

DATE 06/15/2010

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000028659

APPLICANT JEFF OSBURN PHONE 752-0494
ADDRESS 743 NW MOORE FARMS RD LAKE CITY FL 32055
OWNER JEFF OSBURN PHONE 752-0494
ADDRESS 743 NW MOORE FARMS RD LAKE CITY FL 32055
CONTRACTOR OWNER BUILDER PHONE _____
LOCATION OF PROPERTY 41 N, R FALLING CREEK RD, R MOORE FARMS RD, THEN
1ST HOUSE ON LEFT AFTER THE 90 DEGREE CURVE
TYPE DEVELOPMENT STORAGE BUILDING ESTIMATED COST OF CONSTRUCTION 35000.00
HEATED FLOOR AREA _____ TOTAL AREA 2760.00 HEIGHT 20.00 STORIES 1
FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 2/12 FLOOR SLAB
LAND USE & ZONING RR MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 10.00 SIDE 15.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 12-3S-16-02095-005 SUBDIVISION _____
LOT _____ BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 5.00

Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number _____ Applicant/Owner/Contractor _____
EXISTING _____ X10-176 _____ BK _____ HD _____ N _____
Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: NOC ON FILE

STORAGE BUILDING

Check # or Cash 2070

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
date/app. by _____ date/app. by _____ date/app. by _____
Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
date/app. by _____ date/app. by _____ date/app. by _____
Framing _____ Insulation _____
date/app. by _____ date/app. by _____
Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
date/app. by _____ date/app. by _____
Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
date/app. by _____ date/app. by _____ date/app. by _____
Permanent power _____ C.O. Final _____ Culvert _____
date/app. by _____ date/app. by _____ date/app. by _____
Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
date/app. by _____ date/app. by _____ date/app. by _____
Reconnection _____ RV _____ Re-roof _____
date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 175.00 CERTIFICATION FEE \$ 13.80 SURCHARGE FEE \$ 13.80
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
FLOOD DEVELOPMENT FEE \$ _____ FLOOD ZONE FEE \$ _____ CULVERT FEE \$ _____ TOTAL FEE 252.60

INSPECTORS OFFICE L. J. Jackson CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 1006-11 Date Received 6/4 By JW Permit # 28659
Zoning Official BHK Date 6.06.10 Flood Zone X Land Use RES. DEN Zoning RR
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner Dicks Date 6-10-10
Comments _____
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter _____
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
School _____ = TOTAL N/A Accessory Structure

Septic Permit No. X10-176 In File Box Fax _____
Name Authorized Person Signing Permit Jeff A. Osburn Phone 752-0494
Address 743 NW Moore Farms Rd Lake City, FL 32055
Owners Name Jeff A. Osburn Phone 752-0494
911 Address 743 NW Moore Farms Rd Lake City, FL 32055
Contractors Name Jeff A. Osburn Phone 752-0494
Address 743 NW Moore Farms Rd Lake City, FL 32055
Fee Simple Owner Name & Address _____
Bonding Co. Name & Address _____
Architect/Engineer Name & Address WM Foreman, F.E. Mr. Michael Murphy
Mortgage Lenders Name & Address CASH

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number R02095-005 (12-35-16) Estimated Cost of Construction \$35,000

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions US 41 North 1/2 mile North of I-10, Right on Falling Creek Road, go 1/2 mile turn Right on Moore Farms Road, go 1/2 mile and road makes a 90° left turn, go 1/2 mile along I-10 Frontage Road 1st house on left.
Number of Existing Dwellings on Property 1 single family house

Construction of Outbuilding for Storage Total Acreage 5 Lot Size > 1/4

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 20'

Actual Distance of Structure from Property Lines - Front 59' West Side 42' Side 51' Rear 69'

Number of Stories 1 Heated Floor Area _____ Total Floor Area 2760 sqft Roof Pitch 2-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

CHANGE in ESTIMATED COST & RADON (JW/LH)
JW called & left for Jeff 6.10.10.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

Jeff A. Osburn
Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

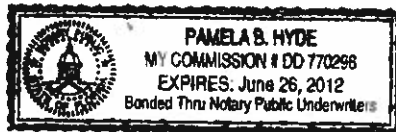
Jeff A. Osburn
Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 27 day of May 2010.
Personally known ✓ or Produced Identification _____

Pamela B. Hyde
State of Florida Notary Signature (For the Contractor)

SEAL:



PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	Dominion	3070M Walkdoor	FL10294
2. Sliding			
3. Sectional			
4. Roll up	Janus	12X14 Rollup door	FL12765.3
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding	Steelmax	26 GA. PBR Panel	FL 5335.1
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf	Steelmax	26 GA. PBR Panel	FL 5346.1
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Jeff A. Osburn
Contractor or Contractor's Authorized Agent Signature

Jeff A. Osburn 5/31/10
Print Name Date

Permit # (FOR STAFF USE ONLY)



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Inst: 201012008545 Date: 5/27/2010 Time: 2:41 PM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1195 P: 598

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number RD2095-005

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description):

a) Street (job) Address: 743 NW Moore Farms Rd Lake City, FL 32055

2. General description of improvements: Erect Outbuilding

3. Owner Information

a) Name and address: Jeff A. Osburn 743 NW Moore Farms Rd Lake City, FL 32055

b) Name and address of fee simple titleholder (if other than owner)

c) Interest in property

4. Contractor Information

a) Name and address: Jeff A. Osburn 743 NW Moore Farms Rd Lake City, FL 32055

b) Telephone No.: 386-758-0494 Fax No. (Opt.)

5. Surety Information

a) Name and address:

b) Amount of Bond:

c) Telephone No.: Fax No. (Opt.)

6. Lender

a) Name and address:

b) Phone No.

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address:

b) Telephone No.: Fax No. (Opt.)

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a) Name and address:

b) Telephone No.: Fax No. (Opt.)

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Jeff A. Osburn
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Print Name Jeff A. Osburn

The foregoing instrument was acknowledged before me, a Florida Notary, this 26 day of May, 2010, by:
Jeff A Osburn as owner (type of authority, e.g. officer, trustee, attorney
in fact) for _____ (name of _____ executed).

Personality Known _____ OR Produced Identification _____ type

Notary Signature: F. VonCille Dow Notary Stamp or Seal:



--AND--

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Jeff A. Osburn
Signature of Natural Person Signing (in line #10 above.)

Columbia County Property Appraiser

DB Last Updated: 5/6/2010

Parcel: 12-3S-16-02095-005

<< Next Lower Parcel Next Higher Parcel >>

Owner & Property Info

Owner's Name

OSBURN JEFF A & TRACY J

Mailing Address

743 NW MOORE FARMS RD
LAKE CITY, FL 32055

Site Address

743 NW MOORE FARMS RD

Use Desc. (code)

SINGLE FAM (000100)

Tax District

3 (County)

Neighborhood

12316

Land Area

5.030 ACRES

Market Area

06

Description

NOTE. This description is not to be used as the Legal Description for this parcel in any legal transaction.

COMM NE COR OF NW1/4 OF NE1/4, RUN W 763.65 FT, S 1137.83 FT TO POB, CONT S 568.91 FT TO N R/W OF C/R, THENCE E ALONG R/W 385.49 FT, N 568.91 FT, N 85 DG W 385.49 FT TO POB, WD 1013-1761 & ORB 1015-1379

2009 Certified Values

Mkt Land Value	cnt: (0)	\$37,157.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$143,123.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$180,280.00
Just Value		\$180,280.00
Class Value		\$0.00
Assessed Value		\$180,280.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value	Cnty: \$130,280 Other: \$130,280 Schl: \$155,280	

2010 Working Values

NOTE:
2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
4/27/2004	1013/1761	WD	V	U	06	\$100.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2005	COMMON BRK (19)	2021	3248	\$138,695.00

Note: All S.F. calculations are based on exterior building dimensions.

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	5.03 AC	1.00/1.00/1.00/1.00	\$6,648.48	\$33,441.00

Tax Collector

Tax Estimator

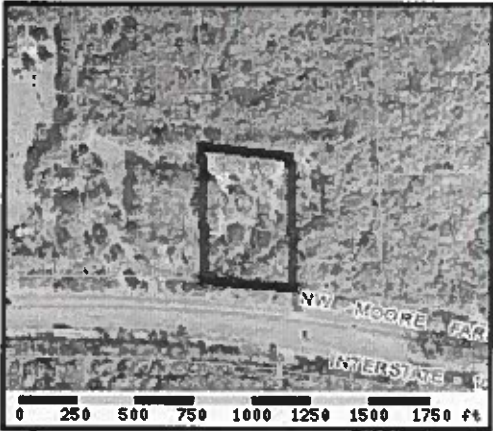
Property Card

Parcel List Generator

Interactive GIS Map

Print

Search Result: 1 of 1



http://g2.columbia.floridapa.com/GIS/D_SearchResults.asp

6/4/2010

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1006-11

CONTRACTOR

Jeff A. Osburn

PHONE

752-0494

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>Jeff Osburn</u>	Signature <u>Jeff Osburn</u>
	License #:	Phone #: <u>752-0494</u>
MECHANICAL/	Print Name <u>N/A</u>	Signature _____
A/C	License #:	Phone #: _____
PLUMBING/	Print Name <u>N/A</u>	Signature _____
GAS	License #:	Phone #: _____
ROOFING	Print Name <u>Jeff Osburn</u>	Signature <u>Jeff Osburn</u>
	License #:	Phone #: <u>752-0494</u>
SHEET METAL	Print Name <u>Jeff Osburn</u>	Signature <u>Jeff Osburn</u>
	License #:	Phone #: <u>752-0494</u>
FIRE SYSTEM/	Print Name <u>N/A</u>	Signature _____
SPRINKLER	License #:	Phone #: _____
SOLAR	Print Name <u>N/A</u>	Signature _____
	License #:	Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON		<u>N/A</u>	
CONCRETE FINISHER		<u>Jeff Osburn</u>	<u>Jeff Osburn</u>
FRAMING		<u>Jeff Osburn</u>	<u>Jeff Osburn</u>
INSULATION		<u>Jeff Osburn</u>	<u>Jeff Osburn</u>
STUCCO		<u>N/A</u>	
DRYWALL		<u>N/A</u>	
PLASTER		<u>N/A</u>	
CABINET INSTALLER		<u>N/A</u>	
PAINTING		<u>N/A</u>	
ACOUSTICAL CEILING		<u>N/A</u>	
GLASS		<u>N/A</u>	
CERAMIC TILE		<u>N/A</u>	
FLOOR COVERING		<u>N/A</u>	
ALUM/VINYL SIDING		<u>N/A</u>	
GARAGE DOOR		<u>Jeff Osburn</u>	<u>Jeff Osburn</u>
METAL BLDG ERECTOR		<u>Jeff Osburn</u>	<u>Jeff Osburn</u>

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Forms: Subcontractor form: 6/09

Return to:

Frank M. Gafford
224 East Duval St.
Lake City, FL 32055

This Instrument Prepared by:

FRANK M. GAFFORD
ATTORNEY AT LAW
224 EAST DUVAL STREET
LAKE CITY, FLORIDA 32055

Property Appraisers Parcel
Identification (Folio)
Number(s):

Space Above This Line for
Processing Data

Inst: 2004009528 Date: 04/27/2004 Time: 11:25

Doc Stamp-Deed : 0.70

ML DC, P. Dewitt Cason, Columbia County B: 1013 P: 1761

Space Above This Line for
Recording

WARRANTY DEED

THIS INDENTURE, made this 27 day of April, 2004, Between JULIA G. OSBURN, of 418 NW Maxmore Drive, Lake City, of the County of Columbia, State of Florida, Grantor, and JEFF A. OSBURN and TRACY J. OSBURN, his wife whose post office address is 466 NW Maxmore Drive, Lake City, of the County of Columbia, State of Florida, Grantees,

WITNESSETH:

That said Grantors, for and in consideration of the sum of TEN DOLLARS (\$10.00), and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs and assigns for ever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

A tract of land in Section 12, Township 3 South, Range 16 East, Columbia County, Florida more particularly described as follows:

Commence at the NE corner of the NW 1/4 of NE 1/4 of said

Section 12, run South 88°24'27" West along the North boundary line of said NW 1/4 of NE 1/4 a distance of 763.65 feet; thence South 0°18'54" East a distance of 1137.83 feet to the POINT OF BEGINNING thence continue South 0°18'54" East a distance of 568.91 feet to the North right of way of a county paved road; thence in an Easterly direction along said right of way an arc distance of 385.49 feet; thence North 0°18'54" West a distance of 568.91 feet; thence North 85°37'36" West a distance of 385.49 feet to the POINT OF BEGINNING.

Legal proofed by SMG and SW

and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set her hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

Frank M. Gafford
FRANK M. GAFFORD

Suzette C. Woolsey
SUZETTE C. WOOLSEY

Julia G. Osburn
JULIA G. OSBURN

Inst:2004009528 Date:04/27/2004 Time:11:25
Doc Stamp-Deed : 0.70

DC, P. Dewitt Cason, Columbia County B:1013 P:1762

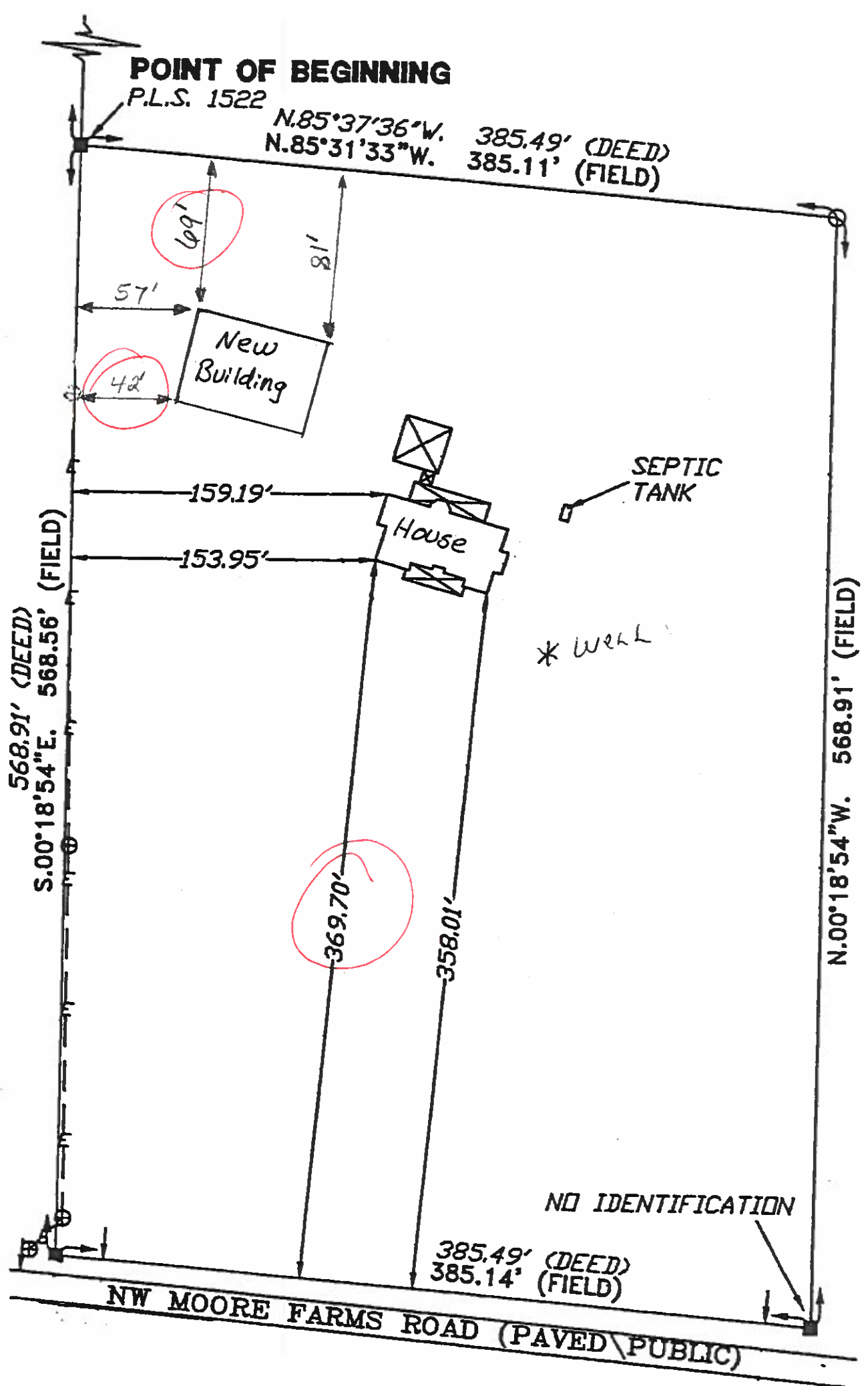
STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 27 day of April, 2004 by JULIA G. OSBURN, who is personally known to me or has produced her Florida Drivers' Licenses, No. _____, and who did (did not) take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 27 day of April, 2004.



Suzette C. Woolsey
SUZETTE C. WOOLSEY
NOTARY PUBLIC- STATE OF FLORIDA





COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST REQUIREMENTS

MINIMUM PLAN REQUIREMENTS FOR THE
FLORIDA BUILDING CODE RESIDENTIAL 2007
ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable	
---	--	--	--

		Yes	No	N/A
1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.)			
	N/A	2760		
	Total (Sq. Ft.) under roof			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		IIIII	IIII	IIIII
		YES	NO	N/A
8	Plans or specifications must show compliance with FBCR Chapter 3			
9	Basic wind speed (3-second gust), miles per hour			
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)			
11	Wind importance factor and nature of occupancy			
12	The applicable internal pressure coefficient, Components and Cladding			
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifiably designed by the registered design professional.			

Elevations Drawing including:

14	All side views of the structure			
15	Roof pitch			
16	Overhang dimensions and detail with attic ventilation			
17	Location, size and height above roof of chimneys			
18	Location and size of skylights with Florida Product Approval			
18	Number of stories			
20A	Building height from the established grade to the roofs highest peak			

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies			
21	Raised floor surfaces located more than 30 inches above the floor or grade			
22	All exterior and interior shear walls indicated			
23	Shear wall opening shown (Windows, Doors and Garage doors)			
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)			
25	Safety glazing of glass where needed			
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)			
28	Identify accessibility of bathroom (see FBCR SECTION 322)			

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

GENERAL REQUIREMENTS:
APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Items to Include-
Each Box shall be
Circled as
Applicable

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
30	All posts and/or column footing including size and reinforcing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
31	Any special support required by soil analysis such as piling.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
32	Assumed load-bearing value of soil _____ Pound Per Square Foot	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
42	Attachment of joist to girder	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
43	Wind load requirements where applicable	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
44	Show required under-floor crawl space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
45	Show required amount of ventilation opening for under-floor spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
46	Show required covering of ventilation opening	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
47	Show the required access opening to access to under-floor spaces	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

48	intermediate of the areas structural panel sheathing			
49	Show Draftstopping, Fire caulking and Fire blocking			
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			
51	Provide live and dead load rating of floor framing systems (psf).			

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses			
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer			
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters			
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details			
64	Provide dead load rating of trusses			

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing			
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			
67	Valley framing and support details			
68	Provide dead load rating of rafter system			

FBCR Table 602.3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness			
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas			

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering			
72	Submit Florida Product Approval numbers for each component of the roof assembles covering			

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	<input checked="" type="checkbox"/>		
74	Attic space			
75	Exterior wall cavity			
76	Crawl space			

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			
78	Exhaust fans locations in bathrooms			
79	Show clothes dryer route and total run of exhaust duct			

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			
81	Show the location of water heater			

Private Potable Water

82	Pump motor horse power			
83	Reservoir pressure tank gallon capacity			
84	Rating of cycle stop valve if used			

Electrical layout shown including

85	Switches, outlets, receptacles, lighting and all required GFCI outlets identified			
86	Ceiling fans			
87	Smoke detectors & Carbon dioxide detectors			
88	Service panel, sub-panel, location(s) and total ampere ratings			
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.			

90	Appliances and HVAC equipment and disconnects			
91	Arc Fault Circuits (AFCI) in bedrooms			

Disclosure Statement for Owner Builders If you as the applicant will be acting as an owner builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.

Notice Of Commencement

A notice of commencement form recorded in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
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THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	✓		
95	City of Lake City A permit showing an approved waste water sewer tap	N/A		
96	Toilet facilities shall be provided for all construction sites	N/A		
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.	N/A		
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations	N/A		
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established	N/A		
100	A development permit will also be required. Development permit cost is \$50.00			
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.	Existing N/A		
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	✓		

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

STEELMAX BUILDINGS, INC.
1700 COUNTY FARM ROAD
ADEL, GA. 31620

DATE: 3/31/10

JEFF OSBURN
Re: JOB NO. 20200
BUILDING SIZE:
WIDTH : 46 ft.
LENGTH : 60 ft.
EAVE HT : 16 ft.

JOBSITE : LAKE CITY, FL

To Whom It May Concern:

This is to certify that the above referenced building is designed in accordance with the order documentation, the latest edition of the American Institute of Steel Construction (AISC) "Manual of Steel Construction" and the latest Edition of American Iron and Steel Institute (AISI) "Cold Formed Steel Design Manual." The basic loads of the subject building meet or exceed the minimum county climatic data as published in the latest edition of the MBMA "Low Rise Building Systems Manual".

The criteria for application of design loads are follows
Governing Code : FBCB 07 (with 09 Amendments)
Occupancy Category : II - Normal
Roof Dead Load : 2.000 psf plus wt. of metal bldg structure

Live Load based on the tributary area :

0 - 200 sq. ft.....20 psf
201 - 600 sq. ft.....See Sec 4.9.1 of ASCE 7
over 600 sq. ft.....12 psf

Collateral Load	: 0 psf	Snow Exp. Fac	: 1.00
Wind Load (3 sec gust)	: 110 mph	Snow Imp. Fac.	: 1.0000
Enclosure Type	: Closed	Seismic Imp. Fact.	: 1.00
Wind Exp. Cat	: B	Designed Spec. Acc. Parameter "Sds":	0.1291
Wind Imp. Factor	: 1.00	Designed Spec. Acc. Parameter "Sd1":	0.0848
Ground Snow Load	: 0.0000 psf	Mapped Spec. Response Acc. "Ss":	0.1210
Roof Snow Load	: 0 psf	Mapped Spec. Response Acc. "S1":	0.0530
		Response Modification Factor:	3.5

This Letter of Certification applies solely to the building and its component parts as furnished by the Metal Building Manufacturer. Doors, windows and louvers are not structural components of the building. It is the responsibility of the owner to determine if wind lock accessories are supplied if required. Certification specifically excludes any foundation, masonry, or general contract work.

***** Note: Letter of Certification is continued on Page 2 *****

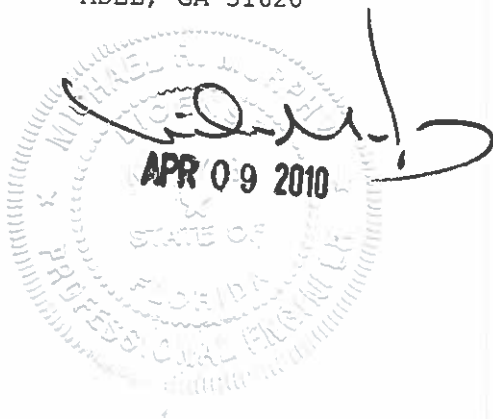
Recognizing the Florida Building Code 2007 (and 2009 Supplement) require exposure C as the default wind exposure, it is the responsibility of the project designer to determine, verify and prove exposure "b" is applicable based on the building location and that exposure "B" is acceptable to local building/code officials or authorities having jurisdiction. It is the absolute responsibility of the buyer to retain services of an individual or firm properly qualified to perform the duties required of a project designer to include:

- * A project designer is responsible for determining the siting of (Determination of Wind Exposure) and specifying the geometry, loads and material for a building project.
- * A project designer is responsible for determining geometry parameters include definition of width, length, height, slope, bays, ingress and egress requirements as applicable and necessary for the desired occupancy usage category.
- * A project designer is responsible for determining load parameters including definition of the building code and applicable edition (year), determination of importance factors, definition of all loads required for the design of the structure including dead loads, collateral loads, live loads, wind speed and exposure category, HVAC unit loads, Floor and other applied loads (If applicable). Neither the metal building manufacturer or the metal building Engineer are responsible for load or exposure category determination.
- * Aproject designer is responsible for determining material parameters include definition of all exterior covering material as well as all interior surfaces and finishes.

The project designer is not the metal building manufacturer, the metal building designer or the metal building engineer. The engineer whose seal appears on the metal building plans is a specialty engineer and not the project designer or the project engineer of record. The engineer whose seal appears on the metal building plans does not have familiarity with the physical jobsite and therefore cannot be identified as, serve as or qualify as the project designer.

Sincerely,

MICHAEL R MURPHY, P.E.
FLORIDA P.E.# 67131
500 VULCAN PARKWAY
ADEL, GA 31620



ENGINEERING CALCULATIONS

FLORIDA PRODUCT APPROVAL INFORMATION

BUILDING COVERING AND TRIM COLOR TABLE

STEELMAX BUILDINGS, INC.
Job Number 20200
End User JEFF OSBURN
Job Location: LAKE CITY, FL

DATE: 3/31/10
DESIGNED BY: RSH
DRAFT BY: BS
CHECKED BY: DMC

DESIGN PARAMETERS

COMMENTS

BUILDING DESCRIPTION:

NOMINAL WIDTH: 46 feet
NOMINAL LENGTH: 60 feet
EAVE HEIGHT, BACK S.W.: 16 feet
EAVE HEIGHT, FRONT S.W.: 16 feet
ROOF SLOPE, LEFT: 2.0:12
ROOF SLOPE, RIGHT: 2.0:12

DESIGN LOADS

BUILDING CODE: FBCB 07

(WITH 2009 AMENDMENTS)

SNOW :

FRAME SELF WEIGHT: INCLUDED

ROOF DEAD LOAD: 2.000 psf

COLLATERAL LOAD: 0 psf

LIVE LOAD: 20.00 psf

SNOW LOAD, ROOF: 0 psf

WIND SPEED: (3 SEC GUST) 110 mph

WIND EXPOSURE: B

CLOSURE "C, O, P" : Closed

IMP. FACTOR, WIND : 1.00

OCCUPANCY CATEGORY : II - Normal

SEISMIC IMPORTANCE: 1.00

SEISMIC DESIGN CATEGORY: D

DESIGNED SPECTRAL ACCELERATION PARAMETER "SDS" - (SHORT PERIODS): 0.1291

DESIGNED SPECTRAL ACCELERATION PARAMETER "SD1" - (1 SEC PERIODS): 0.0848

MAPPED SPECTRAL RESPONSE ACC. "SS" - (SHORT PERIODS): 0.1210

MAPPED SPECTRAL RESPONSE ACC. "S1" - (1 SEC PERIOD): 0.0530

RESPONSE MODIFICATION FACTOR: 3.5

SITE CLASS (ASSUMED) : D

BASIC SEISMIC-FORCE RESISTING SYSTEM MOMENT RESISTING FRAME

DESIGN BASE SHEAR : $V=CS \cdot W$

DRAWING RELEASE HISTORY

DRAWING REVISIONS

DATE SENT	REASON FOR RELEASE	REVISION	DATE	BY	DESCRIPTION
-----------	--------------------	----------	------	----	-------------

A

B

C

D

E

F

G

H

I

J

K

L

M

APPROVAL #

26 GA. PBR PANEL ~ Galvalume	FL5346.1
26 GA. PBR PANEL ~ Desert Sand	FL5335.1
3070M WALKDOOR	FL10294
12x14 RUD	FL12765.3

SHEETING

ROOF PANEL:	PANEL TYPE	COLOR
GAUGE	PBR	Galvalume
26 GA.	PBR	Galvalume
WALL PANEL:	PANEL TYPE	COLOR
GAUGE	PBR	Desert Sand
26 GA.	PBR	Desert Sand

WALL TRIM COLOR:

Polar White

CABLE TRIM COLOR:

Polar White

EXTERNAL PRESSURES

	POSITIVE	NEGATIVE
ZONE 1	12.5	-19.9
ZONE 2	12.5	-34.6
ZONE 3	12.5	-51.2
ZONE 4	21.7	-23.6
ZONE 5	21.7	-29.1
3070 WALK DOOR	19.9	-21.7
12 X 14 RUD	19.5	-19.9

NOTE : USE MAXIMUM STATED WALL PRESSURES FOR WINDOWS, LOUVERS, OR ANY OTHER SUCH TYPE ACCESSORY OPENING IN THE METAL BUILDING WALL WHETHER OR NOT THE ACCESSORY IS SUPPLIED BY THE METAL BUILDING MANUFACTURER.

THE PROJECT DESIGNER IS NOT THE METAL BUILDING MANUFACTURER. THE METAL BUILDING DESIGNER OR THE METAL BUILDING ENGINEER, THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS IS A SPECIALTY ENGINEER AND NOT THE PROJECT DESIGNER OR THE PROJECT ENGINEER OF RECORD. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS DOES NOT HAVE FAMILIARITY WITH THE PHYSICAL JOBSITE LOCATION AND THEREFORE CANNOT BE IDENTIFIED AS, SERVE AS OR QUALIFY AS THE PROJECT DESIGNER.

MICHAEL R. MURPHY P.E.
FLORIDA P.E.# 67131
500 VULCAN PARKWAY
ADEL, GA 31620

APR 09 2010

DRAWING STATUS

☒ FOR CONSTRUCTION
☐ FOR PERMIT ONLY
☐ FOR APPROVAL
☐ OTHER, EXPLAIN

STEELMAX BUILDINGS, INC.

JEFF OSBURN

PROJECT 4600' x 600' x 16.0

COVER SHEET

ID 20200

DESIGN: RSH DRAFT: BS CHECK: DMC

PROJECT ADDRESS LAKE CITY, FL

CS

GENERAL NOTES

1. MATERIALS

STRUCTURAL STEEL PLATEA529 OR A572 OR A570 OR A607GRADE 50COLD FORMED LIGHT GAGE SHAPESA570 OR A607GRADE 55BRACE RODSA572GRADE 65, UNLESS NOTEDHOT ROLLED MILL SHAPESA572GRADE 50ROOF AND WALL SHEETSA653 OR A792GRADE 50BOLTA307, A325, AND A490A307 UNLESS NOTEDBUILT-UP MEMBERSA570GRADE 50 OR 55
2. STRUCTURAL PRIMER

SHOP PRIMER PAINT IS A RUST INHIBITIVE PRIMER AND IT'S COLOR IS RED OXIDE. THIS PAINT IS NOT INTENDED FOR LONG TERM EXPOSURE TO THE ELEMENTS.
3. A325 BOLT TIGHTENING REQUIREMENTS

ALL HIGH STRENGTH BOLTS ARE A325-N UNLESS SPECIFICALLY NOTED OTHERWISE. STRUCTURAL BOLTS SHALL BE TIGHTENED BY THE TURN-OF-THE-NUT METHOD IN ACCORDANCE WITH THE 13th EDITION AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS". PER SECTION 8.2, A325 BOLTS MAY BE INSTALLED WITHOUT WASHERS WHEN TIGHTENED BY THE TURN-OF-THE NUT METHOD. ALL HIGH STRENGTH BOLTS, EXCEPT AS NOTED OTHERWISE, ARE SUBJECT TO DIRECT TENSION AND MAY REQUIRE INSPECTION AS DEFINED BY THE APPLICABLE BUILDING CODE OR STANDARD. IT IS THE RESPONSIBILITY OF THE ERECTOR TO ASSURE PROPER TIGHTNESS.
4. BUILDER/CONTRACTOR RESPONSIBILITIES

THE METAL BUILDING MANUF.'S STANDARD PRODUCT SPECIFICATIONS APPLY AND UNLESS STIPULATED OTHERWISE IN THE CONTRACT DOCUMENTS, THE METAL BUILDING MANUF.'S DESIGN, FABRICATION, QUALITY CRITERIA STANDARDS AND TOLERANCES WILL GOVERN THE WORK. IN CASE OF DISCREPANCIES BETWEEN METAL BUILDINGS MANUF. STRUCTURAL PLANS AND PLANS FOR OTHER TRADES, THE METAL BUILDING MANUF.'S PLANS SHALL GOVERN. IT IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO OBTAIN APPROPRIATE APPROVALS AND NECESSARY PERMITS FROM CITY, COUNTY, STATE, OR FEDERAL AGENCIES, AS REQUIRED. APPROVAL OF METAL BUILDING MANUF.'S DRAWINGS CONSTITUTES THE BUILDER / CONTRACTOR'S ACCEPTANCE OF THE METAL BUILDING MANUF.'S INTERPRETATION OF THE CONTRACT PURCHASE ORDER. ONCE THE BUILDER / CONTRACTOR OR A/E FIRM HAS SIGNED MANUF.'S APPROVAL PACKAGE, CHANGES FROM THE PURCHASE ORDER BY THE BUILDER WILL BE BILLED TO THE BUILDER / CONTRACTOR FOR MATERIAL, ENGINEERING AND HANDLING FEES. SUCH CHANGES MAY CAUSE THE PROJECT TO BE MOVED FROM THE FABRICATION AND / OR SHIPPING SCHEDULE. A PENALTY FEE MAY BE CHARGED IF THE PROJECT MUST BE MOVED FROM THE FABRICATION AND / OR SHIPPING SCHEDULE, AS LONG AS THE MANUF.'S DESIGN AND DETAILING APPROACH COMPLIES WITH THE PURCHASE ORDER. THE BUILDER / CONTRACTOR OR A/E FIRM ARE RESPONSIBLE FOR THE OVERALL PROJECT CONDITION, ALL INTERFACE AND COMPATIBILITY CONCERNING ANY MATERIALS NOT FURNISHED BY THE MANUF. ARE TO BE CONSIDERED AND THIS COORDINATED BY THE BUILDER / CONTRACTOR OR A/E FIRM. UNLESS SPECIFIC DESIGN CRITERIA CONCERNING THIS INTERFACE BETWEEN MATERIALS IS FURNISHED AS PART OF THE PURCHASE ORDER, THE METAL BUILDING MANUF.'S ASSUMPTIONS WILL GOVERN. THE BUILDER / CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL OTHER PROJECT PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITY. SUPPLYING SEALED ENGINEERING DESIGN DATA AND DRAWINGS BY THE BUILDING MANUF. DOES NOT IMPLY OR CONSTITUTE AN AGREEMENT THAT THE BUILDING MANUF. OR ITS DESIGN ENGINEER IS ACTING AS THE ENGINEER OF RECORD OR DESIGN PROFESSIONAL FOR THE CONSTRUCTION PROJECT. THESE DRAWINGS AND DESIGN DATA ARE SEALED AS TO THE STRUCTURAL SYSTEM FURNISHED BY THE METAL BUILDING MANUF. IN COMPLIANCE WITH ALL REQUIREMENTS OF THE PURCHASE ORDER. THE BUILDER / CONTRACTOR IS RESPONSIBLE FOR SETTING OF ANCHOR BOLTS AND ERECTION OF STEEL BUILDING COMPONENTS IN ACCORDANCE WITH THE METAL BUILDING MANUF.'S "FOR CONSTRUCTION" DRAWINGS. TEMPORARY SUPPORTS OR BRACING REQUIRED FOR THE BUILDING ERECTION WILL BE THE RESPONSIBILITY OF THE ERECTOR TO DETERMINE, FURNISH, AND INSTALL. THE METAL BUILDING MANUF. DOES NOT WARRANT STRUCTURAL INTEGRITY OF ANY COMPONENTS FIELD MODIFIED OR DESIGNED AND FABRICATED BY OTHERS. NEITHER DO WE ACCEPT DESIGN RESPONSIBILITY FOR THE EFFECTS NON STANDARD COMPONENTS DESIGNED BY OTHERS MAY HAVE ON THE SYSTEM IN GENERAL. AS TAKEN FROM THE THIRTEENTH EDITION OF THE AISC MANUAL PAGE 16.3-53 PARAGRAPH 7.14 - READS AS FOLLOWS "THE CORRECTION OF MINOR MISFITS BY MODERATE AMOUNTS OF REMAINING, GRINDINGS, WELDING OR CUTTING, AND THE DRAWING OF ELEMENTS INTO LINE WITH DRIFT PINS, SHALL BE CONSIDERED TO BE NORMAL ERECTION OPERATIONS."

- RECOGNIZING THE FLORIDA BUILDING CODE 2007 (AND 2009 SUPPLEMENT) REQUIRE EXPOSURE C AS THE DEFAULT WIND EXPOSURE, IT IS THE RESPONSIBILITY OF THE PROJECT DESIGNER TO DETERMINE, VERIFY AND PROVE EXPOSURE "B" IS APPLICABLE BASED ON THE BUILDING LOCATION AND THAT EXPOSURE B IS ACCEPTABLE TO LOCAL BUILDING/CODE OFFICIALS OR AUTHORITIES HAVING JURISDICTION. IT IS THE ABSOLUTE RESPONSIBILITY OF THE BUYER TO RETAIN SERVICES OF AN INDIVIDUAL OR FIRM PROPERLY QUALIFIED TO PERFORM THE DUTIES REQUIRED OF A PROJECT DESIGNER TO INCLUDE:
- A PROJECT DESIGNER IS RESPONSIBLE FOR DETERMINING THE SITING OF (DETERMINATION OF WIND EXPOSURE) AND SPECIFYING THE GEOMETRY, LOADS AND MATERIALS FOR A BUILDING PROJECT.

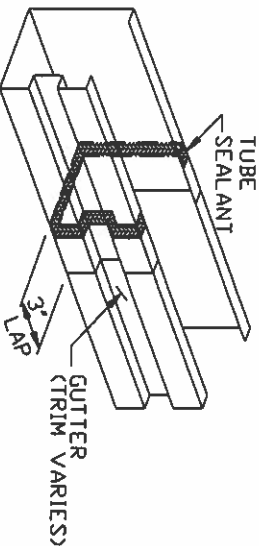
A PROJECT DESIGNER IS RESPONSIBLE FOR DETERMINING GEOMETRY PARAMETERS INCLUDING DEFINITION OF WIDTH, LENGTH, HEIGHT, SLOPE, BAYS, INGRESS AND EGRESS REQUIREMENTS AS APPLICABLE AND NECESSARY FOR THE DESIRED OCCUPANCY USAGE CATEGORY.

A PROJECT DESIGNER IS RESPONSIBLE FOR DETERMINING LOAD PARAMETERS INCLUDING DEFINITION OF THE BUILDING CODE AND APPLICABLE EDITION (YEAR), DETERMINATION OF IMPORTANCE FACTORS, DEFINITION OF ALL LOADS REQUIRED FOR THE DESIGN OF THE STRUCTURE INCLUDING DEAD LOADS, COLLATERAL LOADS, LIVE LOADS, WIND SPEED AND EXPOSURE CATEGORY, HVAC UNIT LOADS, FLOOR AND OTHER APPLIED LOADS (IF APPLICABLE). NEITHER THE METAL BUILDING MANUFACTURER OR THE METAL BUILDING ENGINEER ARE RESPONSIBLE FOR LOAD OR EXPOSURE CATEGORY DETERMINATION.

A PROJECT DESIGNER IS RESPONSIBLE FOR DETERMINING MATERIAL PARAMETERS INCLUDING DEFINITION OF ALL EXTERIOR COVERING MATERIALS AS WELL AS ALL INTERIOR SURFACES AND FINISHES.

SPECIAL NOTE:

BUILDING IS NOT STRUCTURALLY SOUND UNTIL ALL WALL COVERING, ROOF SHEETS, AND PERMANENT BRACING IS INSTALLED. BUILDER / CONTRACTOR IS RESPONSIBLE FOR SUPPORTS OR TEMPORARY BRACING DURING ERECTION. HE SHALL FURNISH, AND INSTALL THESE TEMPORARY SUPPORTS WHERE NECESSARY. TEMPORARY SUPPORTS ARE NOT PROVIDED BY THE METAL BUILDING MANUFACTURER.



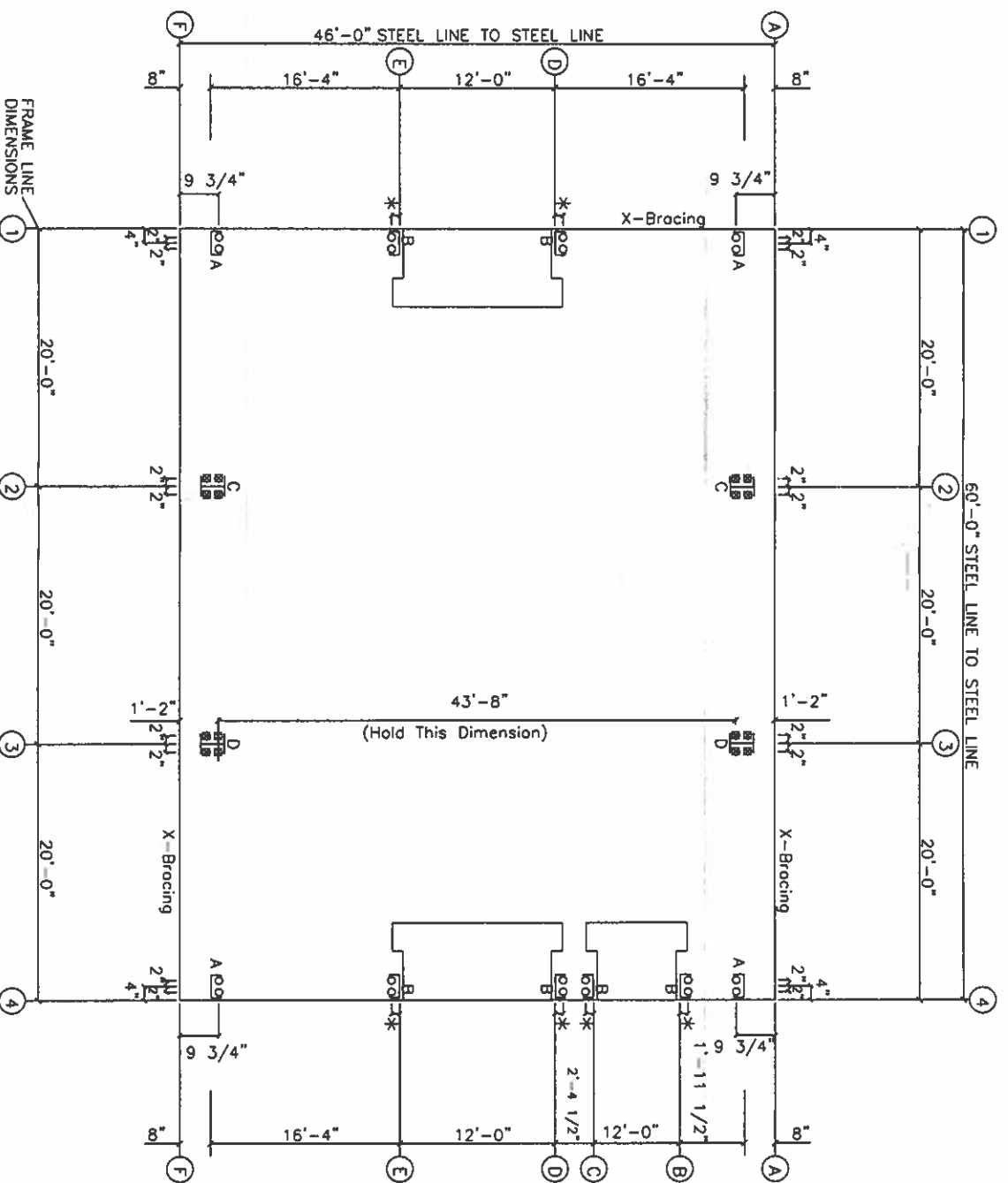
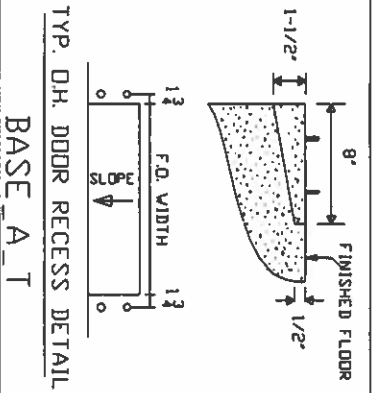
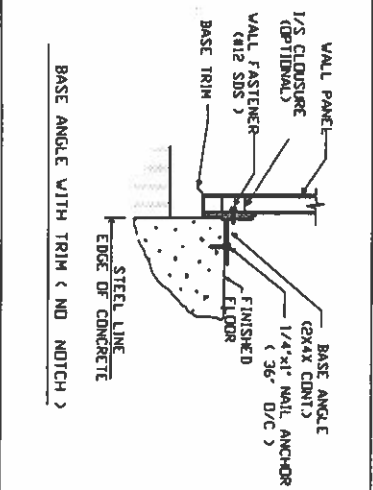
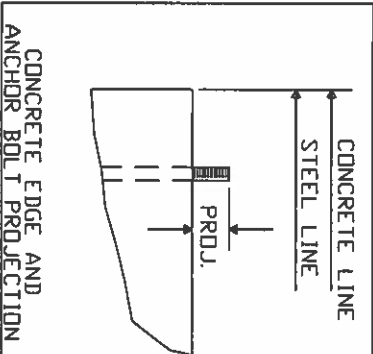
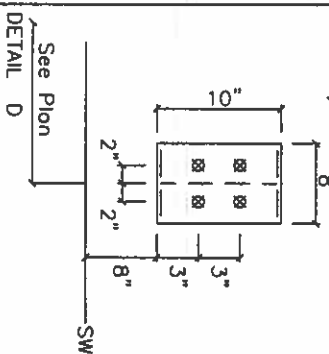
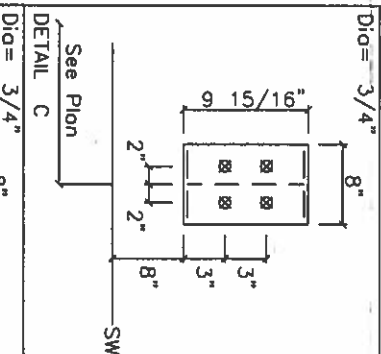
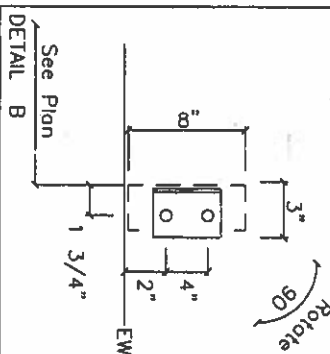
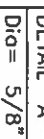
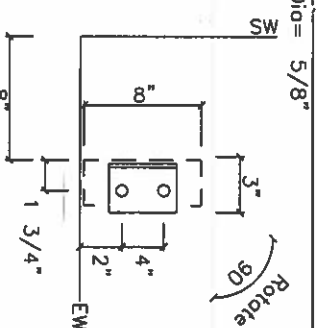
NOTE: ALL TRIM CONTAINED ON THIS PROJECT WILL HAVE OUR STANDARD 3' LAP AS SHOWN ABOVE. (TRIM STYLE VARIES)

THE PROJECT DESIGNER IS NOT THE METAL BUILDING MANUFACTURER. THE METAL BUILDING DESIGNER OR THE METAL BUILDING ENGINEER, THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS IS A SPECIALTY ENGINEER AND NOT THE PROJECT DESIGNER OR THE PROJECT ENGINEER OF RECORD. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS DOES NOT HAVE FAMILIARITY WITH THE PHYSICAL JOBSITE LOCATION AND THEREFORE CANNOT BE IDENTIFIED AS, SERVE AS OR QUALIFY AS THE PROJECT DESIGNER.

MICHAEL R. MURPHY P.E.
FLORIDA P.E.# 67131
500 VULCAN PARKWAY
ADEL, GA 31620

APR 09 2010

DRAWING STATUS		STEELMAX BUILDINGS, INC.		JEFF OSBURN	
<input checked="" type="checkbox"/> FOR CONSTRUCTION	<input type="checkbox"/> FOR PERMIT ONLY	PROJECT	46.00' x 600 x 16.0	GENERAL NOTES	
<input type="checkbox"/> FOR APPROVAL	<input type="checkbox"/> OTHER, EXPLAIN	ID	20200	DESIGN: RSH	CHECK: DMC
		PROJECT	LAKE CITY, FL	DRAFT: BS	GN
		ADDRESS		DATE: 3/31/10	



<u>REVISIONS</u>					
REV.	DESCRIPTION:	DATE	DTLR	CHKR	APPD

DRAWING STATUS
☐ FOR CONSTRUCTION
☐ FOR PERMIT ONLY
☐ FOR APPROVAL
☐ OTHER, EXPLAIN _____

STEELMAX BUILDINGS, INC.	
PROJECT	46.00' x 60.0' x 16.0
ID	20200
PROJECT ADDRESS	LAKE CITY, FL

JEFF OSBURN			
ANCHOR BOLT PLAN & DETAILS			
DESIGN: RSH	DRAFT: BS	CHECK: DMC	
DATE: 3/31/10	SHEET 1	OF 14	

THE PROJECT DESIGNER IS NOT THE METAL BUILDING MANUFACTURER, THE METAL BUILDING DESIGNER OR THE METAL BUILDING ENGINEER. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS IS A SPECIALTY ENGINEER AND NOT THE PROJECT DESIGNER OR THE PROJECT ENGINEER OF RECORD. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS DOES NOT HAVE FAMILIARITY WITH THE PHYSICAL JOBSITE LOCATION AND THEREFORE CANNOT BE IDENTIFIED AS, SERVE AS OR QUALIFY AS THE PROJECT DESIGNER.

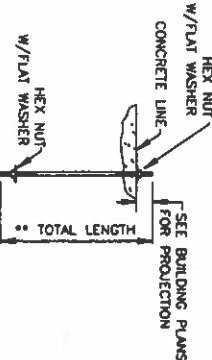
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ADEL, GA 31620

APR 09 2010

ANCHOR BOLT NOTES:

ANCHOR BOLT RECOMMENDS USE OF STRAIGHT ROD ANCHOR BOLTS WITH FLAT END AND WASHER DISK BOTH ENDS AS DETAIL SHOWN. ALL RESULTS IN CONCRETE FOUNDATIONS EITHER TYPE BOLT IS ACCEPTABLE AS DETERMINED BY THE FOUNDATION ENGINEER. ANY VALUES GIVEN FOR ANCHOR BOLT TOTAL LENGTHS AND/OR BEND LENGTHS ARE SUGGESTED LENGTHS ONLY. IT IS THE RESPONSIBILITY OF THE FOUNDATION ENGINEER TO DETERMINE THESE VALUES SINCE THEY ARE A FUNCTION OF CONCRETE STRENGTH AND OTHER FACTORS.

ANCHOR BOLT SUMMARY				
Qnt	Loc	Dist (in)	Total Len (in)	Proj Len (in)
20	EW	5/8"	15.00	3.00
16	Rt	3/4"	24.00	3.00



** 9" DOOR JAMBS 5/8" DIA.
 ** 15" FOR ALL OTHER 5/8" DIA. & DOOR JAMBS
 ACTING AS E.W. COLUMNS
 ** 24" ALL OTHERS

ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 36 MIN.
ANCHOR BOLTS

ANCHOR BOLTS

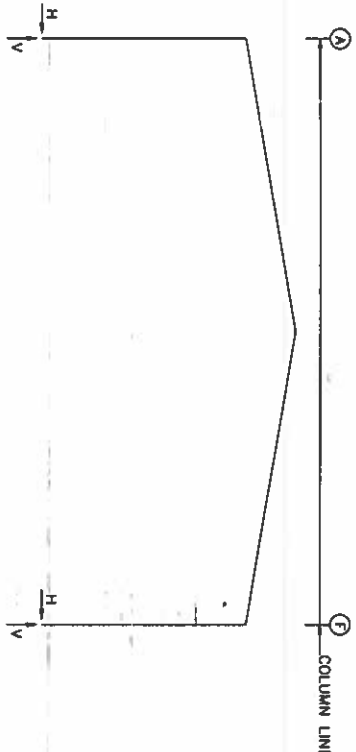
GENERAL NOTES

- (1.) APPLICATION OF ENGINEER'S SEAL IS FOR METAL BUILDING ONLY AND DOES NOT REPRESENT THE PROFESSIONAL OF RECORD.
- (2.) FOUNDATION DESIGN AND CONSTRUCTION ARE NOT THE RESPONSIBILITY OF THE METAL BUILDING MANUFACTURER.
- (3.) ANCHOR BOLTS SHALL BE ACCURATELY SET TO A TOLERANCE OF +/- 1/8" IN BOTH ELEVATION AND LOCATION.
- (4.) THE BUILDING REACTION DATA REPORTS THE LOADS WHICH THIS BUILDING PLACES ON THE FOUNDATION. THE FOUNDATION IS TO BE DESIGNED BY A QUALIFIED ENGINEER TO SUPPORT THE BUILDING REACTIONS IN ADDITION TO OTHER LOADS IMPOSED BY THE BUILDING USE OR OCCUPANCY WITH RESPECT TO JOB SITE CONDITIONS.
- (5.) ALL ANCHOR BOLTS TO BE ASTM SPECIFICATION F1554 GRADE 36 MIN. UNLESS OTHERWISE NOTED.
- (6.) VALUES GIVEN FOR BOLTS AND ANCHOR BOLT TOTAL LENGTHS ARE SUGGESTED LENGTHS ONLY. IT IS THE RESPONSIBILITY OF THE FOUNDATION ENGINEER TO DETERMINE THESE VALUES SINCE THEY ARE A FUNCTION OF CONCRETE STRENGTH AS WELL AS OTHER FACTORS.

ENDWALL COLUMN:

		BASIC COLUMN REACTIONS (k)											
Frm	Col	Dead			Live			Rafter			Brace		
		Line	Vert	Horiz	Line	Vert	Horiz	Line	Vert	Horiz	Line	Vert	Horiz
1	A	0.23	1.50	-1.56	0.00	0.08	0.10	-1.01	1.56	-3.12	0.00	0.54	0.00
1	D	0.49	3.18	-1.94	0.00	0.08	0.10	-1.94	0.00	-1.82	0.00	-3.32	-1.97
1	E	0.49	3.18	-1.94	0.00	0.08	0.10	-1.94	0.00	-1.82	0.00	-3.32	-1.97
1	F	0.23	1.50	-1.56	0.00	0.08	0.10	-1.01	1.56	-3.12	0.00	0.54	0.00
4	A	0.23	1.50	-1.56	0.00	0.08	0.10	-1.01	1.56	-3.12	0.00	0.54	0.00
4	D	0.49	3.18	-1.94	0.00	0.08	0.10	-1.94	0.00	-1.82	0.00	-3.32	-1.97
4	E	0.49	3.18	-1.94	0.00	0.08	0.10	-1.94	0.00	-1.82	0.00	-3.32	-1.97
4	F	0.23	1.50	-1.56	0.00	0.08	0.10	-1.01	1.56	-3.12	0.00	0.54	0.00
4	G	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	H	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	I	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	J	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	K	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	L	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	M	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	N	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	O	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	P	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	Q	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	R	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	S	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	T	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	U	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	V	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	W	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	X	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	Y	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00
4	Z	0.15	0.76	-0.76	0.00	0.08	0.10	-0.76	0.00	-0.76	0.00	-0.76	0.00

FRAME LINES: 2 3



RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frm	Col	Anchor Bolt	Base Plate (in)	Weld	Len	Thk	Groat
1	A	4	0.750	8.000	9.94	0.500	0.0
2	F	4	0.750	8.000	9.94	0.500	0.0

RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frm	Col	Anchor Bolt	Base Plate (in)	Weld	Len	Thk	Groat
3	A	4	0.750	8.000	10.00	0.500	0.0
3	F	4	0.750	8.000	10.00	0.500	0.0

BRACING REACTIONS, PANEL SHEAR

Loc	Line	Col	Reactions (k)	Panel Shear (lb/ft)
1	A	4	1.6	0.1
1	D	4	3.1	0.2
1	E	4	3.1	0.2
1	F	4	3.1	0.2
1	G	4	3.1	0.2
1	H	4	3.1	0.2
1	I	4	3.1	0.2
1	J	4	3.1	0.2
1	K	4	3.1	0.2
1	L	4	3.1	0.2
1	M	4	3.1	0.2
1	N	4	3.1	0.2
1	O	4	3.1	0.2
1	P	4	3.1	0.2
1	Q	4	3.1	0.2
1	R	4	3.1	0.2
1	S	4	3.1	0.2
1	T	4	3.1	0.2
1	U	4	3.1	0.2
1	V	4	3.1	0.2
1	W	4	3.1	0.2
1	X	4	3.1	0.2
1	Y	4	3.1	0.2
1	Z	4	3.1	0.2

ENDWALL COLUMN: ANCHOR BOLTS & BASE PLATES

Frm	Col	Anchor Bolt	Base Plate (in)	Weld	Len	Thk	Groat
1	A	2	0.625	3.000	5.750	0.134	0.0
1	D	2	0.625	3.000	5.750	0.134	0.0
1	E	2	0.625	3.000	5.750	0.134	0.0
1	F	2	0.625	3.000	5.750	0.134	0.0
1	G	2	0.625	3.000	5.750	0.134	0.0
1	H	2	0.625	3.000	5.750	0.134	0.0
1	I	2	0.625	3.000	5.750	0.134	0.0
1	J	2	0.625	3.000	5.750	0.134	0.0
1	K	2	0.625	3.000	5.750	0.134	0.0
1	L	2	0.625	3.000	5.750	0.134	0.0
1	M	2	0.625	3.000	5.750	0.134	0.0
1	N	2	0.625	3.000	5.750	0.134	0.0
1	O	2	0.625	3.000	5.750	0.134	0.0
1	P	2	0.625	3.000	5.750	0.134	0.0
1	Q	2	0.625	3.000	5.750	0.134	0.0
1	R	2	0.625	3.000	5.750	0.134	0.0
1	S	2	0.625	3.000	5.750	0.134	0.0
1	T	2	0.625	3.000	5.750	0.134	0.0
1	U	2	0.625	3.000	5.750	0.134	0.0
1	V	2	0.625	3.000	5.750	0.134	0.0
1	W	2	0.625	3.000	5.750	0.134	0.0
1	X	2	0.625	3.000	5.750	0.134	0.0
1	Y	2	0.625	3.000	5.750	0.134	0.0
1	Z	2	0.625	3.000	5.750	0.134	0.0

EXTERNAL PRESSURES		POSITIVE		NEGATIVE	
ZONE 1		12.5		-19.9	
ZONE 2		12.5		-34.6	
ZONE 3		12.5		-51.2	
ZONE 4		21.7		-23.6	
ZONE 5		21.7		-29.1	
3070 WALK DOOR		19.9		-21.7	
12 X 14 RUD		19.5		-19.9	

NOTE : USE MAXIMUM STATED WALL PRESSURES FOR WINDOWS, LOUVERS, OR ANY OTHER SUCH TYPE ACCESSORY OPENING IN THE METAL BUILDING WALL WHETHER OR NOT THE ACCESSORY IS SUPPLIED BY THE METAL BUILDING MANUFACTURER.

This building is located in a wind-borne debris region. Exterior glazing is assumed to be impact resistant and meet the provisions of the missile test, or they should be protected by impact resistant covering meeting the requirements of SST112, ASTM E 1886 and ASTM 1996 or Miami-Dade PA 201, 202, & 203.

Openings may also be protected by structural wood panels having a min. thickness of 7/16" and maximum panel span of 8 feet. Attachment hardware and fastening schedule shall be in accordance with the following table.

Protection of Opening

WIND-BORNE DEBRIS PROTECTION SCHEDULE FOR WOOD STRUCTURAL PANELS (PLYWOOD)

FASTENER TYPE	FASTENER SPACING (in.) ^{1,2}			
	PANEL SPAN ≤ 2ft	2ft< PANEL SPAN ≤ 4 ft.	4ft< PANEL SPAN ≤ 6 ft.	6ft< PANEL SPAN ≤ 8 ft.
#8 Wood screw-based anchor with 2" embedment length.	16	16	10	8
#10 Wood screw-based anchor with 2" embedment length.	16	16	12	9
1/4" Lag screw-based anchor with 2" embedment length.	16	16	16	16

SI: 1 inch=25.4 mm 1 foot=305 mm

Notes:

- 1.) This table is based on a maximum wind speed of 140 m.p.h. (63 m/s) and mean roof height of 45 feet (13.716 m) or less.
- 2.) Fasteners shall be installed at opposing ends of the wood structural panel.
- 3.) Where screws are attached to masonry or masonry/stucco, they shall be attached using vibration-resistant anchors having a minimum withdrawal capacity of 490 lb. (2180 kN).

REV. DESCRIPTION		DATE	DLR	DATE	CHKR	APPD
1						
2						
3						
4						
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6						
7						
8						
9						
10						
11						
12						
13						
14						

DRAWING STATUS		DATE	DLR	DATE	CHKR	APPD
1						
2						
3						
4						
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6						
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9						
10						
11						
12						
13						
14						

STEELMAX BUILDINGS, INC.		PROJECT	DATE	DLR	DATE	CHKR	APPD
1							
2							
3							
4							
5							
6							
7							
8							
9							
10							
11							
12							
13							
14							

THE PROJECT DESIGNER IS NOT THE METAL BUILDING MANUFACTURER. THE METAL BUILDING DESIGNER OR THE METAL BUILDING ENGINEER, THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS IS A SPECIALTY ENGINEER AND NOT THE PROJECT DESIGNER OR THE PROJECT ENGINEER OF RECORD. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS DOES NOT HAVE FAMILIARITY WITH THE PHYSICAL JOBSITE LOCATION AND THEREFORE CANNOT BE IDENTIFIED AS, SERVE AS OR QUALIFY AS THE PROJECT DESIGNER.

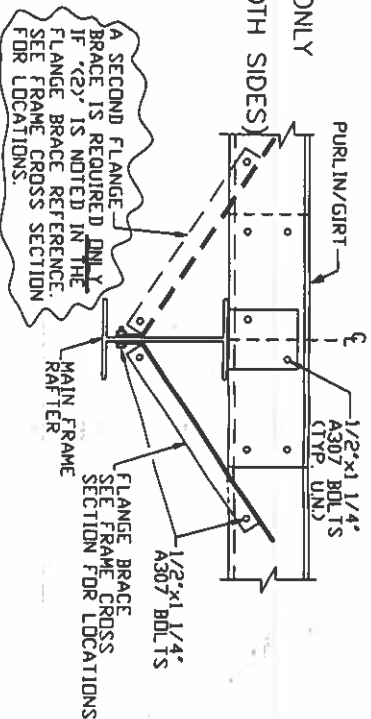
MICHAEL R. MURPHY, P.E.
FLORIDA P.E.# 6713
500 VOLCAN PARKWAY
ADEL, GA 31620

APR 09 2010

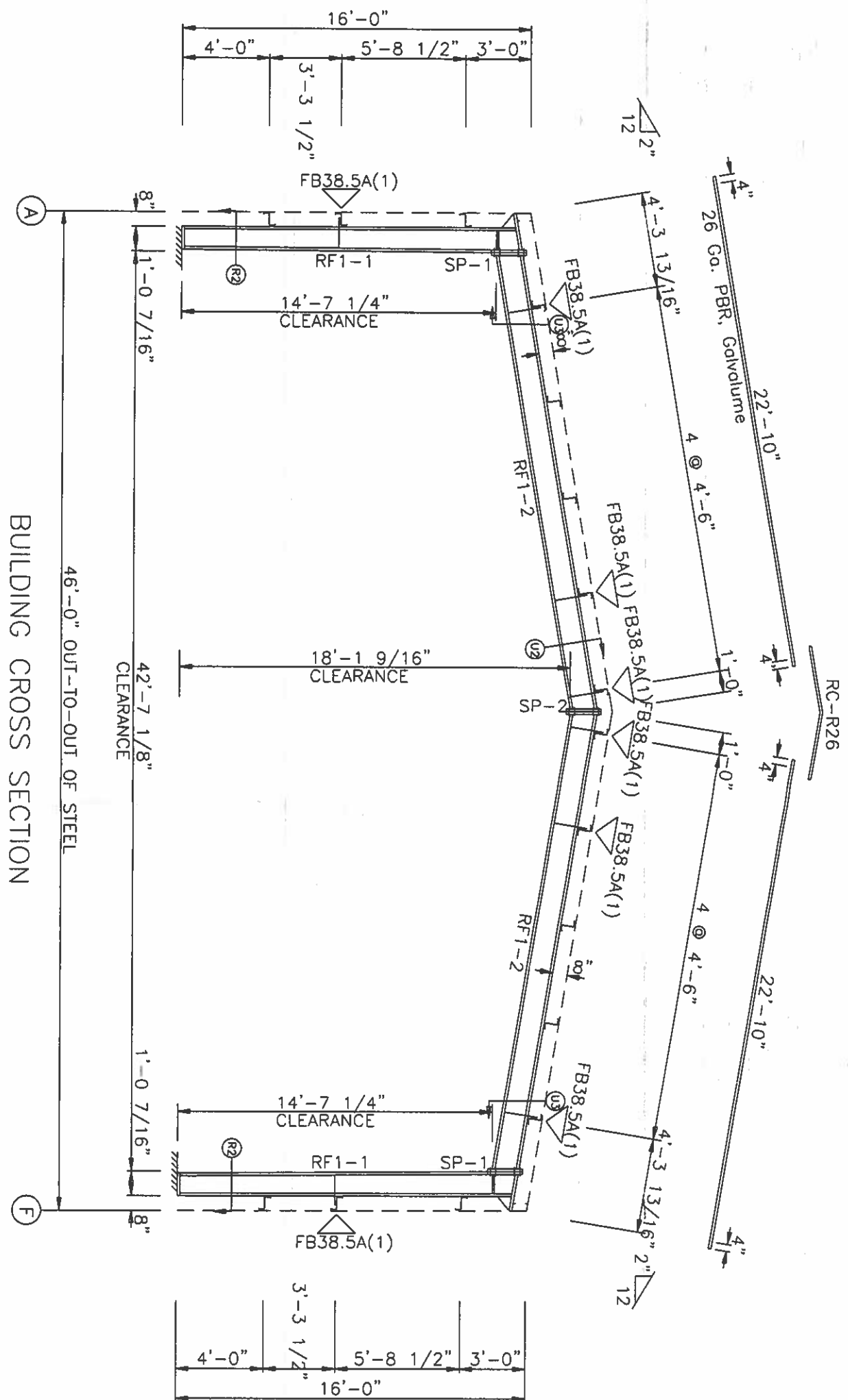
SPRUE BULBS				
Splice Mark	Quon	Top/Bot/Int	Type	Boit-----Dia Length
SP-1	4	4	0	A325 0.625 2.25
SP-2	4	4	0	A325 0.625 2.00

FLANGE BRACES:
 FBxxA(1): xx=INCHES, (1)=ONE SIDE ONLY
 A - WBL2214G

FLANGE BRACE REFERENCE KEY:
 FBxxA(1): xx=INCHES, (1)=ONE SIDE ONLY
 LOCATION(1)=ONE SIDE,(2)=(BOTH SIDES)
 FLANGE BRACE SIZE
 FLANGE BRACE LENGTH



MEMBER SIZE TABLE (in)			
MARK	WEB DEPTH	WEB PLATE THICK	OUTSIDE FLANGE W x T x LENGTH
RF1-1	9.5/12.0	0.120	5 x 1 1/4" x 184.5
RF1-2	12.0/12.0	0.188	5 x 1 1/4" x 20.5
	11.6/11.6	0.120	5 x 3/16" x 240.0
	11.6/11.6	0.120	5 x 3/16" x 17.5



GENERAL NOTES:

* NOTICE TO ERECTOR *

(A)It is IMPORTANT that for members exceeding 30 ft. in length that a spreader bar be used when lifting.

(B)ALL flange braces and wind bracing must be installed prior to exterior finishes being applied.

REVISIONS				
REV.	DESCRIPTION	DATE	DLR	CHKR

DRAWING STATUS				
() FOR CONSTRUCTION	(X) FOR PERMIT ONLY	() FOR APPROVAL	() OTHER, EXPLAIN	
PROJECT	4600' x 600' x 16.0	DESIGN: RSH	DRAFT: BS	CHECK: DMC
PROJECT	LAKE CITY, FL	DATE: 3/31/10	SHEET	3

APR 09 2010

[Signature]

MICHAEL R. MURPHY P.E.
 FLORIDA P.E.# 67131
 500 VULCAN PARKWAY
 ADEL, GA 31624

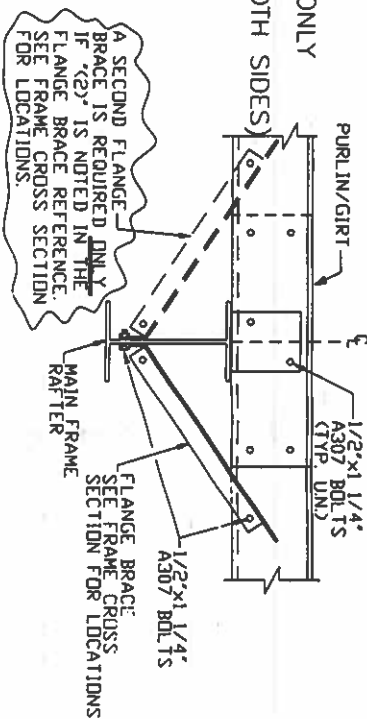
THE PROJECT DESIGNER IS NOT THE METAL BUILDING MANUFACTURER. THE METAL BUILDING DESIGNER OR THE METAL BUILDING ENGINEER, THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS IS A SPECIALTY ENGINEER AND NOT THE PROJECT DESIGNER OR THE PROJECT ENGINEER OF RECORD. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS DOES NOT HAVE FAMILIARITY WITH THE PHYSICAL JOBSITE LOCATION AND THEREFORE CANNOT BE IDENTIFIED AS SERVE AS OR QUALIFY AS THE PROJECT DESIGNER.

SPlice BuilD				
Splice Mark	Quan	Top/Bot/Int	Type	-----Bolt----- Dia Length
SP-1	4	4	0 A325	0.750 2.50
SP-2	4	4	0 A325	0.625 2.00

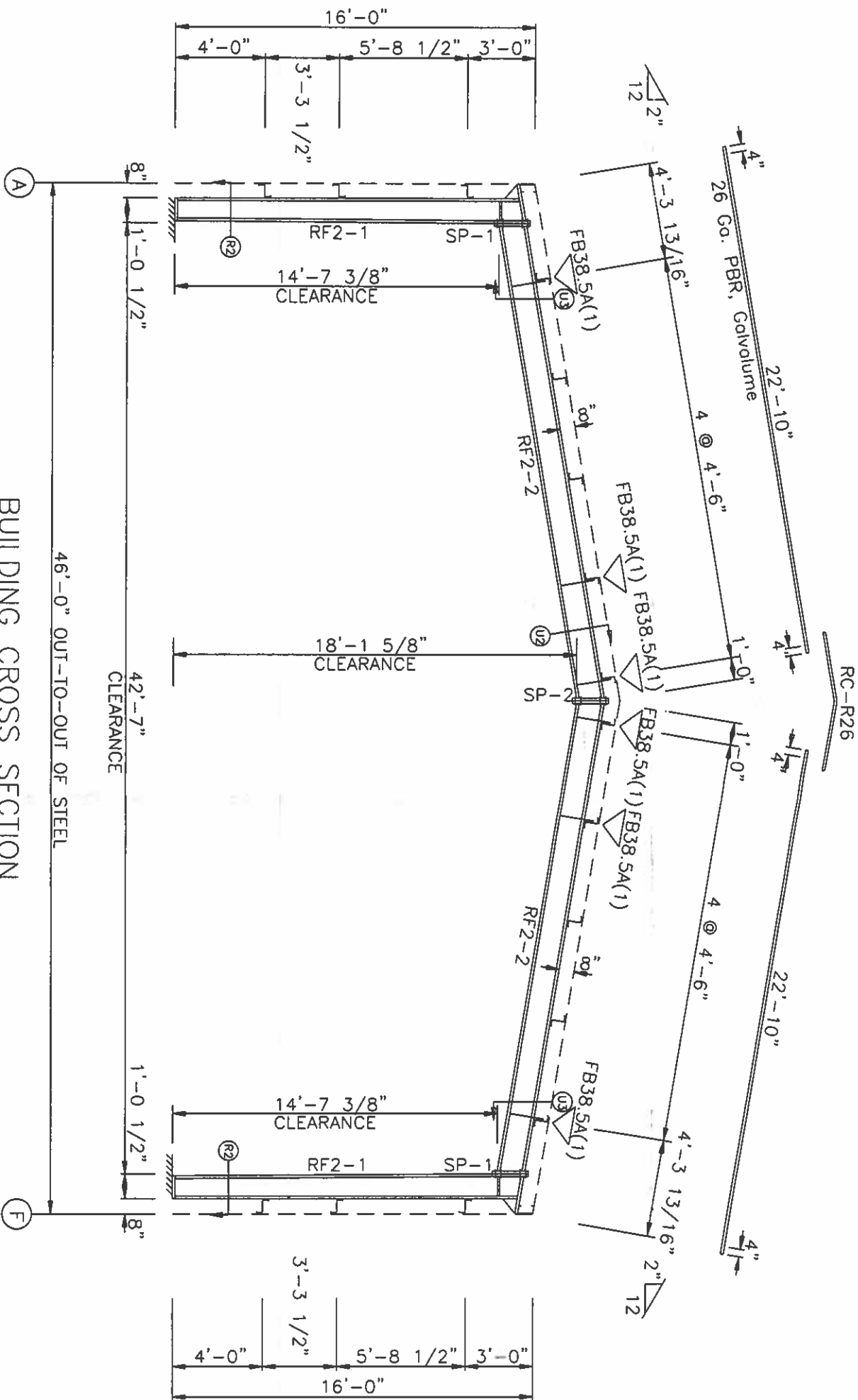
FLANGE BRACES:
FBxxA(1): xx=INCHES, (1)=ONE SIDE ONLY
A - WBL2214G

FLANGE BRACE REFERENCE KEY:
FBxxA(1): xx=INCHES, (1)=ONE SIDE ONLY

LOCATION(1)=ONE SIDE,(2)=(BOTH SIDES)
FLANGE BRACE SIZE
FLANGE BRACE LENGTH



MEMBER SIZE (ABLE UN)				OUTSIDE FLANGE		INSIDE FLANGE	
MARK	WEB DEPTH	WEB PLATE	THICK	W x T x LENGTH	W x T x LENGTH	W x T x LENGTH	W x T x LENGTH
RF2-1	9.5/12.0	0.120	170.8	6 x 1 1/4" x 184.5	6 x 1 1/4" x 170.8		
RF2-2	12.0/12.0	0.250	15.7	6 x 1 1/4" x 20.5	6 x 3/16" x 240.0		
	11.6/11.6	0.120	240.0	6 x 1 1/4" x 113.2			
	11.6/11.6	0.120	19.2	6 x 3/16" x 144.0	6 x 3/16" x 17.2		



GENERAL NOTES:

* NOTICE TO ERECTOR *

(A)It is IMPORTANT that for members exceeding 30 ft. in length that a spreader bar be used when lifting.

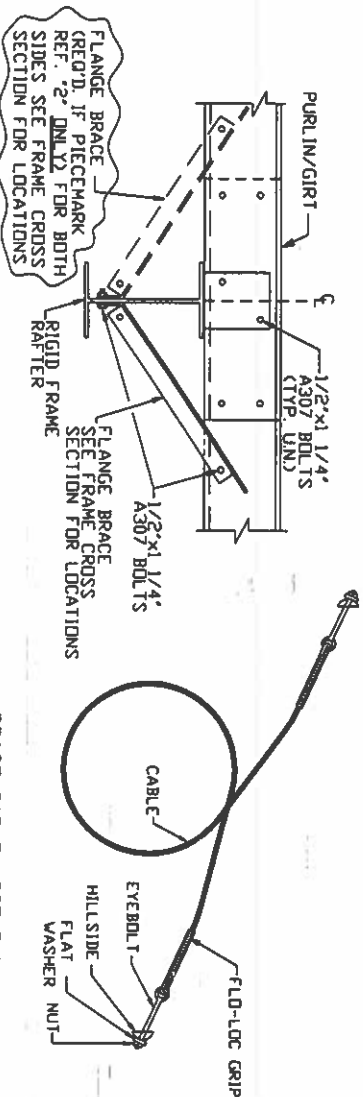
(B)ALL flange braces and wind bracing must be installed prior to exterior finishes being applied.

REVISIONS							DRAWING STATUS		STEELMAX BUILDINGS, INC.		JEFF OSBURN			
REV.	DESCRIPTION:	DATE	DLR	DATE	CHKR	APPD	<input type="checkbox"/> FOR CONSTRUCTION	<input checked="" type="checkbox"/> FOR PERMIT ONLY	PROJECT	45,00' x 600 x 160	BUILDING CROSS SECTION	DESIGN: RSH	DRAFT: BS	CHECK: DMC
							<input type="checkbox"/> FOR APPROVAL		ID	20200				
							<input type="checkbox"/> OTHER, EXPLAIN		PROJECT	LAKE CITY, FL		DATE: 3/31/10	SHEET	4
									ADDRESS					

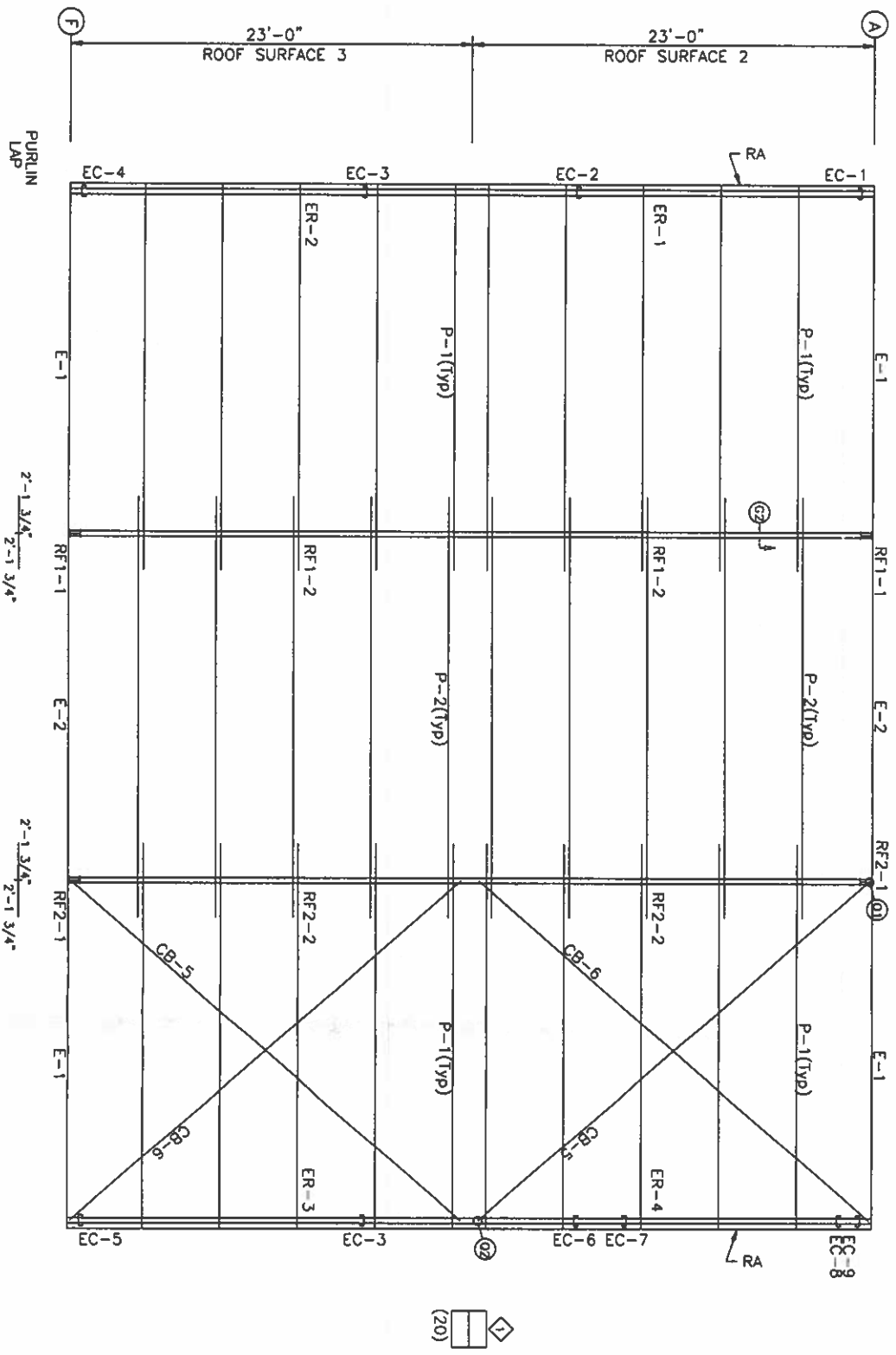
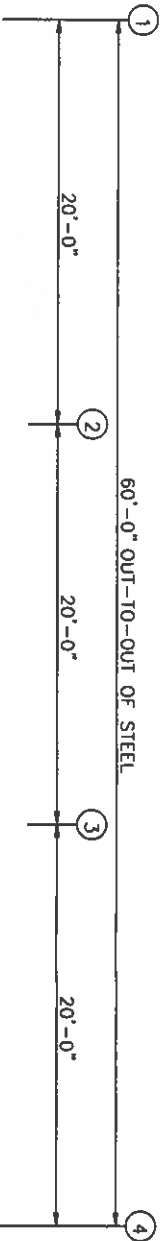
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MICHAEL R. MURPHY P.E.
FLORIDA P.E. # 67131
500 VULCAN PARKWAY
ADEL, GA 31610

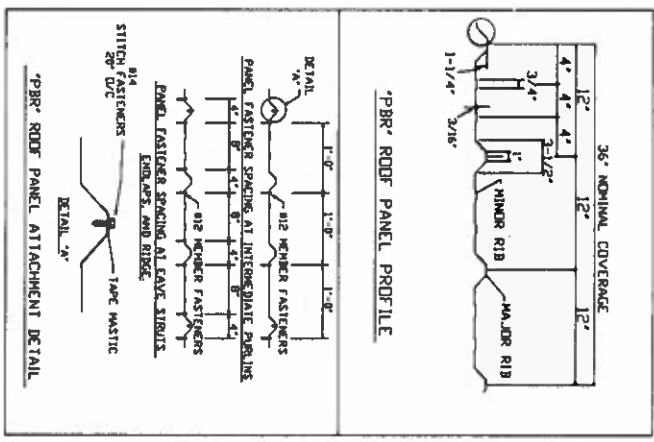
APR 09 2010



BRACE CABLE ASSEMBLY
CABLE HARDWARE FACTORY ATTACHED
SYMMETRICAL AT BOTH ENDS



ROOF FRAMING PLAN



MEMBER TABLE			
MARK	PART	LENGTH	DETAIL
P-1	8X25Z16	22'-1 1/2"	
P-2	8X25Z16	24'-3 1/2"	
E-1	8E275D16	19'-11 1/2"	
E-2	8E275D16	19'-11 1/2"	
CB-5	0.250CBL	29'-11"	
CB-6	0.250CBL	30'-5"	

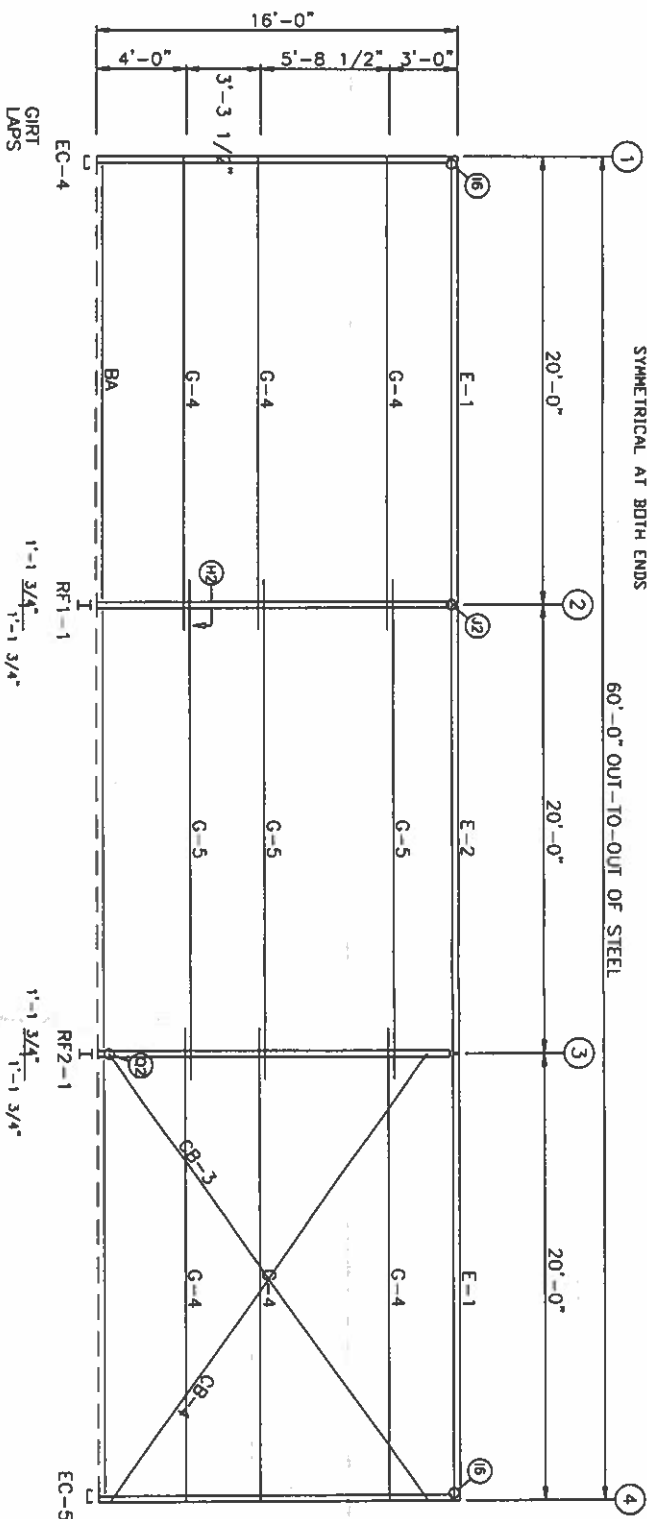
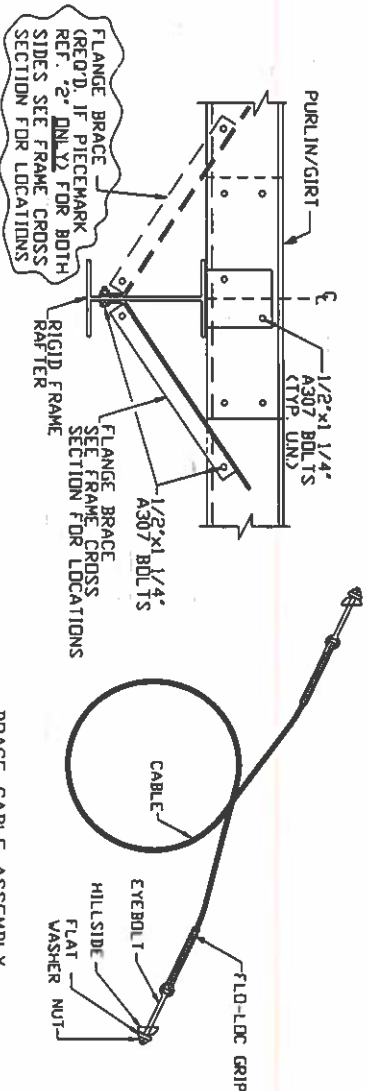
ROOF SHEETING
PANELS: 26 Ga. PBR -
Convolute

REVISIONS					
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR

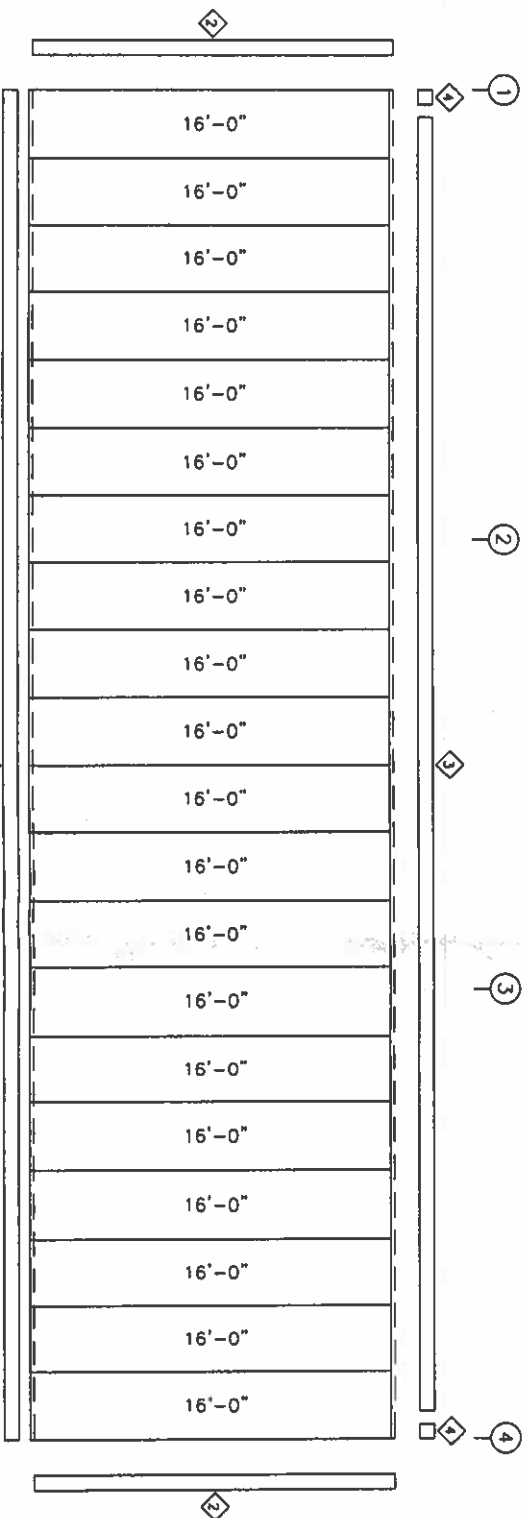
DRAWING STATUS		STEELMAX BUILDINGS, INC.	
<input type="checkbox"/> FOR CONSTRUCTION	PROJECT	4600' x 600' x 160	ROOF FRAMING
<input type="checkbox"/> FOR PERMIT ONLY	ID	20200	DESIGN RSH
<input type="checkbox"/> FOR APPROVAL	PROJECT	LAKE CITY, FL	DRAFT. BS
<input type="checkbox"/> OTHER, EXPLAIN	ADDRESS		CHECK: DMC
			DATE: 3/31/10
			SHEET 5

MICHAEL R. MURPHY, P.E.
FLORIDA P.E.# 67131
500 VULCAN PARKWAY
ADEL, GA 31620
APR 09 2010

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SIDEWALL FRAMING: FRAME LINE F

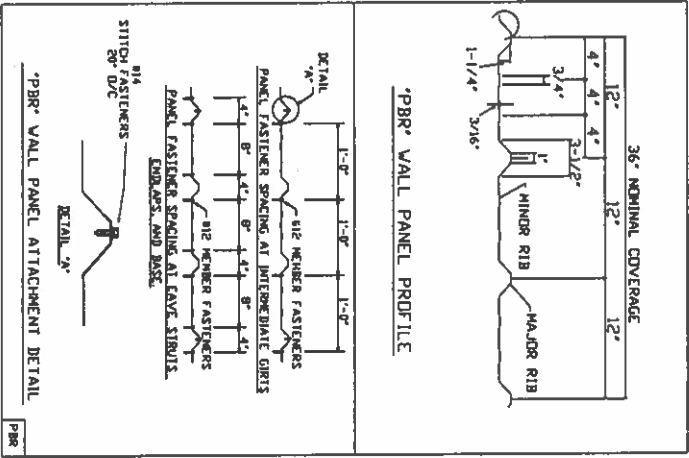


SIDEWALL SHEETING & TRIM: FRAME LINE F

PANELS: 26 Ga. PBR - Desert Sand

TRIM TABLE			
FRAME LINE F			
ID	MARK	LENGTH	DETAIL
1	DIR	20'-3"	TM21
2	CTR	16'-2"	TM29
3	SET	20'-3"	TM12
4	VRE	6'	TM40

MEMBER TABLE			
FRAME LINE F			
MARK	PART	LENGTH	
E-1	BE275D16	19'-11 1/2"	
E-2	BE275D16	19'-11 1/2"	
G-4	8X25Z16	21'-1 1/2"	
G-5	8X25Z16	22'-3 1/2"	
CB-3	0.312CBL	24'-3"	
CB-4	0.312CBL	24'-9"	



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MICHAEL R. MURPHY, P.E.
FLORIDA P.E. # 67131
500 VULCAN PARKWAY
ADEL, GA 31620

APR 09 2010

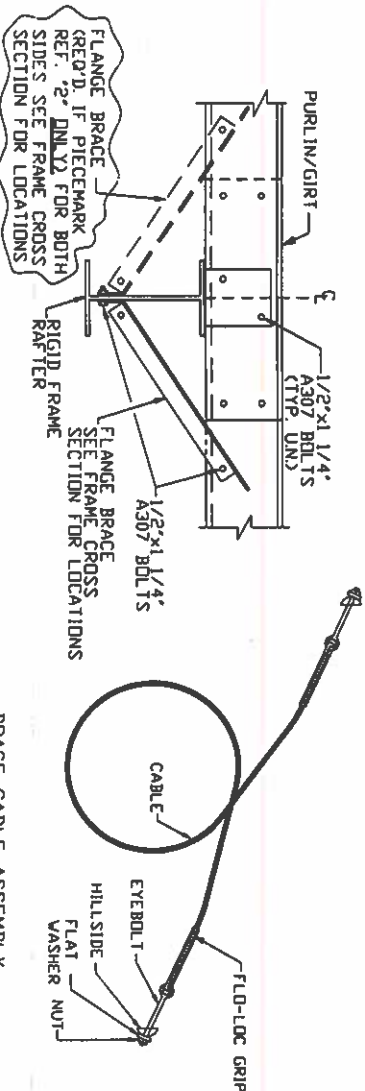
GENERAL NOTES:
(1.) IF CABLE BRACING, WIND BENTS, WIND COLUMNS, OR WEAK AXIS DESIGN OF SIDE WALL COLUMNS WERE NOT PROVIDED IT HAS BEEN DETERMINED THAT DIAPHRAGM PANEL ACTION IS SUFFICIENT TO RESIST LONGITUDINAL FORCES. TEMPORARY BRACING SHOULD BE PROVIDED BY ERECTOR UNTIL ALL WALL AND ROOF PANELS ARE INSTALLED.

REVISIONS					
REV.	DESCRIPTION	DATE	DTLR	DATE	CHKR

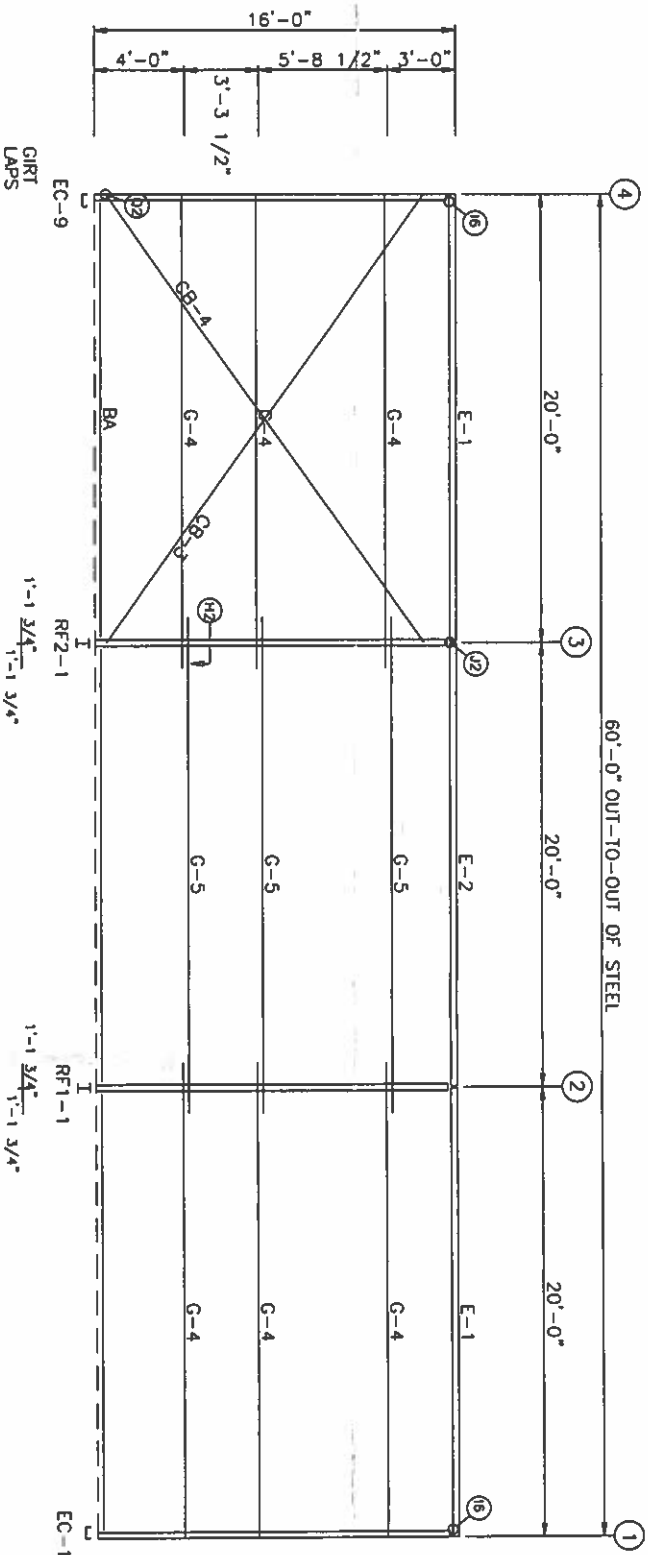
DRAWING STATUS
[X] FOR CONSTRUCTION
[] FOR PERMIT ONLY
[] OTHER, EXPLAIN

STEELMAX BUILDINGS, INC.
PROJECT 4600' x 660' x 16.0
PROJECT 20200
ADDRESS LAKE CITY, FL

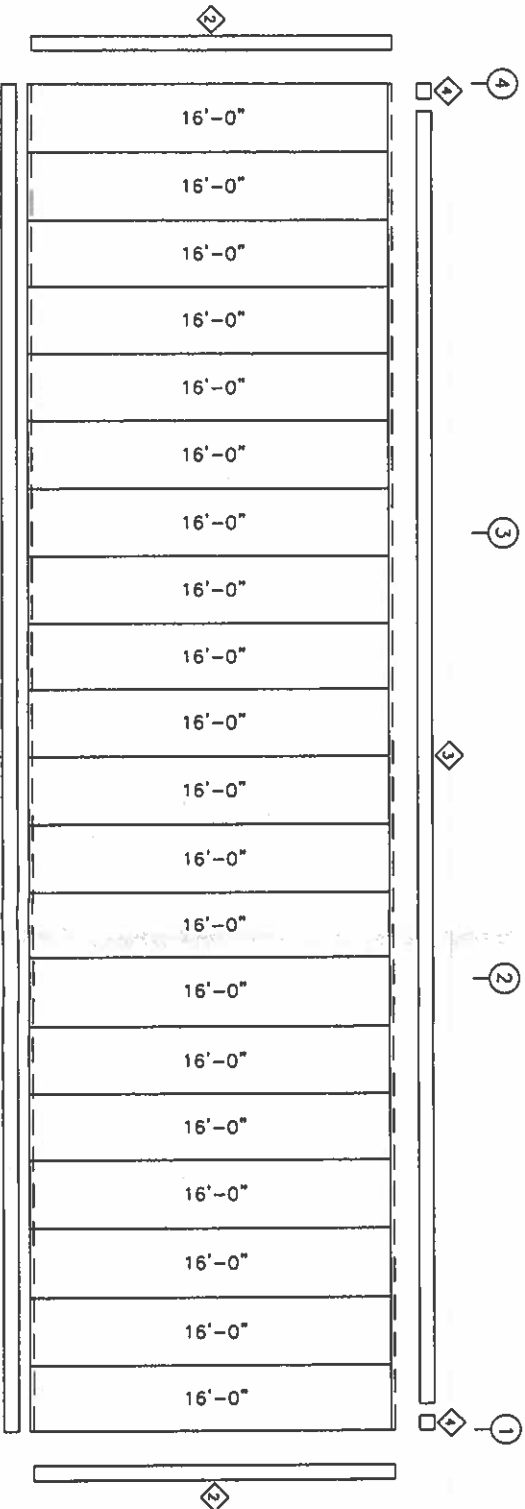
JEFF OSBURN
SIDEWALL FRAMING
DESIGN: RSH DRAFT: BS CHECK: DMC
DATE: 3/31/10 SHEET 6



BRACE CABLE ASSEMBLY
CABLE HARDWARE FACTORY ATTACHED
SYMMETRICAL AT BOTH ENDS



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Co. PBR - Desert Sand

GENERAL NOTES:
(1.) IF CABLE BRACING, WIND BENTS, WIND COLUMNS, OR WEAK AXIS DESIGN OF SIDE WALL COLUMNS WERE NOT PROVIDED IT HAS BEEN DETERMINED THAT DIAPHRAGM PANEL ACTION IS SUFFICIENT TO RESIST LONGITUDINAL FORCES. TEMPORARY BRACING SHOULD BE PROVIDED BY ERECTOR UNTIL ALL WALL AND ROOF PANELS ARE INSTALLED.

REVISIONS					
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR

DRAWING STATUS
[] FOR CONSTRUCTION
[x] FOR PERMIT ONLY
[] FOR APPROVAL
[] OTHER, EXPLAIN

STEELMAX BUILDINGS, INC.	
PROJECT	4600' x 600 x 16.0
PROJECT	20200
PROJECT	LAKE CITY, FL

JEFF OSBURN		
DESIGN	RSH	DRAFT: BS
DATE:	3/31/10	SHEET
		CHECK: DMC
		7

FRAME LINE A			
QID	MARK	LENGTH	DETAIL
1	DIR	20'-3"	TM21
2	CTR	16'-2"	TM29
3	SET	20'-3"	TM12
4	VRE	6'	TM40

MEMBER TABLE			
FRAME LINE A			
MARK	PART	LENGTH	
E-1	8E275016	19'-11 1/2"	1 1/2"
E-2	8E275016	21'-11 1/2"	1 1/2"
G-4	8X25Z16	22'-3"	1 1/2"
G-5	8X25Z16	22'-3"	1 1/2"
CB-3	0.312CBL	24'-3"	
CB-4	0.312CBL	24'-9"	

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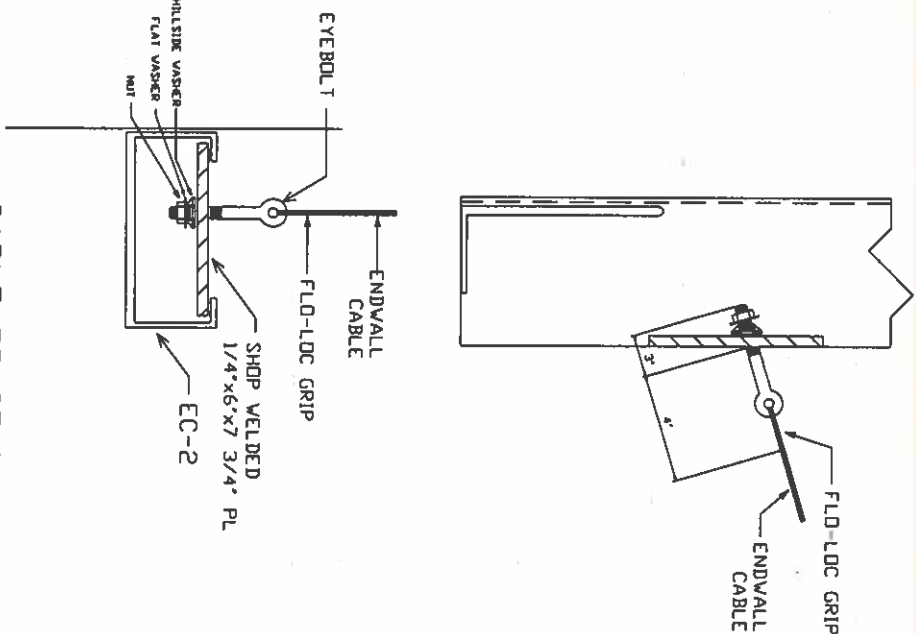
MICHAEL R. MURPHY, P.E.
FLORIDA P.E. # 67131
500 VULCAN PARKWAY
ADEL, CA 91620

APR 09 2010

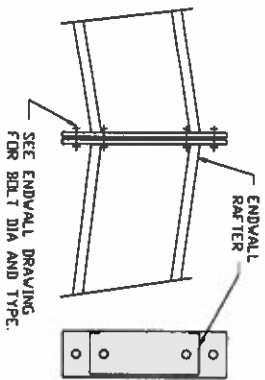
BOLL TABLE			
FRAME LINE 1		QUAN	TYPE DIA LENGTH
LOCATION		4	A325 5/8" 1 3/4"
ER-1/ER-2		4	A325 1 1/2" 1 1/4"
Columns/Rof			

TRIM TABLE			
QID	MARK	LENGTH	DETAIL
1	DTR	17'-3"	TRIM_21
3	VRT	20'-3"	TRIM_11
4	VRP	3'-7"	TRIM_11
5	VPB	1'-4"	TRIM_39
6	JTR	14'-2"	TRIM_31
7	HT	12'-3"	TRIM_33

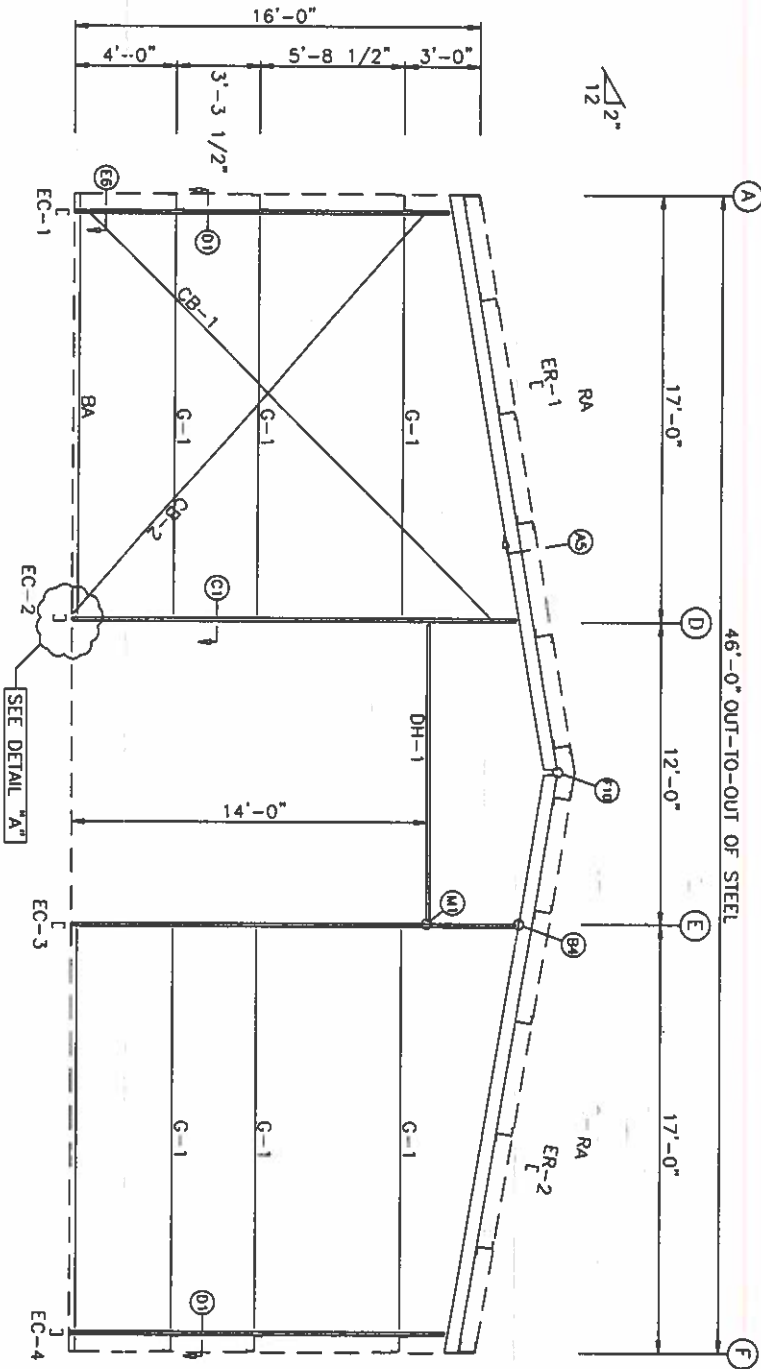
MEMBER TABLE			
MARK	PART	LENGTH	
EC-1	8x35C16	14'-6 1/16"	
EC-2	8x35C12	17'-2 3/4"	
EC-3	8x35C12	17'-2 3/4"	
EC-4	8x35C16	14'-6 1/16"	
ER-1	10x35c14	23'-3 13/16"	
ER-2	10x35c14	23'-3 13/16"	
DH-1	8x35C16	12'-0"	
CB-1	8x25Z16	13'-8 1/2"	
CB-2	0.250CBL	23'-9"	
		22'-1"	



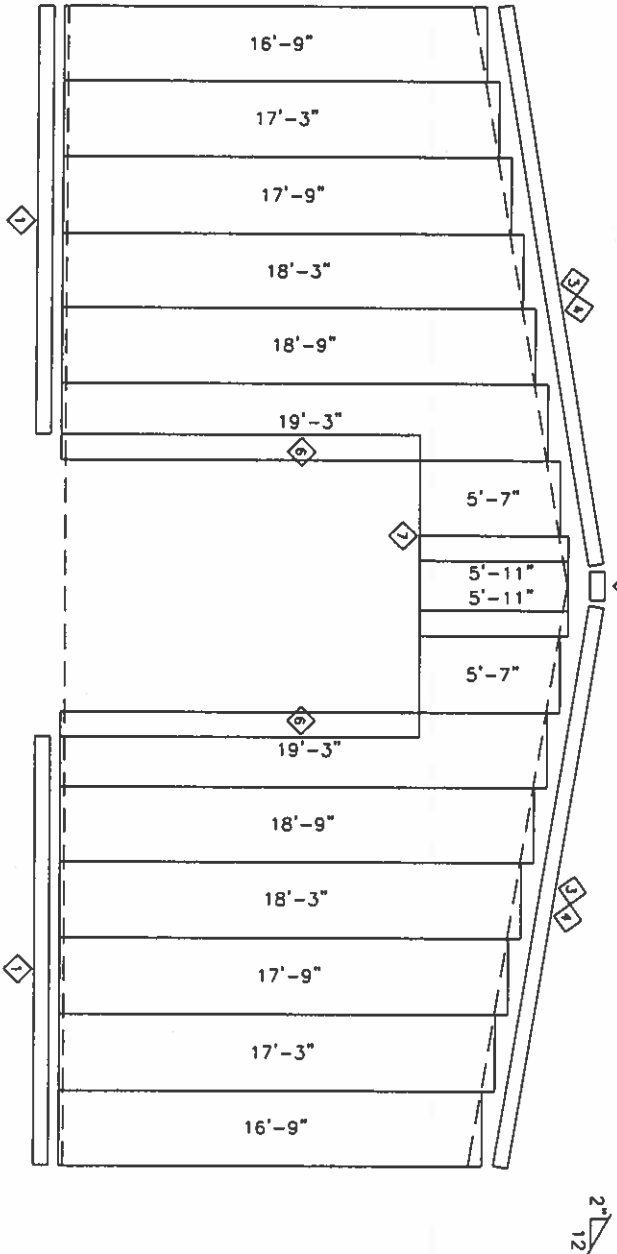
CABLE BRACE DETAIL
NOTE: EYEBOLT, FLD-LDC, FLAT WASHER, HILLSIDE WASHER & NUT ATTACHED TO CABLE BY FACTORY.



DETAIL "A"
F10 RAFTER SPLICE AT SURFACE CHANGE



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Gg. PBR - Desert Sand

GENERAL NOTES:

(1.) IF CABLE BRACING FOR END WALL IS NOT SHOWN ON ERECTION DRAWINGS IT HAS BEEN DETERMINED THAT DIAPHRAGM PANEL ACTION IS SUFFICIENT TO RESIST LONGITUDINAL FORCES. TEMPORARY BRACING SHOULD BE PROVIDED BY ERECTOR UNTIL ALL WALL AND ROOF PANELS ARE INSTALLED.

REVISIONS						DRAWING STATUS			
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR	APPD	[] FOR CONSTRUCTION	PROJECT	ADDRESS
							[X] FOR PERMIT ONLY	46.00' x 600' x 150'	LAKE CITY, FL
							[] FOR APPROVAL	20200	
							[] OTHER, EXPLAIN		

STEELMAX BUILDINGS, INC.				JEFF OSBURN			
PROJECT				ENDWALL FRAMING			
PROJECT				DESIGN: RSH DRAFT: BS CHECK: DMC			
PROJECT				DATE: 3/31/10 SHEET: 8			

THE PROJECT DESIGNER IS NOT THE METAL BUILDING MANUFACTURER. THE METAL BUILDING DESIGNER OR THE METAL BUILDING ENGINEER, THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS IS A SPECIALTY ENGINEER AND NOT THE PROJECT DESIGNER OR THE PROJECT ENGINEER OF RECORD. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS DOES NOT HAVE FAMILIARITY WITH THE PHYSICAL JOBSITE LOCATION AND THEREFORE CANNOT BE IDENTIFIED AS, SERVE AS OR QUALIFY AS THE PROJECT DESIGNER.

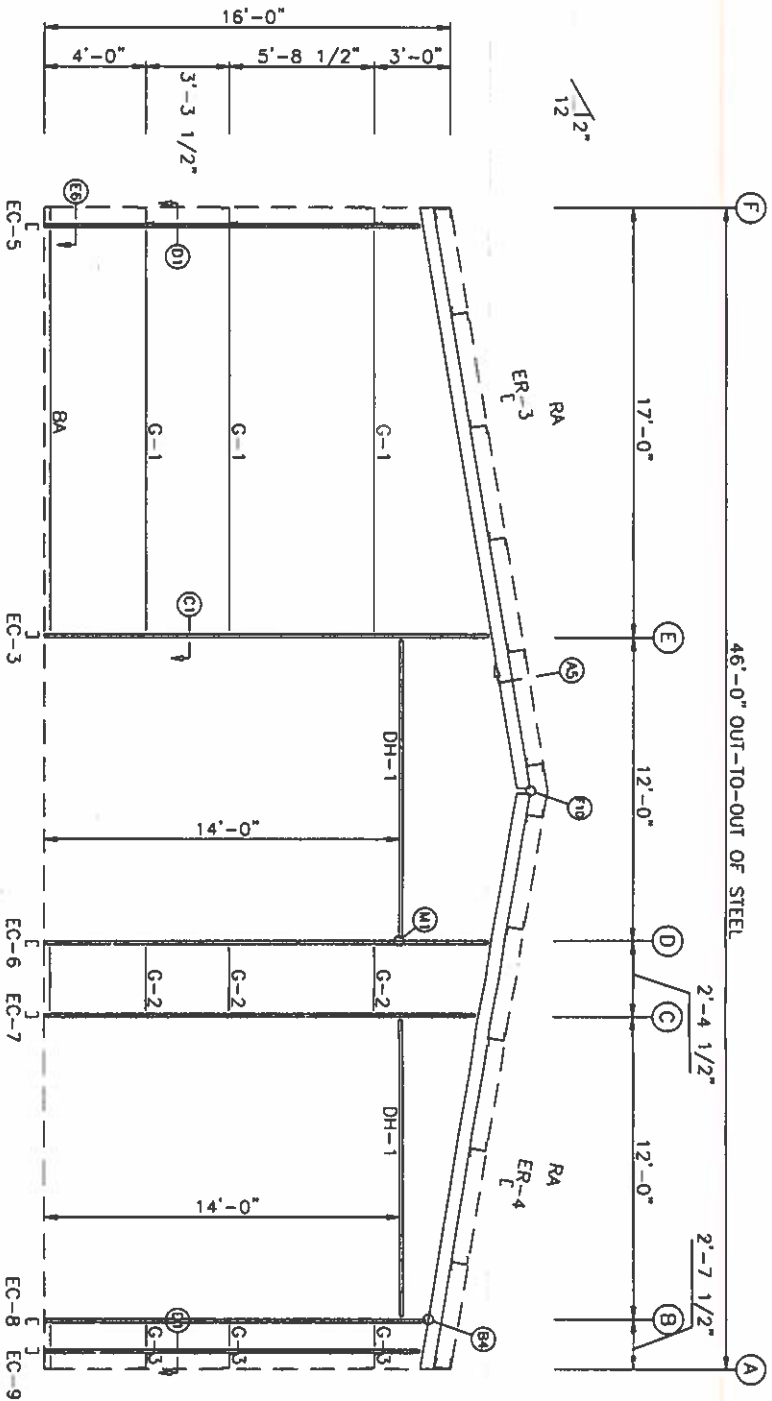
MICHAEL R. MURPHY P.E.
FLORIDA P.E. # 67131
500 VULCAN PARKWAY
ADEL, GA 31620

APR 09 2010

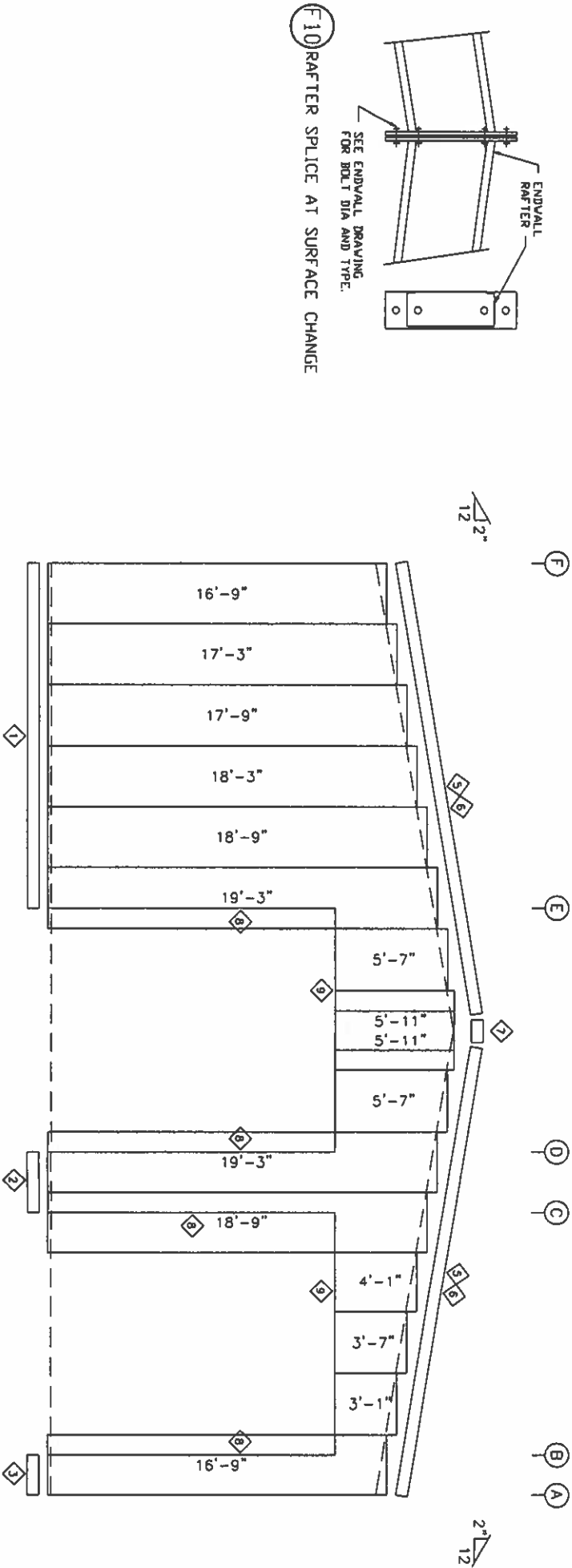
BUILDING TABLE			
FRAME LINE 4		QUAN	TYPE DIA LENGTH
LOCATION		4	A325 5/8" 1 3/4"
ER-3/ER-4		4	A325 1/2" 1 1/4"
Columns/Rof			

TRIM TABLE			
QID	MARK	LENGTH	DETAIL
1	DTR	17'-3"	TRIM 21
2	DTR	2'-8"	TRIM 21
3	DTR	2'-11"	TRIM 21
5	VRT	20'-3"	TRIM 11
6	VRT	3'-7"	TRIM 11
7	VPB	1'-4"	TRIM 39
8	JTR	14'-2"	TRIM 31
9	HT	12'-3"	TRIM 33

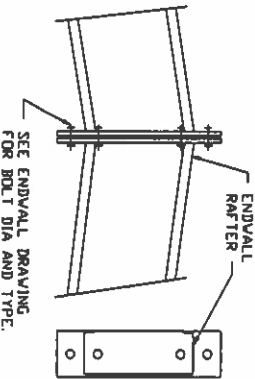
MEMBER TABLE			
MARK	PART	LENGTH	
EC-3	8x35C12	17'-2 3/4"	
EC-5	8x35C16	14'-6 1/16"	
EC-6	8x35C16	17'-2 3/4"	
EC-7	8x35C16	16'-8 3/4"	
EC-8	8x35C16	14'-8 3/4"	
EC-9	8x35C16	14'-6 1/16"	
ER-3	10x35C14	23'-3 13/16"	
ER-4	10x35C14	23'-3 13/16"	
DH-1	8x35C16	12'-0"	
G-1	8x25Z16	15'-8 1/2"	
G-2	8x25Z16	2'-4 1/2"	
G-3	8x25Z16	8 1/2"	



ENDWALL FRAMING: FRAME LINE 4



F10 RAFTER SPLICE AT SURFACE CHANGE



GENERAL NOTES:

(1) IF CABLE BRACING FOR END WALL IS NOT SHOWN ON ERECTION DRAWINGS IT HAS BEEN DETERMINED THAT DIAPHRAGM PANEL ACTION IS SUFFICIENT TO RESIST LONGITUDINAL FORCES. TEMPORARY BRACING SHOULD BE PROVIDED BY ERECTOR UNTIL ALL WALL AND ROOF PANELS ARE INSTALLED.

ENDWALL SHEETING & TRIM: FRAME LINE 4

PANELS: 26 Ga. PBR - Desert Sand

REVISIONS					
REV.	DESCRIPTION:	DATE	DLR	DATE	CHKR

DRAWING STATUS		STEELMAX BUILDINGS, INC.	
<input type="checkbox"/> FOR CONSTRUCTION	<input type="checkbox"/> FOR PERMIT ONLY	PROJECT	46.00' x 600' x 160'
<input type="checkbox"/> FOR APPROVAL	<input type="checkbox"/> FOR EXPLAIN	PROJECT	20200
<input type="checkbox"/> OTHER, EXPLAIN		PROJECT	LAKE CITY, FL
		PROJECT	
		PROJECT	
		PROJECT	
		PROJECT	
		PROJECT	
		PROJECT	
		PROJECT	

JEFF OSBURN	
ENDWALL FRAMING	CHECK: DMC
DESIGN RSH	DRAFT: BS
DATE: 3/31/10	SHEET: 9

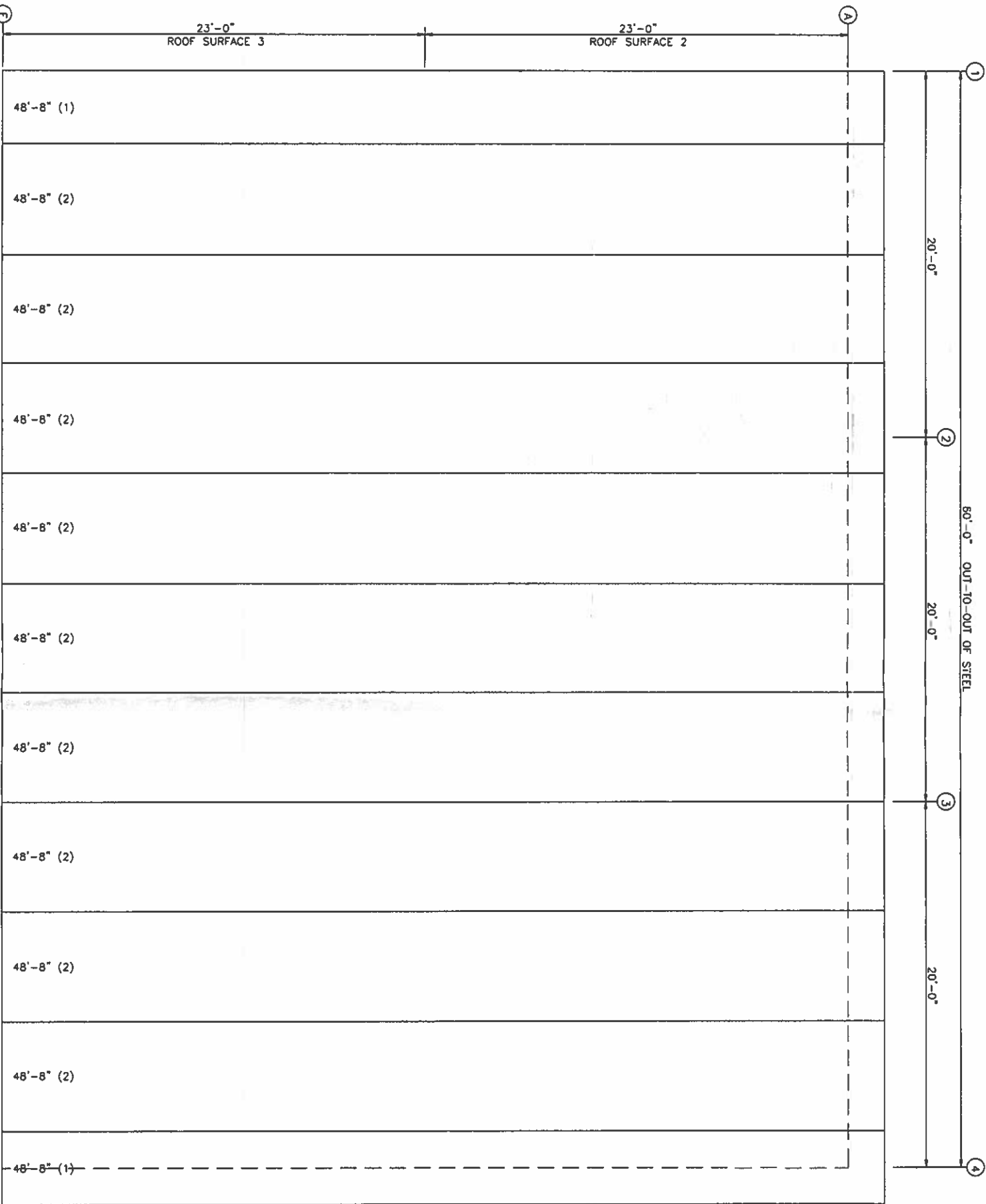
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MICHAEL R. MURPHY P.E.
FLORIDA P.E. # 67131
500 VULCAN PARKWAY
ADEL, GA 31620

APR 09 2010

ROOF INSULATION TABLE				
FRAME LINE				
ROLL	QUAN	MARK	WIDTH	LENGTH
1	2	R1-1	4'-0"	48'-8"
2	9	R1-2	6'-0"	48'-8"

LEGEND:
-(1)
Length (Roll #)



ROOF INSULATION

NOTE: ONE ROLL OF INSULATED PATCH TAPE IS INCLUDED FOR REPAIRS ONLY, AND SHOULD NOT BE USED AT THE INSULATION SEAMS.

THE PROJECT DESIGNER IS NOT THE METAL BUILDING MANUFACTURER, THE METAL BUILDING DESIGNER OR THE METAL BUILDING ENGINEER. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS IS A SPECIALTY ENGINEER AND NOT THE PROJECT DESIGNER OR THE PROJECT ENGINEER OF RECORD. THE ENGINEER WHOSE SEAL APPEARS ON THE METAL BUILDING PLANS DOES NOT HAVE FAMILIARITY WITH THE PHYSICAL JOBSITE LOCATION AND THEREFORE CANNOT BE IDENTIFIED AS, SERVE AS OR QUALIFY AS THE PROJECT DESIGNER.

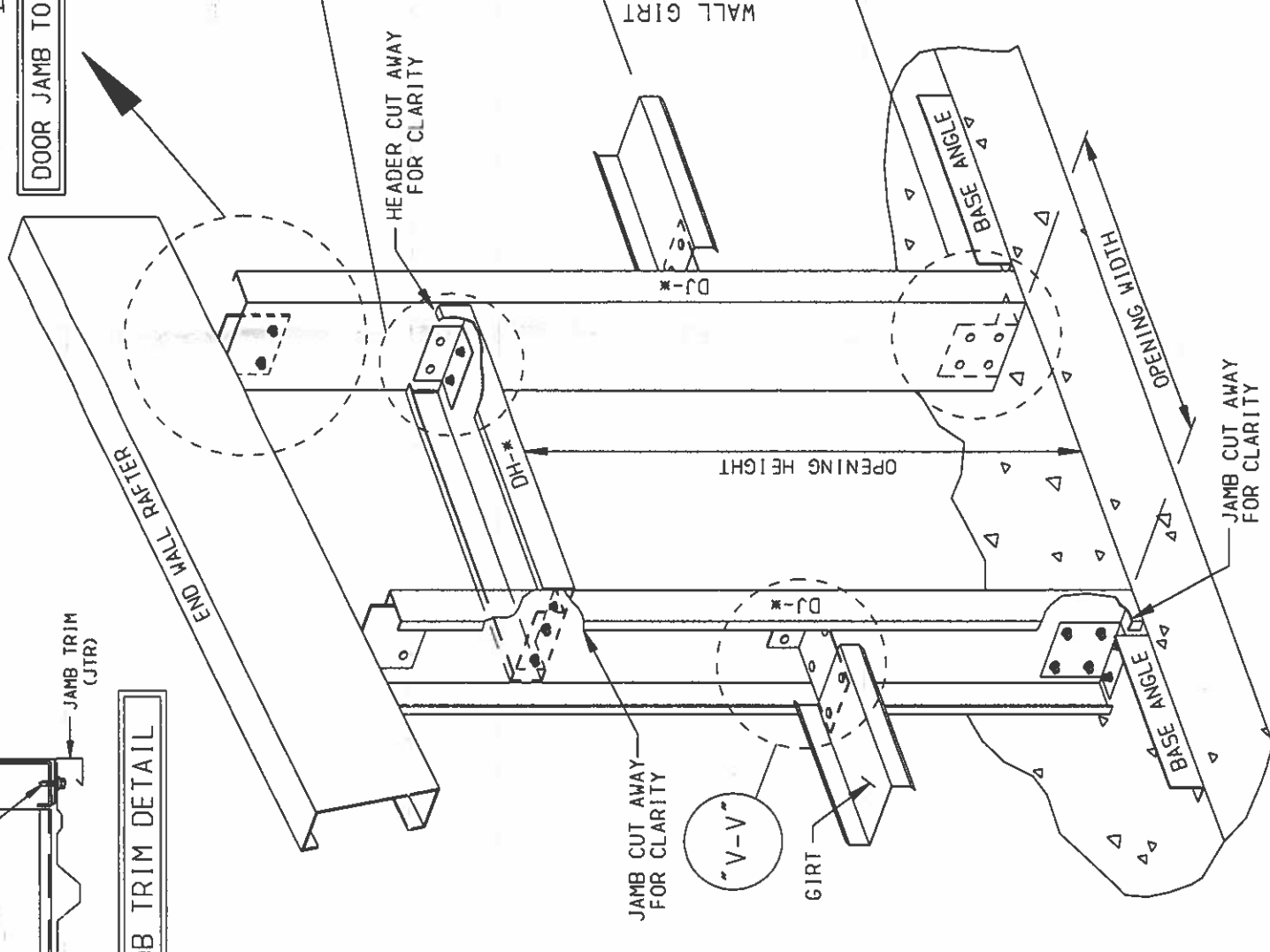
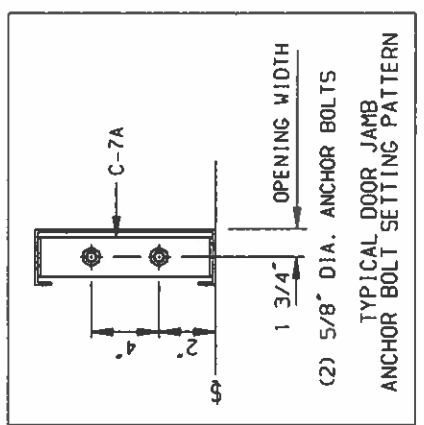
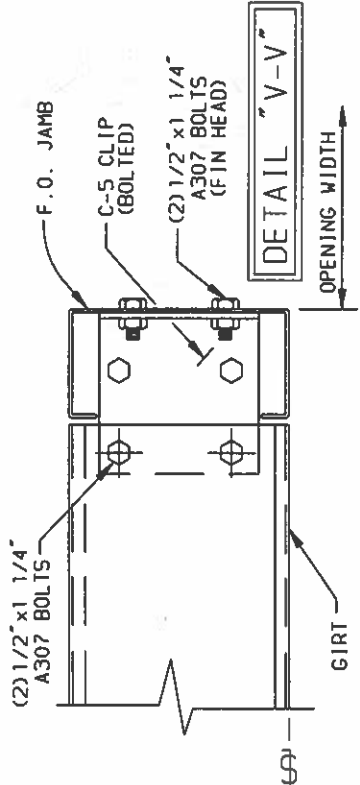
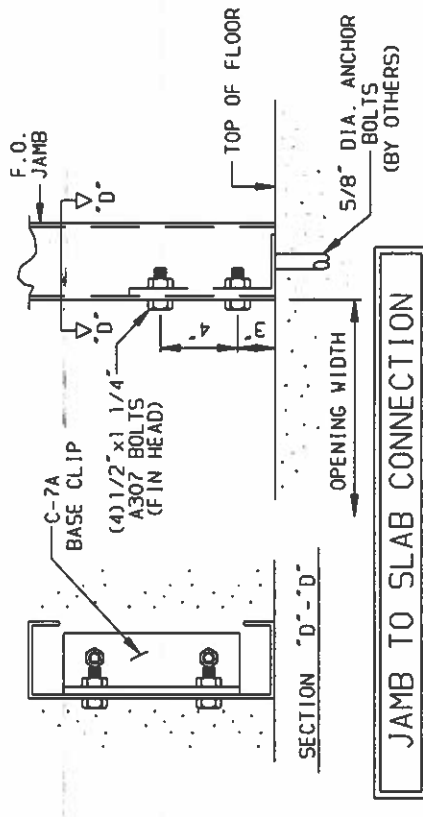
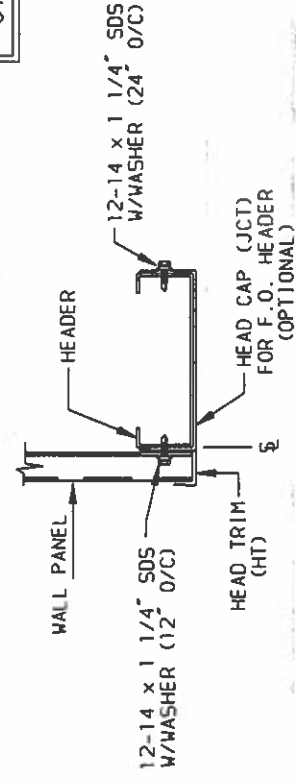
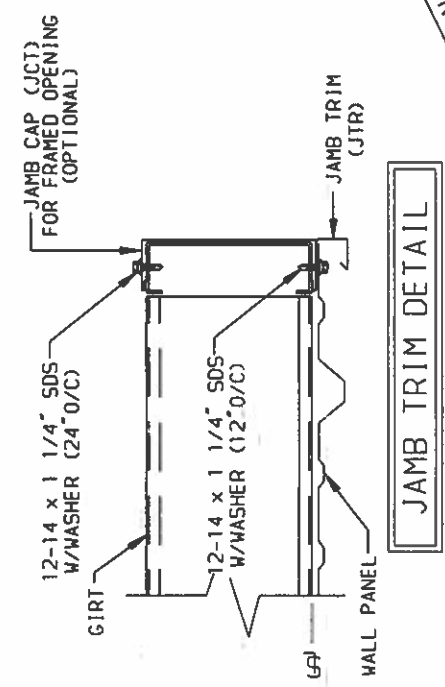
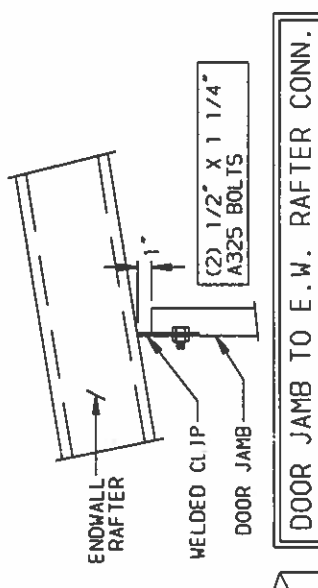
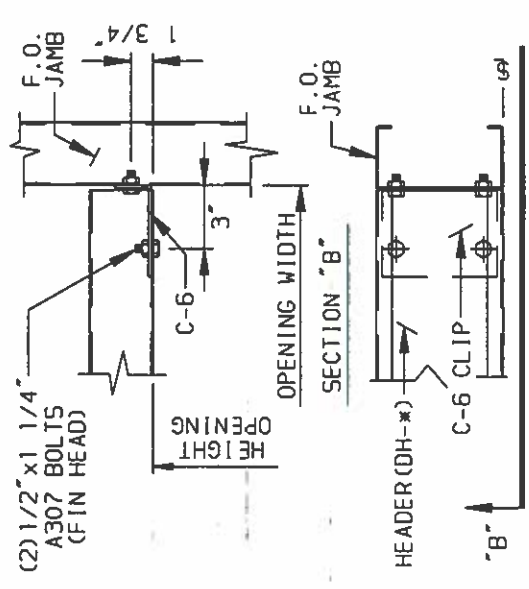
MICHAEL R. MURPHY P.E.
FLORIDA P.E. # 67131
500 VULCAN PARKWAY
ADEL, GA 31620

APR 09 2010

REVISIONS					
REV.	DESCRIPTION	DATE	DTLR	DATE	CHKR

DRAWING STATUS		STEELMAX BUILDINGS, INC.	
<input type="checkbox"/>	FOR CONSTRUCTION	PROJECT	4600' x 600' x 16.0
<input type="checkbox"/>	FOR PERMIT ONLY	ID	20200
<input type="checkbox"/>	FOR APPROVAL	PROJECT	LAKE CITY, FL
<input type="checkbox"/>	OTHER, EXPLAIN	ADDRESS	

JEFF OSBURN			
ROOF INSULATION			
DESIGN: RSH	DRAFT: BS	CHECK: DMC	
DATE: 3/31/10	SHEET	10	



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MICHAEL R. MURPHY P.E.
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500 VULCAN PARKWAY
ADEL, GA 31620

APR 09 2010

FRAMED OPENING DETAIL
(JAMBS FLOOR TO E.W. RAFTER)

REVISIONS		DRAWING STATUS				STEELMAX BUILDINGS, INC.		JEFF OSBURN	
REV.	DESCRIPTION	DATE	DTLR	DATE	CHKR	APPD	PROJECT	Detail Page	
							46.00' x 60.0' x 16.0		
							20200	DESIGN: RSH	DRAFT: BS
							PROJECT	DATE: 3/31/10	CHECK: DMC
							ADDRESS		SHEET 14
							LAKE CITY, FL		