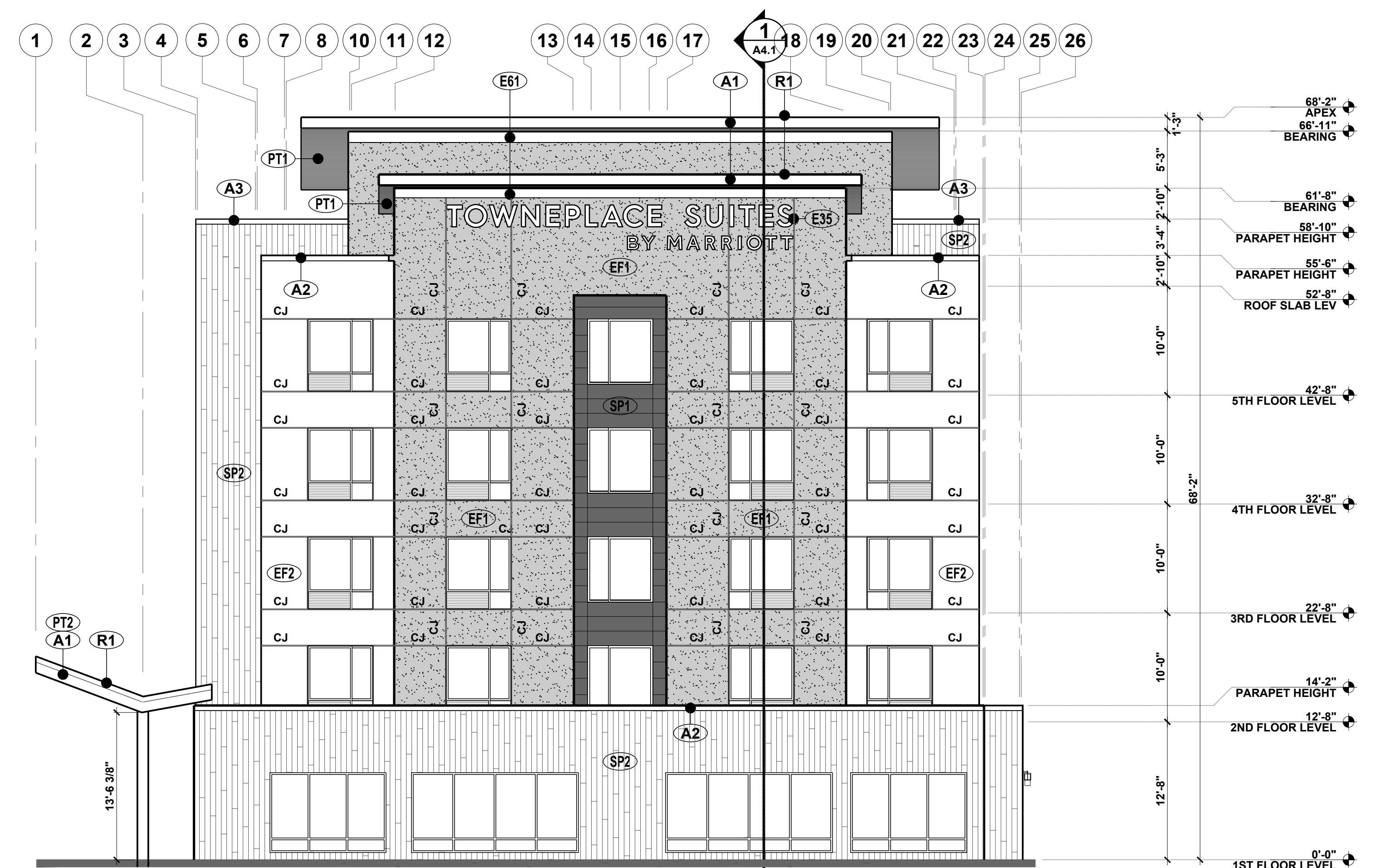
B NORTH BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

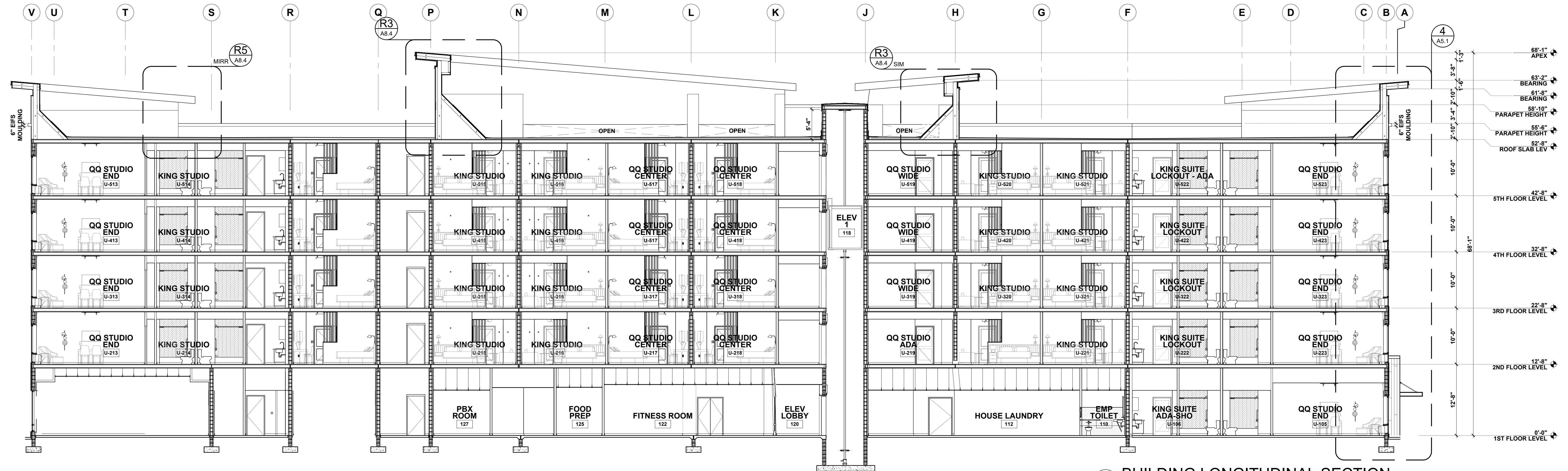


C EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

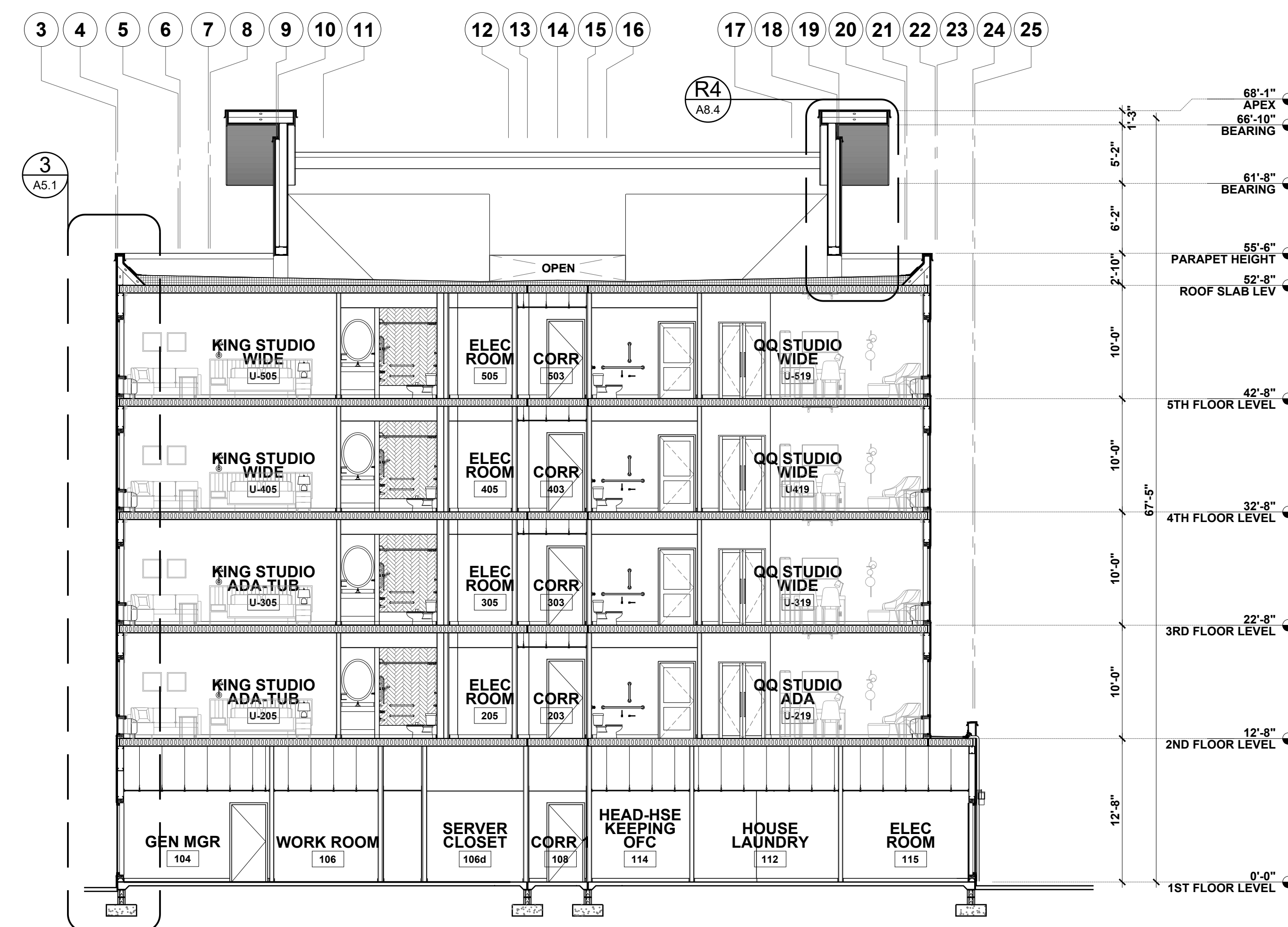
MATERIAL SCHEDULE		
	EF1	EIFS 1
	EF2	EIFS 2
	EF3	EIFS 3
	SP1	FIBER CEMENT SIDING PANEL
	SP2	FIBER CEMENT SIDING PANEL
	A1	ALUMINUM COPING
	A2	ALUMINUM COPING COLOR TO MATCH ADJACENT SURFACE
	A3	ALUMINUM COPING
	R1	SLOPED MEMBRANE ROOFING
	PT1	PAINTED SURFACE
	PT2	PAINTED SURFACE
	E35	EXTERIOR SIGNAGE PROVIDE ACCESS MOUNTING & BLOCKING REF TO ELECTRICAL PLANS
	E61	BOTTOM OF SOFFIT LINEAR LIGHT FIXTURE
1. PTAC LOUVER INTEGRAL WITH WINDOW FRAME TO MATCH FINISH 2. CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER. 3. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.		



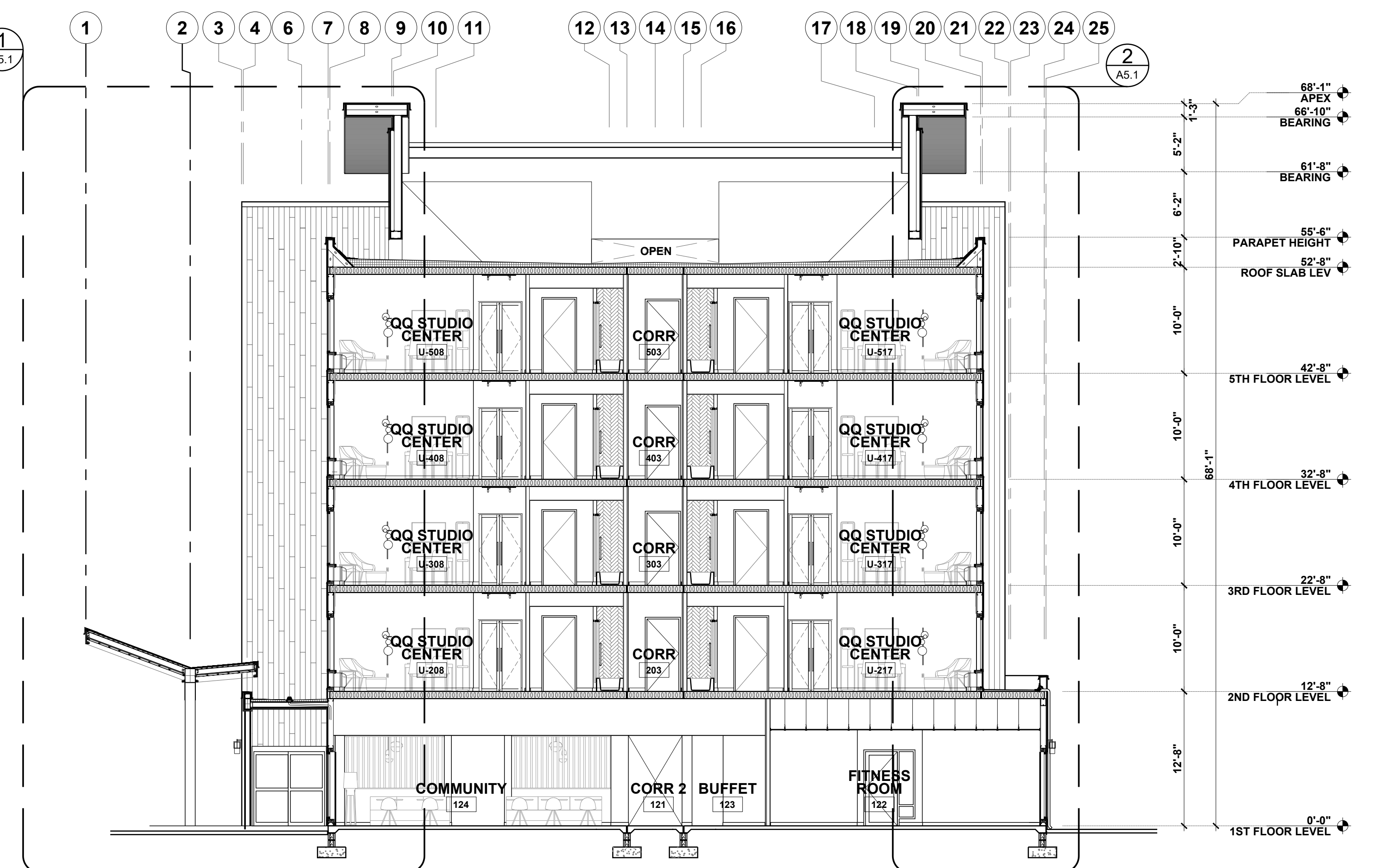
D SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING LONGITUDINAL SECTION
SCALE: 1/8" = 1'-0"



3 BUILDING CROSS SECTION
SCALE: 1/8" = 1'-0"



2 BUILDING CROSS SECTION
SCALE: 1/8" = 1'-0"



Civil Engineering | Land Planning
Surveying | Construction Services

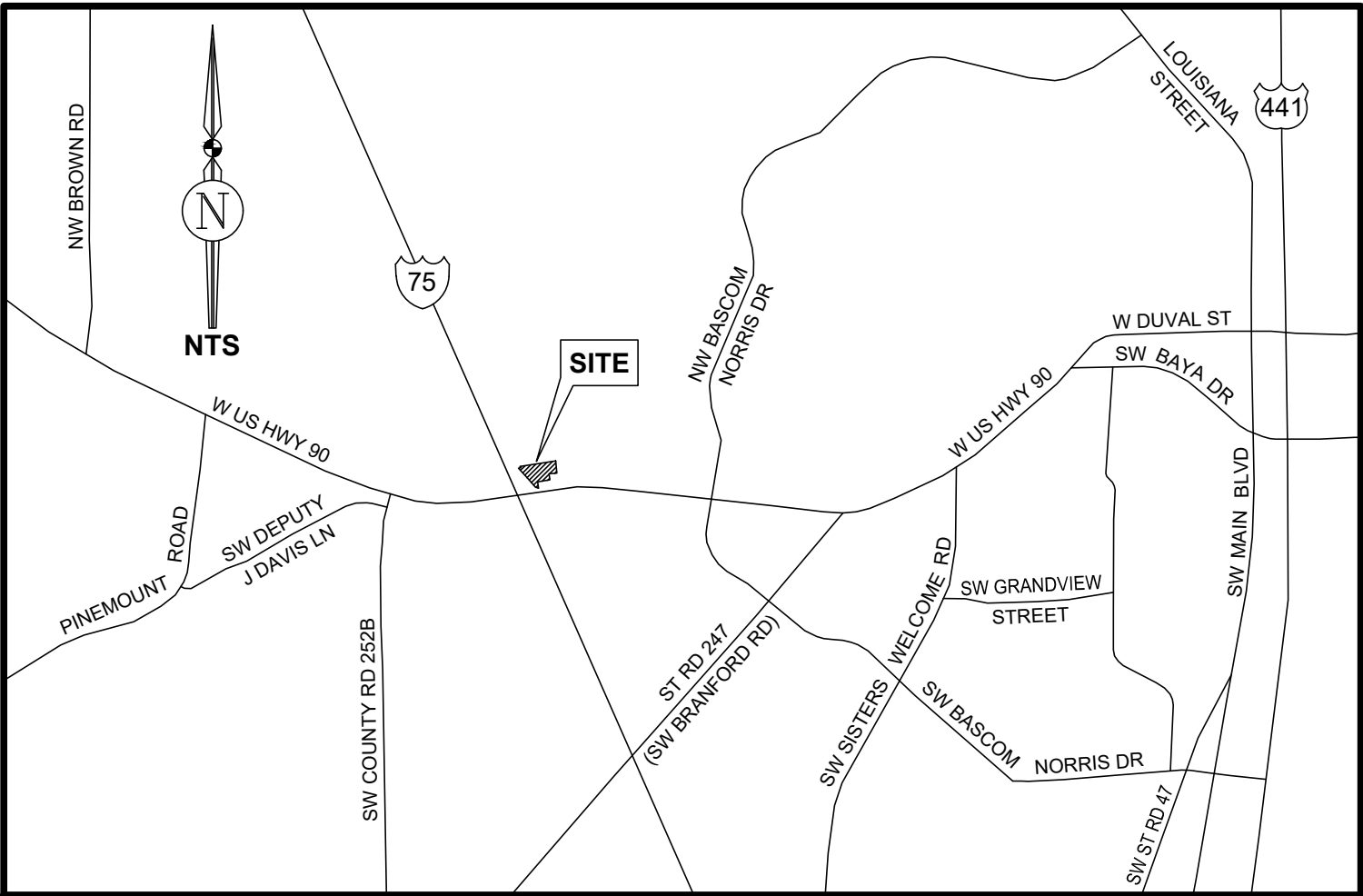
Gainesville | St. Augustine

3530 NW 43rd Street
Gainesville, FL 32606

Attachment 13 – Survey

BOUNDARY & TOPOGRAPHIC SURVEY
IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA

LOCATION MAP



LEGAL DESCRIPTION PER O.R.B. 1402, PG. 2682

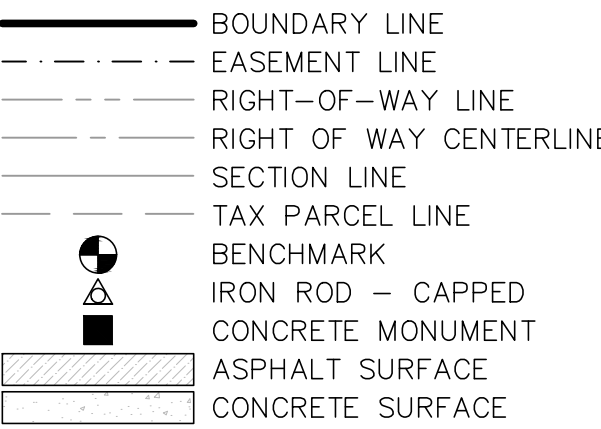
LOT 2, OF CORNER AT COMMERCE BLVD, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9, PAGES 137 AND 138, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS SET FORTH IN GRANT OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 195, PAGE 211, AS CORRECTED IN OFFICIAL RECORDS BOOK 230, PAGE 306, BOTH OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, OVER THAT CERTAIN PROPERTY SITUATED IN PART OF THE WEST 1/2 OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR POINT OF REFERENCE COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 35, THENCE RUN SOUTH 06°40'39" WEST ALONG THE EAST LINE OF SAID SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 153.76 FEET TO A POINT ON THE CENTERLINE OF U.S. HIGHWAY NO. 90, SAID POINT BEING IN A CURVE CONCAVED SOUTHEASTERLY HAVING A RADIUS OF 2864.79 FEET; THENCE RUN ALONG AND AROUND SAID CURVE AND SAID CENTERLINE, A CHORD BEARING AND DISTANCE OF SOUTH 82°16'30" WEST, 121.90 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE CONTINUE ALONG SAID CENTERLINE, SOUTH 81°03'21" WEST, A DISTANCE OF 252.99 FEET; THENCE RUN NORTH 08°56'39" WEST, A DISTANCE OF 79.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY NO. 90; THENCE RUN SOUTH 81°03'21" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 38.12 FEET TO A TRANSITION POINT; THENCE CONTINUE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING COURSES: NORTH 08°56'39" WEST, 10.00 FEET; SOUTH 81°03'21" WEST, 249.99 FEET TO THE TERMINUS OF SAID COURSES, SAID POINT OF TERMINUS ALSO BEING THE INTERSECTION OF SAID NORTHERLY RIGHT-OF-WAY LINE WITH THE RAMP RIGHT-OF-WAY APPROACH TO INTERSTATE NO. 75; THENCE RUN NORTH 74°33'46" WEST ALONG SAID RAMP RIGHT-OF-WAY LINE, A DISTANCE OF 55.10 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 74°33'46" WEST ALONG SAID RAMP RIGHT-OF-WAY LINE, A DISTANCE OF 54.90 FEET; THENCE RUN NORTH 08°56'39" WEST, A DISTANCE OF 129.59 FEET; THENCE RUN NORTH 81°03'21" EAST, A DISTANCE OF 50.00 FEET; THENCE RUN SOUTH 08°56'39" EAST, A DISTANCE OF 152.25 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH RIGHTS SET FORTH IN THAT CERTAIN DECLARATION OF EASEMENTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 1401, PAGE 2020 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SYMBOL LEGEND



ABBREVIATIONS

(M) = MEASURED
(P) = PLATTED
CMON = CONCRETE MONUMENT
ESMT = EASEMENT
ID = IDENTIFICATION
JBPRO = JBROWN PROFESSIONAL GROUP
LB = LICENSED BUSINESS
NAD83(2011) = NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT
NAVD88 = NORTH AMERICAN VERTICAL DATUM OF 1988
O.R.B. = OFFICIAL RECORDS BOOK
P.B. = PLAT BOOK
PG. = PAGE
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
R/W = RIGHT-OF-WAY

NE CORNER OF
W U.S. HWY 90 & I-75
LAKE CITY, FLORIDA

SURVEYOR'S NOTES

- BEARING BASIS IS GRID NORTH BASED ON THE NORTH AMERICAN DATUM ON 1983, 2011 ADJUSTMENT AND BASED ON THE U.S. NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION "LKCY", WITH A PUBLISHED POSITION IN U.S. SURVEY FEET OF:
NORTHING = 436,222.5199
EASTING = 2,575,870.5322
- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND BASED ON THE U.S. NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION "LKCY", WITH A PUBLISHED ELEVATION OF 207.80 FEET.
- STATE PLANE COORDINATES ARE REFERENCED TO THE NORTH AMERICAN DATUM ON 1983, 2011 ADJUSTMENT AND BASED ON THE U.S. NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION "LKCY", WITH A PUBLISHED POSITION IN U.S. SURVEY FEET OF:
NORTHING = 436,222.5199
EASTING = 2,575,870.5322
- THIS SURVEY IS BASED ON MEASUREMENTS CONDUCTED ON MARCH 31, APRIL 1 & APRIL 3, 2020.
- NO UNDERGROUND UTILITIES WERE LOCATED IN THE COURSE OF THIS SURVEY. UNDERGROUND UTILITY LINE LOCATIONS ARE APPROXIMATE.
- ADDITIONAL ENCUMBRANCES MAY AFFECT THE SUBJECT PARCEL THAT DO NOT APPEAR ON THIS MAP.
- EASEMENTS DEPICTED ON THIS SURVEY WERE PROVIDED BY THE CLIENT OR ARE RECORDED IN AN ASSOCIATED PLAT. NO EASEMENT RESEARCH WAS CONDUCTED DURING THE COURSE OF THIS SURVEY.

Prepared By:
JBrown
Professional Group Inc
CIVIL ENGINEERING • LAND SURVEYING • PLANNING
3530 NW 43rd Street • Gainesville, Florida 32606
PHONE: (352) 375-8999 • FAX: (352) 375-0833
E-MAIL: contact@jbprogroup.com

THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER SJ-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.
Florida License No. LS7210
Certificate of Authorization No. LB8031
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER OR VALID DIGITAL SIGNATURE IN ELECTRONIC FORM
TROY V WRIGHT, PSM
Professional Surveyor and Mapper

BOUNDARY & TOPOGRAPHIC SURVEY
CERTIFIED TO:
1. NICK PATEL
Scale: 1"=50'
Proj. No. 370-30-01
Drawn: T.Hensley
Checked: T.Wright
Dwg. Name: 370-20-01-ST1
Dwg. Date: 4/8/2020
Field Book: N/A
Pages: N/A
Sheet: 1 of 5

BOUNDARY & TOPOGRAPHIC SURVEY
IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA

ABBREVIATIONS

B.O.B. = BOTTOM OF BOX
ELEV = ELEVATION
INV = INVERT
ID = IDENTIFICATION
JBPRO = JBROWN PROFESSIONAL GROUP
LB = LICENSED BUSINESS
RCP = REINFORCED CONCRETE PIPE

SYMBOL LEGEND

BOUNDARY LINE
EASEMENT LINE
RIGHT-OF-WAY LINE
TAX PARCEL LINE
EST STORM SEWER PIPE
OHW OVERHEAD WIRE
FENCE LINE
IRON ROD - CAPPED
POWER POLE
LIGHT POLE
STORM SEWER MANHOLE
SPOT ELEVATION - SOFT SURFACE
SPOT ELEVATION - HARD SURFACE
CONTOUR LINES
ASPHALT SURFACE
CONCRETE SURFACE

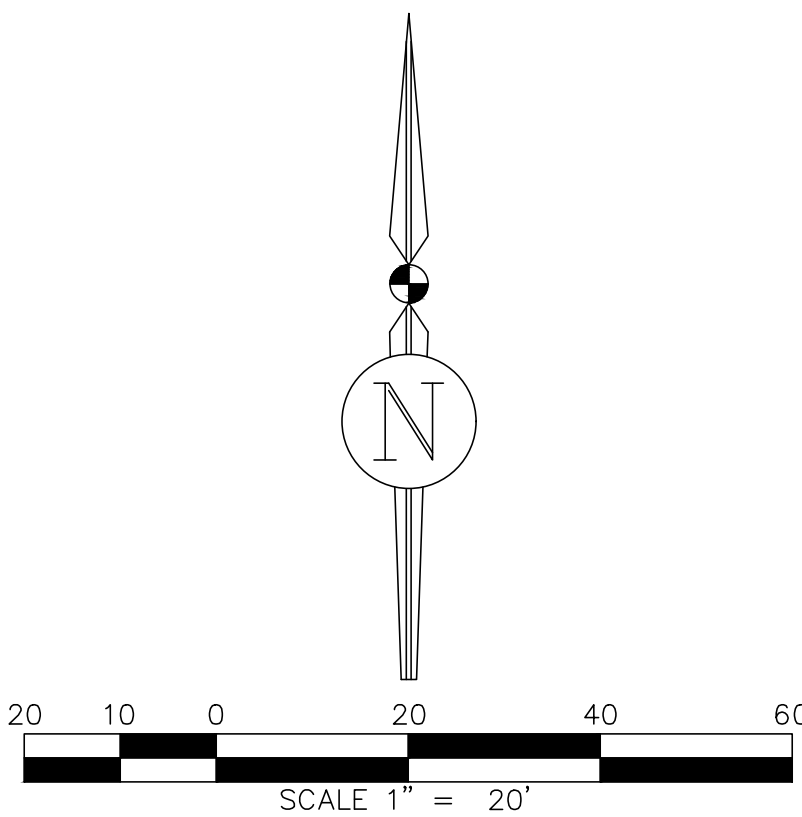
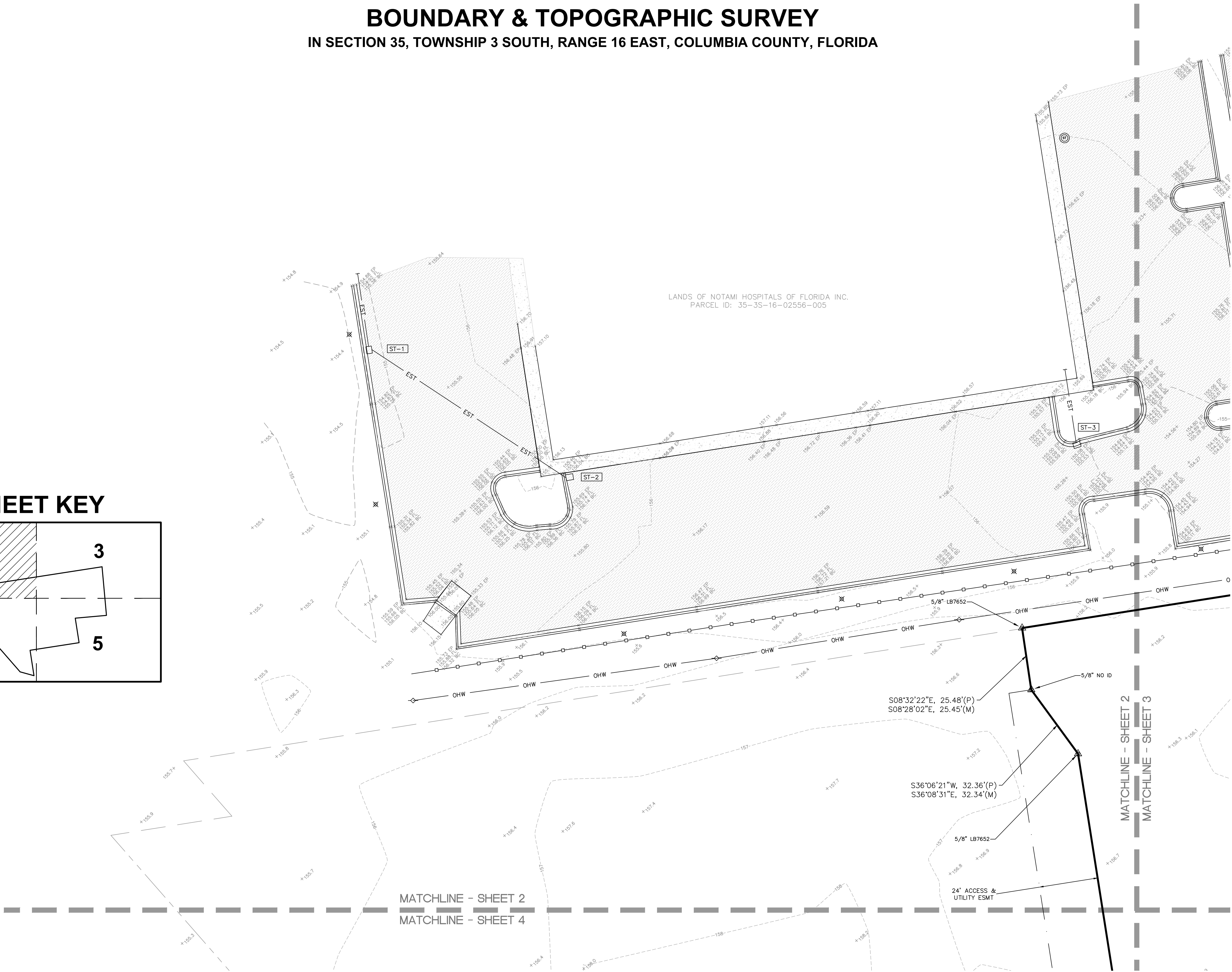
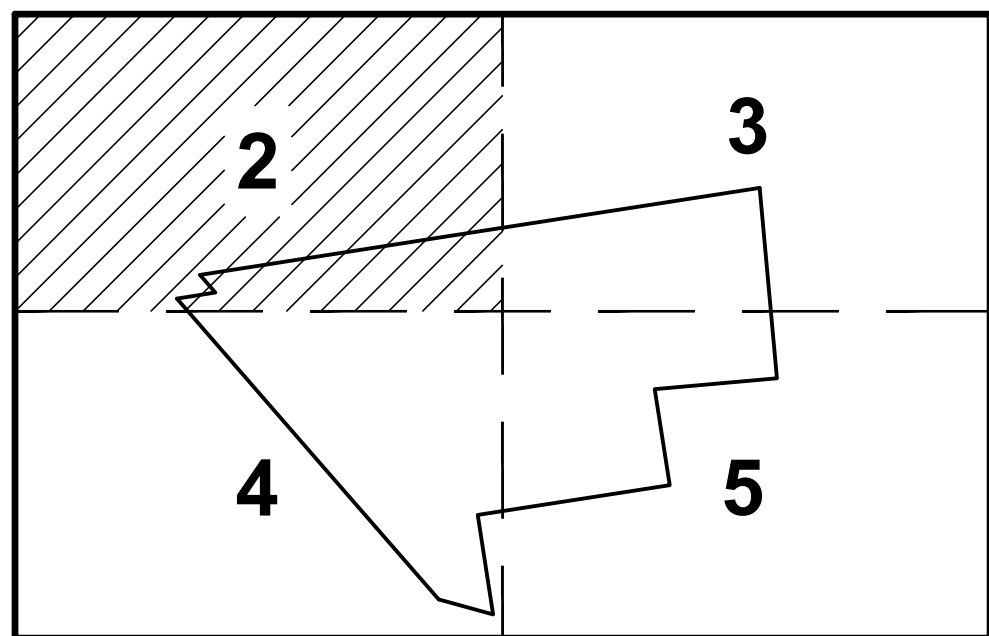
**STORMWATER
STRUCTURE SCHEDULE**

ST-1
CATCH BASIN
TOP ELEV = 154.45'
N INV ELEV = 151.80" (12" RCP)
SE INV ELEV = 151.75" (12" RCP)
B.O.B. ELEV = 151.75'

ST-2
CATCH BASIN
TOP ELEV = 155.38'
NW INV ELEV = 152.68" (12" RCP)
B.O.B. ELEV = 152.68'

ST-3
CATCH BASIN
TOP ELEV = 154.89'
N INV ELEV = 152.14" (12" RCP)
B.O.B. ELEV = 152.14'

SHEET KEY



NE CORNER OF
W.U.S. HWY 90 & I-75
LAKE CITY, FLORIDA

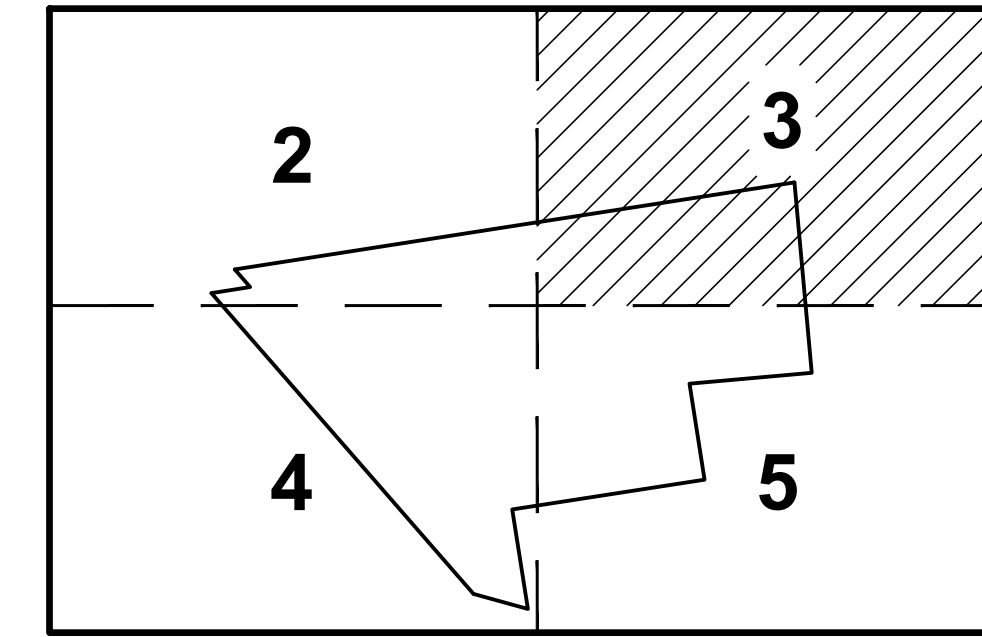
BOUNDARY & TOPOGRAPHIC SURVEY

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Professional Group Inc
CIVIL ENGINEERING • LAND SURVEYING • PLANNING
3630 NW 43rd Street • Gainesville, Florida 32606
PHONE: (352) 375-8999 • FAX: (352) 375-0833
E-MAIL: contact@jbrgroup.com

Scale: 1"=20'
Proj. No.: 370-20-01
Drawn: T.Hensley
Checked: T. Wright
Dwg. Name: 370-20-01-ST1
Dwg. Date: 4/8/2020
Field Book: N/A
Pages: 2 of 5

BOUNDARY & TOPOGRAPHIC SURVEY
IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA

SHEET KEY



ABBREVIATIONS

B.O.B. = BOTTOM OF BOX
CMON = CONCRETE MONUMENT
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ESMT = EASEMENT
INV = INVERT
ID = IDENTIFICATION
JBPRO = JBROWN PROFESSIONAL GROUP
LB = LICENSED BUSINESS
PVC = POLYVINYL CHLORIDE PIPE
RCP = REINFORCED CONCRETE PIPE

SYMBOL LEGEND

BOUNDARY LINE
EASEMENT LINE
TAX PARCEL LINE
EST STORM SEWER PIPE
EWW WASTEWATER PIPE
OHW OVERHEAD WIRE
FENCE LINE
BENCHMARK
IRON ROD - CAPPED
POWER POLE
GUY WIRE
LIGHT POLE
WATER VALVE
WASTEWATER MANHOLE
STORM SEWER MANHOLE
WELL HEAD
BOLLARD
SPOT ELEVATION - SOFT SURFACE
SPOT ELEVATION - HARD SURFACE
CONTOUR LINES
ASPHALT SURFACE
CONCRETE SURFACE

**STORMWATER
STRUCTURE SCHEDULE**

ST-3
CATCH BASIN
TOP ELEV = 154.89'
N INV ELEV = 152.14' (12" RCP)
B.O.B. ELEV = 152.14'

ST-4
CATCH BASIN
TOP ELEV = 153.63'
E INV ELEV = 150.23' (15" RCP)
B.O.B. ELEV = 150.03'

ST-5
CATCH BASIN
TOP ELEV = 153.89'
E INV ELEV = 149.74' (15" RCP)
W INV ELEV = 149.76' (15" RCP)
B.O.B. ELEV = 149.49'

ST-6
CATCH BASIN
TOP ELEV = 153.74'
N INV ELEV = 148.99' (18" RCP)
W INV ELEV = 149.34' (15" RCP)
B.O.B. ELEV = 148.74'

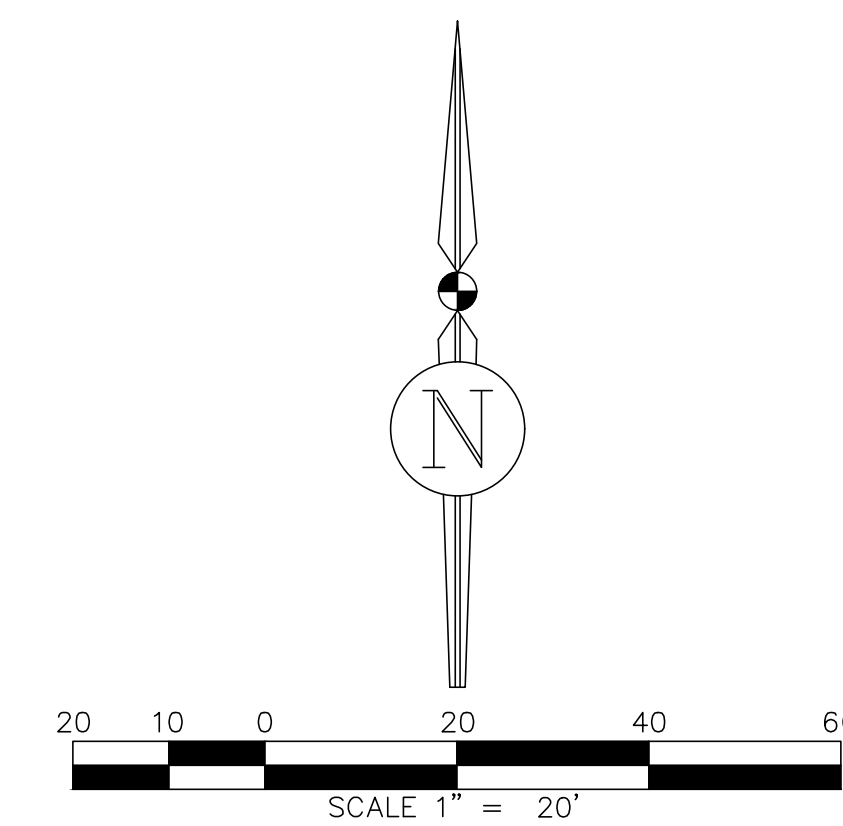
ST-7
STORM SEWER MANHOLE
TOP ELEV = 155.78'
N INV ELEV = 151.28' (15" RCP)
E INV ELEV = 151.48' (15" RCP)
B.O.B. ELEV = 151.28'

ST-8
STORM SEWER MANHOLE
TOP ELEV = 155.75'
W INV ELEV = 151.65' (15" RCP)
B.O.B. ELEV = 151.65'

**WASTEWATER
STRUCTURE SCHEDULE**

WWMH-2
WASTEWATER MANHOLE
TOP ELEV = 156.23'
N INV ELEV = 149.23' (8" PVC)
S INV ELEV = 149.18' (8" PVC)
W INV ELEV = 149.33' (8" PVC)

WWMH-3
WASTEWATER MANHOLE
TOP ELEV = 154.09'
NW INV ELEV = 149.84' (8" PVC)
S INV ELEV = 149.79' (8" PVC)



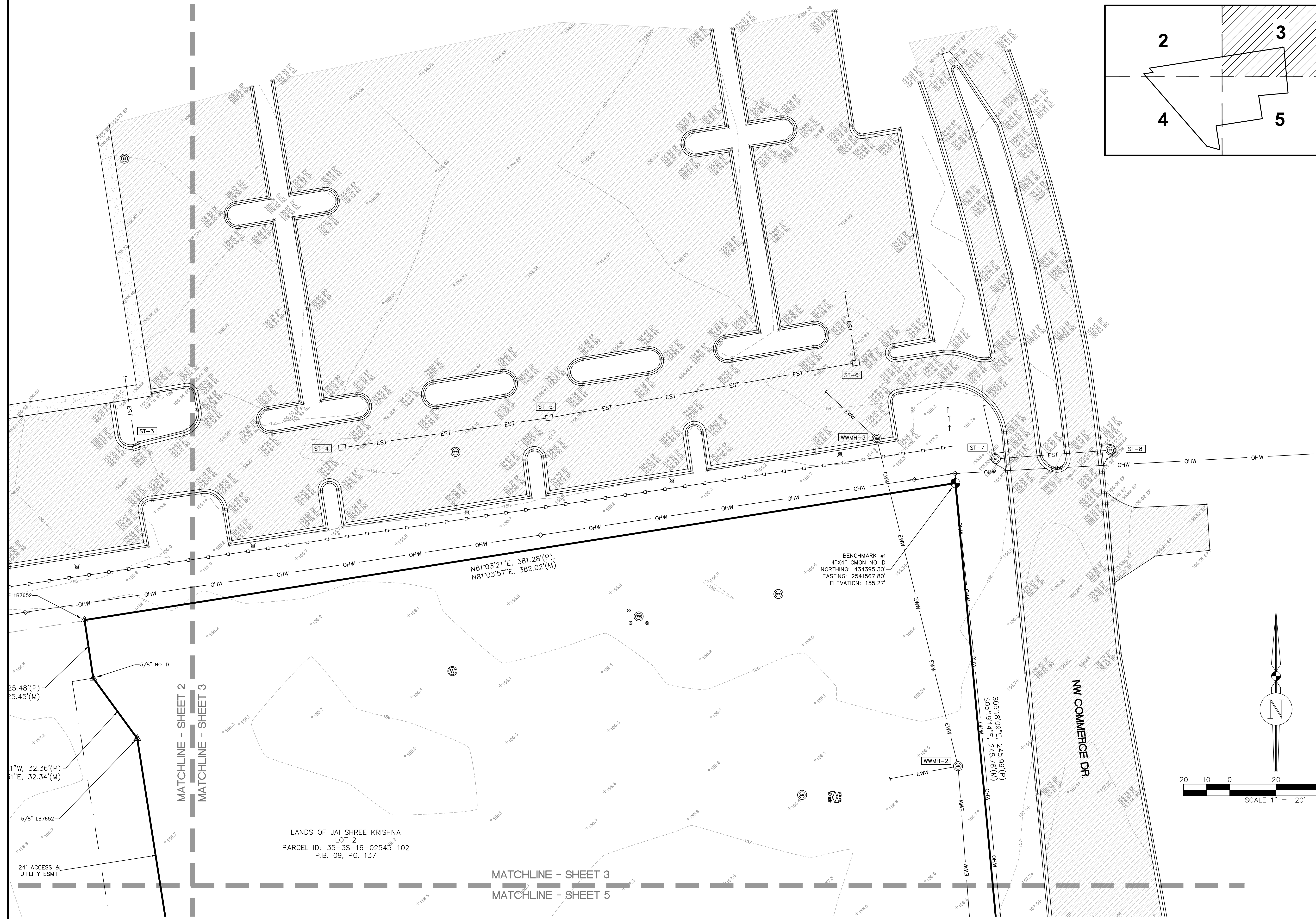
NE CORNER OF
U.S. HWY 90 & I-75
LAKE CITY, FLORIDA

BOUNDARY & TOPOGRAPHIC SURVEY

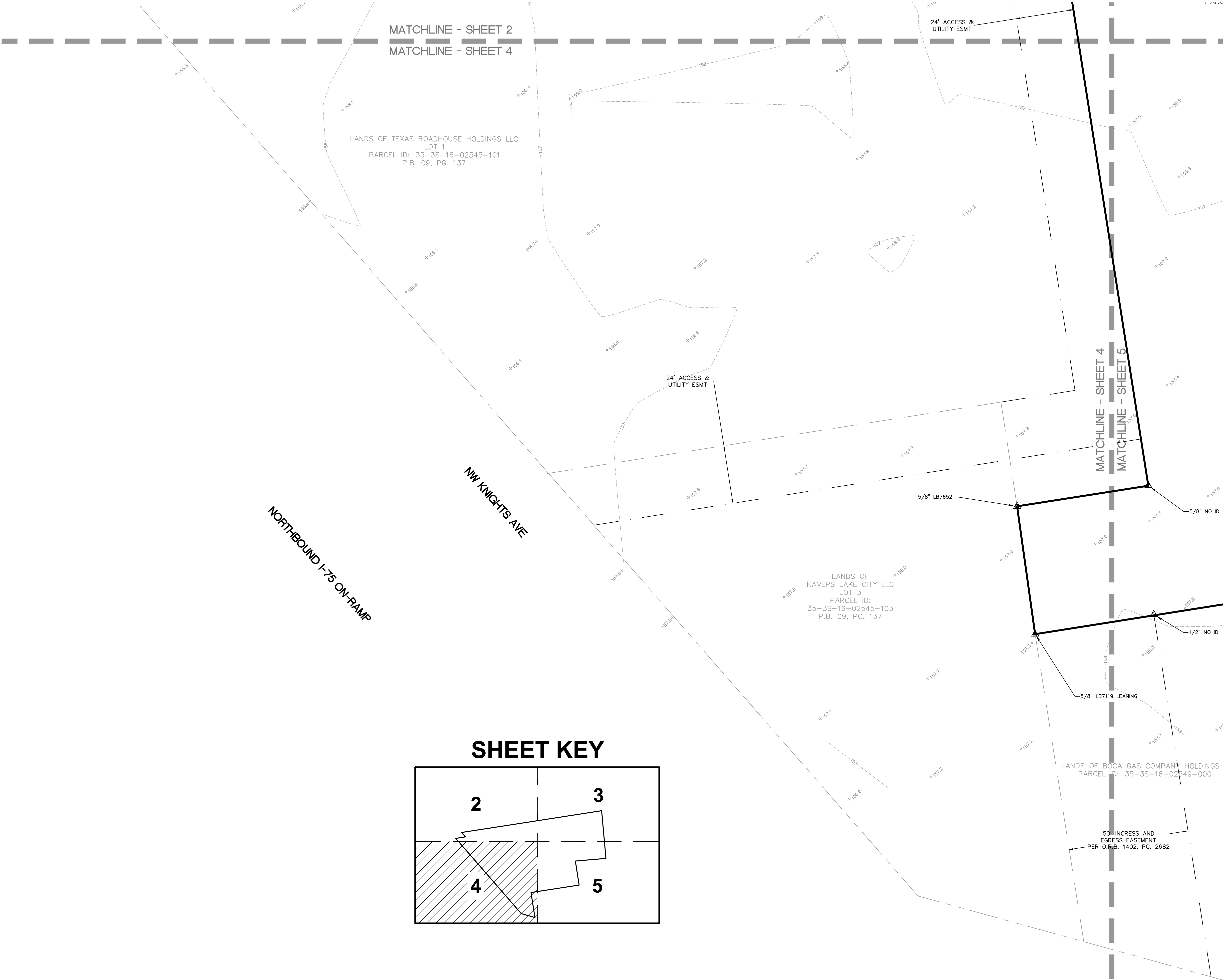
JBrown
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3630 NW 43rd Street • Gainesville, Florida 32606
PHONE: (352) 375-9999 • FAX: (352) 375-0833
E-MAIL: contact@jbrogroupp.com

Scale:	1"=20'
Proj. No.	370-20-01
Drawn:	T.Hensley
Checked:	T. Wright
Dwg. Name:	370-20-01-ST1
Dwg. Date:	4/8/2020
Field Book:	N/A
Pages:	N/A
Sheet:	3 of 5



BOUNDARY & TOPOGRAPHIC SURVEY
IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA



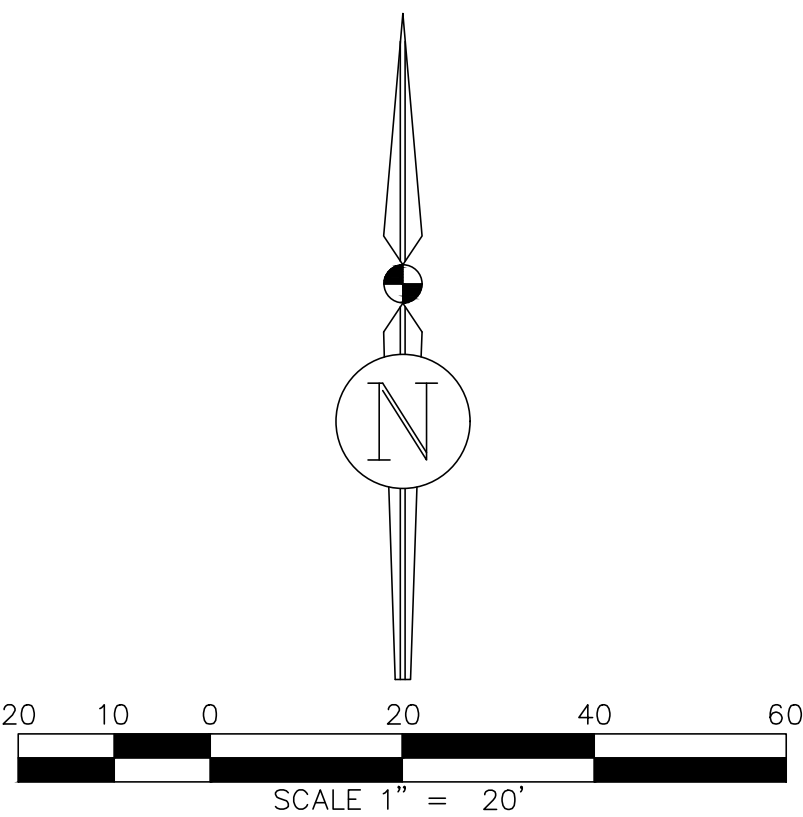
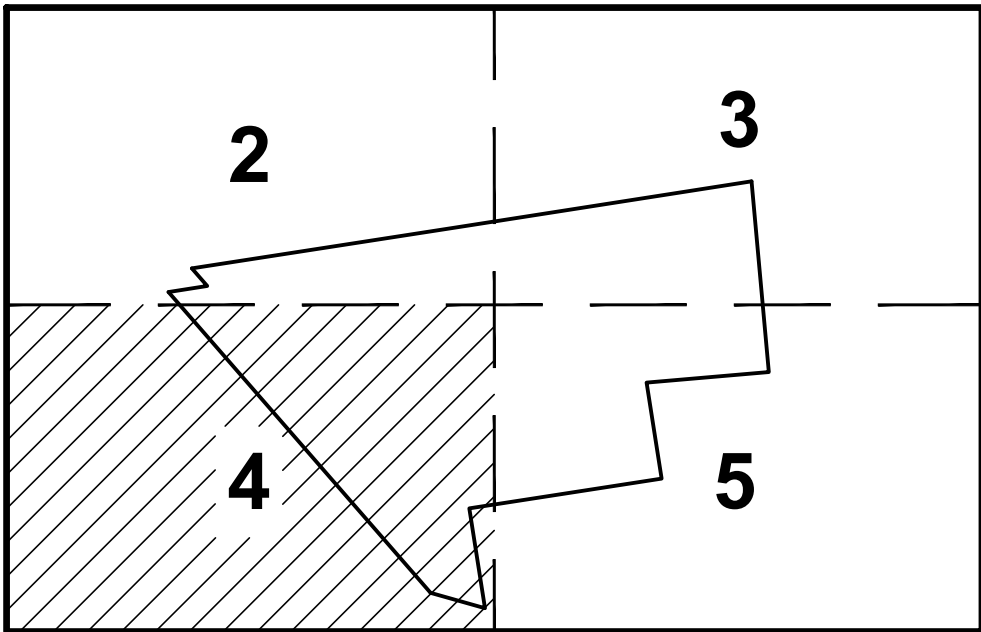
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PVC = POLYVINYL CHLORIDE PIPE
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SYMBOL LEGEND

- BOUNDARY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- TAX PARCEL LINE
- IRON ROD - CAPPED
- SPOT ELEVATION - SOFT SURFACE
- SPOT ELEVATION - HARD SURFACE
- CONTOUR LINES
- ASPHALT SURFACE
- CONCRETE SURFACE

SHEET KEY



**NE CORNER OF
W.U.S. HWY 90 & I-75
LAKE CITY, FLORIDA**

BOUNDARY & TOPOGRAPHIC SURVEY

JBrown
Professional Group Inc
CIVIL ENGINEERING • LAND SURVEYING • PLANNING

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Scale:	1"=20'
Proj. No.	370-20-01
Drawn:	T.Hensley
Checked:	T.Wright
Dwg. Name:	370-20-01-ST1
Dwg. Date:	4/8/2020
Field Book:	N/A
Pages:	N/A
Sheet:	4 of 5

BOUNDARY & TOPOGRAPHIC SURVEY
IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA

