

This Permit Expires One Year From the Date of Issue

APPLICANTGERALD HOWDPHONE965-6612

ADDRESS346NOEGEL RDLAKE CITYFL32055

OWNERGERALD HOWDPHONE965-6612

ADDRESS346NOEGEL RDLAKE CITYFL32055

CONTRACTOROWNERPHONE

LOCATION OF PROPERTY90 WEST, TO CR 135 GO RIGHT, THEN 4TH PROPERTY
ON THE LEFT

TYPE DEVELOPMENTMODULAR, UTILITYESTIMATED COST OF CONSTRUCTION0.00

HEATED FLOOR AREATOTAL AREAHEIGHT24.20STORIES1

FOUNDATIONCONCRETEWALLSFRAMEDROOF PITCH10/12FLOORSLAB

LAND USE & ZONINGA-3MAX. HEIGHT35

Minimum Set Back Requirments:STREET-FRONT30.00REAR25.00SIDE25.00

NO. EX.D.U.0FLOOD ZONEXDEVELOPMENT PERMIT NO.

PARCEL ID30-3S-16-02399-001SUBDIVISION

LOTBLOCKPHASEUNITTOTAL ACRES1.00

Culvert Permit No.Culvert WaiverContractor's License NumberApplicant/Owner/Contractor

EXISTING06-0467-NBKJHN

Driveway ConnectionSeptic Tank NumberLU & Zoning checked byApproved for IssuanceNew Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD, SPECIAL FAMILY LOT AFFIDAVIT

NOC ON FILE

Check # or Cash2141

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Powerdate/app. byFoundationdate/app. byMonolithicdate/app. by

Under slab rough-in plumbingdate/app. bySlabdate/app. bySheathing/Nailingdate/app. by

Framingdate/app. byRough-in plumbing above slab and below wood floordate/app. by

Electrical rough-indate/app. byHeat & Air Ductdate/app. byPeri. beam (Lintel)date/app. by

Permanent powerdate/app. byC.O. Finaldate/app. byCulvertdate/app. by

M/H tie downs, blocking, electricity and plumbingdate/app. byPooldate/app. by

Reconnectiondate/app. byPump poledate/app. byUtility Poledate/app. by

M/H Poledate/app. byTravel Trailerdater/app. byRe-roofdate/app. by

BUILDING PERMIT FEE \$0.00CERTIFICATION FEE \$0.00SURCHARGE FEE \$0.00

MISC. FEES \$200.00ZONING CERT. FEE \$50.00FIRE FEE \$0.00WASTE FEE \$

FLOOD DEVELOPMENT FEE \$FLOOD ZONE FEE \$25.00CULVERT FEE \$TOTAL FEE275.00

INSPECTORS OFFICEL. Hocken

CLERKS OFFICECH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Prepared by and return to:

[Space above this line for recording data]

Warranty Deed

This Warranty Deed made this 3rd day of March 2006 between Gerald Lee Howd, an unmarried person whose post office address is 310 NW Noegel Road Lake City, FL 32055 grantor, and Gerald (NMN) Howd, a married person whose post office address is 310 NW Noegel Road Lake City, FL 32055 grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that the said grantor, for an in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, the grantee's heirs and assigns forever, the following described land, situate, lying and being in **Columbia County, Florida** to "wit:

COMMENCE AT THE SW CORNER OF THE SW ¼ OF THE NW ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S.89°58'48"E., 1207.15 FEET, THENCE N.02°09'46"W., 249.15 FEET TO THE POINT OF THE BEGINNING, THENCE CONTINUE N.02°09'46"W., 186.49 FEET, THENCE N.89°58'05"E., 210.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 135, THENCE S.2°9'46"E., ALONG SAID RIGHT-OF-WAY LINE, 228.69 FEET; THENCE N.78°45'33"W., 215.73 FEET TO THE POINT OF BEGINNING, CONTAINING 1.00 ACRES MORE OR LESS.

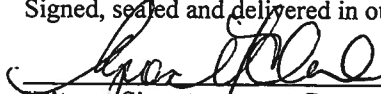
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with the said grantee the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2005**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Signature as to Grantor
Myron McElendon
Printed Name


Signature of Grantor
GERALD L. HOWD
Printed Name

Witness Signature as to Grantor

Printed Name

Post Office Address

Witness Signature as to Co-Grantor (if any)

Printed Name Printed Name

Signature of Co-First Party (if any)

Witness Signature as to Co-Grantor (if any)

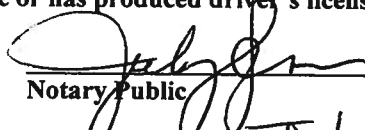
Printed Name

Post Office Address

STATE OF FLORIDA-COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 3 day of March, 2006, by Gerald L. Howd, who is personally known to me or has produced driver's license as identification.




Notary Public
Printed Name: Judy Jensen
My Commission Expires: May 3, 2009

Return to:
Serna Tith
619 SW Baya Dr #102
Lake City FL 32025
#07.0293

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF: Columbia

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Description of Property: Long Lega
619 346 310 NW Noegel Road N/A
Lake City, FL 32055

2. General Description of Improvements: Residential Construction

3. Name and Address of Owner: Gerald & Nina Howd
310 NW Noegel Road
Lake City, FL 32055

Inst: 200712017875 Date: 8/7/2007 Time: 11:39 AM
118 DC, P. DeWitt Cason Columbia County Page 1 of 1

Interest In Property: Fee Simple

Name and Address of Fee Simple Titleholder (if other than owner): N/A

4. Name and Address of Contractor: Owner/Builder
310 NW Noegel Road
Lake City, FL 32055

5. Name and Address of Surety on payment bond, if any, and amount of such bond: N/A

Amount of Bond: \$0

6. Name and Address of Lender:

MERCANTILE BANK, A DIVISION OF CAROLINA FIRST BANK
425 22nd Avenue North
St. Petersburg, FL 33704
Attention: Sara P. Lopez

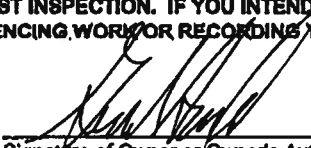
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1)(a)7., Florida Statutes:

MERCANTILE BANK, A DIVISION OF CAROLINA FIRST BANK
425 22nd Avenue North
St. Petersburg, FL 33704
Attention: Sara P. Lopez

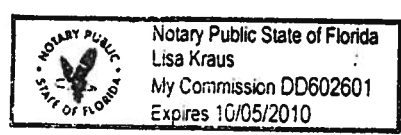
8. In addition to himself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

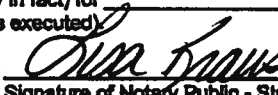
9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY, BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.


Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Signatory's Title/Office _____

The foregoing instrument was acknowledged before me this 4th day of August, 2007 (year) by
Gerald & Nina Howd (name of person) as property owners
(type of authority, ... e.g. officer, trustee, attorney in fact) for
(name of party on behalf of whom instrument was executed)




Signature of Notary Public - State of Florida
Print, Type or Stamp Commissioned Name of Notary Public
Commission Number _____

Personally Known _____ or Produced Identification PL PL

Verification Pursuant to Section 92.525, Florida Statutes

Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing Above

For Office Use Only Application # 0707-83 Date Received 7/31/07 By UH Permit # 26105
Application Approved by - Zoning Official _____ Date _____ Plans Examiner OK JH Date 8-1-07
Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments Need: Special Family Lot Affidavit
OK, N/A

Applicants Name GERALD HOWD Phone 386-965-6612
Address 346 NOEGEL ROAD LAKE CITY, FL 32055
Owners Name GERALD HOWD Phone 386-965-6612
911 Address 346 NW NOEGEL ROAD LAKE CITY, FL 32055 752.9560
Contractors Name N/A - SELF Phone SAME
Address 310 NW NOEGEL ROAD LAKE CITY, FL 32055
Fee Simple Owner Name & Address SAME
Bonding Co. Name & Address _____
Architect/Engineer Name & Address H.W.C. 1627 SOUTH MYRTLE AVE. CLEARWATER, FL 33756
Mortgage Lenders Name & Address 2844 U.S. HWY 90 LAKE CITY, FL 32055
Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
Property ID Number 30-35-16-02399-001 Estimated Cost of Construction \$95,000.00
Subdivision Name N/A Lot _____ Block _____ Unit _____ Phase _____
Driving Directions US90 WEST TO CR-135 (NOEGEL ROAD) TURN RIGHT THEN 22 WILL BE 4TH PROPERTY ON THE LEFT. BETWEEN 310 & 390 STREET NUMBERS

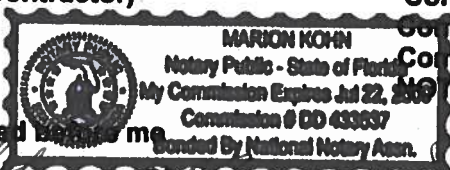
Type of Construction PCA-MODULAR ON STEM WALL Number of Existing Dwellings on Property 0
Total Acreage 1.000 Lot Size 1.000 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
Actual Distance of Structure from Property Lines - Front 106' Side 66' Side 73' Rear 75'
Total Building Height 24'2" Number of Stories 1 Heated Floor Area 1624 SQ. FT. Roof Pitch 10/12
INCLUDES FOUNDATION + UNFINISHED ATTIC SPACE ON ROOF AREA

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

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Owner Builder or Agent (Including Contractor) [Signature] 7/27/2007
Contractor Signature N/A
Contractors License Number N/A
Competency Card Number N/A
NOTARY STAMP/SEAL
Sworn to (or affirmed) and subscribed before me this 22th day of July 2007.
Personally known or Produced Identification
Notary Signature Marion Kohr



**AFFIDAVIT OF SUBDIVIDED REAL PROPERTY
FOR USE OF IMMEDIATE FAMILY MEMBERS
FOR PRIMARY RESIDENCE**

STATE OF FLORIDA
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared.

GERALD LEE HOWD, the Owner of the parent tract which has been subdivided for immediate family primary residence use, hereinafter the Owner, and GERALD HOWD, the family member of the Owner, who is the owner of the family parcel which is intended for immediate family primary residence use, hereafter the Family Member, and is related to the Owner as SON, and both individuals being first duly sworn according to law, depose and say:

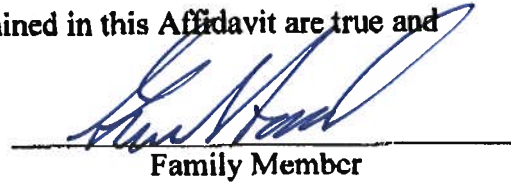
1. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit.
2. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference to the Columbia county Property Appraiser Tax Parcel No. 30-35-16-02399-000HX
3. The Owner has divided his parent parcel for use of immediate family members for their primary residence and the parcel divided and the remaining parent parcel are at least 1/2 acre in size. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
4. The Family Member is a member of the Owner's immediate family, as set forth above, and holds fee simple title to certain real property divided from the Owner's parcel situated in Columbia County and more particularly described by reference to the Columbia County Property Appraiser Tax Parcel No. 30-35-16-02399-001.
5. No person or entity other than the Owner and Family Member claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
6. This Affidavit is made for the specific purpose of inducing Columbia County to recognize a family division for a family member on the parcel divided in accordance with Section 14.9 of the Columbia County Land Development Regulations.

7. This Affidavit is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the information contained in this Affidavit are true and correct.


Owner

GERALD LEE HOWD
Typed or Printed Name


Family Member

GERALD HOWD
Typed or Printed Name

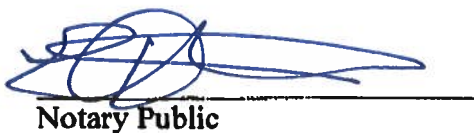
Subscribed and sworn to (or affirmed) before me this 7 day of August, 2007, by Gerald L Howd (Owner) who is personally known to me or has produced Florida Drivers Lic. as identification.


Notary Public



E. Donestevez
Commission #DD314416
Expires: Apr 28, 2008
Bonded Thru
Atlantic Bonding Co., Inc.

Subscribed and sworn to (or affirmed) before me this 7 day of August, 2007, by Gerald Howd (Family Member) who is personally known to me or has produced Florida Drivers Lic. as identification.


Notary Public



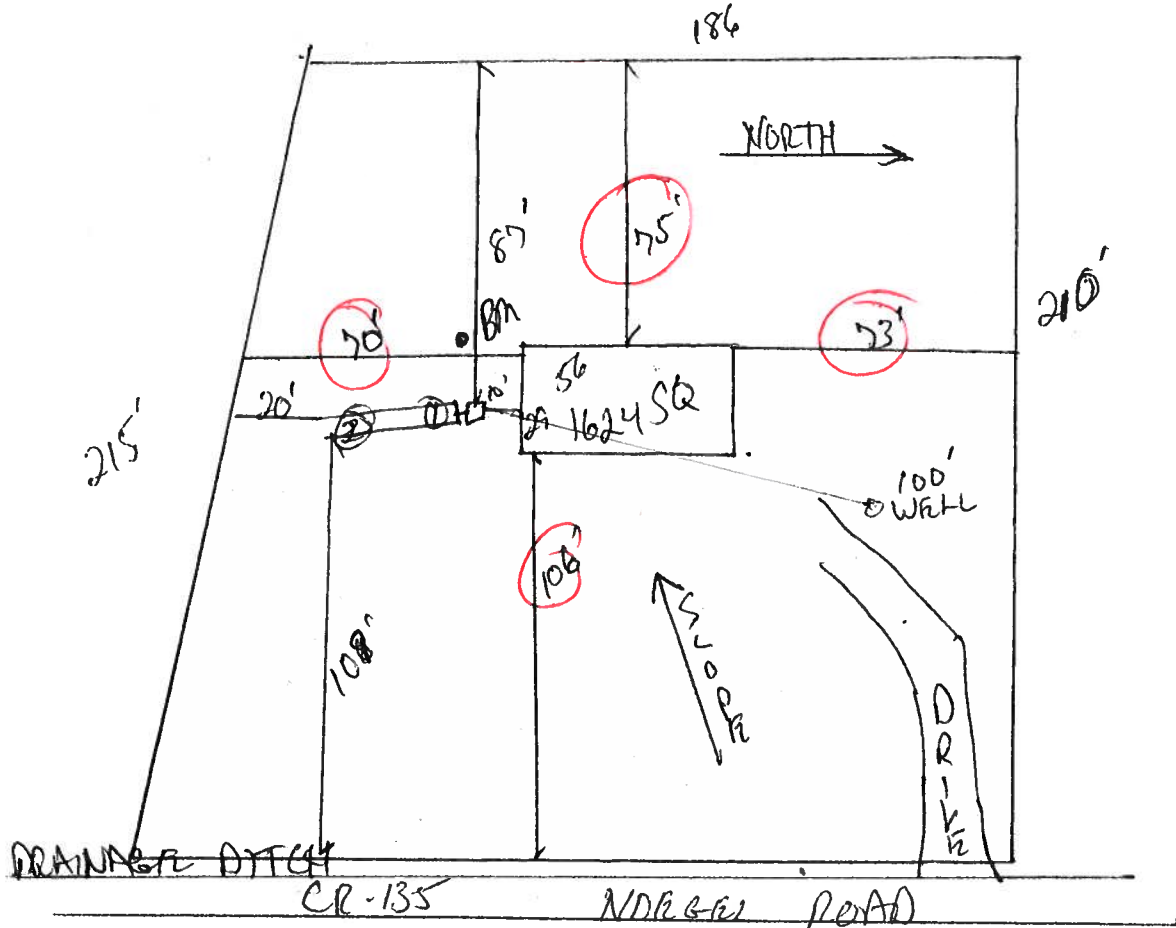
E. Donestevez
Commission #DD314416
Expires: Apr 28, 2008
Bonded Thru
Atlantic Bonding Co., Inc.

ok per
EH

06-0467N

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: Karla D. F-V

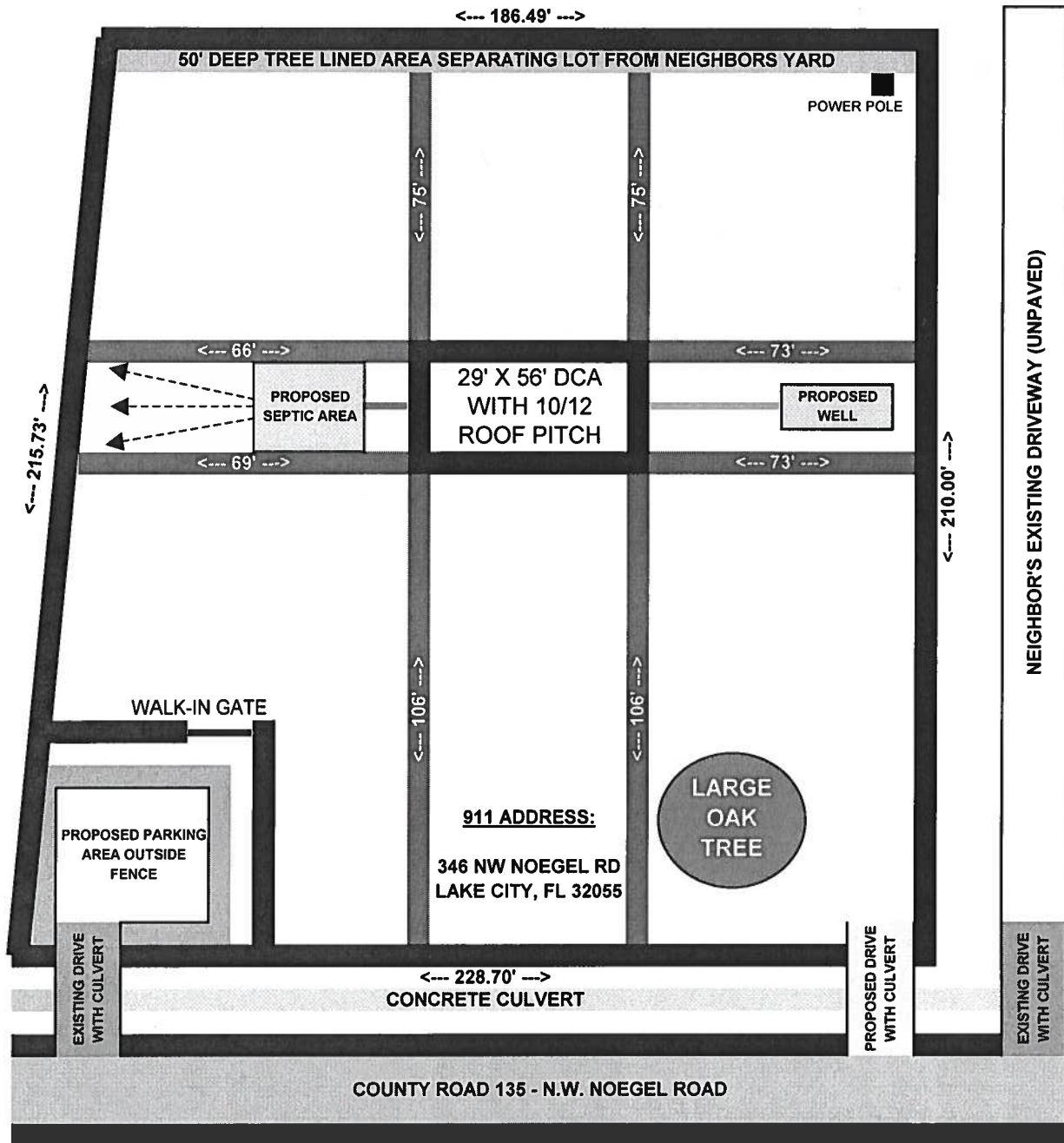
MASTER CONTRACTOR

Plan Approved ✓ Not Approved _____

Date 5/12/06

By Mr. J. A. Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



GERALD HOWD - 346 NW NOEGEL ROAD LAKE CITY, FL 32055 (386) 965-6612

NOTORIZED DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$75,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

☒ Single Family Dwelling
☐ Farm Outbuilding

☐ Two-Family Residence
☐ Other _____

NEW CONSTRUCTION OR IMPROVEMENT

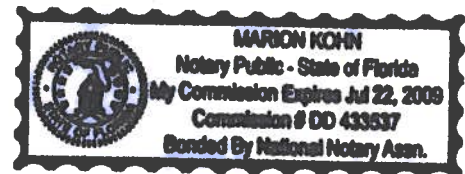
☒ New Construction

☐ Addition, Alteration, Modification or other Improvement

I GERALD HOWD, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

[Signature] 7/27/2007
Owner Builder Signature Date

The above signer is personally known to me or produced identification _____



Notary Signature Marion Kohn Date 7/27/07 (Stamp / Seal)

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

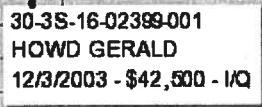
Date _____ Building Official/Representative _____

DESCRIPTION:
PARCEL 'A'

12206 X
COMMENCE AT THE SW CORNER OF THE SW 1/4 OF THE NW 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S.89°58'48"E., 1207.15 FEET; THENCE N.02°09'46"W., 249.15 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.02°09'46"W., 186.49 FEET; THENCE N.89°58'05"E., 210.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 135; THENCE S.02°09'46"E., ALONG SAID RIGHT-OF-WAY LINE, 228.69 FEET; THENCE N.78°45'33"W., 215.73 FEET TO THE POINT OF BEGINNING. CONTAINING 1.00 ACRES MORE OR LESS

PARCEL 'B'

DA
COMMENCE AT THE SW CORNER OF THE SW 1/4 OF THE NW 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S.89°58'48"E., 1207.15 FEET; THENCE N.02°09'46"W., 15.92 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.02°09'46"W., 233.23 FEET; THENCE S.78°45'33"E., 215.73 FEET TO THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 135 AND TO A POINT ON A CURVE OF A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 1105.92 FEET AND AN INCLUDED ANGLE OF 09°55'24"; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, ALSO ALONG SAID RIGHT-OF-WAY LINE, AN ARC DISTANCE OF 191.54 FEET; THENCE N.89°58'44"W., 193.45 FEET TO THE POINT OF BEGINNING. CONTAINING 1.00 ACRES MORE OR LESS.



J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

COMM SW COR OF SW1/4 OF NW1/4, RUN E 1207.15 FT, N 249.15 FT, FOR POB,
CONT N 186.49 FT,

LandVal	\$14,800.00
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BldgVal	\$0.00
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ApprVal	\$14,800.00
---------	-------------

Assd	\$14,800.00
------	-------------

Exmpt	\$0.00
-------	--------

Taxable	\$14,800.00
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http://appraiser.columbiacountyfla.com/GIS/Print_Map.asp?nihoiihchhihnligcafceelbiemn... 4/12/2006

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

2201-0287F

Project Name: 2201-0287 F C320	Builder:
Address:	Permitting Office:
City, State: , FL	Permit Number:
Owner: HOMES OF MERIT	Jurisdiction Number:
Climate Zone: North	

1. New construction or existing New <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family Single family <input type="checkbox"/>	a. Central Unit Cap: 48.0 kBtu/hr <input type="checkbox"/>
3. Number of units, if multi-family 1 <input type="checkbox"/>	SEER: 13.00 <input type="checkbox"/>
4. Number of Bedrooms 3 <input type="checkbox"/>	b. Central Unit Cap: 24.0 kBtu/hr <input type="checkbox"/>
5. Is this a worst case? Yes <input type="checkbox"/>	SEER: 13.00 <input type="checkbox"/>
6. Conditioned floor area (ft ²) 2641 ft² <input type="checkbox"/>	c. N/A <input type="checkbox"/>
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)	13. Heating systems
a. U-factor: Description Area	a. Electric Heat Pump/Split Cap: 46.0 kBtu/hr <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Single, U=0.3) 174.0 ft² <input type="checkbox"/>	HSPF: 7.70 <input type="checkbox"/>
b. SHGC:	b. Electric Heat Pump/Split Cap: 24.0 kBtu/hr <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 283.7 ft² <input type="checkbox"/>	HSPF: 7.70 <input type="checkbox"/>
8. Floor types	c. N/A <input type="checkbox"/>
a. Raised Wood, Post or Pier R=11.0, 1624.0ft² <input type="checkbox"/>	14. Hot water systems
b. N/A <input type="checkbox"/>	a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/>
c. N/A <input type="checkbox"/>	EF: 0.90 <input type="checkbox"/>
9. Wall types	b. N/A <input type="checkbox"/>
a. Frame, Wood, Exterior R=19.0, 1690.3 ft² <input type="checkbox"/>	c. Conservation credits
b. N/A <input type="checkbox"/>	(HR-Heat recovery, Solar
c. N/A <input type="checkbox"/>	DHP-Dedicated heat pump)
d. N/A <input type="checkbox"/>	15. HVAC credits MZ-C, PT, MZ-H <input type="checkbox"/>
e. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
10. Ceiling types	HF-Whole house fan,
a. Under Attic R=22.0, 1645.0 ft² <input type="checkbox"/>	PT-Programmable Thermostat,
b. N/A <input type="checkbox"/>	MZ-C-Multizone cooling,
c. N/A <input type="checkbox"/>	MZ-H-Multizone heating)
11. Ducts(Leak Free)	
a. Sup: Unc. Ret: Unc. AH: Outdoors Sup. R=6.0, 225.0 ft <input type="checkbox"/>	
b. Sup: Unc. Ret: Unc. AH: Attic Sup. R=6.0, 85.0 ft <input type="checkbox"/>	

Glass/Floor Area: 0.11

Total as-built points: 24912

Total base points: 30255

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]
DATE: APPROVED MAY 31 2007

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: Date 5-13-07
Approved By SCOTT S. FRANCIS
DATE: _____

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: 2201-0287 F C320
Address:
City, State: , FL
Owner: HOMES OF MERIT
Climate Zone: Central

Builder:
Permitting Office:
Permit Number:
Jurisdiction Number:

1. New construction or existing New ☐
2. Single family or multi-family Single family ☐
3. Number of units, if multi-family 1 ☐
4. Number of Bedrooms 3 ☐
5. Is this a worst case? Yes ☐
6. Conditioned floor area (ft²) 2641 ft² ☐
7. Glass type¹ and area: (Label reqd. by 13-104.4.5 if not default)
 - a. U-factor: Description Area
 - (or Single or Double DEFAULT) 7a. (Single, U=0.3) 174.0 ft² ☐
 - b. SHGC:
 - (or Clear or Tint DEFAULT) 7b. (Clear) 283.7 ft² ☐
8. Floor types
 - a. Raised Wood, Post or Pier R=11.0, 1624.0ft² ☐
 - b. N/A ☐
 - c. N/A ☐
9. Wall types
 - a. Frame, Wood, Exterior R=19.0, 1690.3 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
 - d. N/A ☐
 - e. N/A ☐
10. Ceiling types
 - a. Under Attic R=22.0, 1645.0 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
11. Ducts(Leak Free)
 - a. Sup: Unc. Ret: Unc. AH: Outdoors Sup. R=6.0, 225.0 ft ☐
 - b. Sup: Unc. Ret: Unc. AH: Attic Sup. R=6.0, 85.0 ft ☐

12. Cooling systems
 - a. Central Unit Cap: 48.0 kBtu/hr ☐
SEER: 13.00 ☐
 - b. Central Unit Cap: 24.0 kBtu/hr ☐
SEER: 13.00 ☐
 - c. N/A ☐
13. Heating systems
 - a. Electric Heat Pump/Split Cap: 46.0 kBtu/hr ☐
HSPF: 7.70 ☐
 - b. Electric Heat Pump/Split Cap: 24.0 kBtu/hr ☐
HSPF: 7.70 ☐
 - c. N/A ☐
14. Hot water systems
 - a. Electric Resistance Cap: 50.0 gallons ☐
EF: 0.90 ☐
 - b. N/A ☐
 - c. Conservation credits
(HR-Heat recovery, Solar
DHP-Dedicated heat pump) ☐
15. HVAC credits MZ-C, PT, MZ-H ☐
(CF-Ceiling fan, CV-Cross ventilation,
HF-Whole house fan,
PT-Programmable Thermostat,
MZ-C-Multizone cooling,
MZ-H-Multizone heating)

Glass/Floor Area: 0.11

Total as-built points: 25937

Total base points: 28216

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: DATE: APPROVED MAY 31 2007

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: Date 5/15/07 Plan No. _____
Approved By SCOTT S. FRANCIS
DATE: _____

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **2201-0287 F C320**
Address:
City, State: **, FL**
Owner: **HOMES OF MERIT**
Climate Zone: **South**

Builder:
Permitting Office:
Permit Number:
Jurisdiction Number:

1. New construction or existing New ☐
2. Single family or multi-family Single family ☐
3. Number of units, if multi-family 1 ☐
4. Number of Bedrooms 3 ☐
5. Is this a worst case? Yes ☐
6. Conditioned floor area (ft²) 2641 ft² ☐
7. Glass type¹ and area: (Label reqd. by 13-104.4.5 if not default)
 - a. U-factor: Description Area
(or Single or Double DEFAULT) 7a. (Single, U=0.3) 174.0 ft² ☐
 - b. SHGC:
(or Clear or Tint DEFAULT) 7b. (Clear) 283.7 ft² ☐
8. Floor types
 - a. Raised Wood, Post or Pier R=11.0, 1624.0ft² ☐
 - b. N/A ☐
 - c. N/A ☐
9. Wall types
 - a. Frame, Wood, Exterior R=19.0, 1690.3 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
 - d. N/A ☐
 - e. N/A ☐
10. Ceiling types
 - a. Under Attic R=22.0, 1645.0 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
11. Ducts(Leak Free)
 - a. Sup: Unc. Ret: Unc. AH: Outdoors Sup. R=6.0, 225.0 ft ☐
 - b. Sup: Unc. Ret: Unc. AH: Attic Sup. R=6.0, 85.0 ft ☐

12. Cooling systems
 - a. Central Unit Cap: 48.0 kBtu/hr ☐
SEER: 13.00 ☐
 - b. Central Unit Cap: 24.0 kBtu/hr ☐
SEER: 13.00 ☐
 - c. N/A ☐
13. Heating systems
 - a. Electric Heat Pump/Split Cap: 46.0 kBtu/hr ☐
HSPF: 7.70 ☐
 - b. Electric Heat Pump/Split Cap: 24.0 kBtu/hr ☐
HSPF: 7.70 ☐
 - c. N/A ☐
14. Hot water systems
 - a. Electric Resistance Cap: 50.0 gallons ☐
EF: 0.90 ☐
 - b. N/A ☐
 - c. Conservation credits
(HR-Heat recovery, Solar
DHP-Dedicated heat pump) ☐
15. HVAC credits MZ-C, PT, MZ-H ☐
(CF-Ceiling fan, CV-Cross ventilation,
HF-Whole house fan,
PT-Programmable Thermostat,
MZ-C-Multizone cooling,
MZ-H-Multizone heating)

Glass/Floor Area: 0.11

Total as-built points: 28754

Total base points: 30868

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]
DATE: APPROVED MAY 31 2007

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: Date 5-13-07
Approved By SCOTT S. FRANCIS
DATE: [Signature]

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

PRODUCT APPROVAL SPECIFICATION SHEET

Manufacturer: Homes of Merit - Lake City, Florida

2201-0287F

PLAN # FC 220

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the manufactured building for which you are applying for a DCA insignia. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org.

CATEGORY	MANUFACTURER	PRODUCT DESCRIPTION	APPROVAL NUMBERS	APPLICABLE TO THIS MODEL
EXTERIOR DOORS				
SWINGING	JELD-WEN	STEEL IN-SWING EXT. DOOR	FL 539	X
SLIDING	KINRO, INC.	SLIDING GLASS DOOR	FL 2865.1	OPT
OTHER				
WINDOWS				
SINGLE HUNG	KINRO, INC.	S.H. LOW E, INSULATED	FL 993.2	X
FIXED	KINRO, INC.	LOW E, INSULATED	FL 995	OPT
BLOCK GLASS	HY-LITE	ACRYLIC / BLOCK	FL 2025.3	OPT
OTHER				
EXTERIOR WALL				
EXTERIOR SIDING	VARIFORM	VINYL LAP	FL 1606.2	X
	HARDIE SIDING	FIBER / CEMENT	FL 889	
SOFFIT	HARDIE SIDING	FIBER / CEMENT	FL 889	X
MEMBRANE				
OTHER				
ROOFING PRODUCTS				
ASPHALT SHINGLES	OWENS CORNING	ASPHALT SHINGLES	FL 85.3 and / or FL 2277.3	X
METAL ROOFING				
UNDERLAYMENTS	CERTAINTED CORP.	30# SATURATED FELT	FL 3455	X
CEMENTS/ADHESIVES/COATINGS	TAMKO	PLASTIC ROOFING CEMENT	FL 1960.1	X
OTHER				
SHUTTERS				
SKYLIGHTS				
TUBULAR	TUBULAR SKYLIGHT	DOMED SKYLIGHT	FL 1866	OPT
RECTANGULAR	SUN-TEK MFG.	RECTANGULAR SKYLIGHT	FL 2442	OPT
STRUCTURAL COMPONENTS				
TRUSS PLATES	ALPINE	TRUSS PLATE	FL 1999	X
ENGINEERED LUMBER	TRUSS JOIST	LVL LUMBER	FL 1630.4	X

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following must be available to the inspector at the manufacturing plant: (1) Copy of the product approval from Local or State Building Commission, or supply all of the information listed on Form No. 9B-72.130(5). (2) Copy of the applicable manufacturers' installation requirements.

I understand these products may have to be removed if the approval cannot be demonstrated during inspection.

Manufacturer's Authorized Agent Signature

Printed Name

Date



Engineers • Planners

**161 N.W. Madison St. Suite 102
Lake City, Florida 32055
Tel: 386-758-4209
Fax: 386-758-4290**

August 16, 2007

Columbia County Building and Zoning

RE: Howd Residence
Gerald Howd
346 NW Noegel Rd.
Parcel 30-3S-16-02399-001

To whom it may concern:

I have reviewed the Flood Insurance Rate Map and have determined the property is not located in a flood zone. I have performed a site evaluation of the existing area. I certify that placing the finished floor elevation at least 12" above highest point where the existing slope intersects the house is adequate to prevent flood and water damage. Grade the perimeter so that all runoff drains away from the building.

Sincerely,

William H. Freeman, P.E.
President
Cert. Of Authorization 00008701



Engineers • Planners

161 N.W. Madison St. Suite 102
Lake City, Florida 32055
Tel: 386-758-4209
Fax: 386-758-4290

August 14, 2007

Columbia County Building and Zoning

RE: Howd Residence
Gerald Howd
346 NW Noegel Rd.
Parcel 30-3S-16-02399-001

To whom it may concern:

I have reviewed the Flood Insurance Rate Map and have determined the property is not located in a flood zone. I have performed a site evaluation of the existing area. I certify that placing the finished floor elevation at least 12" above finished grade is adequate to prevent flood and water damage. Grade the perimeter so that all runoff drains away from the building.

Sincerely,

William H. Freeman, P.E.
President

Cert. Of Authorization 00008701

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 30-3S-16-02399-001

Building permit No. 000026105

Use Classification MODULAR, UTILITY

Fire: 77.00

Permit Holder OWNER

Waste: 201.00

Owner of Building GERALD HOWD

Total: 278.00

Location: 346 NW NOEGEL RD, LAKE CITY, FL

Date: 10/11/2007



Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

THESE PLANS (TYPICAL DETAILS) INCLUDE DESIGN FOR PORTIONS OF THE FACTORY BUILT MODULAR STRUCTURE AND SITE BUILT CONSTRUCTION. THESE PLANS AND DESIGN PLANS FOR ALL OTHER ELEMENTS DESIGNED BY OTHERS AND/OR SITE INSTALLED MUST BE SUBMITTED TO AND REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE (DESIGNER OF RECORD) FOR COMPATIBILITY WITH THE DESIGN OF THE OVERALL BUILDING PROJECT AS REQUIRED BY THE APPLICABLE CODES AND LAWS.

ACTUAL CONSTRUCTION METHOD AND PRODUCTS MAY VARY FROM DETAILS CONTAINED IN THIS DOCUMENT PROVIDED THE METHOD OF CONSTRUCTION AND PRODUCTS ARE ADDRESSED IN THE MASTER CONSTRUCTION MANUAL LOCATED AT THE MANUFACTURING FACILITY.

NOTE:
COMPLETION OF THIS BUILDING TO BE IN COMPLIANCE WITH ALL STATE AND LOCAL DESIGN CODES. ALL WORK TO BE COMPLETED BY A LICENSED CONTRACTOR AND INSPECTED BY A LOCAL BUILDING OFFICIAL.

NOTE:
"STRUCTURE HAS BEEN DESIGNED FOR INSTALLATION ON SITE - BUILT PERMANENT FOUNDATION AND IS NOT INTENDED TO BE MOVED, ONCE SO INSTALLED."

FLORIDA TYPICAL
COVER PAGE
130 mph Exp. C
143 mph Exp. B

PAGE 1.	COVER PAGE
PAGE 2.	GENERAL NOTES
PAGE 3.	HOME WITH STEEL FRAME (COVER PAGE)
PAGE 4.	ON FRAME CROSS SECTION
PAGE 5.	FOUNDATION DETAILS
PAGE 6.	HOME WITHOUT STEEL FRAME (COVER PAGE)
PAGE 7.	OFF FRAME CROSS SECTION
PAGE 8.	FOUNDATION DETAILS
PAGE 8A.	POURED FOUNDATION WALLS
PAGE 9.	ENDWALL CROSS SECTION
PAGE 10.	TYPICAL POTABLE WATER SUPPLY LINES

CODE SUMMARY:

STATE	RESIDENTIAL	ELECTRICAL	MECHANICAL	PLUMBING	ENERGY	FIRE PREVENTION	LIFE SAFETY	FUEL	ACCESSIBILITY
FLORIDA	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005 & 2006 Supplement	2005 NATIONAL ELECTRICAL CODE	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005 & 2006 Supplement	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005 & 2006 Supplement	2004 FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 2005 & 2006 Supplement	*2004 FLORIDA FIRE PREVENTION CODE 2003 NFPA 101 W/2004 REVISION	2003 NFPA 101 LIFE SAFETY CODE W/2004 REVISIONS	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005 & 2006 Supplement	2004 FBC CHAP 11 2004 FLORIDA ACCESSIBILITY CODE 2005 & 2006 Supplement

NOTE:
WHERE CONFLICTS EXIST BETWEEN THE 2005 AND 2006 SUPPLEMENTS THE REQUIREMENTS OF THE 2006 SUPPLEMENT SHALL GOVERN.

APR 12 2007



THIRD PARTY
HILBORN, WERNER, CARTER & ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

KENNETH A. GODFREY, P.E.
12132 RUSTIC BARN TRAIL
MORGANTON, GA. 30560
FL PE#40131
KAG# 010107HOM



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 5-5-04	Revisions		Cad#: FL-TYP1-06
Dr'n CP	10-11-05 FP	01-25-07 FP	
Scale: N.T.S.	12-14-06 hb		
Code: D (07)	01-11-07 FP		
FLORIDA	DCA: DCA TYPICAL PACKAGE	Print: PAGE 1 COVER PAGE	

GENERAL NOTES: 2004 FBC, RES. WITH 2005/2006 SUPPLEMENTS

1. ALL GLAZING WITHIN 24" ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.
2. FLOOR DESIGN LIVE LOAD --- 40 PSF. ROOF DESIGN LIVE LOAD --- 20 PSF. ATTIC DESIGN LIVE LOAD --- 10 PSF.
3. MAXIMUM WIND SPEED --- 130 MPH - EXP.C MEAN ROOF HEIGHT ≤ 20 FEET
4. OCCUPANCY IS RESIDENTIAL (R-3). SINGLE STORY NOT EXCEEDING 76 FEET IN LENGTH.
5. OCCUPANT LOAD IS BASED ON 1 PERSON PER 200 Sq Ft OF FLOOR AREA.
6. 1.5" x 26ga. WITH 7-15 ga. x 7/16" CROWN x 1-1/8" STAPLES EACH END OF STRAP OR EQUIVALENT FROM RIDGE BEAM TO COLUMN, AND COLUMN TO FLOOR.
7. CONSTRUCTION IS TYPE VB, UNPROTECTED.
8. CEILING FANS SHALL BE 80" MIN. FROM BOTTOM OF BLADES TO FINISH FLOOR.
9. MIN. CORRIDOR WIDTH IS 36".
10. ALL MATERIALS COMPROMISING THE BUILDING ENVELOPE SHALL HAVE FLORIDA PRODUCT APPROVALS PER FL. BUILDING COMMISSION 9B-72 RULES.
11. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE CODES SPECIFIED ON THESE DRAWINGS.
12. ATTIC AND CRAWLSPACE VENTILATION SHALL BE PROVIDED IN ACCORDANCE WITH ALL APPLICABLE CODE SECTIONS.

SITE INSTALLED ITEMS:

NOTE: THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORT AND THE DOWN SYSTEM.
2. RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
3. PORTABLE FIRE EXTINGUISHER(S).
4. BUILDING DRAINS, CLEANOUTS, AND HOOK-UP TO PLUMBING SYSTEM.
5. ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY).
7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MATING LINE(S) - (MULTI-UNITS ONLY).
8. STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
9. DORMERS, AND ANY OTHER AESTHETIC CONNECTIONS.
10. FOUNDATION SILL PLATE ANCHORAGE.
11. FLOOR INSULATION MAY BE SITE INSTALLED
12. POTABLE WATER SERVICE, MAIN SHUT OFF VALVE.
13. OPENING PROTECTION IN WIND DEBRIS REGIONS I.E. WINDOWS, DOORS, SHUTTERS.
14. PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S., TO BE HANDLED BY LOCAL FIRE SAFETY INSPECTOR.
15. ROOFING MATERIAL, METAL ROOF, EYE DRIP.

MECHANICAL NOTES: 2004 FBC, RES. WITH 2005/2006 SUPPLEMENTS

1. ALL SUPPLY AIR REGISTERS ARE ADJUSTABLE, EXCEPT WHERE OTHERWISE SPECIFIED.
2. INTERIOR DOORS SHALL BE UNDERCUT 1.5" ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN.
3. BATHROOM VENT FANS SHALL PROVIDE A MINIMUM OF 50 CFM.
4. VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
5. HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 15 CFM FOR EACH OCCUPANT, OR 50 CFM FOR EACH WATER CLOSET AND EACH URINAL, WHICHEVER IS GREATER.

RIDGE BEAM CONSTRUCTION NOTES

1. LVL $F_b = 2800$ PSI, MOE = 2,000,000 PSI, MICROLAM 2.0 SP OR BETTER.
2. LVL OR OTHER SIMILAR MATERIAL MUST BE CONTINUOUS OVER CLEARSPAN(S).
3. BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
4. INSTALL (2x4) x 20" SPF #3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN. FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% GLUE COVERAGE AND 8-15 ga x 2 1/2" STAPLES.
5. FASTEN ROOF SHEATHING INTO TOP EDGE OF BEAM TO PROVIDE CONTINUOUS LATERAL SUPPORT OF BEAM.

ELECTRICAL NOTES: 2005 NEC

1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
2. WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12" AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6" FROM "STORAGE AREA" AS DEFINED BY NEC 410-8(e).
3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNDERGROUND CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
5. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
6. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
7. SMOKE DETECTORS SHALL BE WIRED SO THAT THE OPERATION OF ANY ONE SMOKE DETECTOR WILL CAUSE SIMULTANEOUS ACTIVATION OF ALL OTHERS.
8. ALL CIRCUITS CROSSING OVER MODULE MATING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
9. 20 AMP WITH 12/2 WIRE MAY REPLACE 15 AMP 14/2 WIRE GENERAL LIGHTING CIRCUITS, AND 20 AMP 12/3 WIRE MAY REPLACE 15 AMP 14/3 WIRE, ON SMOKE DETECTOR CIRCUITS
10. ARC-FAULT CIRCUIT INTERRUPTERS LISTED FOR PROTECTION OF THE ENTIRE BRANCH CIRCUIT INSTALLED ON ALL BEDROOM CIRCUITS.
11. RECEIPT, INSTALLED IN A WET EXTERIOR LOCATIONS SHALL BE IN A WEATHER PROOF ENCLOSURES THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG IS INSERTED OR REMOVED.

PLUMBING NOTES: 2004 FBC, RES. WITH 2005/2006 SUPPLEMENTS

1. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES.
2. WATER HEATER SHALL HAVE SAFETY PAN WITH 1" DRAIN TO EXTERIOR, T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3'-0" ON A COLD WATER SUPPLY LINE.
3. WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MIN.
4. DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
5. WATER SUPPLY LINES SHALL BE POLYBUTYLENE, CPVC, OR COPPER. WHEN POLYBUTYLENE SUPPLY LINES ARE INSTALLED THE MAX. WATER HEATER TEMPERATURE SETTING IS 180° F. THE POLYBUTYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES LIMITATIONS AND INSTRUCTIONS.
6. TUB ACCESS PROVIDED UNDER HOME, UNLESS OTHERWISE NOTED.
7. SHOWER STALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A HEIGHT OF 70" ABOVE FINISH FLOOR.
8. THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.

FOUNDATION:

FOUNDATION IS DESIGNED BY OTHERS. DETAILS CONTAINED IN THESE TYPICAL DRAWINGS ARE SUPPLEMENTAL AND MUST BE EVALUATED BY FOUNDATION DESIGNER FOR COMPATIBILITY WITH THE FOUNDATION DESIGN.

KENNETH A. GODFREY, P.E.
12132 RUSTIC BARN TRAIL
MORGANTON, GA. 30560
FL PE#40131
KAG #010107HOM

THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756



Cad#: FL-TYP2-06

Date: 10-11-05

Revisions

Dr'n HB

11-2-05 CP

Scale: N.T.S.

1-13-06 CP

Code: D (07)

12-14-06 hb

FLORIDA

DCA: DCA TYPICAL PACKAGE

Print: PAGE 2
GENERAL NOTES

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



APR 12 2007

HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32009

HOME WITHOUT STEEL FRAME

NOTES:

1. ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
 2. SOIL BEARING CAPACITY SHOWN ON THIS PAGE IS FOR 1,000 PSF (SECTION A-A) TO 2,000 PSF (STANDARD). AN ARCHITECT/ENGINEER MUST BE CONSULTED FOR ALTERNATE FOUNDATION DESIGNS.
 3. FOOTINGS SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY.
 4. MINIMUM CONCRETE FOOTING COMPRESSIVE STRENGTH 3,000 PSI AT 28 DAYS.
 5. ALL CONCRETE SHALL BE STANDARD WEIGHT (150 PCF.)
 6. ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM A615, GRADE 60 (UNLESS OTHERWISE SPECIFIED). REINFORCEMENT BARS SHALL BE EQUALLY SPACED AND PLACED WITH 3" CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING. LAP SPLICES TO BE 72 BAR DIAMETERS. REINFORCEMENT BARS SHALL BE UNCOATED DEFORMED BARS (NO EPOXY).
 7. MASONRY UNITS SHALL COMPLY WITH ASTM C90, HAVING A COMPRESSIVE STRENGTH $f'_m=2000$ PSI. MIN.
 8. MORTAR SHALL BE TYPE M OR S.
 9. ALL EXPOSED HARDWARE AND HARDWARE INSTALLED INTO PRESSURE TREATED LUMBER SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL.
 10. THE AREA UNDER FOOTINGS AND FOUNDATION SHALL HAVE ALL VEGETATION, STUMPS, ROOTS AND FOREIGN MATERIAL REMOVED PRIOR TO THEIR CONSTRUCTION.
 11. THE PERIMETER GRADE SHALL BE SLOPED AWAY FROM THE BUILDING TO PROVIDE POSITIVE DRAINAGE. THE GRADE OF THE GROUND UNDER THE BUILDING SHALL NOT BE LOWER THAN THE LOWEST SURROUNDING FINISH LOT AREA GRADE IN ORDER TO PREVENT THE ACCUMULATION AND STANDING OF WATER UNDER THE BUILDING.
 12. TERMITES PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE APPLICABLE CODES WHEN REQUIRED BY SUCH CODES.
 13. EXCAVATE AN ADDITIONAL 1 TO 2 INCHES AT BOTTOM AND SIDES OF ALL FOOTINGS THAT ARE POURED DIRECTLY AGAINST EARTH.
- FOUNDATION NOTES:
- THE FOLLOWING PRINTS ARE TO BE USED ONLY WHEN STEEL FRAME IS REMOVED FROM HOME.
- CROSS SECTION PAGE 7
- DETAIL PAGE 8



THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

KENNETH A. GODFREY, P.E.
12132 RUSTIC BARN TRAIL
MORGANTON, GA. 30560
FL PE#40131
KAG #010107HOM

STANDARD (CENTERLINE)

MINIMUM SOIL BEARING
CAPACITY 2000 PSF.

NOTE: MAX. GRAVITY LOAD ON EACH PIER IS 3775#, MAX. UPLIFT LOAD ON EACH PIER IS 435#. PIERS ARE NOT DESIGNED TO RESIST LATERAL LOADS.

FASTEN CONNECTOR TO RIM JOIST USING (4) 10d NAILS OR (4) #8x2 1/2" SCREWS

SECTION A-A (ALTERNATE CENTERLINE)

ALTERNATE FOOTING FOR SOIL
CONDITIONS LESS THEN 2000 PSF
(MINIMUM 1000 psf)

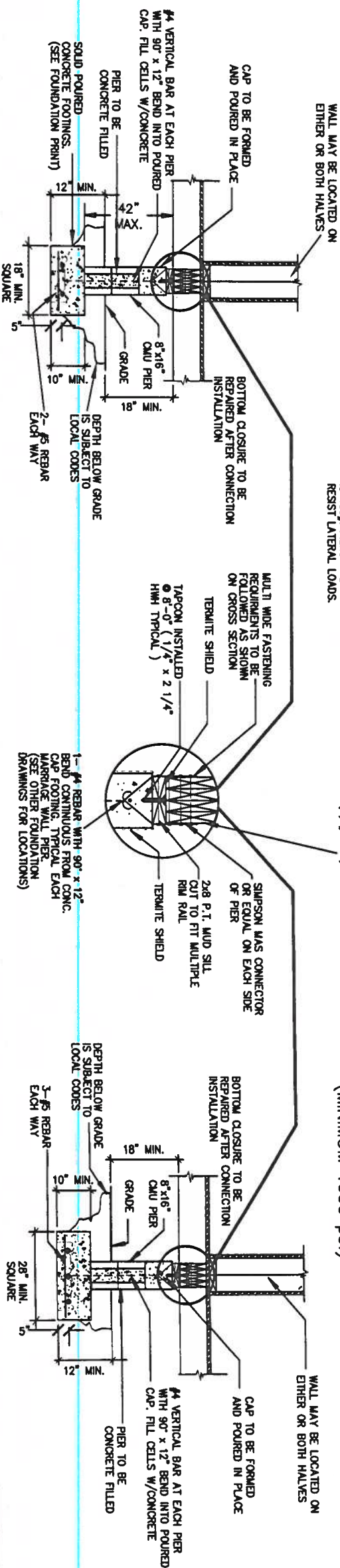
NOTE: MAX. GRANTY LOAD ON EACH PIER IS 4700#, MAX. UPLIFT LOAD ON EACH PIER IS 675#. PIERS ARE NOT DESIGNED TO RESIST LATERAL LOADS.

FOUNDATION NOTES:

THE FOLLOWING PRINTS ARE TO BE USED ONLY WHEN STEEL FRAME IS REMOVED FROM HOME.

CROSS SECTION PAGE 7DETAIL PAGE 8

FOUNDATION (SEE HOUSE PACKAGE FOUNDATION PAGE)



APR 12 2007



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

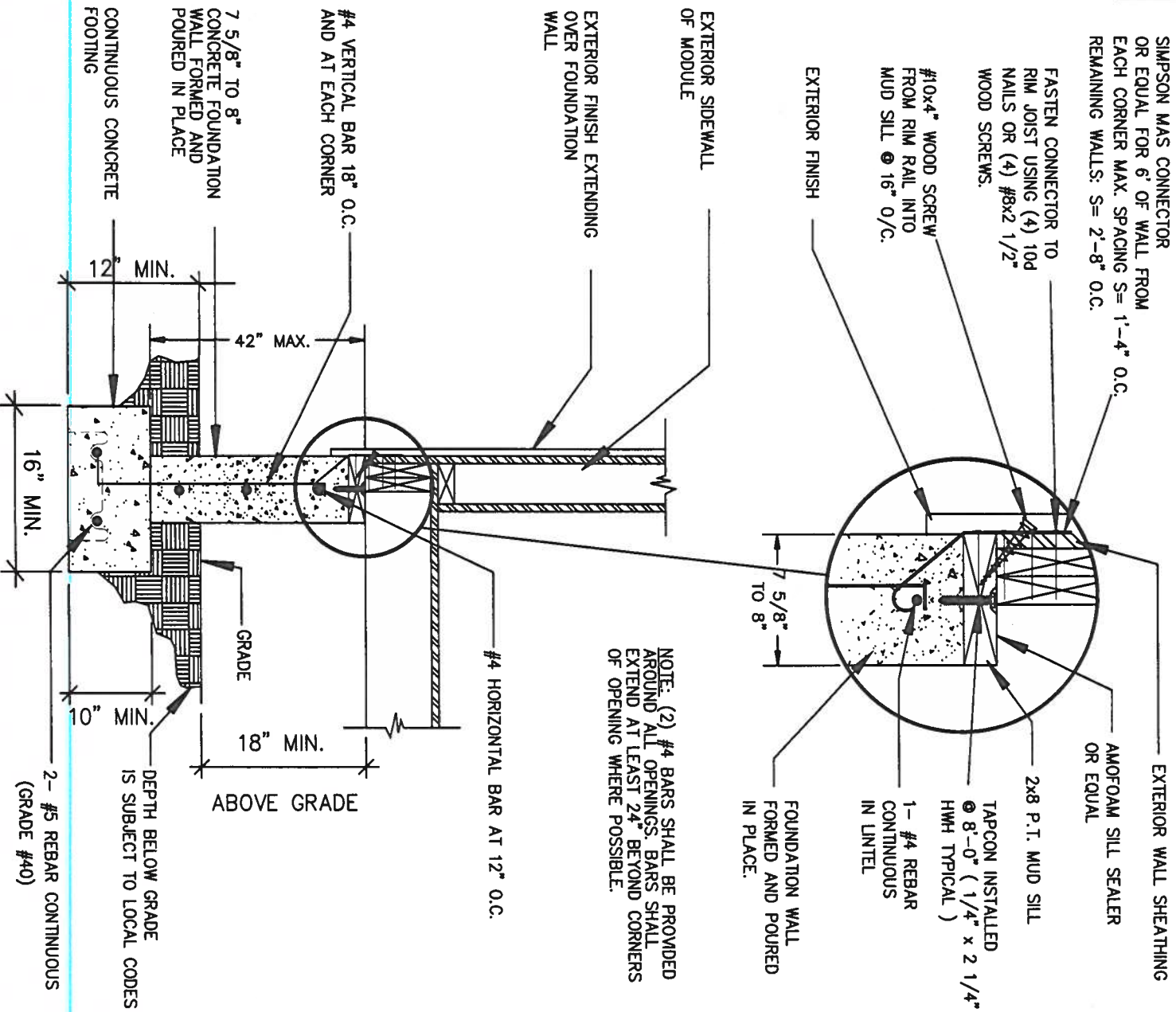
Date: 5-5-04	Revisions		Cad#: FL-TYP6-06
Dr'n CP	10-11-05 FP		
Scale: N.T.S.	12-14-06 hb		
Code: D (07)	01-15-07 FP		
FLORIDA	Model: DCA TYPICAL PACKAGE	Print: PAGE 6 HOME W/OUT STEEL FRAME	

NOTE:
THE FOUNDATION DESIGN IS IN
ACCORDANCE WITH 2004 FBC
WITH THE 2006 SUPPLMENTS
AND IS BASED ON 130 MPH
WIND.

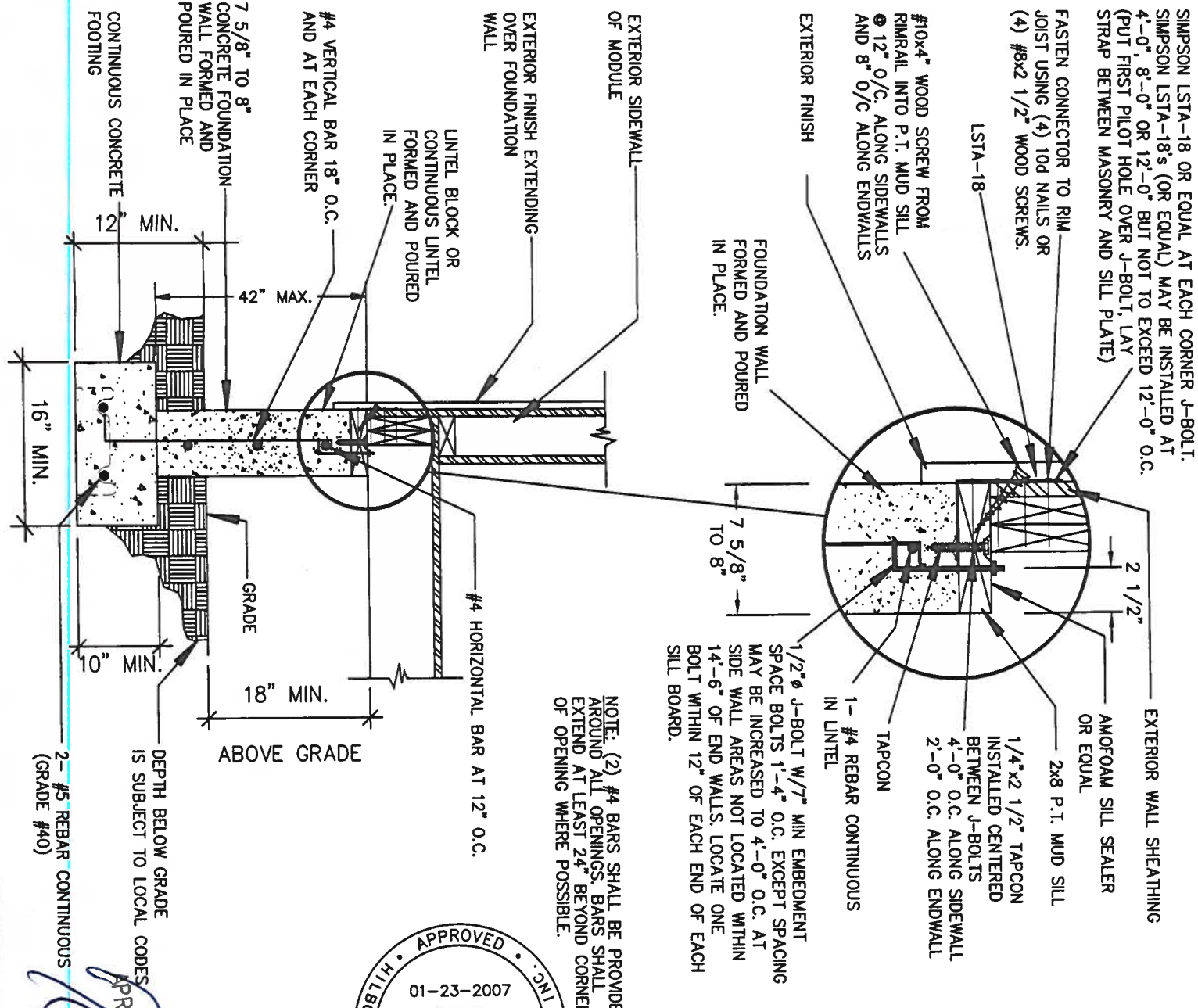
POURED CONCRETE FOUNDATION WALL DETAILS

* = OR EQUIVALENT

OPTION #3 USING SIMPSON MAS MUDSILL



OPTION #4 USING 1/2" Ø ANCHOR BOLTS & SIMPSON LSTA-18



THIRD PARTY

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CLEARWATER, FL 33756

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FL PE#40131
KAG #010107HOM



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P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



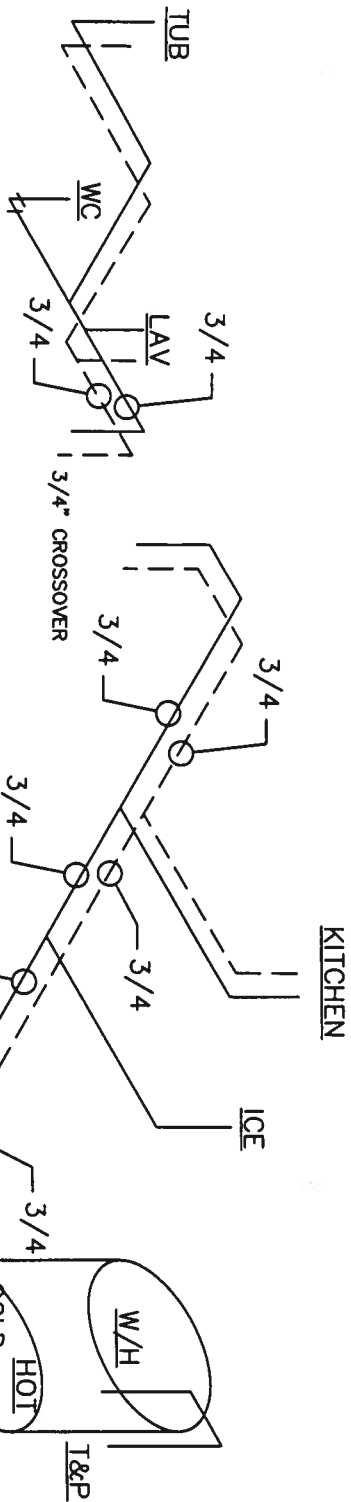
Date: 12-15-06	Revisions	Cad#: FL-TYP8A-06
Dr'n HB	01-15-07 FP	
Scale: N.T.S.		
D (07)		
FLORIDA	DCA: DCA TYPICAL PACKAGE	Print: PAGE 8A POURED FOUNDATION WALL

HOT WATER SUPPLY IS ON LEFT SIDE OF FIXTURE

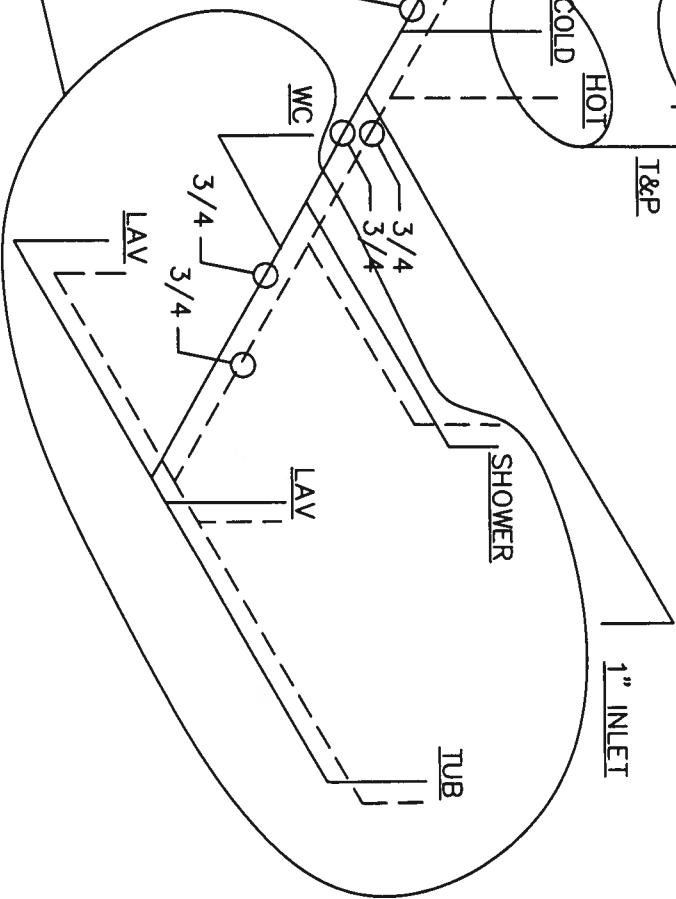
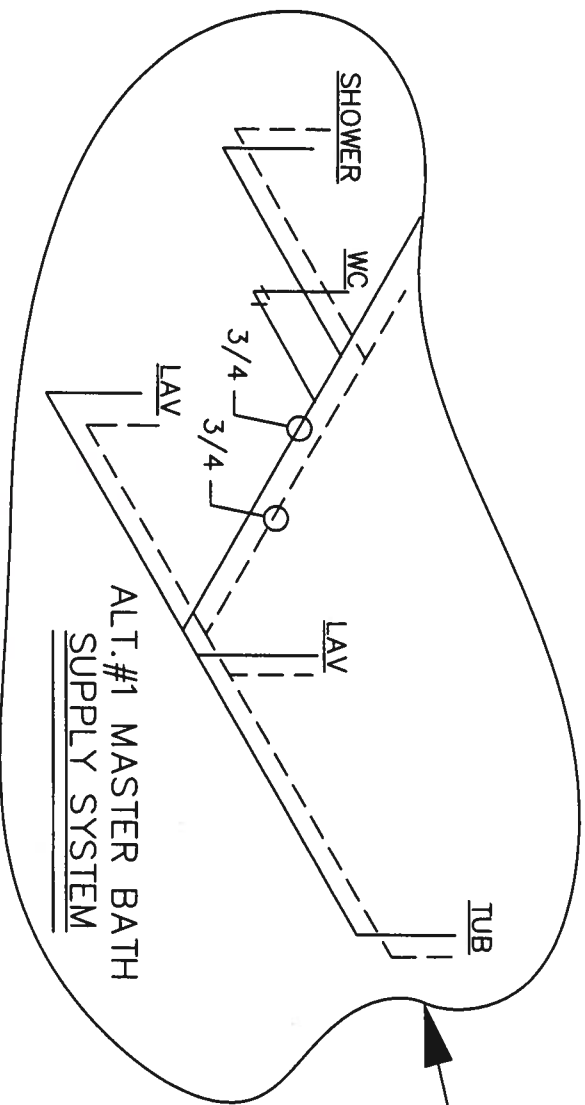
SUPPLY LINE SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 46 TO 60 PSI AT MAIN INLET, AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

----- HOT
----- COLD

ALL SUPPLY LINE SHALL BE 3/4". ALL STUB-UPS SHALL BE 1/2" UNLESS OTHERWISE SPECIFIED.



SUPPLY SYSTEM



THIRD PARTY

HILBORN, WERNER, CARTER & ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33758

KENNETH A. GODFREY, P.E.
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MORGANTON, GA. 30560
FL PE#40131
KAG #010107HOM

Date: 5-5-04	Revisions		Cad#: FL-TYP10-06
Dr'n CP	11-13-06 hb		
Scale: 3/16"=1'	01-15-07 FP		
Code: D (07)			
FLORIDA	DCA: DCA TYPICAL PACKAGE	Print: PAGE 10 TYPICAL POTABLE WATER SUPPLY LINES	

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LAKE CITY, FLORIDA 32056



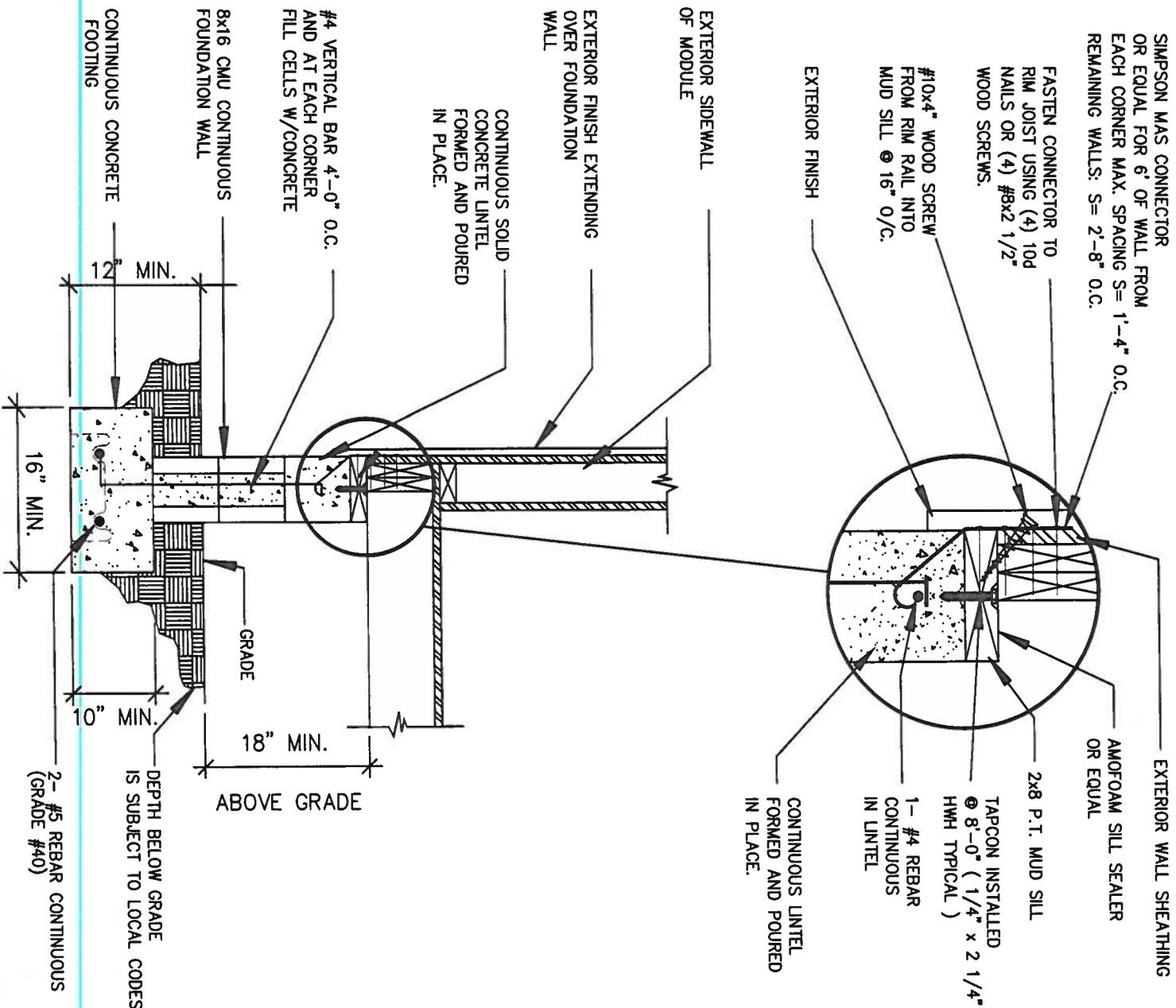
APR 12 2007

NOTE:
THE FOUNDATION DESIGN IS IN
ACCORDANCE WITH 2004 FBC
WITH THE 2006 SUPPLEMENTS
AND IS BASED ON 130 MPH
WIND.

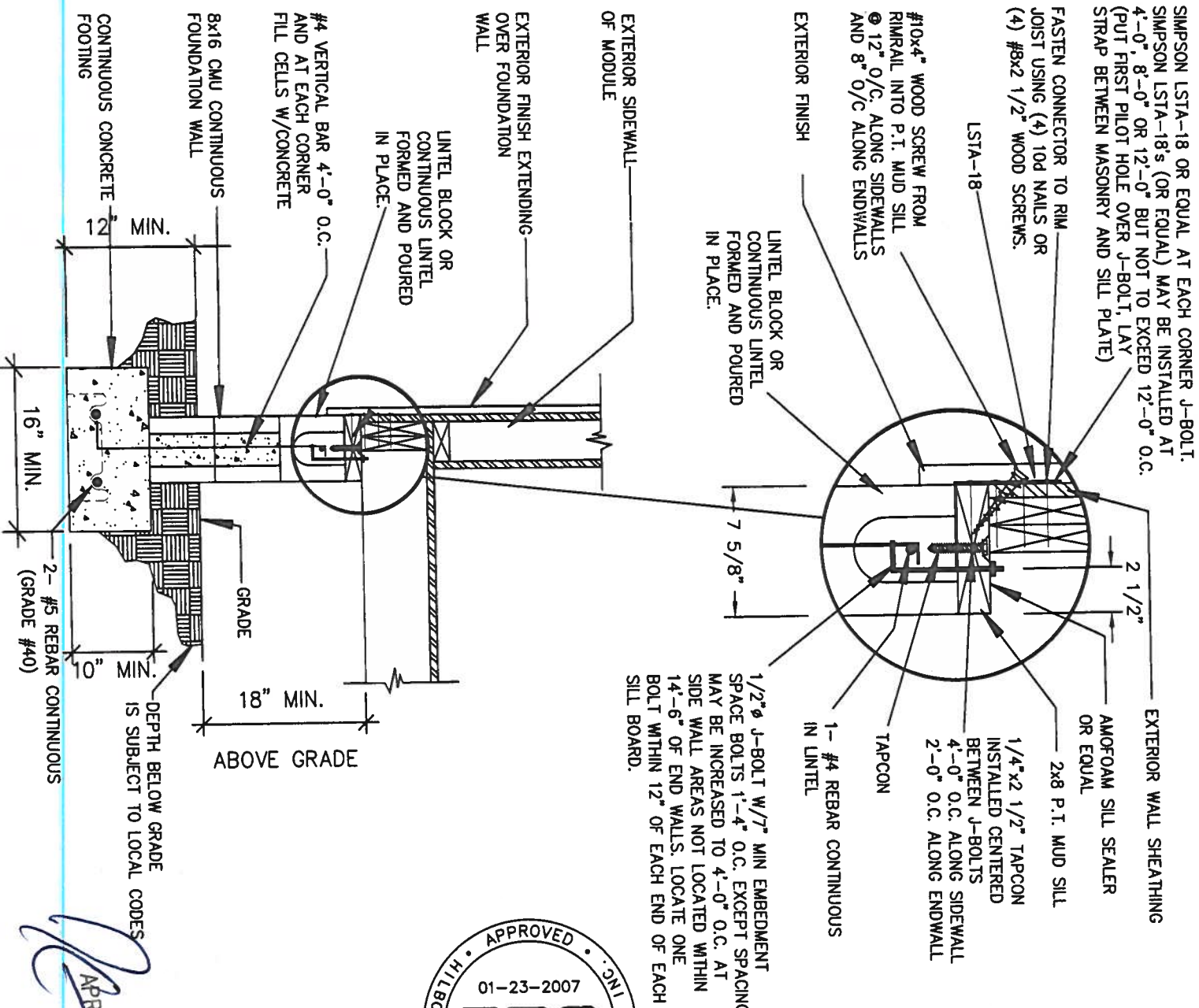
FLUSH SIDE WALL AND FOUNDATION WALL DETAILS

* = OR EQUIVALENT

OPTION #1 USING SIMPSON MAS MUDDSILL



OPTION #2 USING 1/2" Ø ANCHOR BOLTS & SIMPSON LSTA-18



THIRD PARTY

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& ASSOCIATES
1827 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

KENNETH A. GODFREY, P.E.
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MORGANTON, GA. 30560
FL PE#40131
KAG #010107HOM



Date: 5-5-04

Revisions

Cad#: FL-TYP8-06

Dr'n CP

10-11-05 FP

01-15-07 FP

Scale: N.T.S.

11-11-05 CP

D (07)

12-14-06 hb

FLORIDA

DCA: DCA TYPICAL
PACKAGE

Print: PAGE 8
FOUNDATION DETAILS

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LAKE CITY, FLORIDA 32056



FLORIDA	Model: DCA TYPICAL PACKAGE	ENDWALL CROSS SECTION
Date: 5-5-04	Revisions	Cad#: FL-TYP9-06
D'r'n STAFF	10-17-05 FP	
Scale: N.T.S.	12-14-06 hb	
Code: D (07)	01-15-07 FP	
		Print:
		PAGE 9

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LAKE CITY, FLORIDA 32056



PAGE 9
E 5.8

APR 12 2007



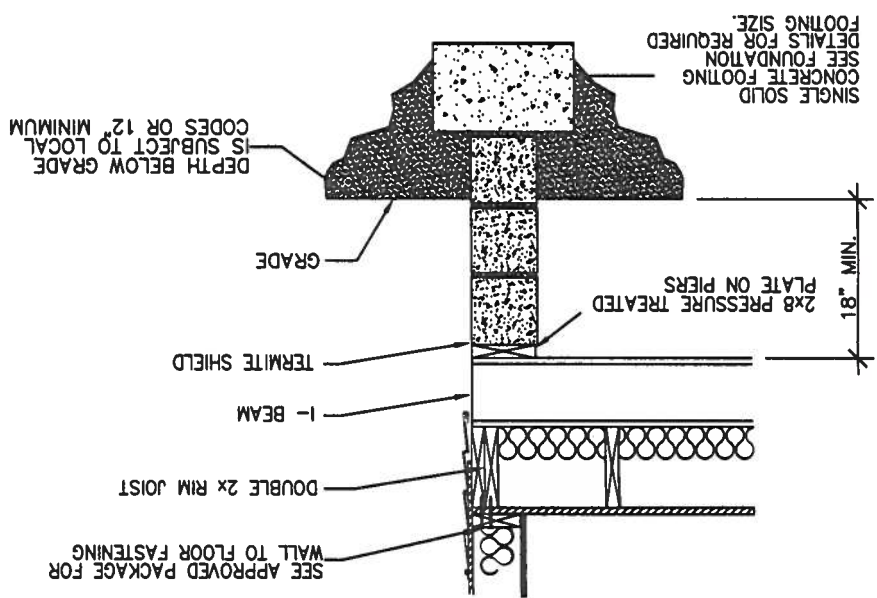
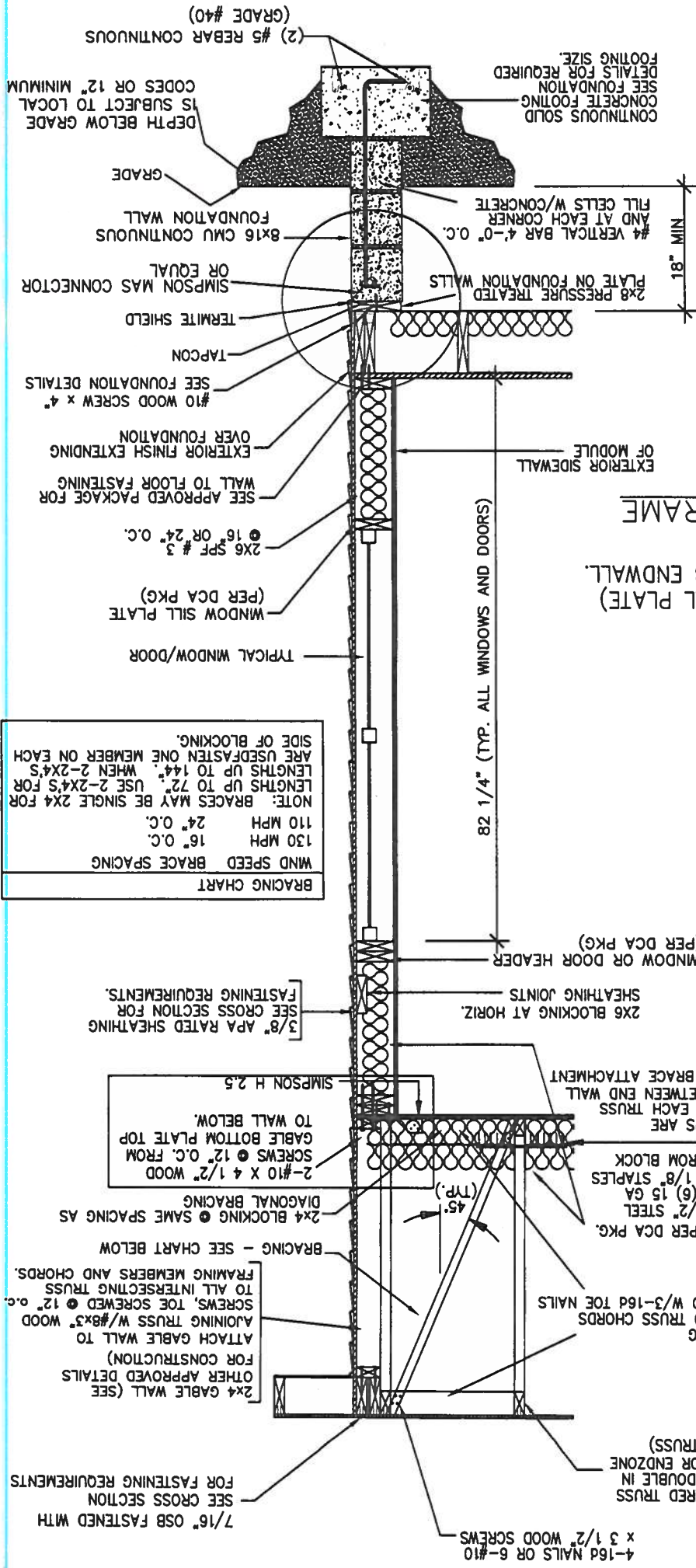
THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

KENNETH A. GODFREY, P.E.
12132 RUSTIC BARN TRAIL
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FL PE#40131
KAG #010107HOM

- GENERAL NOTES:
- (1) SHEATHING ON GABLE ENDWALL STUDDING IS SITE INSTALLED.
 - (2) SHEATHING TO BE NOTCHED TO FIT AROUND OVERHANG BLOCKING.
 - (3) SPECIFICATIONS SHOWN ARE TYPICAL, SEE MODEL PLANS FOR MODEL SPECIFIC REQUIREMENTS.
 - (4) CONSTRUCTION IS LIMITED TO 130 MPH, EXP. C.
 - (5) MAXIMUM MEAN ROOF HEIGHT IS LIMITED TO 20'-0".
 - (6) MAXIMUM GABLE ENDWALL HEIGHT IS LIMITED TO 7'-9" WITH FLAT TRUSSES, 6'-9" WITH VAULTED TRUSSES.
 - (7) MAXIMUM WALL HEIGHT IS 9'-1" WITH FLAT TRUSSES, 10'-1" WITH VAULTED TRUSSES.
 - (8) ALL NAILS ARE COMMON NAILS UNLESS OTHERWISE SPECIFIED.
 - (9) ALL LUMBER IS SPF#2 OR BETTER UNLESS OTHERWISE SPECIFIED.

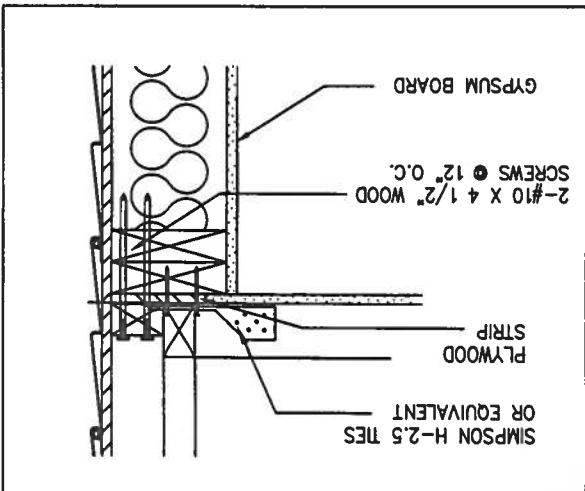
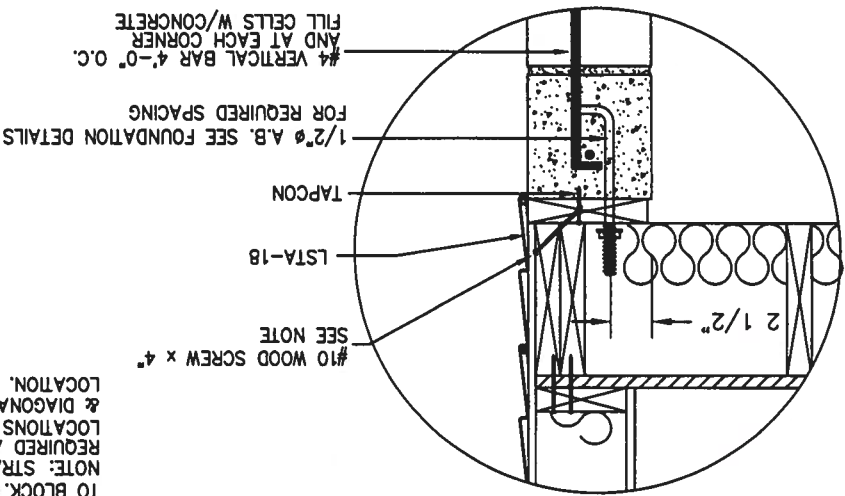
ENDWALL SECTION W/O FRAME

ENDWALL SECTION W/FRAME



OPT. #2 ENDWALL SECTION DETAILS W/OUT FRAME

- NOTES:
- (1) J-BOLT WITH LSTA MAY BE REPLACED WITH MUDDSILL ANCHORS. SEE FOUNDATION PAGE FOR DETAILS ON OPTION #1 OR OPTION #2.
 - (2) #10 WOOD SCREW x 4" (MIN. 1" PENETRATION INTO SILL PLATE) SPACED 12" O.C. ALONG SIDEWALL AND 8" O.C. ALONG ENDWALL. TOE SCREW FROM FLOOR RIM RAIL TO SILL PLATE.





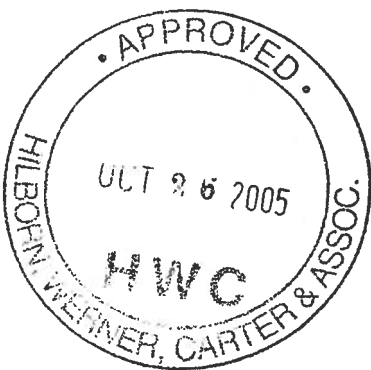
HOMES OF MERIT
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HWY 100 EAST
LAKE CITY, FLORIDA 32056

FLORIDA

10/12 HINGED ROOF SYSTEM

THE FOLLOWING PRINTS ARE TO BE USED
WITH OPTIONAL 10/12 HINGED ROOF SYSTEM.

- 10/12 HINGED ROOF OVERVIEW PAGE 1
- 10/12 HINGED ROOF CROSS-SECTION PAGE 2
- 10/12 HINGED ROOF CONNECTION DETAILS PAGE 3
- 10/12 HINGED ROOF ENDWALL SECTION DETAILS 4



ROBERT E. GRECO
REGISTERED ARCHITECT
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PHONE: (727)-786-0774
FAX: (727)-781-6962

THIRD PARTY
HILBOHN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH WYATT AVE.
CLEARWATER, FL 34626



HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

PAGE 0
E14.0

Date: 10-18-05	Revisions		Cad#: 10-12 29HG0
Dr'n CP			
Scale: N.T.S.			
Code: D (06)			
FLORIDA	Model: DCA TYPICALS	APPROVED MAY 28 2006 COVER PAGE 10/12 HINGED ROOF	



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P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

FLORIDA

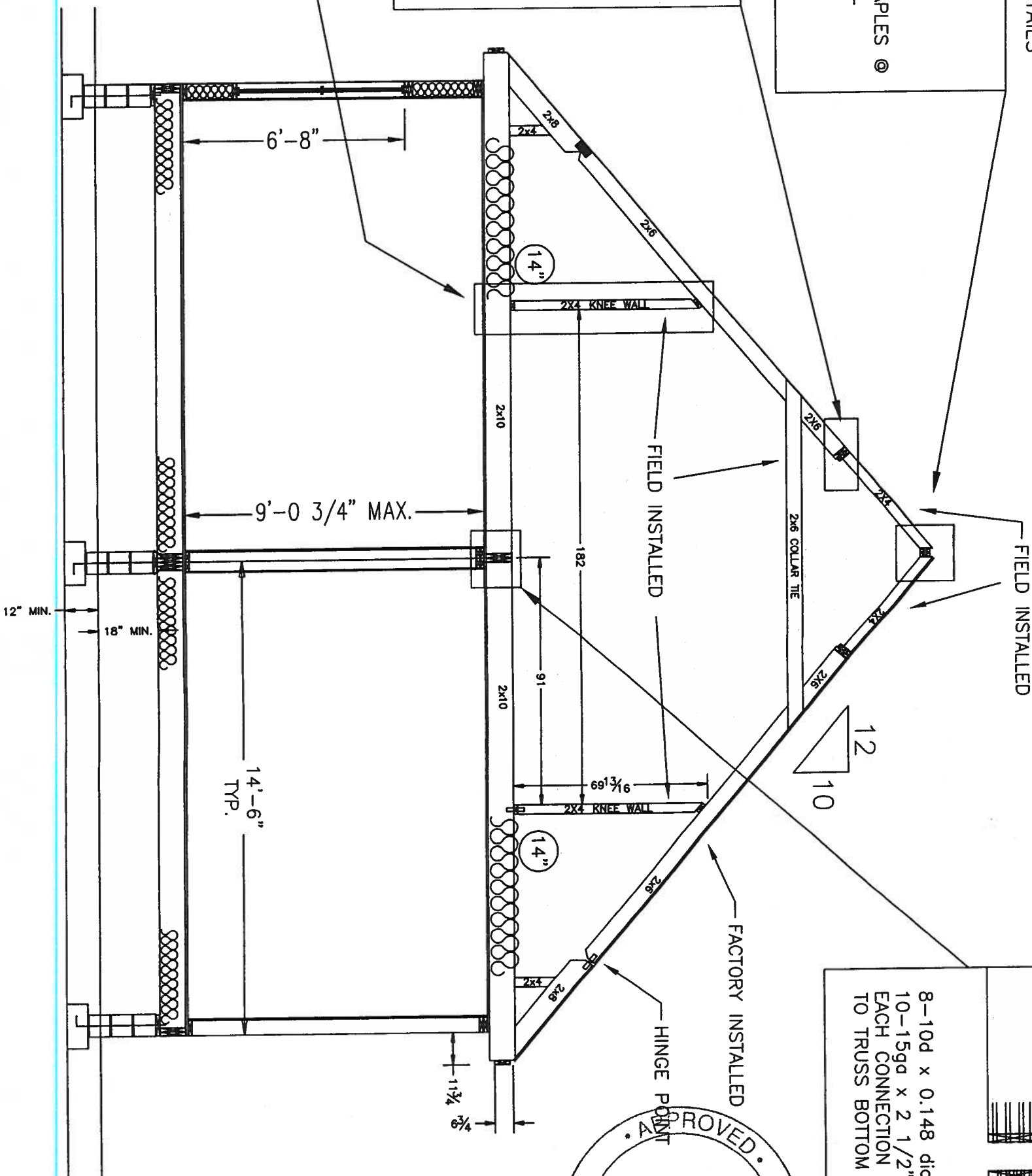
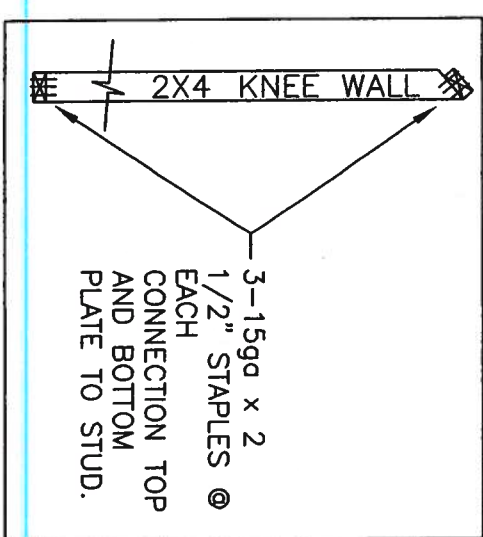
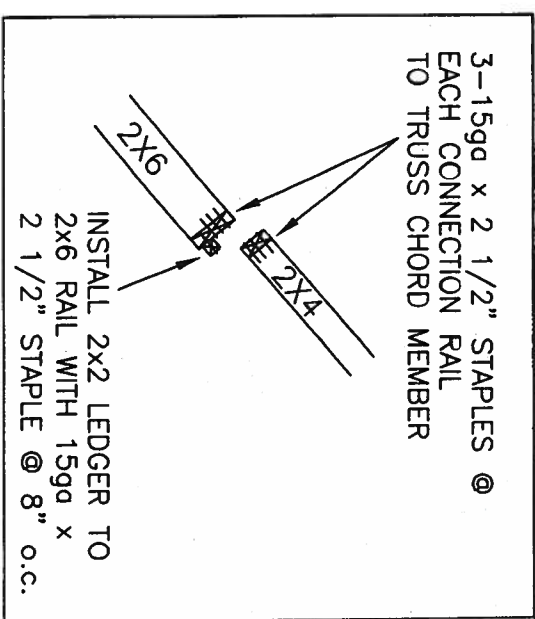
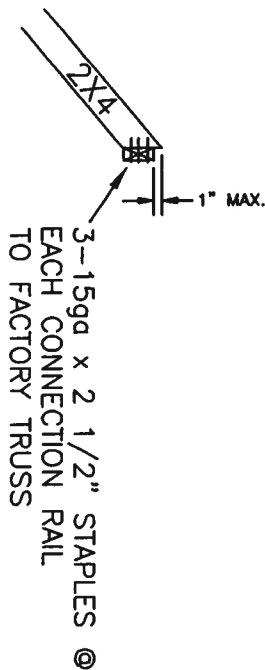
10/12 HINGED ROOF OVERVIEW

SEE PAGE 3 FOR FIELD CONNECTION DETAILS

SEE TRUSS DWG. #CC278702
40lb. BOTTOM CHORD LIVE LOAD

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FACTORY INSTALLED CONNECTION DETAILS



NAILES	STAPLES
8-10d x 0.148 dia. NAILES OR 10-15ga x 2 1/2" STAPLES @ EACH CONNECTION RIDGE BEAM TO TRUSS BOTTOM CHORD MEMBER	



THIRD PARTY

HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 10-18-05	Revisions	Cad#: 10-12 29HG1
Dr'n CP		
Scale: N.T.S.		
Code: D (06)		
Model: DCA TYPICALS	Print: PAGE 1	APPROVED MAY 22 2006
FLORIDA		10/12 HINGED OVERVIEW

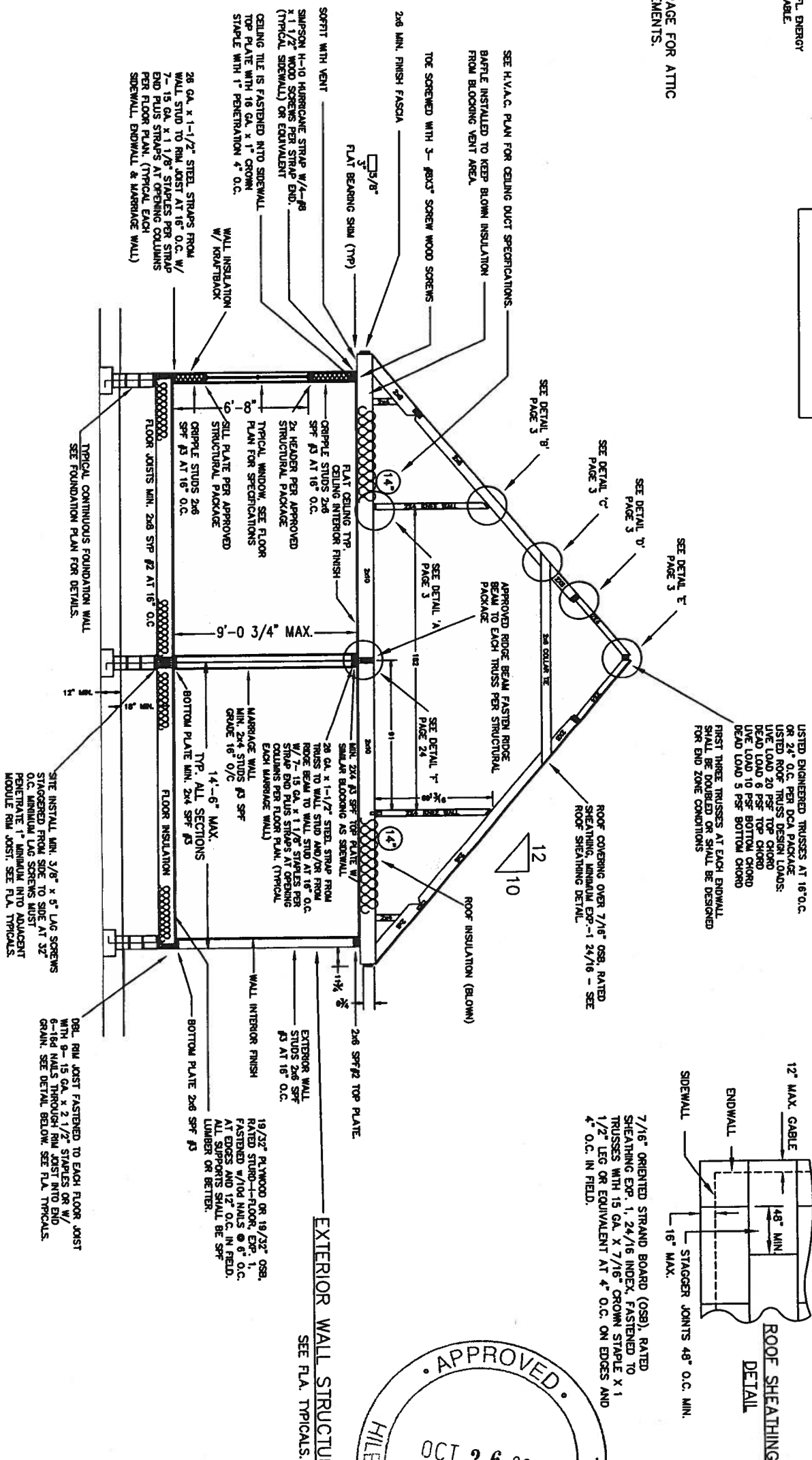
GENERAL CROSS SECTION NOTES

1. ALL LAG SCREWS AND BOLTS MUST COMPLY WITH ASTM A307, ANSI/ASME B 18.2.1
2. SEE FOUNDATION PLAN FOR PER. FOUNDATION WALL AND TIE DOWN ANCHORAGE LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.
3. SKY LITE OPTIONS, SEE P.L. ENERGY CALC'S FOR MAX. ALLOWABLE.

TRUSS PACKAGE

UNIVERSAL FOREST PRODUCTS
12'-0" WIDE MODULES
CC278701 (MONO-HINGED)
P491701 (PEAKED)

SEE HOUSE COVER PAGE FOR ATTIC VENTILATION REQUIREMENTS.



INTERIOR FINISH MATERIAL

SEE F.L.A. TYPICALS.

EXTERIOR FINISH MATERIAL

SEE F.L.A. TYPICALS.

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1627 SOUTH LITTLE AVE.
CLEWATER, FL 33756

Cad#: 10-12 29HG2

Date: 10-18-05

Revisions

Dr'n CP

10-25-05 FP

Scale: N.T.S.

Code: D (06)

10/12 MONO-HINGED TRUSS

XX

FLORIDA

DCA:

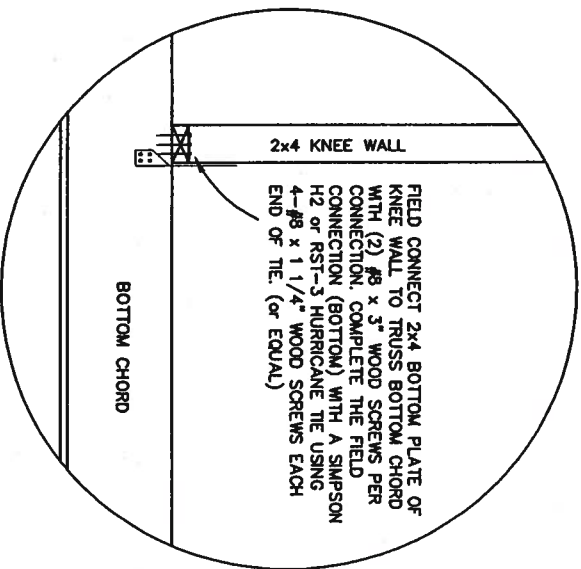
DCA TYPICALS

APPROVED MAY 25, 2006

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



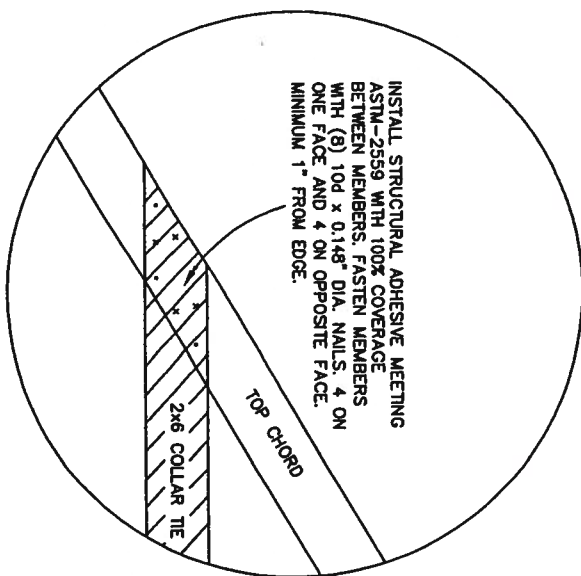
ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-796-8774
FAX: (727)-791-6942



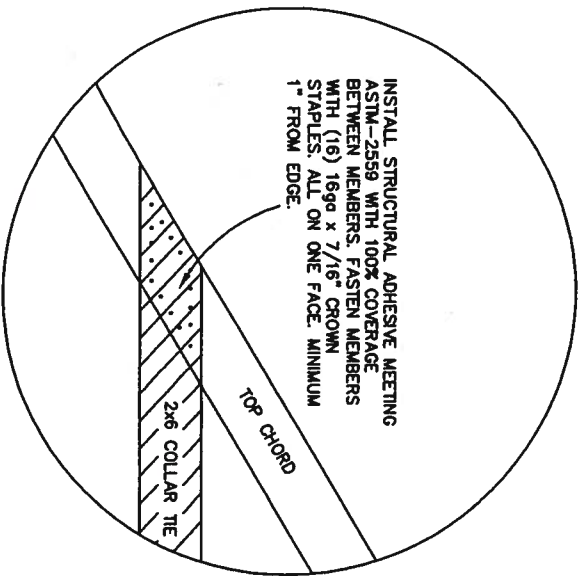
CONNECTION A
407 lb.



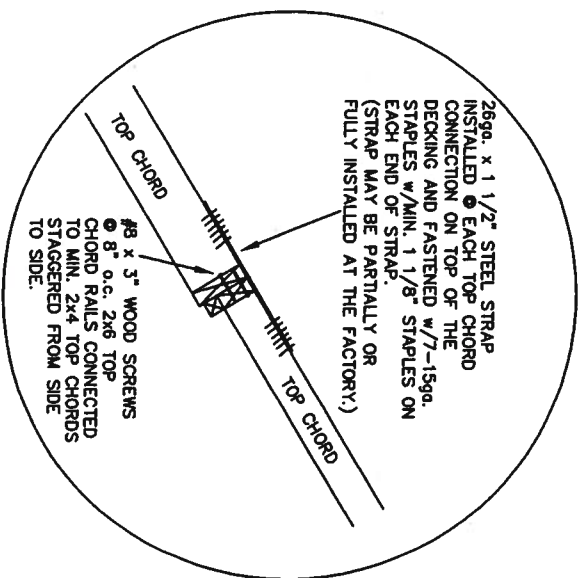
CONNECTION B
410 lb.



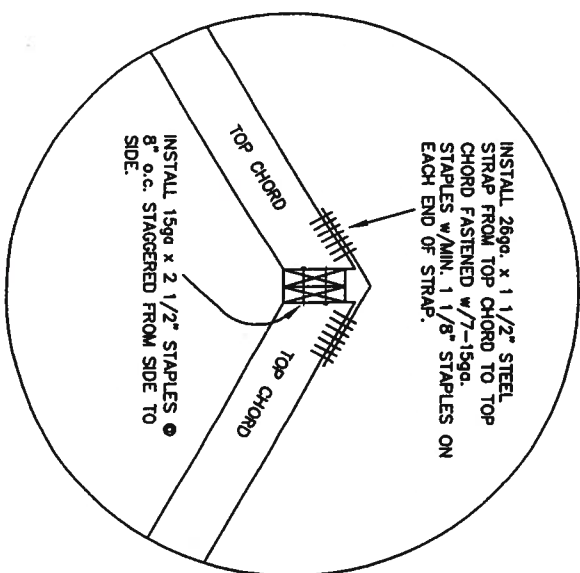
CONNECTION C
542 lb.



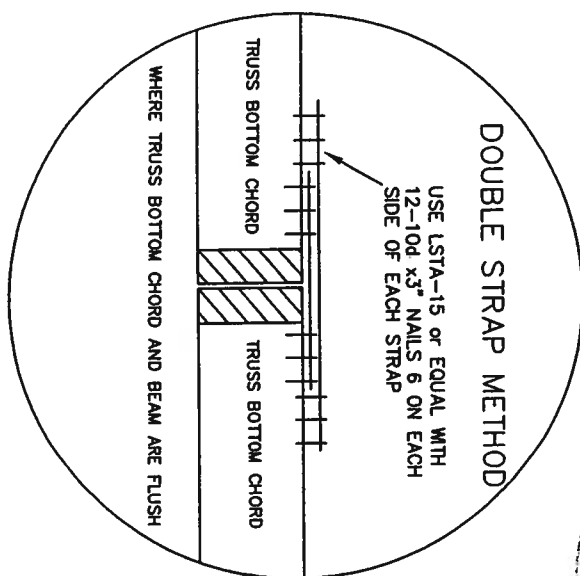
CONNECTION D
542 lb.



CONNECTION E
375 lb.



CONNECTION F
375 lb.

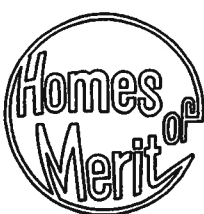


CONNECTION G
802 lb.



THIRD PARTY

HILBORN, WERNER, CARTER
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CLEARWATER, FL 33756



HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 10-18-05

Dr'n CP

Scale: N.T.S.

Code: D (06)

FLORIDA

Revisions

Model:

DCA TYPICALS

Cad#: 10-12 29HG3

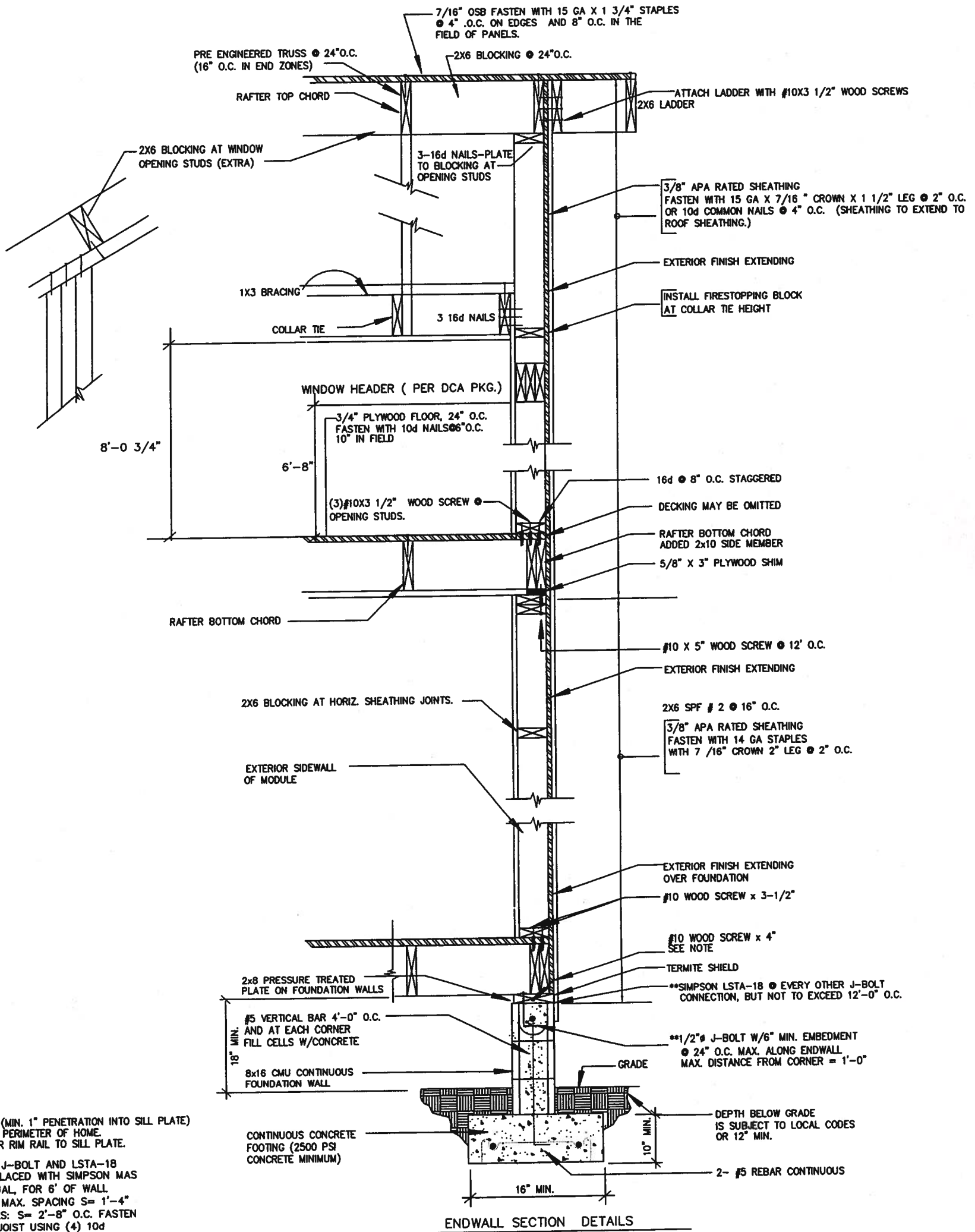
Print:

PAGE 3

10/12 HINGED CONNECTIONS

APPROVED MAY 22 2006

FILE COPY



NOTE:
#10 WOOD SCREW x 4" (MIN. 1" PENETRATION INTO SILL PLATE)
SPACED 6" O.C. ALONG PERIMETER OF HOME.
TOE SCREW FROM FLOOR RIM RAIL TO SILL PLATE.

**NOTE: ALL 1/2" # J-BOLT AND LSTA-18 STRAPS MAY BE REPLACED WITH SIMPSON MAS CONNECTOR OR EQUAL, FOR 6' OF WALL FROM EACH CORNER MAX. SPACING S= 1'-4" O.C. REMAINING WALLS: S= 2'-8" O.C. FASTEN CONNECTOR TO RIM JOIST USING (4) 10d NAILS OR (4) #8x2 1/2" WOOD SCREWS.



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LAKE CITY, FLORIDA 32056

Date: 10-18-05	Revisions	Cad#: 10-12 29HG4
Dr'n CP	10-26-05 FP	
Scale: N.T.S.		
Code: D (06)		
FLORIDA	Model: DCA TYPICALS	APPROVED MAY 2-2-2006 PAGE 4 ENDWALL SECTION DETAILS



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

DCA C320
FLORIDA
INDEX PAGE

ROBERT E. GREGO
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PHONE: (727)-788-8774
FAX: (727)-781-8842

1st FL 1624 SQ. FT.
2nd FL 1017 SQ. FT.
TOTAL HEATED 2641 SQ. FT.

17.6 SQUARE FEET NET FREE AREA OF
ATTIC VENTILATION TO BE PROVIDED
BY SOFFIT AND RIDGE VENTS/ROOF VENTS.

17.6 SQUARE FEET NET FREE AREA OF
CRAWL SPACE VENTILATION TO BE
PROVIDED BY FOUNDATION CONTRACTOR.

TRUSS PACKAGE	
UNIVERSAL FOREST PRODUCTS	
14'-6" WIDE MODULES	
TRUSS # / PITCHES	ATTIC ACCESS REQUIRED
CC27B702 (10/12)	YES

NOTES:
SEE THE STATE APPROVED CONSTRUCTION PACKAGE FOR
ROOF CONSTRUCTION DETAILS, FOUNDATION DETAILS AND
TYPICAL CONSTRUCTION DETAILS.

FLORIDA TYPICALS MUST ACCOMPANY THESE
PLANS UPON SUBMITTAL. ADDITIONAL HINGED ROOF
DETAILS MUST BE INCLUDED WHEN HOME IS BUILT
WITH HINGED ROOF.

ACTUAL CONSTRUCTION METHOD AND PRODUCTS MAY VARY FROM
DETAILS CONTAINED IN THIS DOCUMENT PROVIDED THE METHOD OF
CONSTRUCTION AND PRODUCTS ARE ADDRESSED IN THE MASTER
CONSTRUCTION MANUAL LOCATED AT THE MANUFACTURING FACILITY.

NOTE:
COMPLETION OF THIS BUILDING TO BE
IN COMPLIANCE WITH ALL STATE AND LOCAL
DESIGN CODES. ALL WORK TO BE COMPLETED
BY A LICENSED CONTRACTOR AND INSPECTED
BY A LOCAL BUILDING OFFICIAL.

NOTE:
STRUCTURE HAS BEEN DESIGNED FOR
INSTALLATION ON SITE - BUILT
PERMANENT FOUNDATION AND IS NOT
INTENDED TO BE MOVED, ONCE SO
INSTALLED.

PAGE 0.	COVER PAGE
PAGE 1.	GENERAL NOTES
PAGE 2.	ELECT. PANEL SPEC.
PAGE 3.	ELEVATIONS
PAGE 4.	1st FLOOR PLAN
PAGE 4A.	2nd FLOOR PLAN
PAGE 5.	1st FL COLUMNS
PAGE 5A.	2nd FL COLUMNS
PAGE 6.	1st FL HVAC DUCTS
PAGE 6A.	2nd FL HVAC DUCTS
PAGE 7.	DRAIN LINES
PAGE 8.	SUPPLY LINES
PAGE 9.	CEILING FRAMING @ STAIRS
PAGE 10.	STAIR LAYOUT
PAGE 10A.	STAIR DETAILS
PAGE 11.	CROSS SECTION
PAGE 11A.	TRUSS CONNECTIONS
PAGE 12.	SHEARWALL NOTES
PAGE 13.	SHEARWALL NOTES
PAGE 14.	RAFTER DETAILS @ DORMERS
PAGE 15.	DORMER DETAILS
PAGE 16.	DORMER BEAM DETAILS
PAGE 17.	FOUNDATION LAYOUT

PLAN REVIEW AND INSPECTION REQUIRED BY
CHAPTER 633 F.S., TO BE HANDLED BY
LOCAL FIRE SAFETY INSPECTOR.

BUILDING INSULATION VALUES:

WALLS	R-19
FLOOR	R-11
CEILING	R-22
WINDOWS:	U = 0.35

CODE SUMMARY:

STATE	RESIDENTIAL	ELECTRICAL	MECHANICAL	PLUMBING	ENERGY	FIRE PREVENTION	LIFE SAFETY	FUEL	ACCESSIBILITY
FLORIDA	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005 & 2006 Supplement	2005 NATIONAL ELECTRICAL CODE	FMC/FGC 2004 FLORIDA MECHANICAL CODE 2005 & 2006 Supplement	FPC 2004 FLORIDA RESIDENTIAL BUILDING CODE 2005 & 2006 Supplement	2004 FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 2005 & 2006 Supplement	2004 FLORIDA FIRE PREVENTION CODE	2003 NFPA 101 LIFE SAFETY CODE	2004 FLORIDA RESIDENTIAL BUILDING CODE w/ 2005 & 2006 SUPPLEMENT	2004 FBC CHAP 11 2004 FLORIDA ACCESSIBILITY CODE 2005 & 2006 Supplement

2004 FLORIDA
RESIDENTIAL
BUILDING CODE

w/ 2005/2006 Supplement

FLORIDA
STRUCTURAL LOAD LIMITATIONS:

- FLOOR LIVE LOAD:
1. 40 PSF.
- ROOF LIVE LOAD:
2. 20 PSF.
- WIND LOAD:
1. 130 MPH
2. $I_w = 1.0$
- WIND SPEED:
WIND IMPORTANCE FACTOR,
BLDG. CAT. II ENCLOSED,
WIND EXPOSURE CATEGORY,
3. C
4. $G_{CPI}=0.18$ INTERNAL PRESSURE COEFFICIENT,
5. D.W.P. FOR C/C PSF
- Pr = ROOF COMPONENT & CLADDING LOAD.
- ZONE 1 = -31.5 PSF
ZONE 2,3 = -55.8 PSF
- ROOF OVERHANG
ZONE 2 = -88.6 PSF
ZONE 3 = -115.3 PSF
- Pw = WALL COMPONENT & CLADDING LOAD.
- WALL : (WINDOWS, DOORS)
ZONE 4 = -40.0 PSF
ZONE 5 = -49.0 PSF
6. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON
THE UPPER HALF OF A HILL OR ESCARPMENT
EXCEEDING 15 FEET IN HEIGHT.
7. THE MODULAR STRUCTURE MAY BE LOCATED IN AN
(AE) FLOOD ZONE PROVIDED THAT THE STRUCTURE IS
LOCATED ABOVE THE BASE FLOOD ELEVATION.

Date 5.31.07 Plan No. 2201-0287F
Approved By SCOTT S. FRANCIS

Modular Building Plans Examiner
Florida License No. SMP-42

Scott S. Francis

Cad#: FC320-00

Revisions

Date: 11-28-06	Dr'n CP	05/30/07 GAT
Scale: N.T.S.		
Code: D (07)		

FLORIDA

DCA: DCA C320

Print:

APPROVED MAY 31 2007
PAGE 0

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756



LISTING AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE
FLORIDA MANUFACTURED BUILD-
ING ACT OF 1978 CONSTRUCTION
CODE AND ARE SUBJECT TO THE FOL-
LOWING CONDITIONS:
CONST. TYPE VB
OCCUPANCY R-3
ALLOWANCE NO. 2
WIND VELOCITY 130 (3 SEC.)
FIRE RATING OF 0
EXT. WALLS 2201-0287F
PLAN NO. 40
ALLOW. FLOOR 5.31.07
LOAD
APPROVAL DATE
MANUFACTURER HOMES OF MERIT
HIGH VELOCITY
HURRICANE ZONE NO

GENERAL NOTES: 2004 FBC, RES. WITH 2005 & 2006 SUPPLEMENTS

1. ALL GLAZING WITHIN 24" ARC OF DOORS, WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.
2. FLOOR DESIGN LIVE LOAD --- 40 PSF. ROOF DESIGN LIVE LOAD --- 20 PFS.
3. MAXIMUM WIND SPEED --- 130 MPH - EXP.C MEAN ROOF HEIGHT ≤ 26 FEET
4. OCCUPANCY IS RESIDENTIAL (R-3). TWO STORY NOT EXCEEDING 76 FEET IN LENGTH.
5. OCCUPANT LOAD IS BASED ON 1 PERSON PER 200 Sq Ft OF FLOOR AREA.
6. 1.5" x 26ga. WITH 7-15 ga. x 7/16" CROWN x 1-1/8" STAPLES EACH END OF STRAP OR EQUIVALENT FROM RIDGE BEAM TO COLUMN, AND COLUMN TO FLOOR.
7. CONSTRUCTION IS TYPE VB, UNPROTECTED.
8. CEILING FANS SHALL BE 80" MIN. FROM BOTTOM OF BLADES TO FINISH FLOOR.
9. MIN. CORRIDOR WIDTH IS 36".
10. ALL MATERIALS COMPROMISING THE BUILDING ENVELOPE SHALL HAVE FLORIDA PRODUCT APPROVALS PER FL BUILDING COMMISSION 9B-72 RULES.
11. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE CODES SPECIFIED ON THESE DRAWINGS.
12. ATTIC AND CRAWLSPACE VENTILATION SHALL BE PROVIDED IN ACCORDANCE WITH ALL APPLICABLE CODE SECTION.

SITE INSTALLED ITEMS:

NOTE: THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORT AND TIE DOWN SYSTEM.
2. RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
3. PORTABLE FIRE EXTINGUISHER(S).
4. BUILDING DRAINS, CLEANOUTS, AND HOOK-UP TO PLUMBING SYSTEM.
5. ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY).
7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MATING LINE(S) - (MULTI-UNITS ONLY).
8. STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
9. DORMERS, AND ANY OTHER AESTHETIC CONNECTIONS.
10. FOUNDATION SILL PLATE ANCHORAGE.
11. FLOOR INSULATION MAY BE SITE INSTALLED
12. POTABLE WATER SERVICE, MAIN SHUT OFF VALVE.
13. OPENING PROTECTION IN WIND DEBRIS REGIONS I.E. WINDOWS, DOORS, SHUTTERS.
14. PLAN REVIEW AND INSPECTION REQUIRED BY CHAPTER 633 F.S., TO BE HANDLED BY LOCAL FIRE SAFETY INSPECTOR.
15. ROOFING MATERIAL, METAL ROOF, EVE DRIP.
16. SECOND FLOOR ATTIC ACCESSSES, ELECTRICAL, SMOKE DETECTORS, FINISHED WALLS, AND CEILING INSULATION

MECHANICAL NOTES: 2004 FBC, RES. WITH 2005 & 2006 SUPPLEMENTS

1. ALL SUPPLY AIR REGISTERS ARE ADJUSTABLE, EXCEPT WHERE OTHERWISE SPECIFIED.
2. INTERIOR DOORS SHALL BE UNDERCUT 1.5" ABOVE FINISHED FLOOR FOR AIR RETURN AND/OR AS NOTED ON FLOOR PLAN.
3. BATHROOM VENT FANS SHALL PROVIDE A MINIMUM OF 50 CFM.
4. VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
5. HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES PROVIDING 15 CFM FOR EACH OCCUPANT, OR 50 CFM FOR EACH WATER CLOSET AND EACH URINAL, WHICHEVER IS GREATER.

FOUNDATION:

FOUNDATION IS DESIGNED BY OTHERS. DETAILS CONTAINED IN THESE TYPICAL DRAWINGS ARE SUPPLEMENTAL AND MUST BE EVALUATED BY FOUNDATION DESIGNER FOR COMPATIBILITY WITH THE FOUNDATION DESIGN.

ELECTRICAL NOTES: 2005 NEC

1. ALL CIRCUITS AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE APPROPRIATE ARTICLES OF THE NATIONAL ELECTRICAL CODE (NEC).
2. WHEN LIGHT FIXTURES ARE INSTALLED IN CLOSETS THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE COMPLETELY ENCLOSED LAMPS. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12" AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6" FROM "STORAGE AREA" AS DEFINED BY NEC 410-8(e).
3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATERS SERVED. THE BRANCH CIRCUIT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO SERVE AS THE DISCONNECTING MEANS ONLY WHERE THE SWITCH OR CIRCUIT BREAKER IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
4. HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNDERGROUND CONDUCTORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
5. PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
6. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
7. SMOKE DETECTORS SHALL BE WIRED SO THAT THE OPERATION OF ANY ONE SMOKE DETECTOR WILL CAUSE SIMULTANEOUS ACTIVATION OF ALL OTHERS.
8. ALL CIRCUITS CROSSING OVER MODULE MATING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
9. 20 AMP WITH 12/2 WIRE MAY REPLACE 16 AMP 14/2 WIRE GENERAL LIGHTING CIRCUITS, AND 20 AMP 12/3 WIRE MAY REPLACE 16 AMP 14/3 WIRE, ON SMOKE DETECTOR CIRCUITS
10. ARC-FAULT CIRCUIT INTERRUPTERS LISTED FOR PROTECTION OF THE ENTIRE BRANCH CIRCUIT INSTALLED ON ALL BEDROOM CIRCUITS.
11. RECEPT. INSTALLED IN A WET EXTERIOR LOCATIONS SHALL BE IN A WEATHER PROOF ENCLOSURES, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG IS INSERTED OR REMOVED.

PLUMBING NOTES: 2004 FBC, RES. WITH 2005 & 2006 SUPPLEMENTS

1. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES.
2. WATER HEATER SHALL HAVE SAFETY PAN WITH 1" DRAIN TO EXTERIOR. T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3'-0" ON A COLD WATER SUPPLY LINE.
3. WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNCONDITIONED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MIN.
4. DWV SYSTEM SHALL BE EITHER ABS OR PVC - DWV.
5. WATER SUPPLY LINES SHALL BE POLYBUTYLENE, CPVC, OR COPPER. WHEN POLYBUTYLENE SUPPLY LINES ARE INSTALLED THE MAX. WATER HEATER TEMPERATURE SETTING IS 180° F. THE POLYBUTYLENE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES LIMITATIONS AND INSTRUCTIONS.
6. TUB ACCESS PROVIDED UNDER HOME, UNLESS OTHERWISE NOTED.
7. SHOWER STALLS SHALL BE COVERED WITH NONABSORBENT MATERIAL TO A HEIGHT OF 70" ABOVE FINISH FLOOR.
8. THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLED, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.

RIDGE BEAM CONSTRUCTION NOTES

1. LVL F_b = 2800 PSI, MOE = 2,000,000 PSI, MICROSLAM 2.0 SP OR BETTER.
2. LVL OR OTHER SIMILAR MATERIAL MUST BE CONTINUOUS OVER CLEARSPAN(S).
3. BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
4. INSTALL (2x4) x 20" SPF #3 RIDGE BEAM BEARING STIFFENER OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN. FASTEN THE FACE OF THE STIFFENER TO THE RIDGE BEAM WITH 100% GUE COVERAGE AND 8-16 ga x 2 1/2" STAPLES.
5. FASTEN ROOF SHEATHING INTO TOP EDGE OF BEAM TO PROVIDE CONTINUOUS LATERAL SUPPORT OF BEAM.

ROBERT E. GREGG
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CLEARWATER, FL 33756
PHONE: (727)-786-8774
FAX : (727)-791-6942

Code#: FC320-01

APPROVED MAY 31 2007
2201-00001

Print:

DCA C320

DCA:

FLORIDA

Date: 05/07/07
Dr'n GAT
Scale: N.T.S.
Code: D (07)

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



LISTING
AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE
MINIMUM REQUIREMENTS OF THE
FLA. ACT OF 1979 CONSTRUCTION
CODE AND ADHERE TO THE FLA-
DOMING CRITERIA.
CONST. TYPE VB
OCCUPANCY R-3
ALLOWABLE NO. OF FLOORS 2
WIND VELOCITY 130 (3 SEC.)
PRE. RATING OF EX. WALLS 0
PLAN NO. 2201-0287F
ALLOW. FLOOR LOAD
APPROVAL DATE 5-31-07
MANUFACTURER HOMESDEVELOPMENT
HIGH VELOCITY
HURRICANE ZONE NO



ORA # 1025

THIRD PARTY

HILBURN, WERNER, CARTER
1425 SOUTHWEST WYATTE AVE.
CLEARWATER, FL 33766

ELECTRICAL SCHEDULE				PANEL SIZING	
BRKR.	NO.	NOMENCLATURE	VOLTS	WIRE CU. NM	KVA
20	1	PORTABLE APPLIANCE	120	12/2 GFCI	7.92
20	2	PORTABLE APPLIANCE	120	12/2 GFCI	3.0
20	3	GFI RECEPTACLES	120	12/2 GFCI	3.6
15	4	GENERAL LIGHTING	120	14/2	
15	5	GENERAL LIGHTING	120	14/2 AFCI	7.4
15	6	GENERAL LIGHTING	120	14/2 AFCI	
15	7	GENERAL LIGHTING	120	14/2 AFCI	5.5
15	8	GENERAL LIGHTING	120	14/2	1.4
15	9	GENERAL LIGHTING	120	14/2	1.5
20	10	EXT. GFI RECEPT	120	12/2 GFCI	5.0
30 (2P)	11	WATER HEATER	240	10/2	
20	12	WASHER	120	12/2	1.9
30 (2P)	13	DRYER	240	10/3	1.2
20	14	DISHWASHER	120	12/2	1.9
40 (2P)	15	RANGE	240	8/3	1.5
40 (2P)	16	COOK TOP	240	8/3	
20 (2P)	17	BUILT-IN OVEN (SINGLE)	240	12/3	
40 (2P)	17	BUILT-IN OVEN (DOUBLE)	240	8/3	41.82
20	18	GARBAGE DISPOSAL	120	12/2	10.0
	19	HVAC COMPRESSOR	SIZED PER MFR. SPECS.		12.73
	20	HVAC BLOWER	SIZED PER MFR. SPECS.		19.0
15	21	SMOKE DETECTOR	120	14/3 AFCI	
20	22	WHIRLPOOL TUB	120	12/2	41.73
20	23	MICROWAVE	120	12/2 GFCI	
20	24	FREEZER	120	12/2 GFCI	
15	25	GENERAL LIGHTING 2ND FLOOR	120	14/2 AFCI	
15	26	GENERAL LIGHTING 2ND FLOOR	120	14/2 AFCI	

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LISTING
AGENCY APPROVAL
THREE INCHES COPY WITH THE
FLORIDA MANUFACTURED
HOMES ACT OF 1978 CONSTRUCTION
CODE AND ADHERE TO THE FOL-
LOWING CRITERIA.

OCCUPANCY VR
ALLOWABLE NO. 2
WIND VELOCITY 130 (3 SEC.)
FRI. RATING OF 0
EX. WALLS 2201-0287F
PLAN NO. 40
ALLOW. FLOOR 5.31-07
LOAD
APPROVAL DATE 5.31.07
MANUFACTURER HOMESELEMENT
HIGH VELOCITY
HURRICANE ZONE NO

WVG
COA # 1025

THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33766



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 11-28-06
Dr'n CP
Scale: N.T.S.
Code: D (07)

Revisions

Cad#: FC320-02

FLORIDA

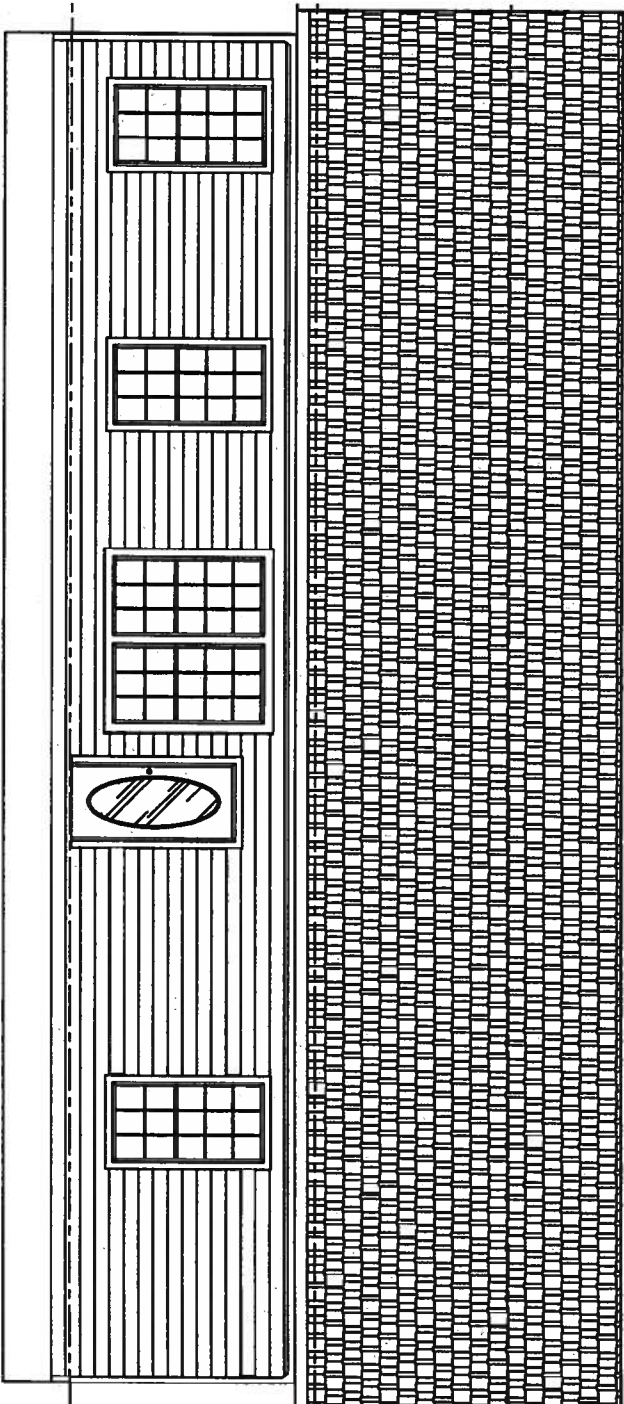
DCA:

DCA C320

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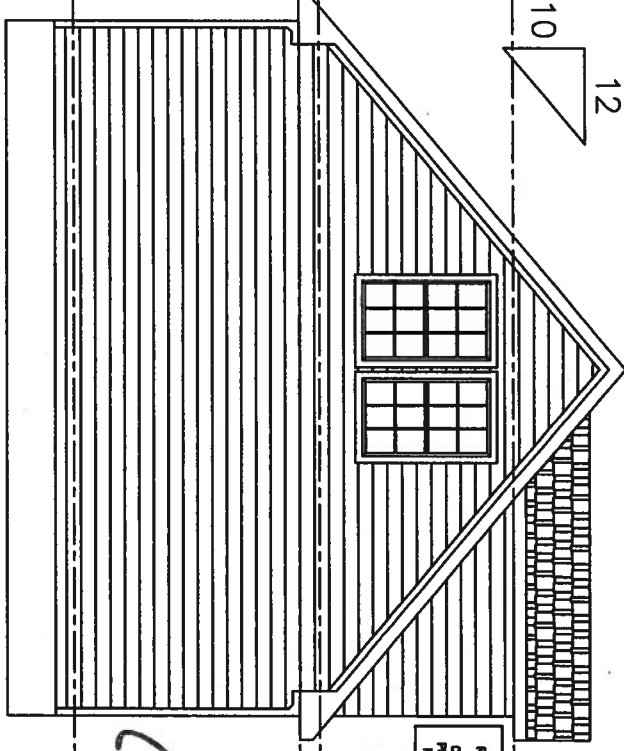
PAGE 2
ELECTRIC PANEL

APPROVED MAY 31 2007



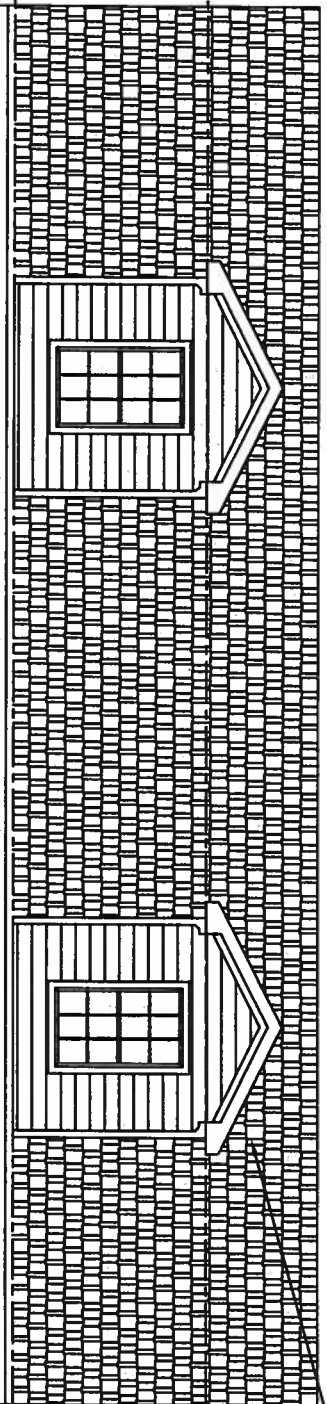
FRONT ELEVATION

96" WALL HEIGHT
FINISH FLOOR
108" WALL HEIGHT



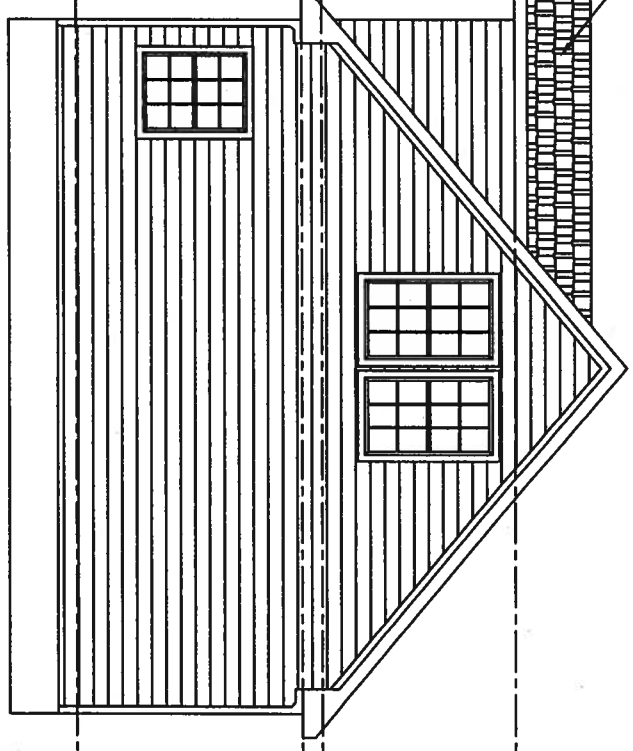
RIGHT ELEVATION

12
10



REAR ELEVATION

96" WALL HEIGHT
FINISH FLOOR
108" WALL HEIGHT



LEFT ELEVATION

ELEVATION NOTES:

SEE CROSS-SECTION FOR METHOD OF ROOF VENTILATION.

NOTE: UNDERPINNING AND STOOPS ON SITE BY OTHERS TYPICAL ONLY.

FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1-SQUARE FOOT NET VENT AREA 1/150th OF THE FLOOR AREA, AND A 18"x24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

STAIR(S) AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

LISTING AGENCY APPROVAL. THESE PLANS HAVE BEEN REVIEWED BY THE FLORIDA REGISTERED PROFESSIONAL ENGINEER AND ARCHITECT FOR CONFORMANCE WITH THE FLORIDA BUILDING CODE. THESE PLANS DO NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. APPROVAL DATE: 5.31.07

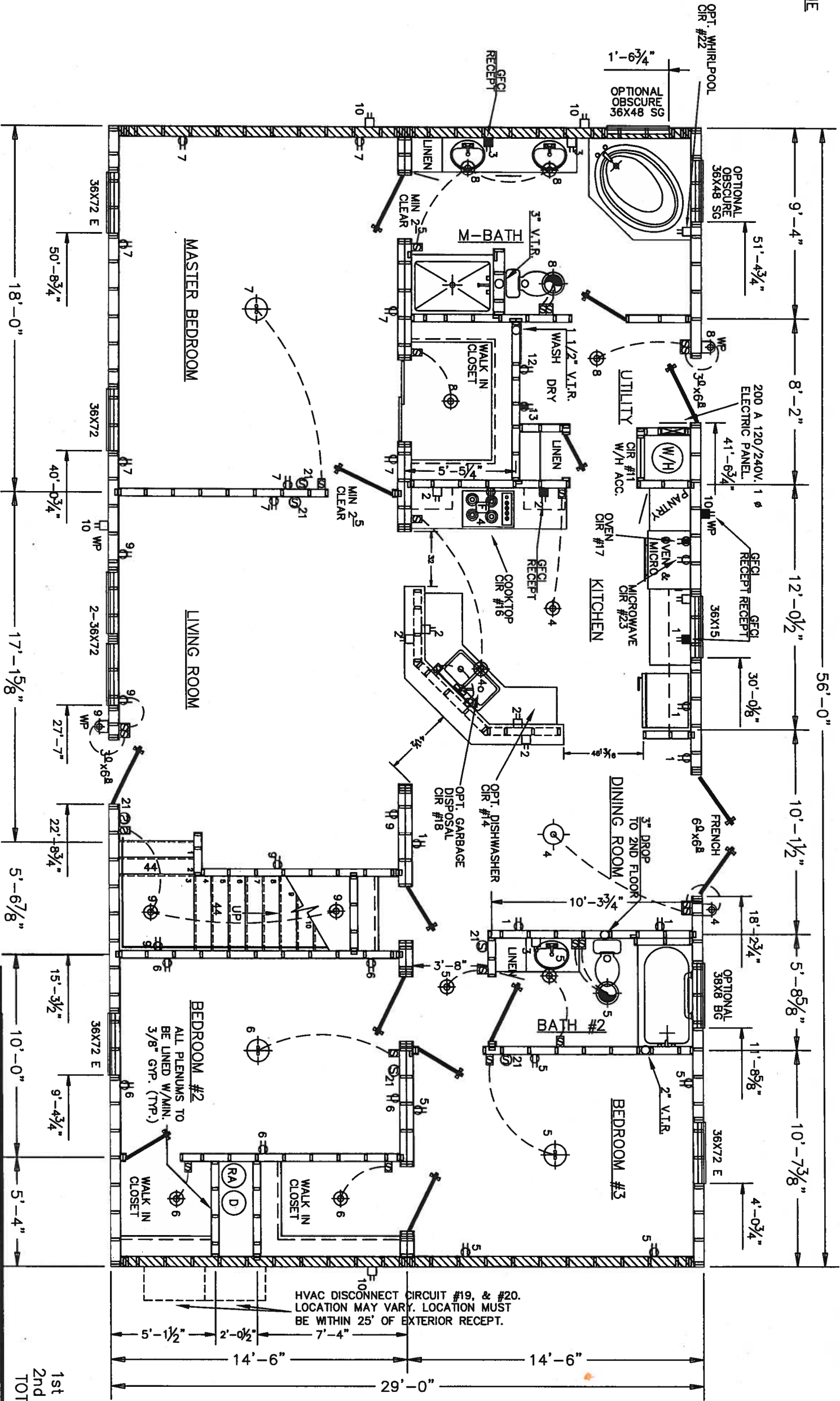
WVG

HOMES OF MERT, INC. P.O. BOX 2097 HWY 100 EAST LAKE CITY, FLORIDA 32056		
THIRD PARTY: HILBORN, WERNER, CARTER & ASSOCIATES 1627 SOUTH MYRTLE AVE. CLEARWATER, FL 33756		
Date: 11-28-06	Revisions	Cod#: FC320-03
Dr'n: CP		
Scale: 1/8"=1'		
Code: D (07)		2201-0287F
FLORIDA	DCA: DCA C320 56x29 3BR 3B FR	Print: PAGE 3 ELEVATIONS

ROBERT E. GREGG
REGISTERED ARCHITECT
CLEARWATER, FL 33756
PHONE (727)-786-8774
FAX (727)-781-8842

APPROVED MAY 31 2007

29'-0" WIDE HOME



RECEIPT	220 RECEIPT	EXIT SIGN
FLOOR RECEIPT	DIRECTIONAL EXIT SIGN (INSTALLED BY OTHERS)	
G.F.C.I. RECEIPT	BATH FAN	
G.F.C.I.	COMB. VENT FAN & LIGHT	
THERMOSTAT	ELECT. PANEL BOX (INSTALLED BY OTHERS)	
INCANDESCENT LIGHT	HANDICAP DIRECT. SIGN (INSTALLED BY OTHERS)	
FLUORESCENT LIGHT	SINGLE SWITCH	
OUTSIDE LIGHT	DBL. SWITCH	
SUPPLY AIR DUCT	CEILING JUNCTION BOX	
RETURN AIR GRILL		
& DROP OUT	SMOKE DETECTOR	

FLORIDA TYPICALS MUST ACCOMPANY THESE PLANS UPON SUBMITTAL. ADDITIONAL HINGED ROOF DETAILS MUST BE INCLUDED WHEN HOME IS BUILT WITH HINGED ROOF.

NOTES:

- ALL INTERIOR PASSAGE DOORS TO BE A MIN. 2'4" X 6'8" UNLESS OTHERWISE NOTED.
- HOME MAY BE BUILT IN MIRROR IMAGE.

INTERIOR FINISH MATERIAL

CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

WALL - 3/8" MIN. GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

FLOOR - BLOCK TILE OR LINOLEUM MAY BE USED IN WET AREAS. CARPET, BLOCK TILE, OR LINOLEUM MAY BE INSTALLED IN ALL OTHER AREAS.

LISTING

AGENCY APPROVAL

THESE PLANS COMPLY WITH THE

FLORIDA BUILDING CODE

AND ARE SUBJECT TO THE

LOCAL ORDINANCES

CONSTR. TYPE

OCCUPANCY

ALTERNATE NO.

WIND VELOCITY

SEE DRAWING

PLAN NO.

APPROVAL DATE

UNIVERSITY HOMES/ELMENT

HIGH VELOCITY

WINDBORN

DATE 5-31-07

NO

THIRD PARTY: HILBORN, WERNER, CARTER ASSOCIATES 2822 SOUTH MYRTLE AVE. CLEARWATER, FL 33756

Date: 7-19-06		Revisions	Cod#: FC320-04
Dr'n: CP	05/30/07 GAT		
Scale: 3/16"=1'			
Code: D (07)			2201-0287F
FLORIDA	Model: DCA C320 56x29 3BR 2B FR	Print: PAGE 4 FLOOR PLAN	



HOMES OF MERIT, INC.
P.O. BOX 2097
(1915 SE STATE ROAD 100)
LAKE CITY, FLORIDA 32056

HITCH

ROBERT E. GRECO
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-798-8171
FAX: (727)-791-6944

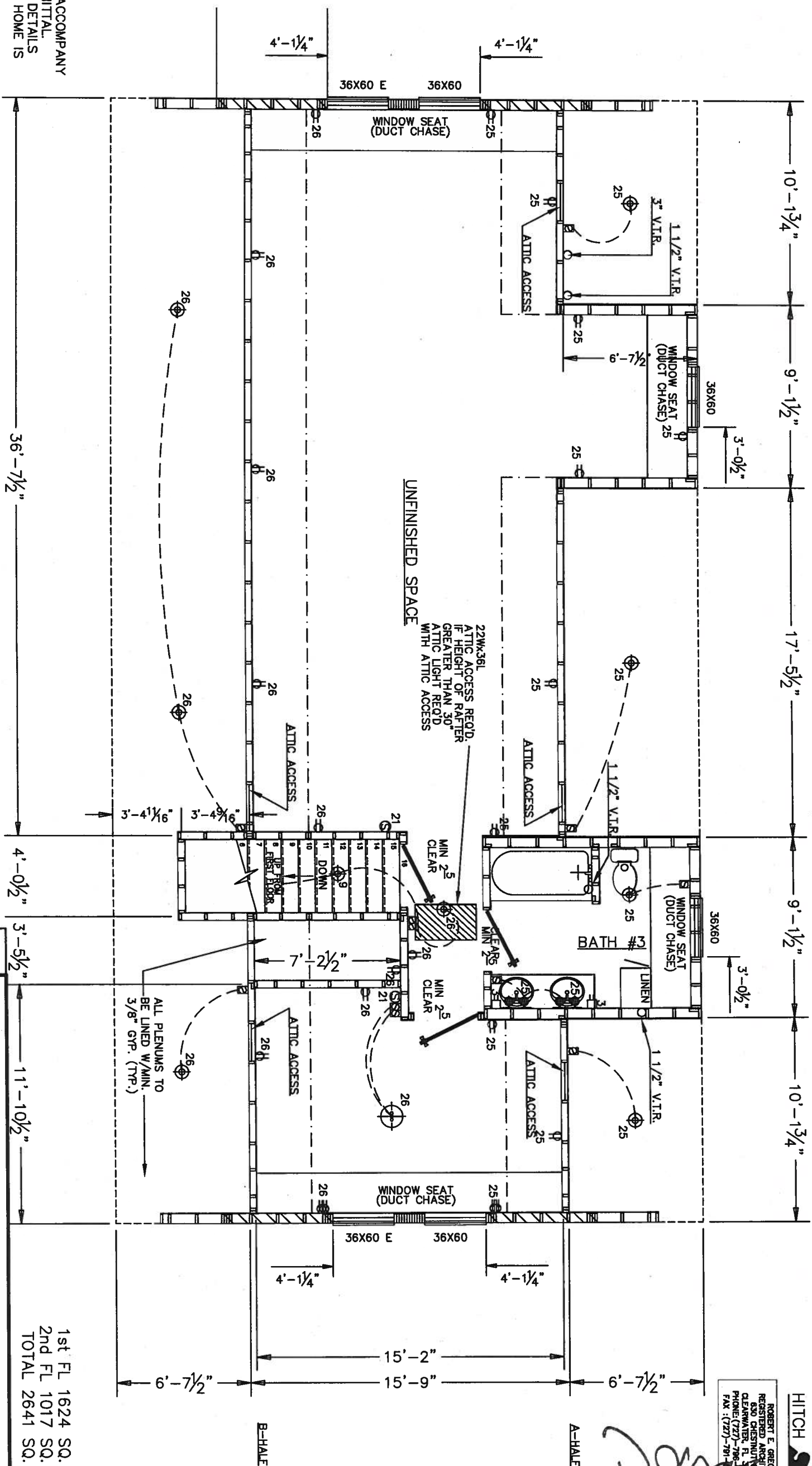
APPROVED MAY 31 2007

29'-0" WIDE HOME






















HITCH

ROBERT E. GREGG
REGISTERED ARCHITECT
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CLEARWATER, FL 34626
PHONE: (727)-786-6774
FAX: (727)-791-4042

APPROVED MAY 31 2007



FLORIDA TYPICALS MUST ACCOMPANY THESE PLANS UPON SUBMITTAL. ADDITIONAL HINGED ROOF DETAILS MUST BE INCLUDED WHEN HOME IS BUILT WITH HINGED ROOF.

	EXIT SIGN
	DIRECTIONAL EXIT SIGN (INSTALLED BY OTHERS)
	BATH FAN
	COMB. VENT FAN & LIGHT
	ELECT. PANEL BOX
	HANDICAP DIRECT SIGN (INSTALLED BY OTHERS)
	SINGLE SWITCH
	DBL. SWITCH
	CEILING JUNCTION BOX
	SMOKE DETECTOR
	SUPPLY AIR DUCT
	RETURN AIR GRILL & DROP OUT
	THERMOSTAT
	INCANDESCENT LIGHT
	FLUORESCENT LIGHT
	OUTSIDE LIGHT
	G.F.C.I.
	G.F.C.I., RECEIPT
	FLOOR RECEIPT
	220 RECEIPT
	110 RECEIPT

NOTES:

1. ALL INTERIOR PASSAGE DOORS TO BE A MIN. 2'4" X 6'8" UNLESS OTHERWISE NOTED.
2. HOME MAY BE BUILT IN MIRROR IMAGE.
3. MAX. 4 S.F. FOR OPT. SKYLIGHT (BATHROOM LOCATION)
4. ATTIC ACCESS, ELECTRICAL, SMOKE DETECTORS, FINISHED WALLS AND CEILINGS, AND INSULATION ON SECOND FLOOR TO BE DONE BY OTHERS ON SITE.

INTERIOR FINISH MATERIAL

CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

- 3/8" MIN. GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

FLOOR - BLOCK TILE OR LINOLEUM MAY BE USED IN WET AREAS. CARPET, BLOCK TILE, OR LINOLEUM MAY BE INSTALLED IN ALL OTHER AREAS.

LETTER
AGENCY APPROVAL THE
THE
FLORIDA MANUFACTURED HMD-
ACT OF 1976 CONSTITUTIONAL
AND THE
FOR THE
LAWED OFFICIAL.

CORR. TYPE NR
OCCUPATION B-3
DATE OF BIRTH 2
WIND VELOCITY 130 (3 SEC.)
PER. DATING OF 0
EFT. DATES 0
PLAN NO. 2201-02807
ALLEN. FLORIS 49
LIND

APPROVAL DATE 5-31-67

WAVE/ACTIVITY NONCOMMIT
HIGH VELOCITY NO
HARMFUL ZONE

DWG

COA # 1025

THIRD PARTY:

**HILBORN, WERNER, CARTER
& ASSOCIATES**
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33758



HOMES OF MERIT, INC.
P.O. BOX 2097
(1915 SE STATE ROAD 100)
LAKE CITY, FLORIDA 32056

Date: 11-27-06	Revisions		Cod #: FC320-04A
Dr'n: STAFF	05/30/07 GAT		
Scale: 3/16"=1'			
Code: D (07)			2201-0287F
FLORIDA	Model: SECOND FLOOR DCA C320 56x29 3BR 2B FR	Print: PAGE 4A FLOOR PLAN	

1st FL	1624	SQ.	FT.
2nd FL	1017	SQ.	FT.
TOTAL	2641	SQ.	FT.

[illegible]

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-786-8774
FAX: (727)-781-8832

[Handwritten signature]

①
SW
168"

1A
SW
168"

LISTING

AGENCY AFFILIATE

THREE BEDROOMS, ONE BATH, THE
FURNISHED, WALK-OUT TO THE
BACKYARD, CLOSET, CARPORT,
AND A TWO CAR GARAGE. THE
NO. OF OTHERS: 0

LOANS OFFERED

COONST. TYPE

1-B

OCCUPANCY

R-3

APPROX. # NO.
OF FLOORS

2

WIND VELOCITY

130.0 (3 SEC.)

TYPE OF
FLOORING

2

PLAN NO.

2201-0087

FLYIN FLOOR
LOAD

40

APPROVAL DATE

5/31/07

UNAPPROVED HOMES/DEPT

HIGH VELOCITY

NO.

WIND DAMAGE ZONE

NO.

WPG

COA # 1025



1st FL	1624	SQ.	FT.
2nd FL	1017	SQ.	FT.
TOTAL	2641	SQ.	FT.

1. ALL COLUMN STUDS TO BE #3 SPF AND SHALL BE GLUED & NAILED TOGETHER.

2. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.

3. INSTALL SW STRAP ON EACH STUD OF EACH COLUMN. 1- S20 STRAP MAY REPLACE SW STRAP AT FLOOR.

4. MARRIAGE WALL STRAPPING REQ'D. 16" O.C.

MATERIAL: MICROLAM

SIZE: 2-1 1/2" WIDE x 9 1/4" DEEP

FOR SPANS A TO B & C TO D

MATERIAL: LUMBER

SIZE: 2x6 SPF #2

FOR SPANS E TO F & G TO H

2-1 1/2" x 9 1/4" x 14'-0" LVL
EACH HALF

0'-9 1/4"

14'-0"

0'-3"

THIRD PARTY:

**HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33758**



HOMES OF MERIT, INC
P.O. BOX 2097
(1915 SE STATE ROAD 100)
LAKE CITY, FLORIDA 32056

Date: 7-19-06	Revisions		Cod #: FC320-05
Dr'n: CP	05/30/07 GAT		
Scale: 3/16"=1'			
Code: D (07)			2201-0287F

FLORIDA

DCA C320
56x29 3BR 2B FR

Print: PAGE 5
COLUMNS

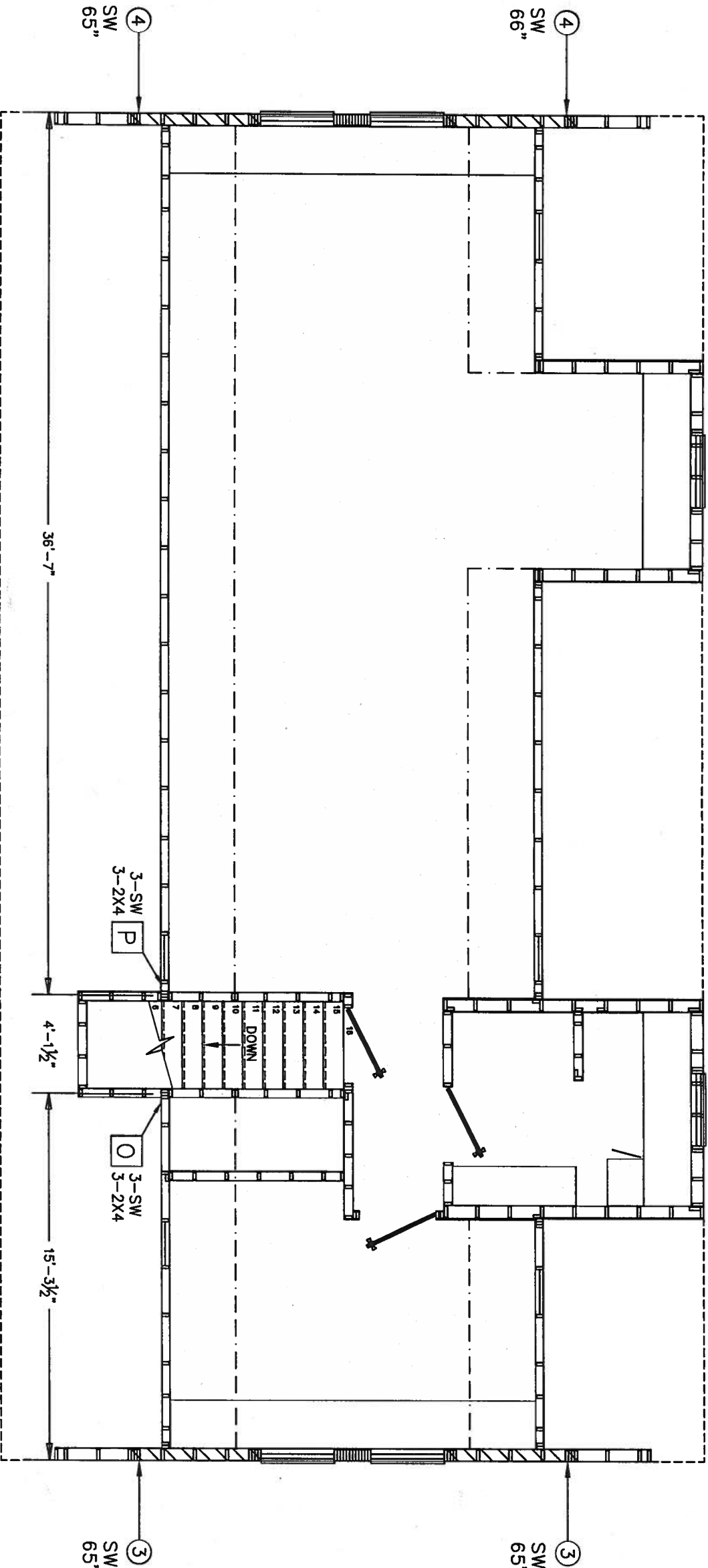
29'-0" WIDE HOME

28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 24" O.C.

ROBERT E. GREGG
REGISTERED ARCHITECT
830 CHESTNUT ST.
CLEARWATER, FL 33768
PHONE: (727)-796-8878
FAX: (727)-791-6813

HITCH

APPROVED MAY 01 2007



42 41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 16" O.C.

1st FL 1624 SQ. FT.
2nd FL 1017 SQ. FT.
TOTAL 2641 SQ. FT.

NOTE:

1. ALL COLUMN STUDS TO BE #3 SPF AND SHALL BE GLUED & NAILED TOGETHER.
2. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.
3. INSTALL SW STRAP ON EACH STUD OF EACH COLUMN. 1- S20 STRAP MAY REPLACE SW STRAP AT FLOOR.
4. MARRIAGE WALL STRAPPING REQ'D. 16" O.C.

SEE PAGE 12 FOR SHEARWALL REQUIREMENTS.

RIDGE BEAM

MATERIAL: MICROLAM
SIZE: 1 1/2"x9 1/4" LVL
FOR SPAN O TO P

LISTING	AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT AND ARE SUBJECT TO THE FLORIDA DEPARTMENT OF REVENUE'S LENDING CRITERIA.	
CONST. TYPE	1-B
OCCUPANCY	R-3
ALLIANCE NO.	2
WIND VELOCITY	130
DEE. RATIO OF	0
PLAN NO.	2201-0000F
ALLOW. FLOOR	40
APPROVAL DATE	5.31.07
MANUFACTURER HOMES/MENT	
WIND VELOCITY	NO
WIND VELOCITY	NO

THIRD PARTY: HILBORN, WERNER, CARTER & ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

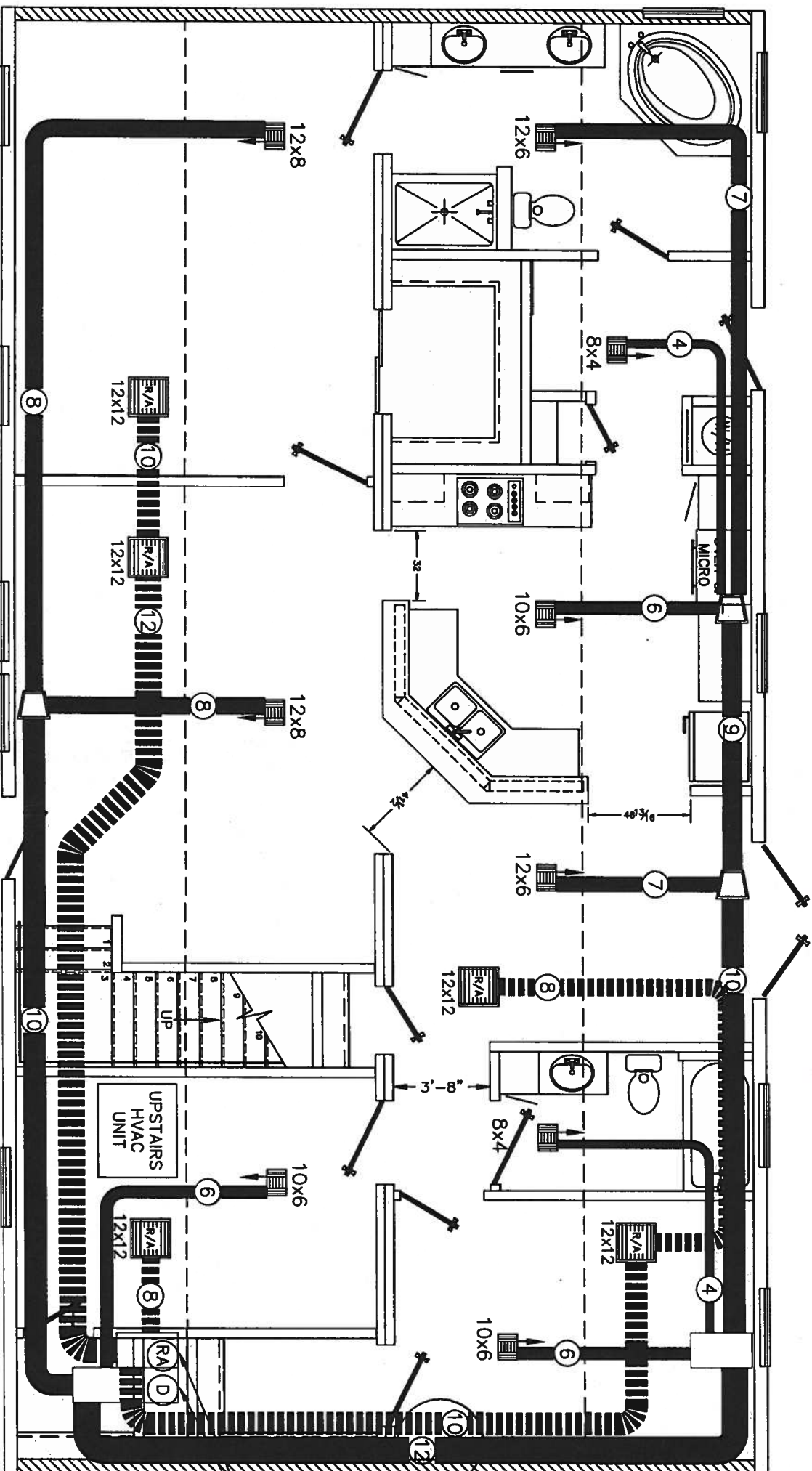


HOMES OF MERIT, INC.
P.O. BOX 2097
(1915 SE STATE ROAD 100)
LAKE CITY, FLORIDA 32056

Date: 11-27-06	Revisions	Cad#: FC320-05A
D'r'n: STAFF	05/30/07 GAT	
Scale: 3/16"=1'		
Code: D (07)		
FLORIDA	Model: SECOND FLOOR DCA C320 56x29 3BR 2B FR	Print: PAGE 5A COLUMNS

29'-0" WIDE HOME

28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 24" O.C.



14" RISER

DUCTS LOCATED IN WINDOW SEAT ON 2ND FLOOR

A-SECTION

B-SECTION

42 41 40 39 38 37 36 35 34 33 32 31 30 29 28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 16" O.C. 1st FL 1624 SQ. FT. 2nd FL 1017 SQ. FT. TOTAL 2641 SQ. FT.

LISTING
AGENCY APPROVAL
THESE PRINTS CORRELATE WITH THE
ORIGINAL ARCHITECTURAL DRAWINGS
AND ARE NOT TO BE USED FOR
CONSTRUCTION OR REVISIONS
UNLESS OTHERWISE NOTED
DATE: 5-31-07
DRAWN BY: J. W. W. W.
CHECKED BY: J. W. W. W.
APPROVED BY: J. W. W. W.
HITCH

THIRD PARTY: HILBORN, WERNER, CARTER & ASSOCIATES
1827 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756



HOMES OF MERIT, INC.
P.O. BOX 2097
(1915 SE STATE ROAD 100)
LAKE CITY, FLORIDA 32056

Date:	7-19-06	Revisions		Cad#:	FC320-06
Dr'n:	CP	05/30/07 GAT			
Scale:	3/16"=1'				
Code:	D (07)				
Model:	DCA C320 56x29 3BR 2B FR				
Print:	PAGE 6 ROOF DUCT				

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33764
PHONE: (727)-796-1774
FAX: (727)-791-1774

APPROVED

III

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT
CLEARWATER, FL 34616
PHONE: (727)-786-1772
FAX: (727)-781-1442



Diagram of Section A-A showing a cross-section of the furnace. The diagram includes dimensions of 10" and 8". Labels include "HEAT EXCHANGER" and "HEAT EXCHANGER".

[illegible]

B-HALF

[illegible]

UPSTAIRS SYSTEM IS SEPARATE FROM DOWNSTAIRS

NOTICE

CROSSOVER DUCTS ARE LOCATED IN THE ROOF. THE CROSSOVER SHOULD BE MADE BEFORE CLOSE UP IS COMPLETED.

LISTING NO. _____

AGENCY APPROVAL _____

THREE MONTHS UNPAID RENT-
FLAMING MANUFACTURED BUILD-
ING, 1000 S. 10TH AVE., ST. LOUIS,
MO. ACT OF 1976 CONSTRUCTION
CANNOT BE USED FOR THE PRE-
SENT OCCUPANCY.

OCCUPANT TYPE _____

ALTERNATE NO. _____

FLOORING _____

WIND VULNERABILITY _____

SECT. BUILDING _____

PLAN NO. _____

LAND FLOOR _____

APPROVAL DATE _____

UNAPPROVED HOMESDEPARTMENT
HIGH VELOCITY _____

HAZARDOUS ZONE _____

NO _____

5-21-07⁴⁰

2201-0267F

1301.3 (SEC.)

2

R-3

VR

PPWC

OML # 1035

**HILBORN, WERNER, CARTER
& ASSOCIATES**
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33758



HOMES OF MERIT, INC.
P.O. BOX 2097
(1915 SE STATE ROAD 100)
LAKE CITY, FLORIDA 32056

Date: 11-27-06	Revisions	Code#: FC320-06A
Dr'n: STAFF	05/30/07 GAT	
Scale: 3/16"=1'		
Code: D (07)		2201-0287F
FLORIDA	Model: SECOND FLOOR DCA C320 56x29 3BR 2B FR	Print: PAGE 6A ROOF DUCT

ROBERT E. GREENG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33768
PHONE: (727)-786-8774
FAX: (727)-781-8942

APPROVED MAY 31 2007

LISTING	
AGENCY APPROVAL	
THESE PRINTS COMPLY WITH THE	
FLORIDA MANUFACTURED BUILD-	
ING ACT OF 1979 CONSTRUCTION	
CODE AND ADHERE TO THE FOL-	
LOWING CRITERIA	
OCCUPANCY	VB
CONST. TYPE	R-3
ALLOWABLE NO.	2
OF FLOORS	
WIND VELOCITY	130(3 SEC.)
FREE RATING OF	0
EXT. WALLS	
PLAN NO.	2201-0287F
ALLOW. FLOOR	40
LOAD	5.31.07
APPROVAL DATE	5.31.07
MANUFACTURER HOMES/OF/MENT	
HIGH VELOCITY	NO
HURRICANE ZONE	

WVE

OMA # 1025

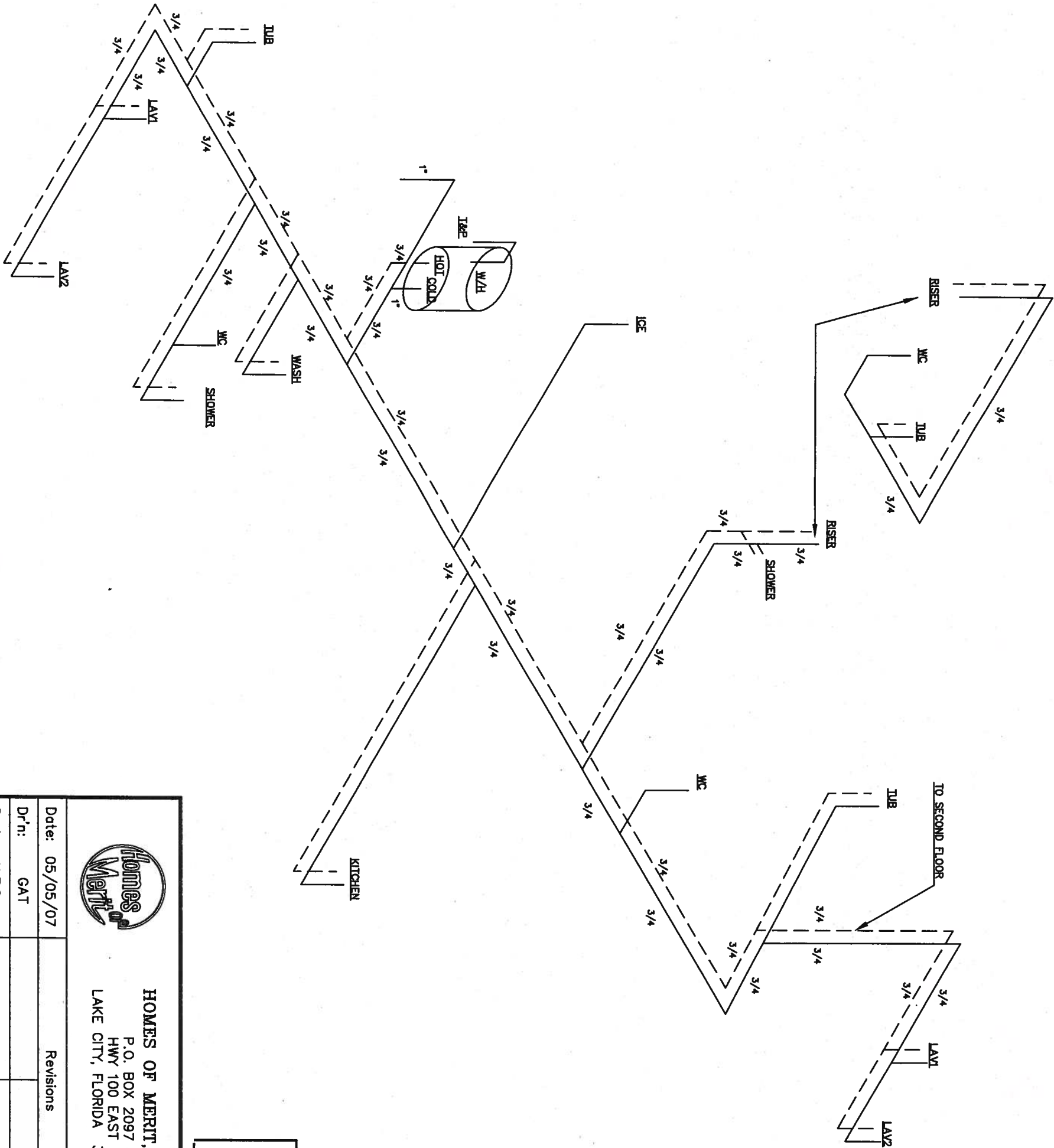
THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 05/05/07	Revisions	Cod#: FC320-08
Dr'n: GAT		
Scale: N.T.S.		
Code: D (07)		2201-0287F
FLORIDA	Model: 1st. and 2nd. FLOOR	Print: PAGE 8
	DCA FC320	SUPPLY



SUPPLY LINE SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 46 TO 60 PSI AT MAIN INLET, AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

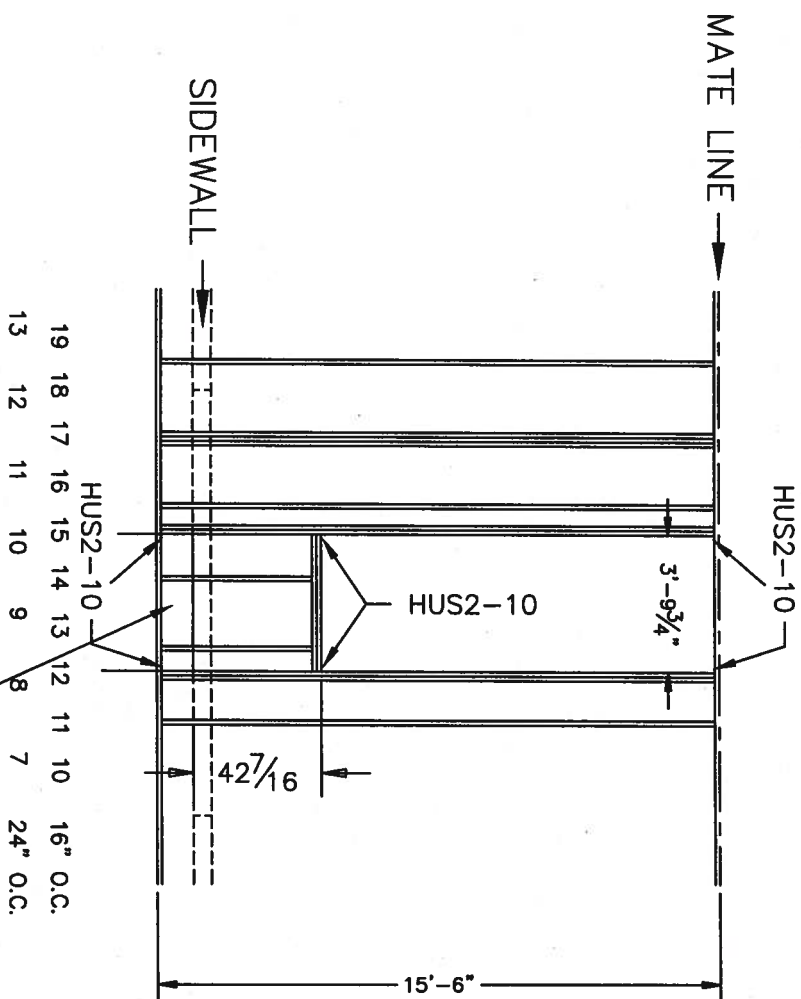
HOT
COLD

ALL SUPPLY LINE SHALL BE 3/4". ALL STUB-UPS SHALL BE 1/2" UNLESS OTHERWISE SPECIFIED. HOT WATER LINES LOCATED TO THE LEFT OF FIXTURES.

NOTE: ALL PIPE SIZES ARE 1/2" UNLESS OTHERWISE NOTED.

SUPPLY SYSTEM

1ST FLOOR CEILING FRAMING
2ND FLOOR FRAMING



2-5 1/2" X 1 1/2" LVL
SIDEWALL TOP PLATE TO EXTEND
A MIN. OF 4'-0" BEYOND
THE STAIRWELL OPENING ON EACH SIDE.

ROBERT E. GREIGS
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33766
PHONE: (727)-796-8774
FAX: (727)-791-8942

APPROVED MAY 31 2007

LISTING	
AGENCY APPROVAL	
THESE PRINTS COMPLY WITH THE	
FLORIDA MANUFACTURED BUILD-	
ING ACT OF 1979 CONSTRUCTION	
CODE AND ABIDE TO THE POL-	
ICED CRITERIA.	
CONST. TYPE	1/8
OCCUPANCY	R-3
ALLOTTABLE NO.	2
OF FLOORS	130 (3 SEC.)
WIND VELOCITY	0
FIRE RATING OF	0
EXT. WALLS	2201-0287F
PLAN NO.	40
ALLOW. FLOOR	5.31.07
LOAD	
APPROVAL DATE	
MANUFACTURER HOMES OF MERIT	
WIND VELOCITY	NO
HARBOR ZONE	

HWG

COA # 1023

THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1827 SOUTH WYRTLE AVE.
CLEARWATER, FL 33766



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 11-27-06	Revisions	Cod#: FC320-9
Dr'n: CP		
Scale: 3/16"=1'		
Code: D (07)		2201-0287F

FLORIDA

Model:
DCA C320

Print: PAGE 9
FRAMING PLAN

APPROVED MAY 31 2007

PAGE 10
STAIRWAY LAYOUT

PAGE 10

DCA C320

FLORIDA

Code: D (07)

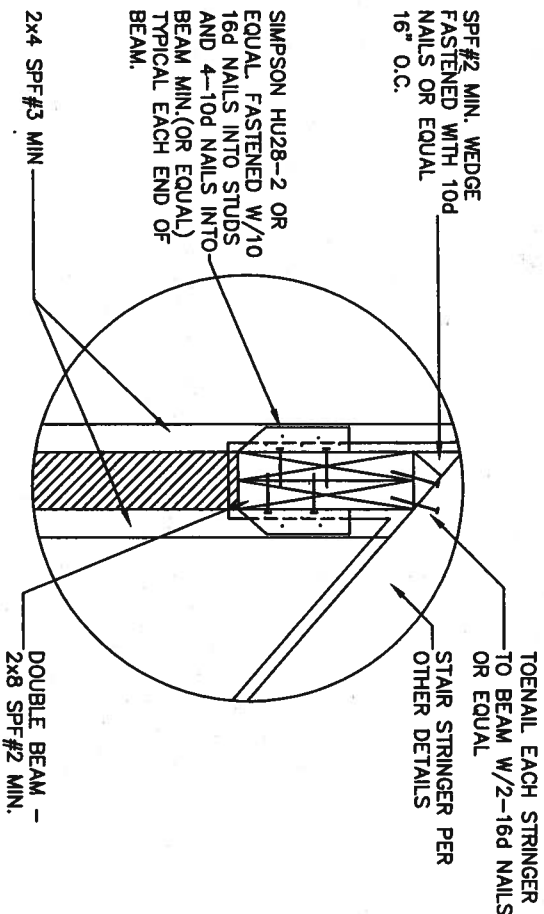
HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER FL 33756

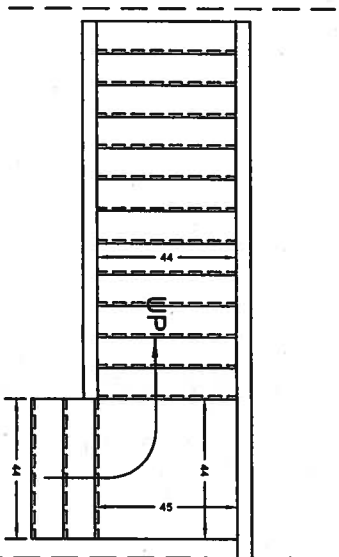


Homes of Merit

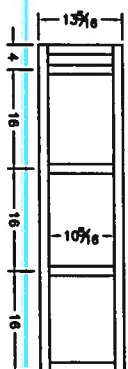
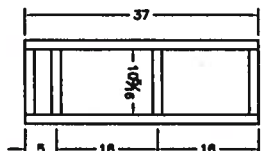
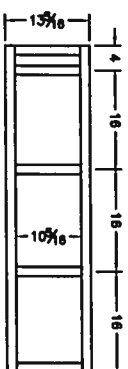
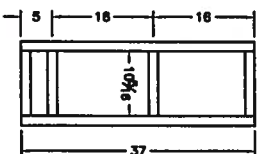
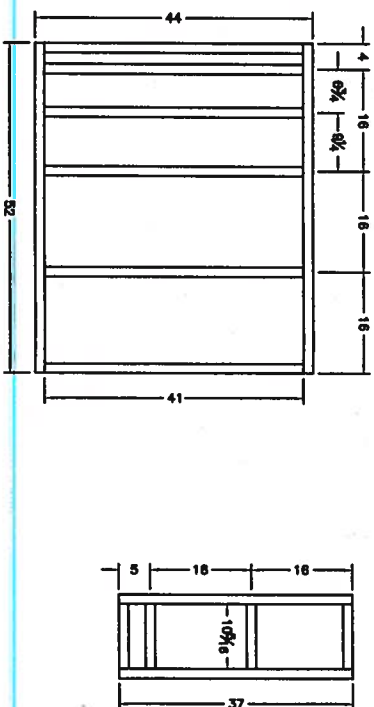
PLATFORM LAYOUT



STAIRWAY CROSS-SECTION/SIDE VIEW



2X8 PLATFORM



2X8 PLATFORM SUPPORT

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-786-8774
FAX: (727)-791-8842

Cad#: C320-10A

APPROVED MAY 31 2007

Print: PAGE 10A
STAIRWAY DETAILS

Revisions

05/10/07 GAT

Date: 5-8-07

Dr'n FP

Scale: N.T.S.

Code: D (07)

DCA:

DCA C320

FLORIDA

HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



PAGE 10A
2201-0287F



CDA # 1025

LISTING
AGENCY APPROVAL

THESE PRINTS COMPLY WITH THE
FLORIDA MANUFACTURED BUILD-
ING ACT OF 1978 CONSTRUCTION
CODE AND ADHERE TO THE FOL-
LOWING CRITERIA.

CONST. TYPE

VB

OCCUPANCY

R-3

ALLOWABLE NO.
OF FLOORS

2

WIND VELOCITY
130 (3 SEC.)

FIRE RATING OF
EXT. WALLS

0

PLAN NO.

2201-0287F

ALLOW. FLOOR
LOAD

40

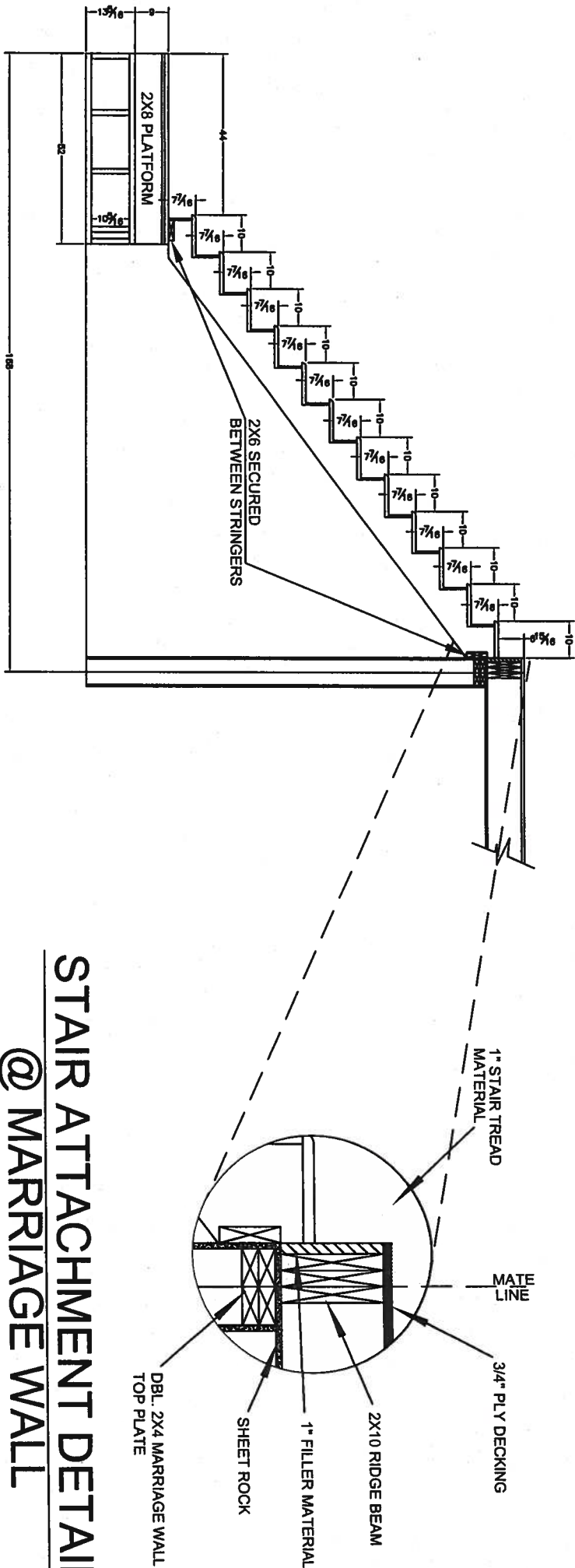
APPROVAL DATE

MANUFACTURER HOMES OF MERIT

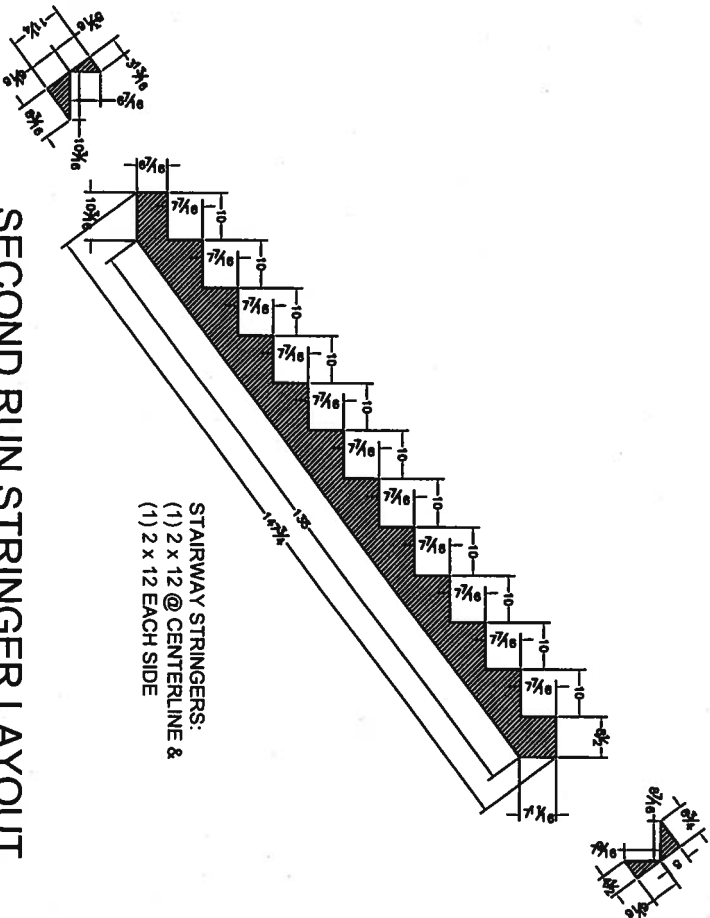
HIGH VELOCITY
HURRICANE ZONE

NO

STAIR ATTACHMENT DETAIL
@ MARRIAGE WALL

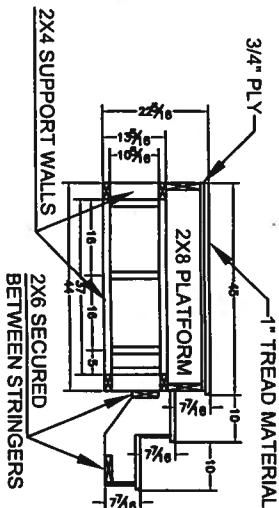


STAIR ATTACHMENT DETAIL



SECOND RUN STRINGER LAYOUT

STAIRWAY STRINGERS:
(1) 2 x 12 @ CENTERLINE &
(1) 2 x 12 EACH SIDE



FIRST RUN STRINGER LAYOUT

STAIRWAY STRINGERS:
(1) 2 x 12 @ CENTERLINE &
(1) 2 x 12 EACH SIDE

THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

1. ALL LAG SCREWS AND BOLTS MUST COMPLY WITH ASTM A307. ANSI/ASME B 18.2.1
2. SEE FOUNDATION PLAN FOR PIER, FOUNDATION WALL AND THE DOWN ANCHORAGE LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.

CC278702 (10/12)

[illegible]

CEILING - 1/2 INCH, HIGH STRENGTH, REINFORCED TYPE GYPSUM BOARD, APP. FOR WET FINISH APPLICATION. INSTALLED PER MANUFACTURER'S SPECS. (POPCORN FINISH) OPT.

ROOF - CERTAINTED FRESHGREEN +2000 SHINGLES ASTM D3462, U/L 780, 987, TYPE 1, CLASS A, (OR EQUIVALENT) INSTALLED PER MANUFACTURER'S SPECS. SHINGLES SHALL BE INSTALLED OVER 15 PLY, 2 LAYERS OF FELT FOR PICKLES UP TO 4/12 AND 1 LAYER OF FELT FOR 4/12 AND STEEPER SHINGLES. FELT FLASHING, AND FASTENERS SHALL COMPLY WITH IRC SEC. ROOF.

FASTEN INNER 2x10 RIM TO JOIST w/8-16d x 3 1/2" NAILS or 14-15ga x 2 1/2" STAPLES.

FLOOR JOIST

WALL - 5/8" T-11 APA RATED PANEL, SINGING OR VENT. HORIZONTAL LAP SIDING INSTALLED PER MANUFACTURER'S SPECIFICATIONS. BRICK VENEER, STUCCO, OR OTHER APPROVED FINISH SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.

OUTER 2x10 RIM FASTENED TO INTER RIM w/16d
NAILS 10" oc STAGGERED TOP AND BOTTOM or 15
x 2 1/2" STAPLES @ 6" oc TOP AND BOTTOM.

Cad#: FC320-11
10/12
APPROVED MAY 31 2010
PAGE 11
SS SECTION

Date: 1-9-06
Dr'n CP
Scale: N.T.S.
Code: D (07)



IIWG
COA # 1025

LISTING

AGENCY APPROVAL

THESE PRINTS COMPLY WITH THE
REQUIREMENTS OF THE
UNIFORM ACT OF 1970 CONSTRUCTION
CODE AND ADHERE TO THE FOLLOWING
CRITERIA.

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	2
WIND VELOCITY	130 (3 SEC.)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2201-02B7
ALLOW. FLOOR LOAD	40
APPROVAL DATE	5.31.07
MANUFACTURER	HOMESDEMERIT
HIGH VELOCITY AIRCURVE ZONE	NO

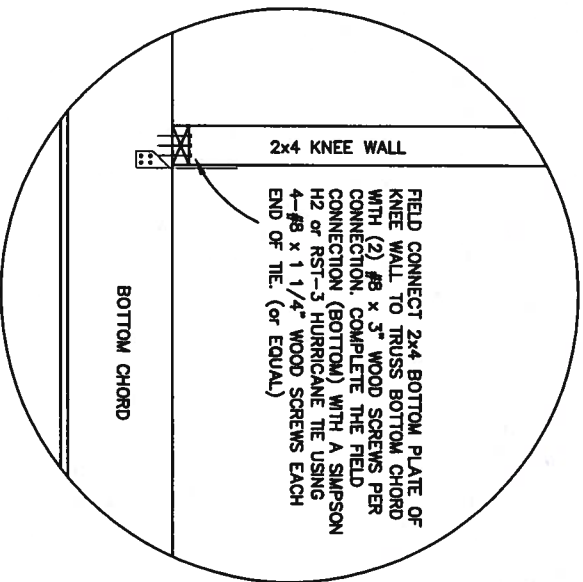
THIRD PARTY

PAGE 11
2201-0287F

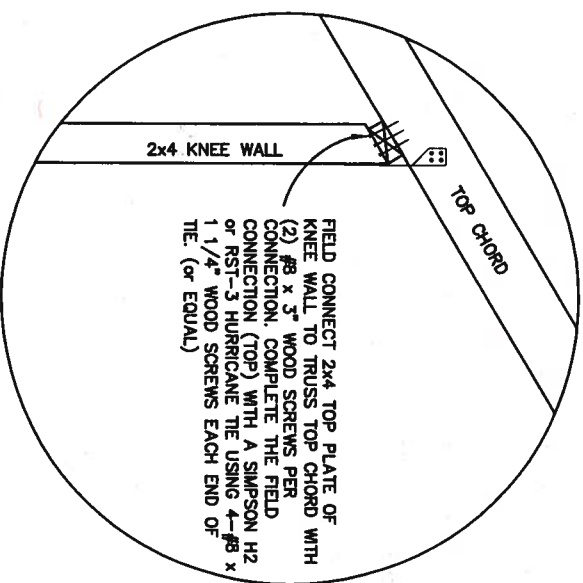
ROBERT E. GREIG
REGISTERED ARCHITECT
830 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-786-6174
FAX: (727)-791-8942

LISTING	
THESE PRINTS COMPLY WITH THE	
FLOOR, MANUFACTURED BUILD-	
ING ACT OF 1976 CONSTRUCTION	
CODE AND ADHERE TO THE FOL-	
LOWING CRITERIA.	
CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO.	2
OF FLOORS	
WIND VELOCITY	130(3 SEC.)
FIRE RATING OF	0
EXT. WALLS	
PLAN NO.	2201-0287F
ALLOW. FLOOR	40
LOAD	
APPROVAL DATE	5.31.07
MANUFACTURER HOMESOFMERIT	
HIGH VELOCITY	
HURRICANE ZONE	NO

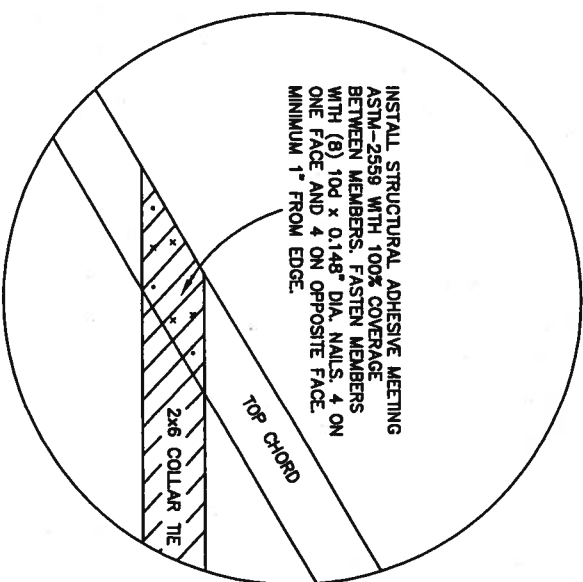
WVG
COL # 1025



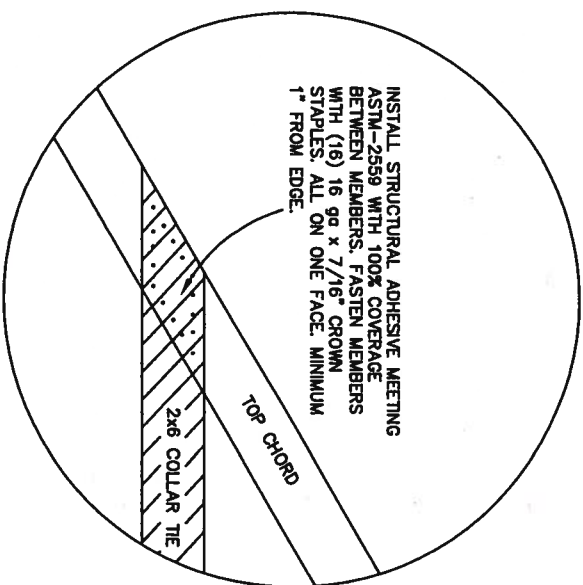
CONNECTION A
407 lb.



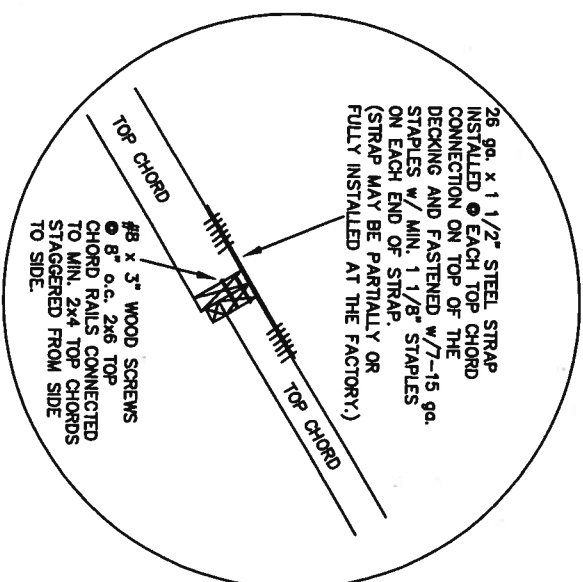
CONNECTION B
410 lb.



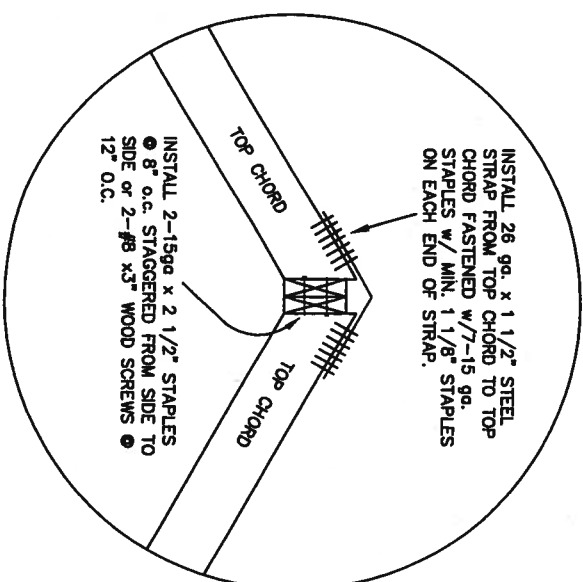
CONNECTION C
542 lb.



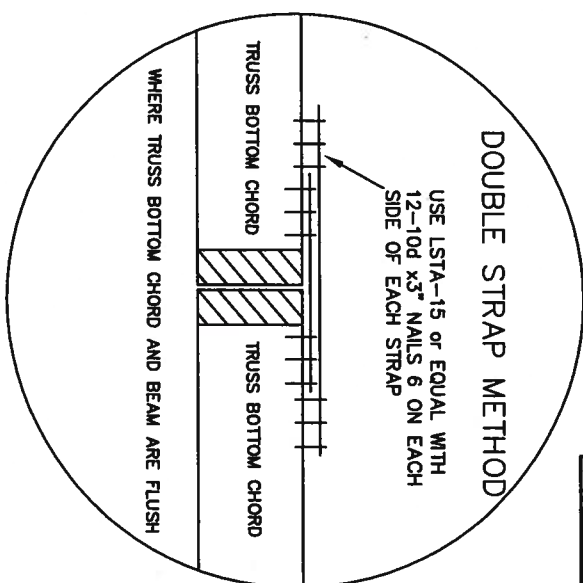
CONNECTION D
542 lb.



CONNECTION E
375 lb.



CONNECTION F
375 lb.



DOUBLE STRAP METHOD
802 lb.

NOTE:
#8 x 3" WOOD SCREWS REFERENCED ON CONNECTIONS A, B, D, or E
MAY BE REPLACED DIRECTLY WITH 10d x 3" (0.148 dia) NAILS ONE FOR ONE.

THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

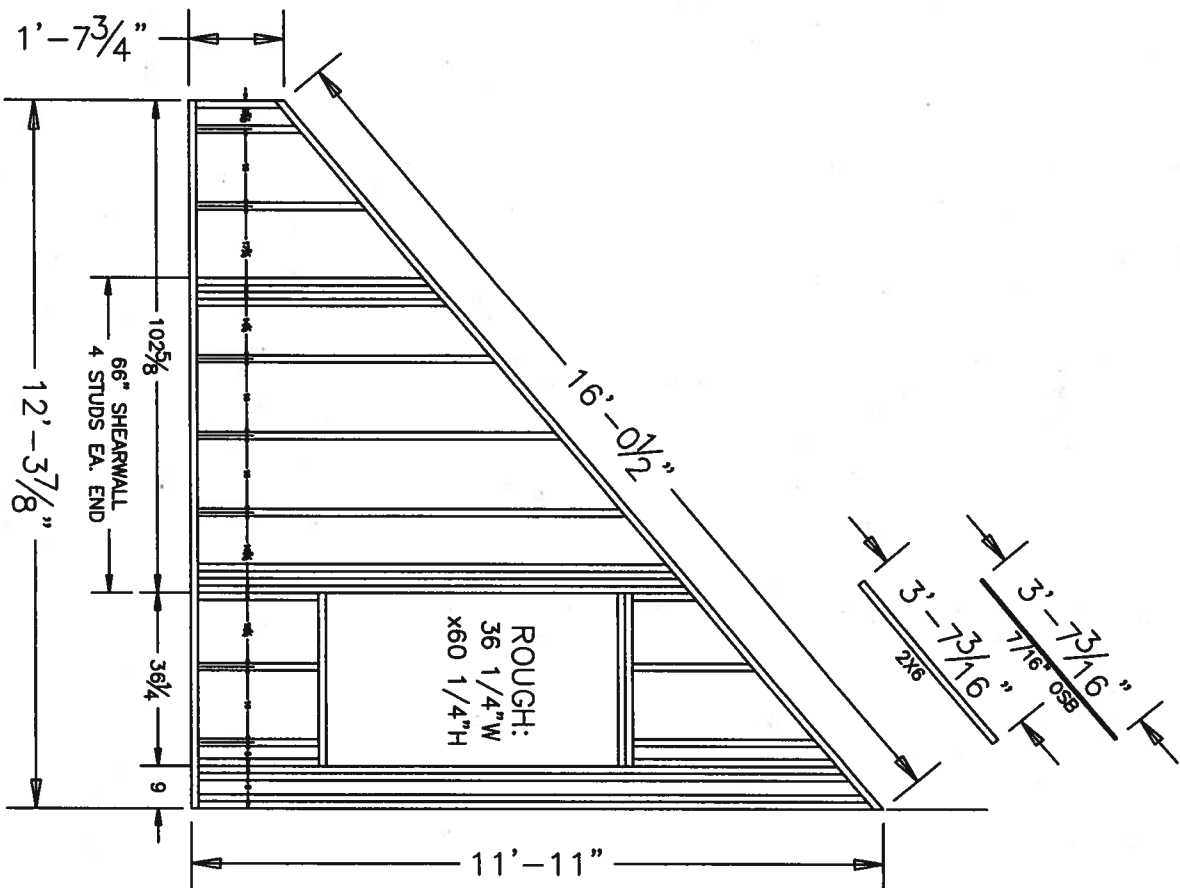
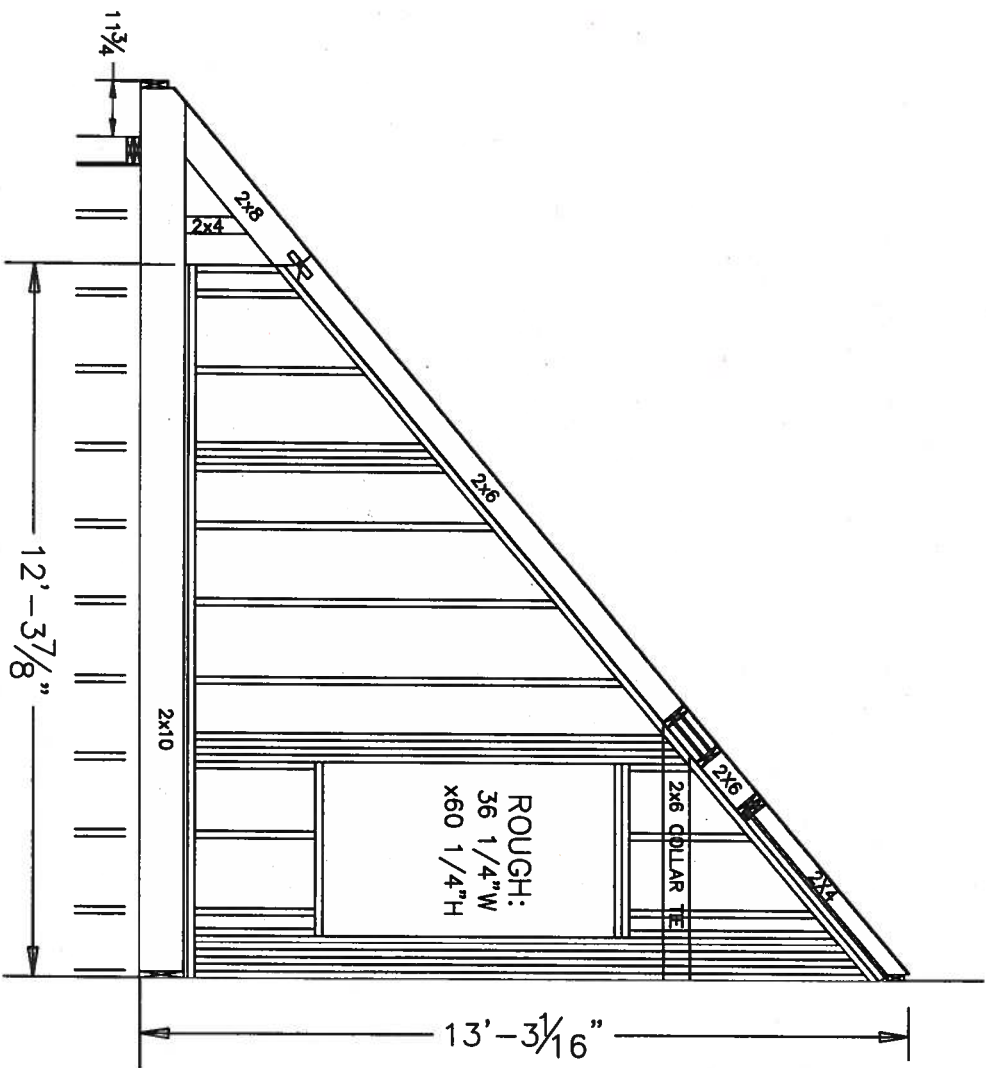


HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 05/29/07	Revisions	Cad#: FC320-11A
Dr'n GAT		
Scale: N.T.S.		
Code: D (07)		
FLORIDA	Model: DCA C320 10/12 HINGED RAFTER	Print: APPROVED MAY 31 2007 PAGE 11A 10/12 HINGED CONNECTIONS

ROBERT E. GREGG
REGISTERED ARCHITECT
630 CHESTNUT ST.
CLEARWATER, FL 33756
PHONE: (727)-786-8774
FAX: (727)-781-6942

APPROVED MAY 31 2007



LISTING	
THESE PRINTS COMPLY WITH THE	
FLORIDA WATER/STRUCTURE BUILDING	
CODE AND ARE SUBJECT TO THE 1997	
LUMBER CRITERIA.	
CONSTR. TYPE	VB
OCCUPANCY	R-3
ALLOTTED NO. OF FLOORS	2
WIND VELOCITY (150 L.S. SEC.)	0
EXT. WALLS	0
PLAN NO.	2201-0287F
ALLOW FLOOR LOAD	40
APPROVAL DATE	5.31.07
MANUFACTURED HOMES/DEVELOPMENT	NO
WIND VELOCITY	NO
WIND ZONE	NO



THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1827 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

GABLE SHEARWALL



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date: 11-15-05	Revisions	Cod#: FC320-12
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Dr'n: CP		
----------	--	--

Parent: NEW		
-------------	--	--

Code: D (07)		2201-0287F
--------------	--	------------

Model: DCA C320		Print: PAGE 12
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FLORIDA		STAIRWELL DETAILS
---------	--	-------------------

		GABLE SHEARWALL
--	--	-----------------

FRONT ENDWALLS

SHEARWALL 1 NOTES:

(3)-2X6 SPF#2 STUDS AT EACH END OF SHEARWALL, WITH (1)-LSTA12 STRAP ON EACH STUD ATTACHED WITH (7)-0.148 x 3" NAILS ON EACH END OF STRAP.

USE 3/8" PLYWOOD or 7/16" OSB, RATED SHEATHING, EXP. 1, FASTENED WITH 8d NAILS SPACED 4" O.C. AT EDGES, AND 12" O.C. IN THE FIELD, WITH ALL EDGES BLOCKED WITH 2-BY LUMBER MINIMUM EXCEPT WHEN FASTENER SPACING IS LESS THAN 3" O.C., EDGE BLOCKING SHALL BE DOUBLE 2-BY LUMBER GLUE/NAILED TOGETHER TO ALLOW STAGGERING OF FASTENERS. ALL SUPPORTS SHALL BE SPF LUMBER OR BETTER.

REAR ENDWALLS

SHEARWALL 2 NOTES:

(4)-2X6 SPF#2 STUDS AT EACH END OF SHEARWALL, WITH (1)-LSTA12 STRAP ON EACH STUD ATTACHED WITH (7)-0.148 x 3" NAILS ON EACH END OF STRAP.

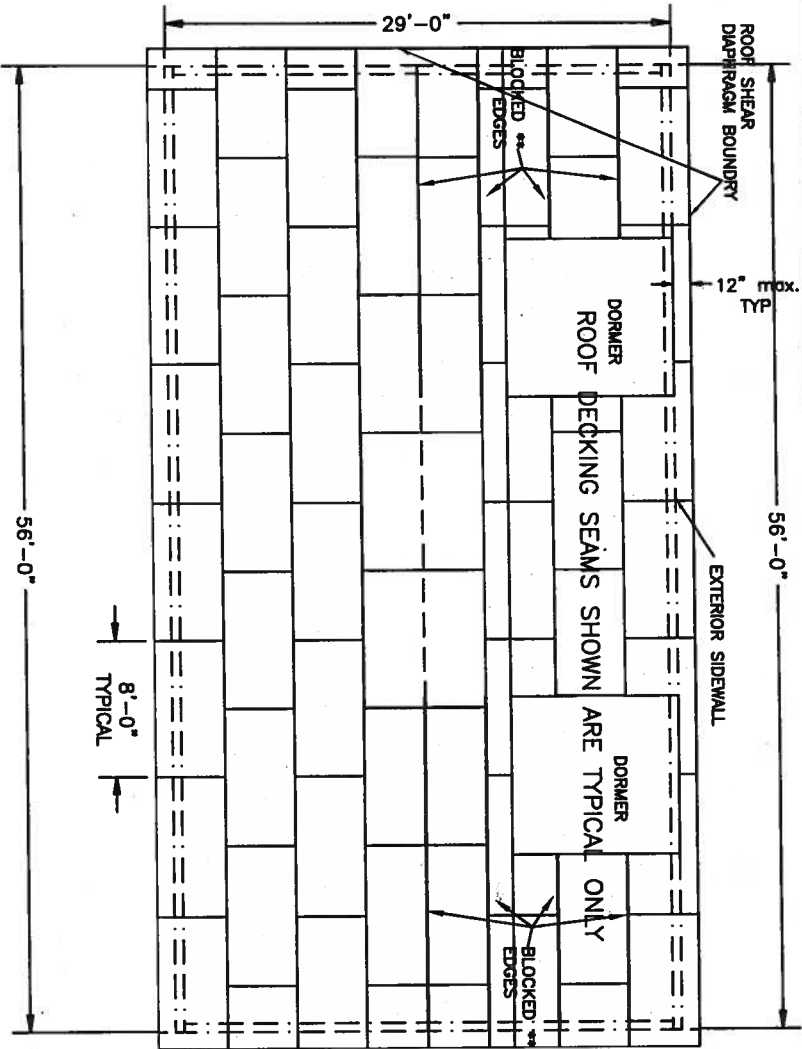
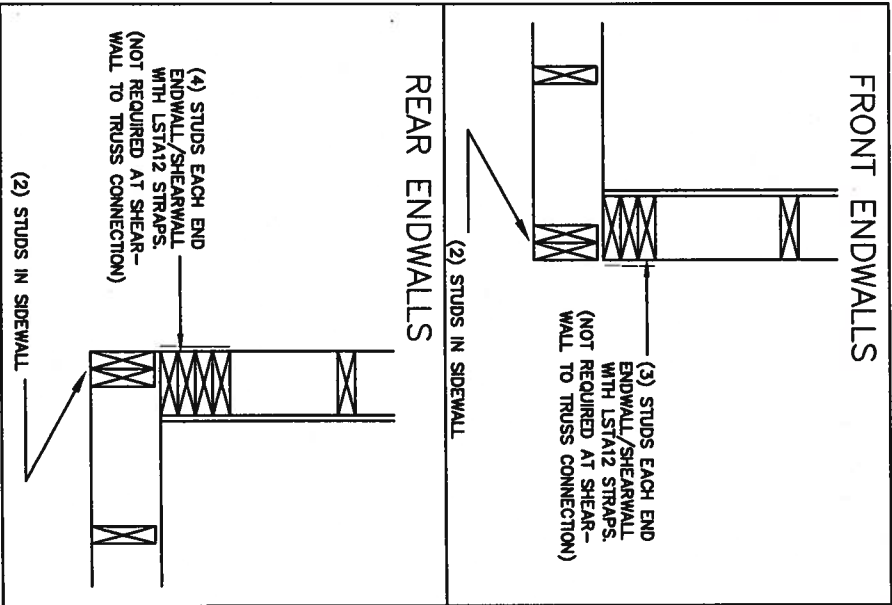
USE 3/8" PLYWOOD or 7/16" OSB, RATED SHEATHING, EXP. 1, FASTENED WITH 8d NAILS SPACED 3" O.C. AT EDGES, AND 12" O.C. IN THE FIELD, WITH ALL EDGES BLOCKED WITH 2-BY LUMBER MINIMUM EXCEPT WHEN FASTENER SPACING IS LESS THAN 3" O.C., EDGE BLOCKING SHALL BE DOUBLE 2-BY LUMBER GLUE/NAILED TOGETHER TO ALLOW STAGGERING OF FASTENERS. ALL SUPPORTS SHALL BE SPF LUMBER OR BETTER.

GABLE ENDWALLS

SHEARWALL 3 NOTES:

(4)-2X6 SPF#2 STUDS AT EACH END OF SHEARWALL, WITH (1)-LSTA12 STRAP ON EACH STUD ATTACHED WITH (7)-0.148 x 3" NAILS ON EACH END OF STRAP.

USE 3/8" PLYWOOD or 7/16" OSB, RATED SHEATHING, EXP. 1, FASTENED WITH 8d NAILS SPACED 3" O.C. AT EDGES, AND 12" O.C. IN THE FIELD, WITH ALL EDGES BLOCKED WITH 2-BY LUMBER MINIMUM EXCEPT WHEN FASTENER SPACING IS LESS THAN 3" O.C., EDGE BLOCKING SHALL BE DOUBLE 2-BY LUMBER GLUE/NAILED TOGETHER TO ALLOW STAGGERING OF FASTENERS. ALL SUPPORTS SHALL BE SPF LUMBER OR BETTER.



ROOF DIAPHRAGM NOTES:

**BLOCKING FOR ROOF DIAPHRAGM IS REQUIRED FOR THE FIRST 19'-4" FROM EACH END WALL.

USE 7/16" OSB RATED SHEATHING, EXP. 1, 24/16 INDEX, FASTENED WITH 8d COMMON NAILS SPACED 2 1/2" O.C. AT BOUNDARIES, 4" O.C. AT EDGES, AND 12" O.C. IN THE FIELD, WITH ALL BOUNDARY EDGES AND **INTERIOR EDGES BLOCKED. BLOCKING SHALL BE 2-BY LUMBER MINIMUM EXCEPT WHEN FASTENER SPACING IS LESS THAN 3" O.C. BLOCKING SHALL BE DOUBLE 2-BY LUMBER GLUE/NAILED TOGETHER. ALL SUPPORTS SHALL BE SPF LUMBER OR BETTER.

USE 7/16" OSB RATED SHEATHING, EXP. 1, 24/16 INDEX, FASTENED WITH 8d COMMON NAILS SPACED 6" O.C. AT EDGES, AND 12" O.C. IN THE FIELD AT UNBLOCKED AREAS OF ROOF.

ROOF DIAPHRAGM EDGE RAIL NOTES:

USE 2X6 SPF#2 MINIMUM EDGE RAIL AND FASTEN 2X6 SPF#2 MINIMUM SPLICE PLATE WITH (16) #10 x 3" WOOD SCREWS EACH SIDE OF ALL EDGE RAIL BUTT JOINTS. DOUBLE EDGE RAIL AT ALL LOCATIONS WITHIN 10'-0" OF EACH END WALL. THIS MAY BE ACCOMPLISHED WITH 2X6 SPF#2 BLOCKING LOADED BETWEEN TRUSSES AND GLUE/NAILED TO CONTINUOUS EDGE RAIL.

ROBERT E. GREGG
REGISTERED ARCHITECT
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THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

LISTING AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE
FLORIDA UNMANUFACTURED BUILD-
ING AND ACT OF 1979 CONSTRUCTION
CODE AND SUBMITTER TO THE FOLLOW-
ING AGENCIES:
CONSIST. TYPE 1B
OCCUPANCY R-3
AUTOMOBILE NO. 2
WIND VELOCITY 130 (3 SEC.)
FIRE RATING OF EXT. WALLS 0
PLAN NO. 2201-0287F
ALLOW. FLOOR LOAD 40
APPROVAL DATE
MANUFACTURER HOMES/DEALER
HIGH VELOCITY HURRICANE ZONE NO



HOMES OF MERIT, INC.
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056



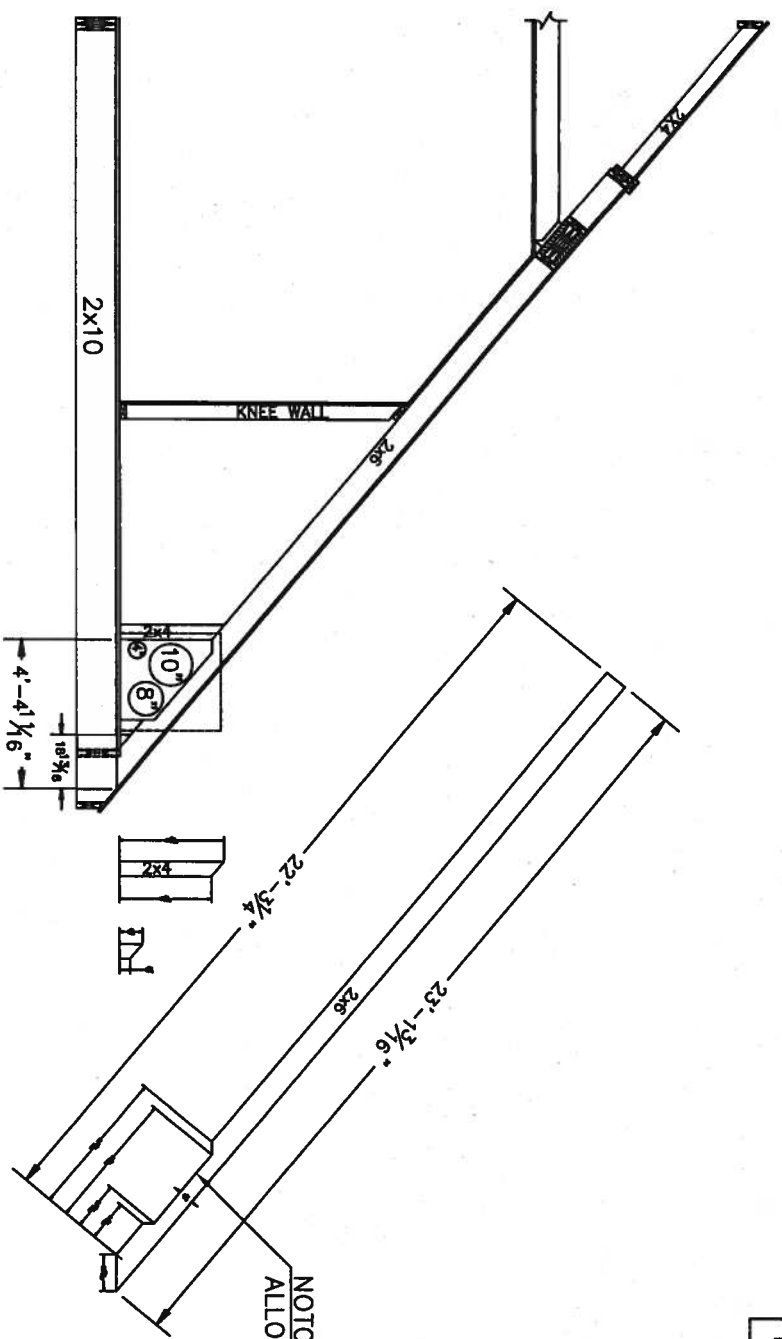
Date: 11-10-05	REVISIONS			CAD#: FC320-13
Dr'n: CP	05/21/07 GAT			
Parent: N.T.S.				
Code: D (07)				
FLORIDA	MODEL: DCA C320	PRINT: PAGE 17 APPROVED MAY 31 2007 SHEARWALL DETAILS		

APPROVED MAY 31 2007

Technical drawing of a roof truss system. The drawing includes the following components and dimensions:

- Vertical Member:** Labeled 2×10 .
- Horizontal Member:** Labeled **KNEE WALL**.
- Diagonal Member:** Labeled 2×6 .
- Small Square:** Labeled 2×4 and 10^3 .
- Long Diagonal Members:** Labeled $22'-3\frac{1}{4}"$ and $23'-1\frac{1}{2}"$.
- Small Horizontal Members:** Labeled 2×4 .
- Small Vertical Member:** Labeled 1×4 .
- Small Horizontal Member:** Labeled 10^3 .

TRIPPLE RAFTER @ DORMER 1



RAFTER TOP CHORD

APPROVAL DATE	2201-02827	130.3 (SEC)	0	40	5.3.07
MANUFACTURER	ALUM	ALUM FLOOR	PLAY NO.	CONC. TYPE	VB
HIGH VELOCITY	ALLOWED	WIND VELOCITY	OCCUPANCY	ALLOWABLE NO. OF FLOORS	R-3
INTERSECT ZONE	NO	EXT. WALLS	130.3 (SEC)	2	0

THIRD PARTY

11'-1 1/4" 9'-2 1/2" 17'-4 1/2" 9'-2 1/2" 11'-1 1/4"

46'-10 3/4" 37'-8 1/4" 20'-3 3/4" 11'-1 1/4"

DOUBLE RAFTER DOUBLE RAFTER DOUBLE RAFTER TRIPLE RAFTER

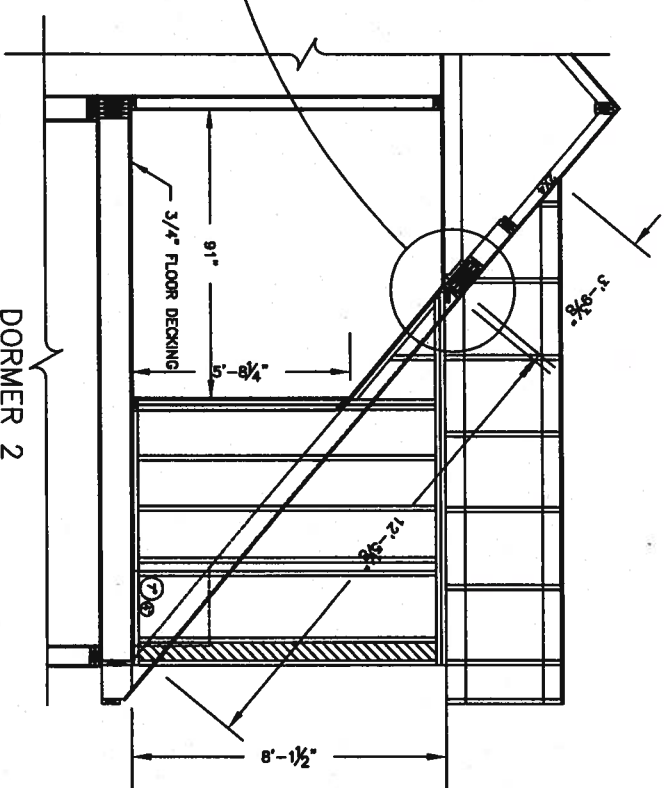
2-1 1/2 x 8 1/2 LVL HEADER

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LAKE CITY, FLORIDA 32056

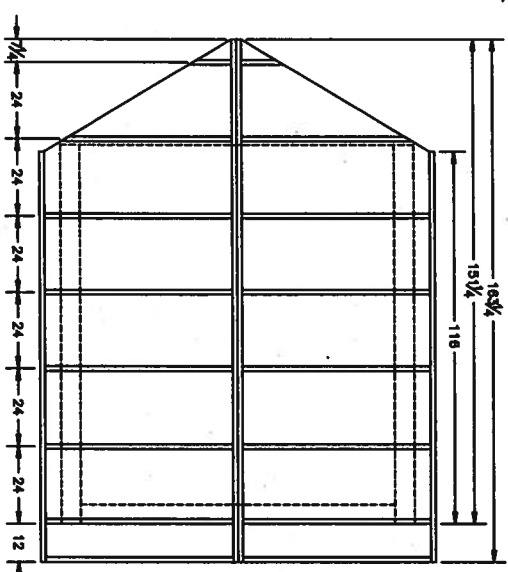
Dr'n:	GAT		
Parent:	NEW		
Code:	D (07)		2201-0287F

Model: DCA C320
Printer: PAGE 14

APPROVED MAY 3 1 2007

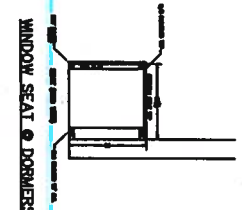


DORMER 2
DORMER 2 (UNFINISHED SPACE)

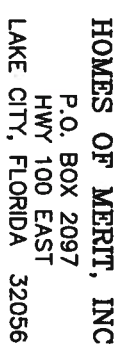
[illegible]

SIDE OVERHANG

**HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 35756**



DORMER 2 (UNFINISHED SPACE)



Print: PAGE 15
DORMER DETAILS

HEADER FOR WALK-OUT DORMER

LVL PROPERTIES:
MICRILLAM 2.0 SP or EQUAL

TOP and BOTTOM 2x6 SYP #2 CONTINUOUS with NO BUTT JOINTS. FASTEN TRUSS TOP CHORD INTO EACH END OF EACH 2x6 with 3-16d COMMON NAILS.

2-LAYERS of 5/8" PLYWOOD ADDED AS FILLER (SPACER)

2-LAYERS of 1 1/2" x 9 1/2" LVL GLUED and NAILED TOGETHER (100% PVA GLUE COVERAGE) with 2-ROWS of 10d NAILS @ 8" O.C.

ANGLE CUT END OF COLLAR TIE TO FIT INTO SEAT OF HANGER.

2x8 COLLAR TIE

SIMPSON HUE210 (or EQUAL) FASTENED with 8-16d COMMON NAILS INTO HEADER and 4-10d x 1 1/2" NAILS INTO COLLAR TIE.

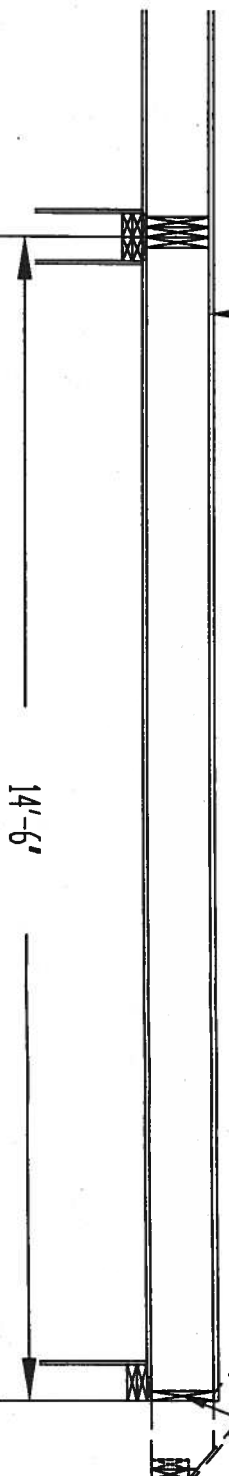
SIMPSON HUE210-2 MIN. (or EQUAL) FASTENED with 8-16d COMMON NAILS INTO TOP CHORD and 8-16d COMMON INTO HEADER.

DOUBLE TOP CHORD EACH SIDE OF OPENING

2x8 SYP #2 COLLAR TIE (7 1/4")

8'-0 3/4"

WALK-OUT DORMER AREA



14'-6"

2x10 BLOCKING

ROOF SHEATHING MUST BE ATTACHED TO DIAPHRAGM EDGE RAIL

2X6 SPF#2 MIN. EDGE RAIL
DOUBLE EDGE RAIL WITHIN 10'-0" OF EACH
END WALL WITH 2X6 SPF#2 BLOCKING
LOADED BETWEEN TRUSSES AND
GLUE/NAILED TO CONTINUOUS EDGE RAIL.
(SEE FULL NOTE ON PAGE 13)

ROBERT E. OREGG
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APPROVED MAY 31 2007

LISTING	
THESE PRINTS COMPLY WITH THE FLORIDA BOARD OF BUILDING REGULATION AND ARE NOT TO BE REPRODUCED OR COPIED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.	
PROJECT TYPE	RES.
OCCUPANCY	R-3
ALLOWED NO. OF FLOORS	2
WIND VELOCITY (130/3 SEC.)	0
DEE RATIO OF	0
PLAN NO.	2201-0287F
APPROVAL DATE	5.31.07
ARCHITECT	HOMES OF MERIT
WIND VELOCITY	NO
HURRICANE ZONE	NO



HOMES OF MERIT
P.O. BOX 2097
HWY 100 EAST
LAKE CITY, FLORIDA 32056

Date:	4-5-02	Revisions		Cad#:	C320-16
Dr'n:	STAFF	05/08/07 GAT			
Scale:	N.T.S.				
Code:	D (07)				
FLORIDA	Model:	DCA C320	Print:	PAGE 16	DORMER BEAM DETAIL

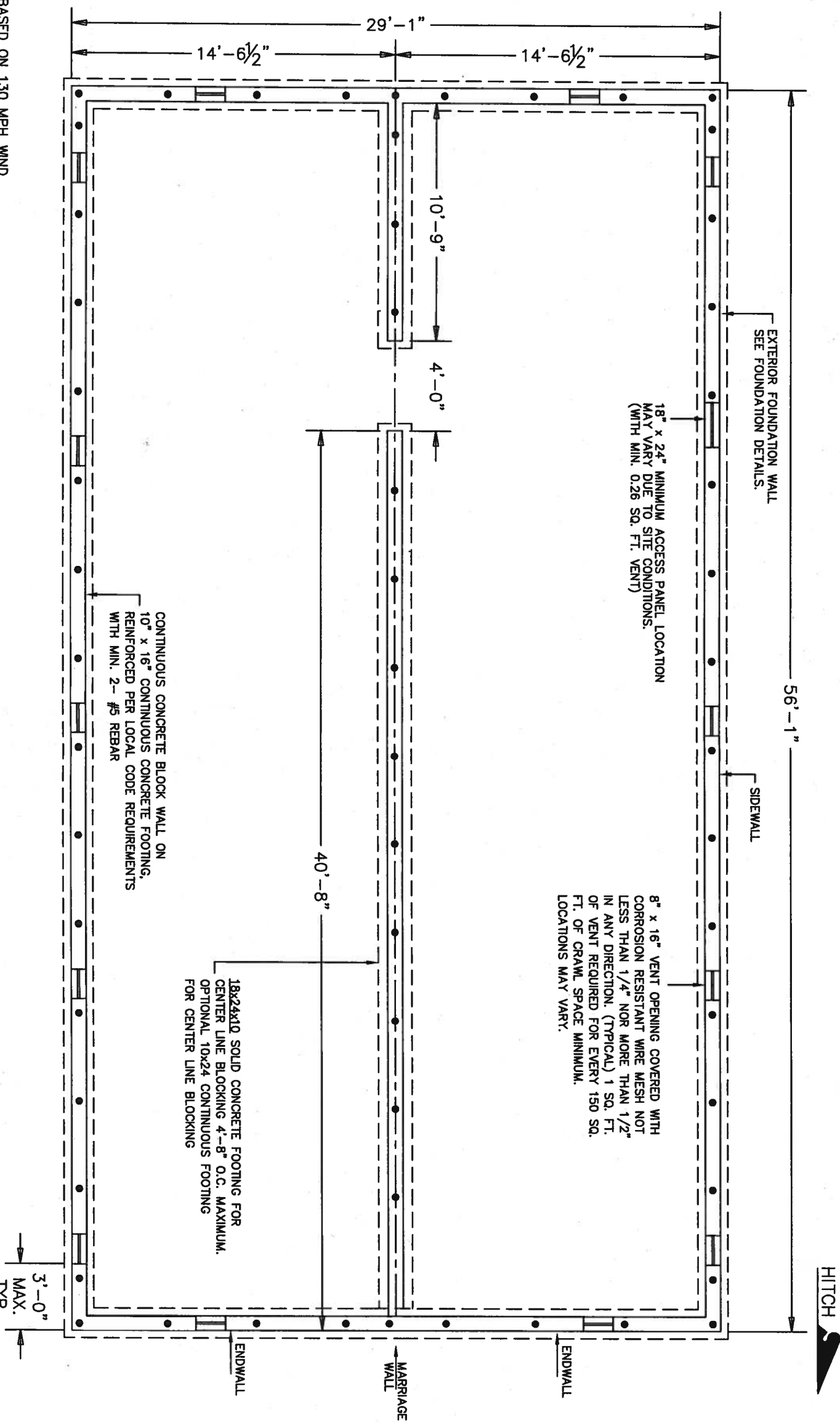
THIRD PARTY

HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

COLLAR TIE AXIAL LOAD COMPRESSION = 760#

ROBERT E. GREGG
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 10878
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FAX (727) 781-8942

APPROVED MAY 31 2007



- NOTES:
- 1.) THE FOUNDATION DESIGN IS BASED ON 130 MPH WIND.
 - 2.) FOUNDATION SHOWN IS THE MINIMUM REQUIRED BY STANDARD BUILDING CODE ALL FOUNDATIONS SHALL BE DESIGNED FOR ACTUAL SITE CONDITIONS.
 - 3.) MINIMUM SOIL BEARING CAPACITY 2000 PSF. CONCRETE COMPRESSIVE STRENGTH 2500 PSI IN 28 DAYS.
 - 4.) FOOTING SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY, MIN. 12" BELOW FROST LINE.
 - 5.) TYP. 8X16 CONCRETE BLOCK UNLESS OTHERWISE NOTED.
 - 6.) ALL FOUNDATION CONSTRUCTION, MATERIALS, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
 - 7.) ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM A615, GRADE 60 REINFORCEMENT BARS SHALL BE EQUALLY SPACED WITH 3" CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING. LAP SPLICES TO BE 48 BAR DIAMETERS.
 - 8.) MASONRY UNITS SHALL COMPLY WITH ASTM C90.
 - 9.) MORTAR SHALL BE TYPE M OR S.
 - 10.) FOUNDATION MAY BE 26'-9 1/2" WIDE FOR EASE OF INSTALLATION
 - 11.) PROVIDE APPROVED TERMITES PROTECTION.
 - 12.) FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
 - 13.) A VAPOR BARRIER CONSISTING OF 6 MIL VISQUEEN SHALL BE INSTALLED OVER THE GROUND SURFACE WITHIN THE CRAWL SPACE.
 - 14.) THE MODULAR STRUCTURE MAY BE LOCATED IN AN (AE) FLOOD ZONE PROVIDED THAT THE STRUCTURE IS LOCATED ABOVE THE BASE FLOOD ELEVATION.



HOMES OF MERIT, INC.
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LAKE CITY, FLORIDA 32056

Date: 10-24-05		Revisions	Cod#: FC320-17
Dr'n:	CP	05/18/07 GAT	
Scale:	3/16"=1'		
Code:	D (06)		2201-0287F
FLORIDA	Model:	DCA C320	Print: PAGE 17 FOUNDATION LAYOUT