

DATE 09/25/2009

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000028103

APPLICANT ADREA PITMAN PHONE 752-8653
ADDRESS P.O. BOX 1392 LAKE CITY FL 32056
OWNER CHRIST CENTRAL MINISTRIES PHONE 755-8653
ADDRESS 217 SW DYAL RD LAKE CITY FL 32024
CONTRACTOR BRYAN ZECHER PHONE 752-8653
LOCATION OF PROPERTY 90W, TL ON SISTERS WELCOME RD, CROSS CR 242, CHURCH
IS ON LEFT

TYPE DEVELOPMENT COMM. ADD. CHURCH ESTIMATED COST OF CONSTRUCTION 35000.00
HEATED FLOOR AREA TOTAL AREA 416.00 HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 3/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 26-4S-16-03189-003 SUBDIVISION CHRIST CENTRAL MINISTRIES
LOT BLOCK PHASE UNIT 0 TOTAL ACRES 42.00

CBC054575
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 09-381 BK RJ N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident
COMMENTS: NOC ON FILE

Check # or Cash 1279

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 175.00 CERTIFICATION FEE \$ 2.08 SURCHARGE FEE \$ 2.08
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 254.16
INSPECTORS OFFICE CLERKS OFFICE

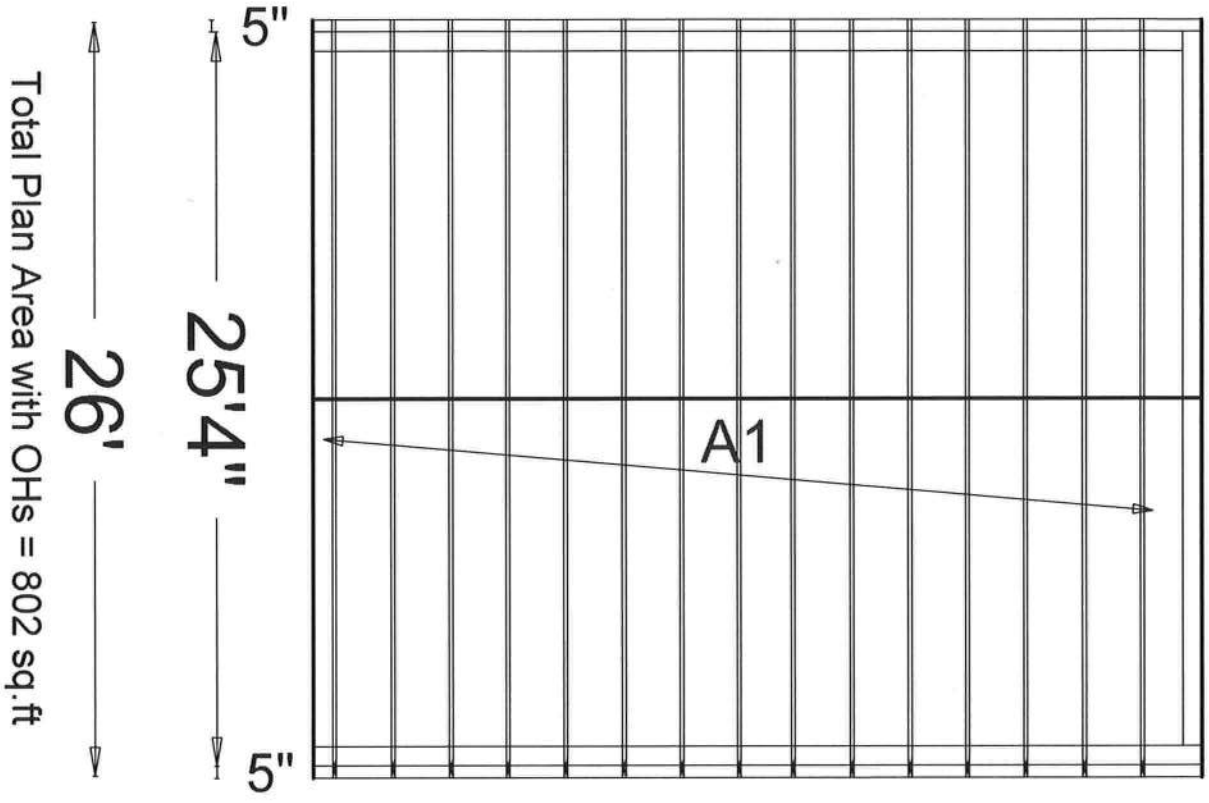
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PORT-CO Extension



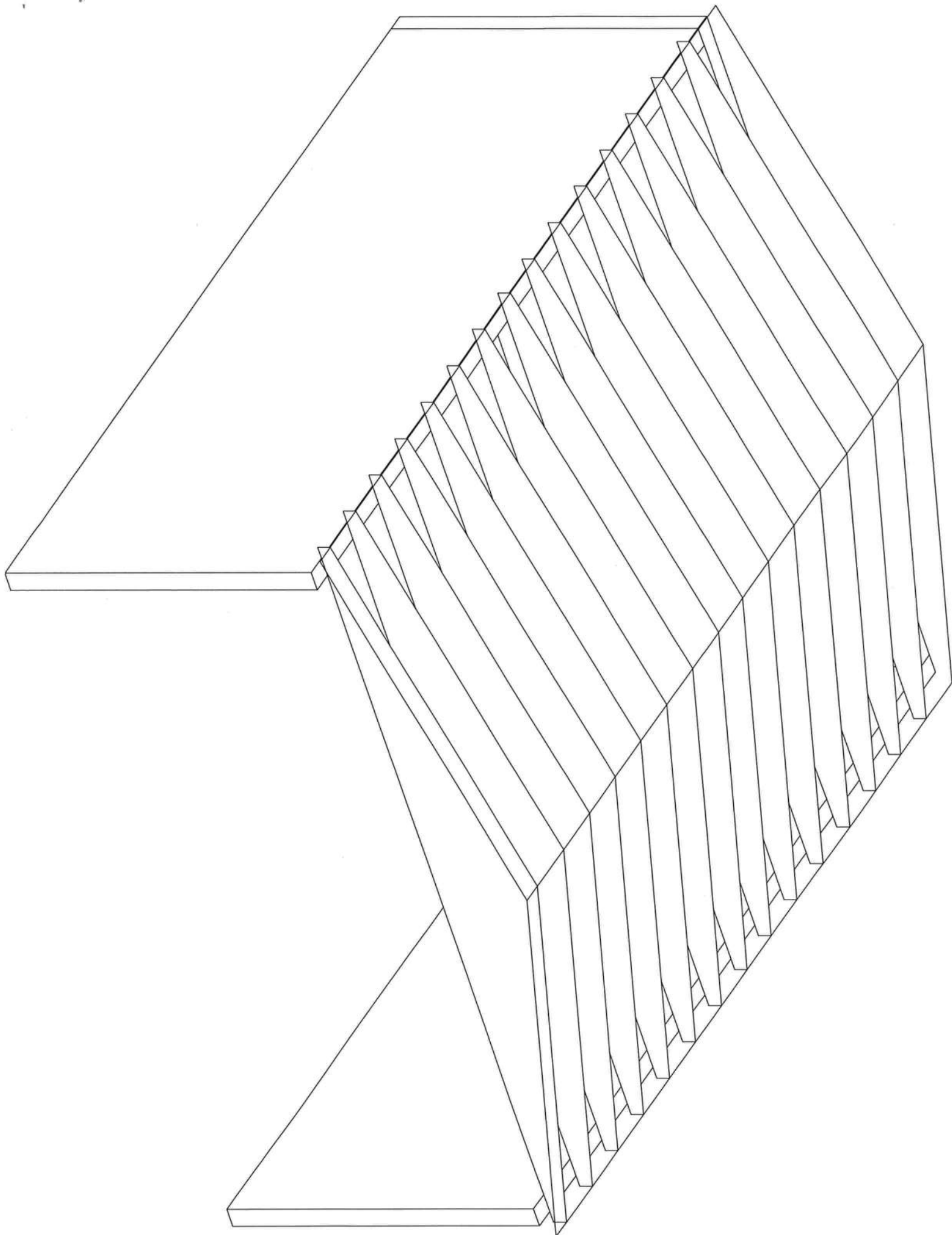
DESIGNED BY:

JOB DESCRIPTION:
Christ Central Ministries San

JOB LOCATION:
Lake City, FI

JOB NO:
ChristC2

PAGE NO:
1 OF 1



ITW Building Components Group, Inc.

13389 Lakefront Drive Earth City, MO 63045 (314) 344-9121

Page 1 of 1 Document ID:1TQ37417Z0220162034

URL: <http://ecdrawing.alpeng.com/Third/AdvantageST.nsf/USA/76E7B652606386298625757E007D87E5>

Truss Fabricator: Advantage Steel Truss

Transmitted From: advantagesteel@bizsea.rr.com

Job Identification: ChristC-Christ Central Ministries Sanct. Add. -- Lake City, FL

Truss Count: 1

Model Code: Florida Building Code 2004 and 2006 Supplement

Truss Criteria: AISI2001/FBC CODE

Engineering Software: Alpine proprietary truss analysis software. Version 7.32.

Structural Engineer of Record:

Address:

Truss Design Loads: Roof - N/A

Floor - N/A

Wind - 120 MPH (ASCE 7-02-Closed)

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. As shown on attached drawings; the drawing number is preceded by: MOUSR7417
3. The seal affixed hereto indicates acceptance of professional engineering responsibility for the component details listed on this sheet and contained within this bound document. Other documents which are not attached to this bound document have neither been prepared by me nor under my direct supervision. This bound document is no longer valid if any modifications are made to it.

Seal Date: 03/20/2009

-Truss Design Engineer-
Scott L. Schurwan

Florida License Number: 31867
13389 Lakefront Dr
Earth City, MO 63045

Details: TS011-TS004-TS013-TS014-TS015-TS017-TS019-TS040-TS048-

Submitted by KMB 16:19:39 03-20-2009 Reviewer: CV

\$

#	Ref	Description	Drawing#	Date
1	48728--A1	26'2" Common	09079001	03/20/09

THIS PAGE PREPARED FROM COMPILED INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MGR

120 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, located anywhere in roof, CAT
I11 OR IV, EXP B, wind TC DL=7.5 psf, wind BC DL=5.0 psf, Iw=1.15 GCP1(+/-)=0.18
IN LIEU OF STRUCTURAL PANELS OR RIGID CEILING USE PURLINS:
CHORD SPACING(IN OC) START(FT) END(FT)

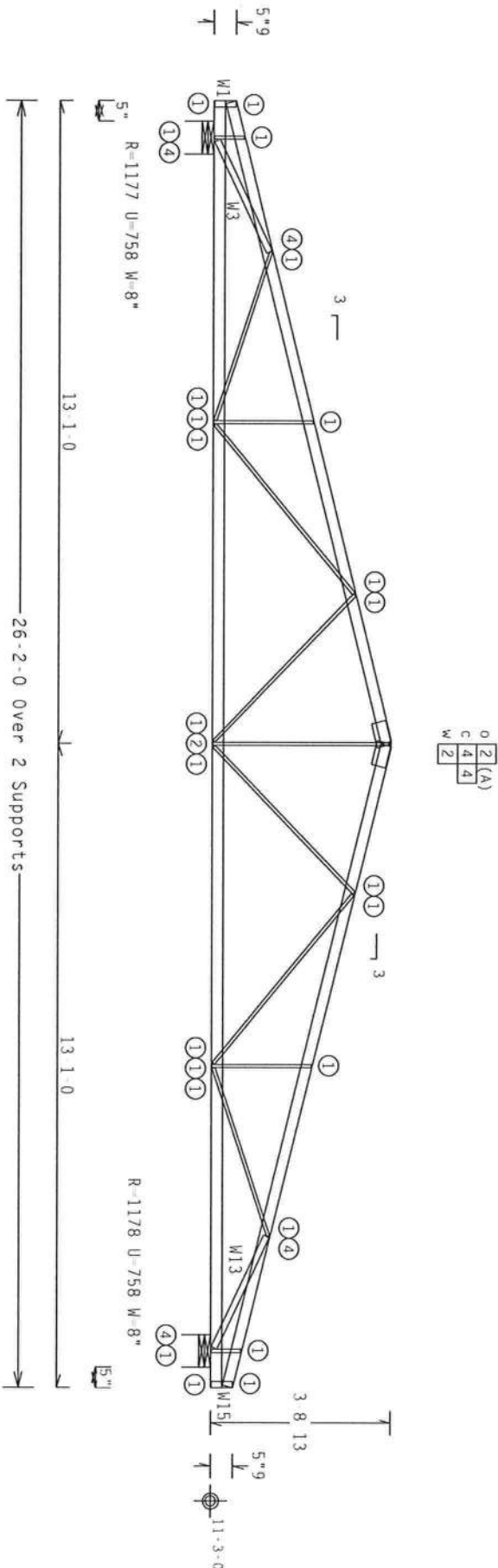
Fasteners=14A0D. Circles show the min. no. of blue 14A0D1.25 fasteners and squares show the min. no. of red 14A0D1.5 fasteners per member. See DMG, TS0111 for details.

(A) 331SUC3.5 20ga. Bent-U connector required. Square indicates min. fastener qty. thru connector overlap. See drawing TS004 for peak connector detail.

Member design & wind reactions based on both MWFS and CMC.

Deflection meets L/360 live and L/240 total load.

Truss not designed to support outlooker loads.



Scale = .3125"/Ft.

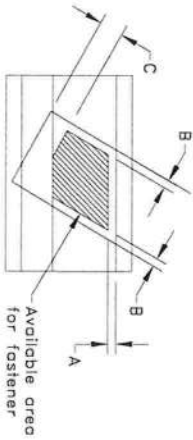
****WARNING**** TRUSS ROOFING SYSTEMS ARE NOT TO BE USED FOR ROOFING, SLOPING, INSTALLING AND BRACING. THESE TRUSSES ARE NOT TO BE USED FOR ROOFING, SLOPING, INSTALLING, BRACING, OR FOR ANY OTHER PURPOSES. THE TRUSSES SHALL BE USED ONLY FOR THE PURPOSES SPECIFIED IN THE TRUSS MANUFACTURER'S LITERATURE. THE TRUSSES SHALL BE USED ONLY FOR THE PURPOSES SPECIFIED IN THE TRUSS MANUFACTURER'S LITERATURE. THE TRUSSES SHALL BE USED ONLY FOR THE PURPOSES SPECIFIED IN THE TRUSS MANUFACTURER'S LITERATURE.



TC LL	20.0 PSF	REF	R7417 - 48728
TC DL	15.0 PSF	DATE	03/20/09
BC DL	10.0 PSF	DRW	M05SR7417 09079001
BC LL	0.0 PSF	MO-ENG	CV/KMB
TOT. LD.	45.0 PSF	SEQN -	55706
SPACING	24.0"	FROM	CVB
		JREF -	1T037417Z02

Fastener Placement Detail

- A - Lip clearance = 5/16" (8mm) for TSC4.00
- B - Lip clearance = 9/32" (7mm) for TSC2.75
- C - Edge distance (1.0 x Fastener Dia.)
- C - End distance (3.0 x Fastener Dia.)
- S - Minimum fastener spacing (3.0 x Screw Dia.)



Fastener Dia.
in. (mm)

Min. fastener spacing
& end distance in. (mm)

Fastener edge.
distance in. (mm)

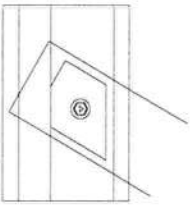
#14 d=1/4 (6)

#14 S=C= 3/4 (19)

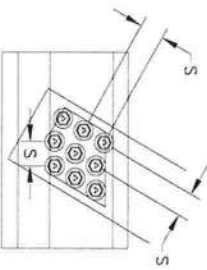
#14 d=1/4 (6)

Detail D - Recommended fastener placement for minimum fastener count. Begin placing the fastener in the center of the available area. Fastener quantity as specified by the Truss engineering drawing.

Detail E - Recommended fastener placement for multiple fastener count. Begin placing the fasteners in the center of the available area and expand toward the outer edges. Fastener quantity as specified by the Truss engineering drawing.



Detail D



Detail E

Typical Fastener Placement Sections



Alpine AMS
Single-Shear Fastener



Alpine AMD
Double-Shear™ Fastener

Allowable shear loads per fastener lbs. (kN) for 14AMD Double-Shear™ Fasteners

TrussSteel	22g-28TSC	20g-33TSC	18g-43TSC	16g-54TSC	14g-68TSC	12g-97TSC
Web Gauge	20g-33W	700 (3.11)	772 (3.43)	878 (3.91)	995 (4.43)	995 (4.43)
	18g-47W	779 (3.47)	977 (4.35)	1263 (5.62)	1348 (6.00)	1348 (6.00)
	16g-63W	779 (3.47)	977 (4.35)	1263 (5.62)	1348 (6.00)	1348 (6.00)

Allowable shear loads per fastener lbs. (kN) for 14AMS.75 Single Shear Fasteners

TrussSteel	22g-28TSC	20g-33TSC	18g-43TSC	16g-54TSC	14g-68TSC	12g-97TSC
Web Gauge	20g-33W	252 (1.12)	252 (1.12)	252 (1.12)	252 (1.12)	252 (1.12)
	18g-47W	418 (1.86)	418 (1.86)	418 (1.86)	418 (1.86)	418 (1.86)
	16g-63W	418 (1.86)	418 (1.86)	418 (1.86)	418 (1.86)	418 (1.86)

General Notes:

1. 14AMD Double-Shear™ Fasteners mentioned above consist of 14AMD1.25, 14AMD1.5, 14AMD2.125, 14AMD2.375 and 14AMD2.625.
2. 14AMD fastener values were determined by test following guidelines set forth in Chapter F of the American Iron and Steel Institute (AISI) "2004 North American Specification for the Design of Cold-Formed Steel Structural Members."
3. 14AMS fastener values were determined by calculations set forth in Chapter E4 of the American Iron and Steel Institute (AISI) "2004 North American Specification for the Design of Cold-Formed Steel Structural Members."



Division of ITW Building Components Group, Inc.

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Florida: 1950 Marley Drive / Haines City, FL 33844 / (800) 755-0001
Missouri: 13389 Lakefront Drive / Earth City, MO 63045 / (800) 324-1102
California: 8351 Rovena Circle / Sacramento, CA 95828 / (800) 877-3678

Fastener Placement And Allowable Fastener Loads

ITW Building Components Group, Inc. shall not be responsible for any performance failure in a connection due to a deviation from this detail. Any variation from this detail shall be approved in advance by ITW Building Components Group, Inc.

Standard Detail:

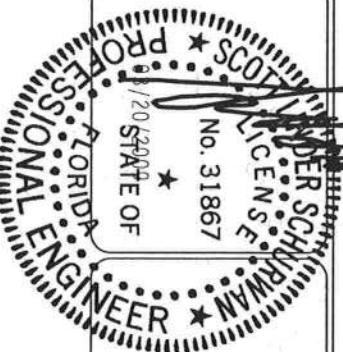
TS011

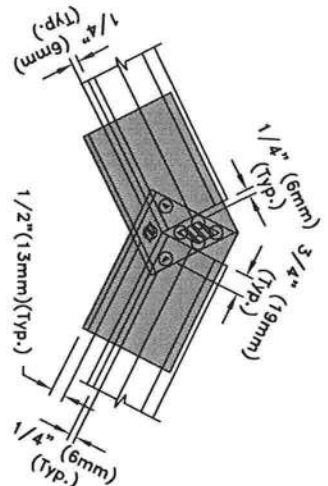
Date:

06/06/07

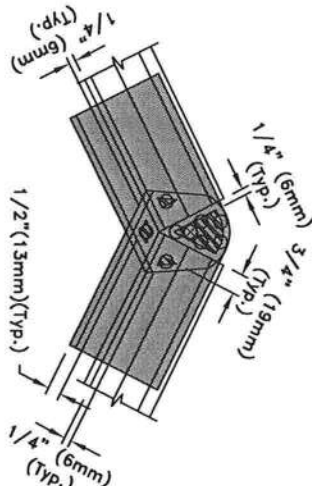
TrusSteel Detail Category:

Fastener Placement

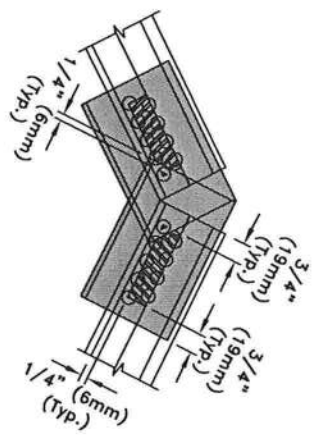




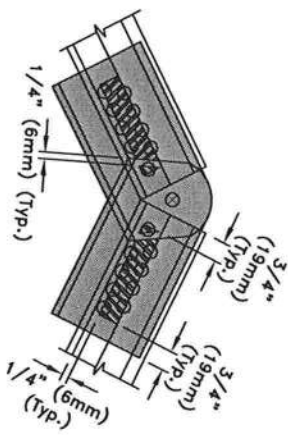
Fasteners Through The Lapped Area
33TSBUC3.5 or 43TSBUC3.5
Bent-U Pitch Break Connector



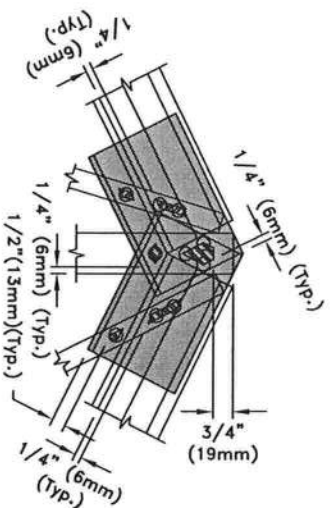
Fasteners Through The Lapped Area
33TSHC3.5K or 43TSHC3.5K
Hinged Pitch Break Connector



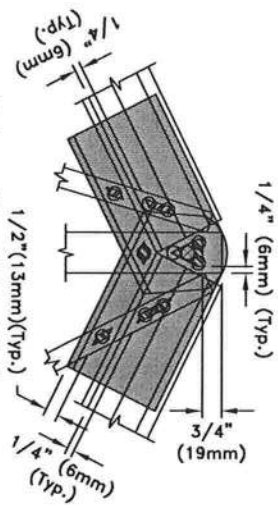
Fasteners Through The Chord Area
33TSBUC3.5 or 43TSBUC3.5
Bent-U Pitch Break Connector



Fasteners Through The Chord Area
33TSHC3.5K or 43TSHC3.5K
Hinged Pitch Break Connector



Fasteners Through The Web Area
33TSBUC3.5 or 43TSBUC3.5
Bent-U Pitch Break Connector



Fasteners Through The Web Area
33TSHC3.5K or 43TSHC3.5K
Hinged Pitch Break Connector

General Notes:

1. Fastener spacing and end distance is 3/4" (19mm) minimum, except as shown.
2. Refer to approved truss drawings for required fastener type and quantities for each fastener contact area.
3. Fastener contact areas that coincide with other contact areas may use a common fastener for both areas. This will result in a reduction in the total number of fasteners required at the pitch break joint.
4. = Fastener contact area



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**TSC2.75 Pitch
Break Connections**

ITW Building Components Group, Inc. shall not be responsible for any performance failure in a connection due to a deviation from this detail. Any variation from this detail shall be approved in advance by ITW Building Components Group, Inc.



Standard Detail:
TS004
Date:
06/21/07

TrusSteel Detail Category:
Pitch Break Connections

Wind Criteria:

ASCE 7-05
110 mph (49m/s) or 150 mph (67m/s)
Enclosed building
30' (9144mm) mean height
CAT III & IV, EXP C
No speed-up increase factor taken for topographic effects: $K_{zt}=1.0$

Max. Loadings:

Top chord live load = 40 psf (1.92 kN/m²)
Top chord dead load = 10 psf (0.48 kN/m²)
Wind dead load = 5 psf (0.24 kN/m²)
Soffit load on overhang off of gable force = 10 psf (0.48 kN/m²)
Max weight on face of gable = 10 psf (0.48 kN/m²)

362S162-33 Stud Maximum Lengths

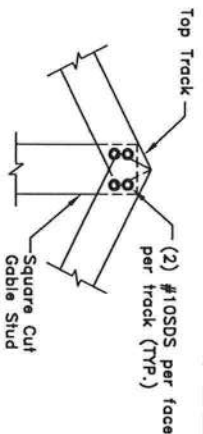
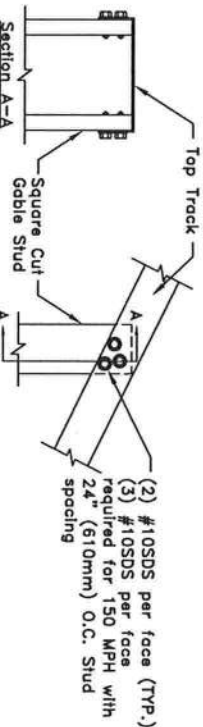
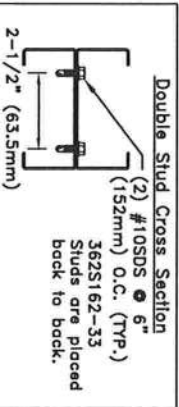
Wind Speed:	110 MPH (49 m/s)	150 MPH (67 m/s)
Gable Stud Spacing:	16" (407mm) O.C. 24" (610mm) O.C.	16" (407mm) O.C. 24" (610mm) O.C.
Unbraced Single Stud	6'9" (2057mm)	5'9" (1753mm)
Diagonally Braced Single Stud	13'6" (4115mm)	11'9" (3581mm)
Unbraced Double Stud	8'9" (2667mm)	7'9" (2362mm)
		7'3" (2210mm)
		6'3" (1905mm)

Deflection Criteria Note: Unbraced Single Stud values meet L/450 max.
Diagonally Braced Single Stud values meet L/2100 max
Unbraced Double Stud values meet L/390 max.

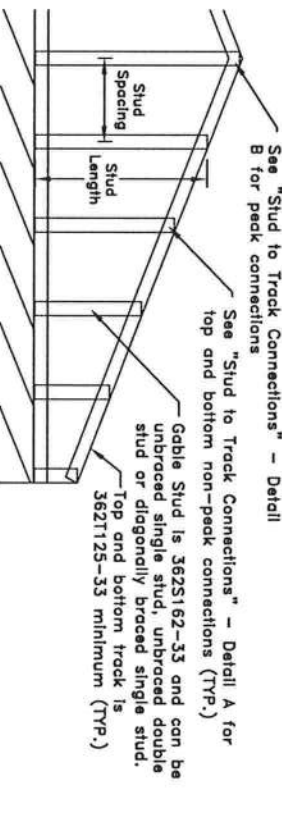
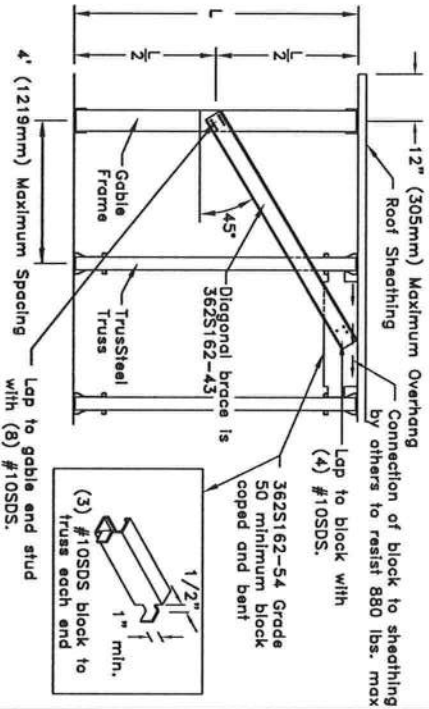
Detail A

Stud to Track Connections

Detail B



Diagonally Braced Single Stud



General Notes:

1. SDS = Self-Drilling Tapping Screw
2. Stud spacing is 9/16" (14.3mm) minimum.
3. Screw edge distance is 1/4" (6.4mm) and end distance is 3/8" (9.5mm) minimum.
4. The gable end frame is assumed to be supported vertically, horizontally and laterally along its entire length. The building designer is responsible for the design of the support wall, the ceiling and roof diaphragm, connection of the gable frame to these supports, and transfer of in-plane shear loads.
5. All material is 33 ksi Unstressed Truss systems only.
6. Intended for use with TrussSteel roof truss systems only.
7. Gable stud web is perpendicular to the length of the track.
8. Gable frame not designed for overhang or cantilever. If gable frame design requires an overhang, contact a TrussSteel engineer.

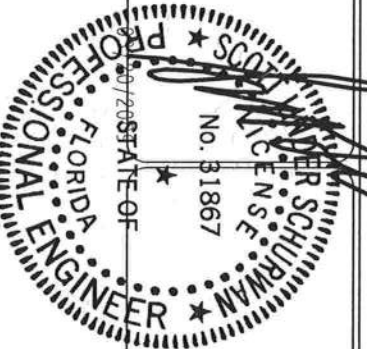
TrussSteel
AN IRV COMPANY

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3-5/8" C-Stud Gable Framing

TTW Building Components Group, Inc. shall not be responsible for any performance failure in a connection due to a deviation from this detail. Any variation from this detail shall be approved in advance by TTW Building Components Group, Inc.



Standard Detail:
TS013
Date: 09/30/08

TrussSteel Detail Category:
Gable Framing

ASCE / -05
110 mph (49m/s) or 150 mph (67m/s)

Enclosed building
30' (914mm) mean height
CAT III & IV, EXP C
No speed-up increase factor taken for topographic effects; $K_{zt} = 1.0$

Top chord live load = 40 psf (1.92 kN/m²)
Top chord dead load = 10 psf (0.48 kN/m²)

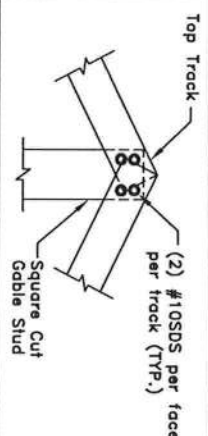
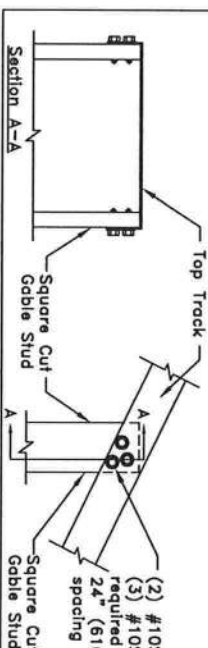
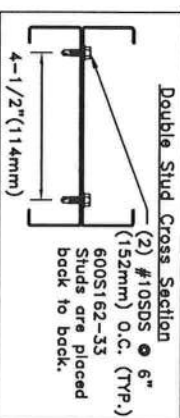
Top chord dead load = 10 psf (0.48 kN/m²),

Wind dead load = 5 psf (0.24 kN/m²)
Soffit load on overhang off of gable face = 10 psf (0.48 kN/m²)
Max weight on face of gable = 10 psf (0.48 kN/m²)

600S162-33 Stud Maximum Lengths				
Windspeed:	110 MPH (49 m/s)		150 MPH (67 m/s)	
Gable Stud Spacing:	16" (407mm) O.C.	24" (610mm) O.C.	16" (407mm) O.C.	24" (610mm) O.C.
Unbraced Single Stud	8'0" (2438mm)	5'9" (1753mm)	4'6" (1372mm)	3'0" (914mm)
Diagonally Braced Single Stud	16'0" (4877mm)	14'0" (4267mm)	12'6" (3810mm)	8'3" (2515mm)
Unbraced Double Stud	10'0" (3048mm)	9'0" (2743mm)	8'6" (2591mm)	6'3" (1905mm)

Deflection Criteria Note: Unbraced Single Stud values meet $L/870$ max.

Diagonally Braced Single Stud values meet L/4200 max
Unbraced Double Stud values meet L/780 max

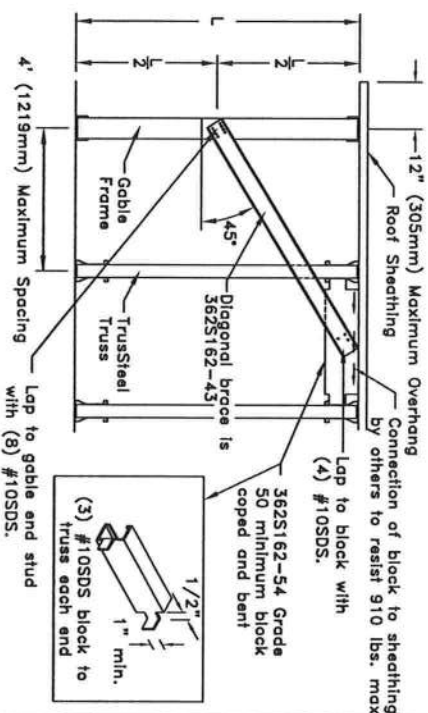


Detail A

Stud to Track Connections

Detail B

Diagonally Braced Single Stud



—12" (305mm) Maximum Overhang
Roof Sheathing
Connection of block to sheathing
by others to resist 910 lbs. max

#10SDS.

362S162-54 Grade
50 minimum block
coped and bent

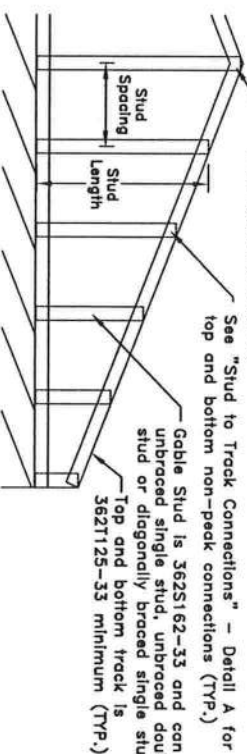
1" min.

4' (1219mm) Maximum Spacing

Lap to gable end studs with (8) #10SDS.

General Notes:

1. SDS = Self-Drilling Tapping Screw
2. Screw spacing is 9/16" (14.3mm) minimum.
3. Screw edge distance is 1/4" (6.4mm) and end distance is 3/8" (9.5mm) minimum.
4. The gable end frame is assumed to be supported vertically, horizontally and laterally along its entire length. The building designer is responsible for the design of the support wall, the ceiling and roof diaphragm, connection of the gable frame to these supports, and transfer of in-plane shear loads.
5. All material is 33 ksi unless specified otherwise and is per ICC-ES ESR-4943P or equal.
6. Intended for use with TrussSteel roof truss systems only.
7. Gable stud web is perpendicular to the length of the truss.
8. Gable frame not designed for overhang or cantilever. If gable frame design requires an overhang, contact a TrussSteel engineer.



See "Stud to Track Connections" - Detail B for peak connections

See "Stud to Track Connections" – Detail A for top and bottom non-peak connections (TYP.)

- Gable Stud is 362S162-33 and can be unbraced single stud, unbraced double stud or diagonally braced single stud.

-Top and bottom track is
362T125-33 minimum (TYP.)

TruSteel®

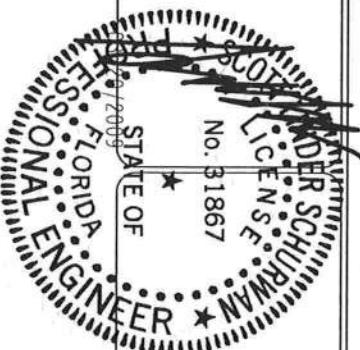
An I/M Component

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California: 8335 Rovana Circle / Sacramento, CA 95828 / (800) 877-3678

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6" C-Stud Gable Framing



Standard Detail:

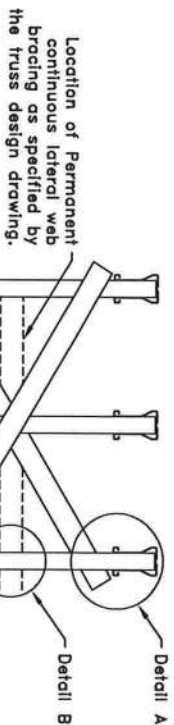
TS014

Date:

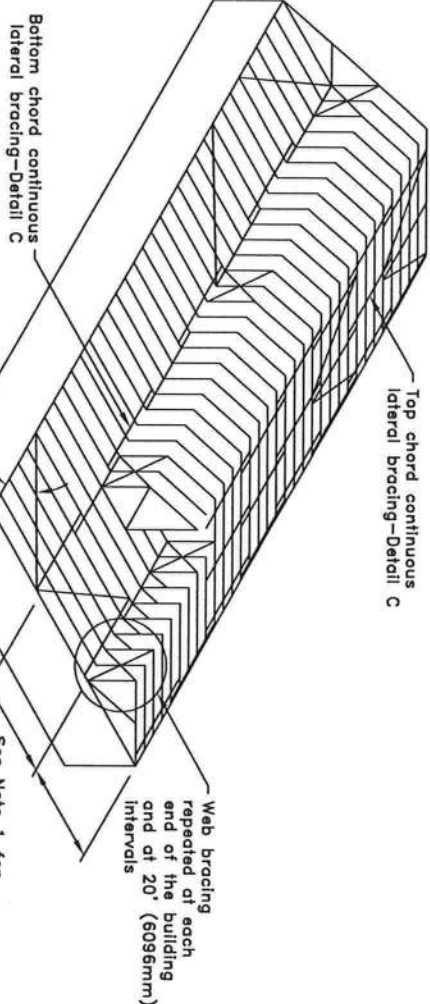
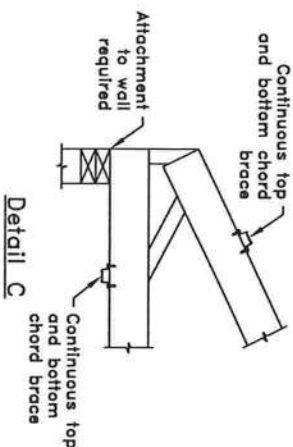
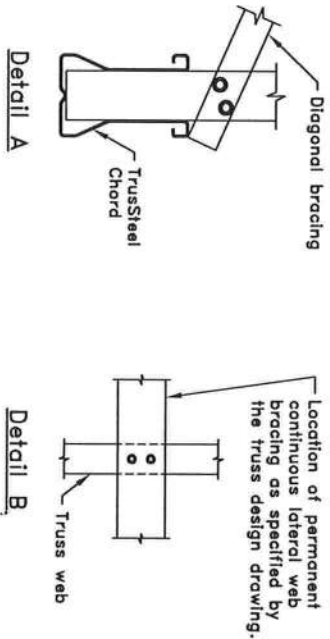
09/30/08

TrusSteel Detail Category:

Gable Framing



Note: See TrussSteel Detail TS017.



General Notes:

General Notes:

1. Temporary Bracing - Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the "Field Installation Guide for Cold-Formed Steel Roof Trusses" published by CFSEI (Cold-Formed Steel Engineers Institute), 1201 15th Street, NW, Suite 320 Washington, DC 20005 for general guidance in safety practices prior to performing these functions. Also, refer to the "Design Guide for Construction Bracing of Cold-Formed Steel Trusses" technical note 551d, published by CFSEI for additional guidance. Consult a professional engineer if truss span is over 60'(18288mm) or truss spacing is over 48"(1219mm) o.c.
2. Permanent Bracing - Permanent bracing systems are to be designed by a professional engineer. Refer to the CFSEI technical note 551e titled, "Design Guide for Permanent Bracing of Cold-Formed Steel Trusses" for guidance.
3. Bracing and connections are to be designed by a professional engineer. TrussSteel recommends the diagonal bracing, top and bottom chord continuous lateral bracing and web continuous lateral bracing to be a minimum of 150F125-33 Furring channel or 362S162-33 Stud material with a minimum of 2-#10 sheet metal screws at all connections.
4. Warning, do not stand on bracing or use it in any way to support yourself during construction or any other time.
5. Intended for use with TrussSteel trusses only.

Chord Bracing

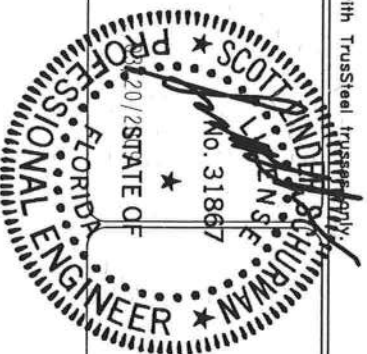
Steel Truss Temporary and Permanent Bracing Guidelines



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Missouri: 13388 Lakeland Drive / Earth City, MO 63045 / (800) 326-4102
California: 8351 Roxanna Circle / Sacramento, CA 95828 / (800) 877-3878

ITW Building Components Group, Inc. shall not be responsible for any performance failure in connection with a deviation from this detail. Any variation from this detail shall be approved in advance by ITW Building Components Group, Inc.



Standard Detail:
TS015

Date:
04/17/07

TrussSteel Detail Category:
Bracing

THIS IS A DANGEROUS CONDITION

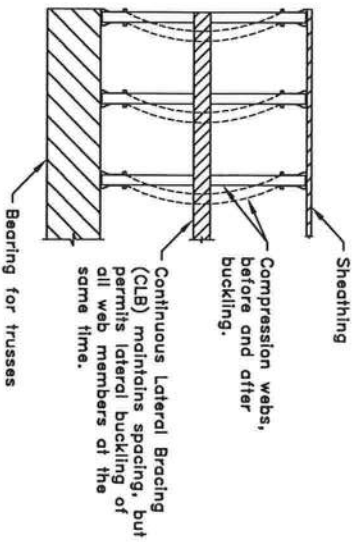


Fig. 1

To prevent this failure, anchor or restrain the lateral bracing

Use method shown in Fig. 2, 3A & 3B, or another structurally sound method specified by professional engineer.

Fig. 2

Anchor by Building Designer (other anchorage provisions for other types of walls).

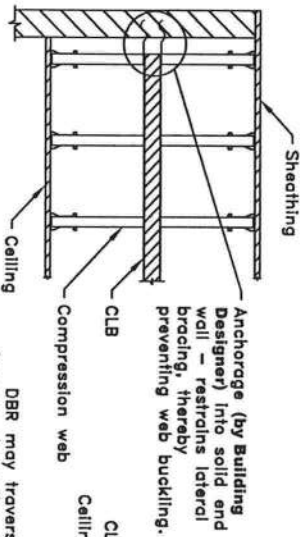
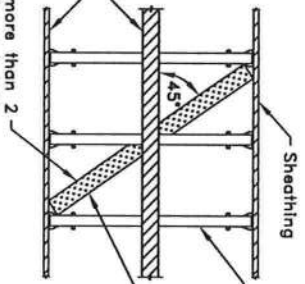


Fig. 3A

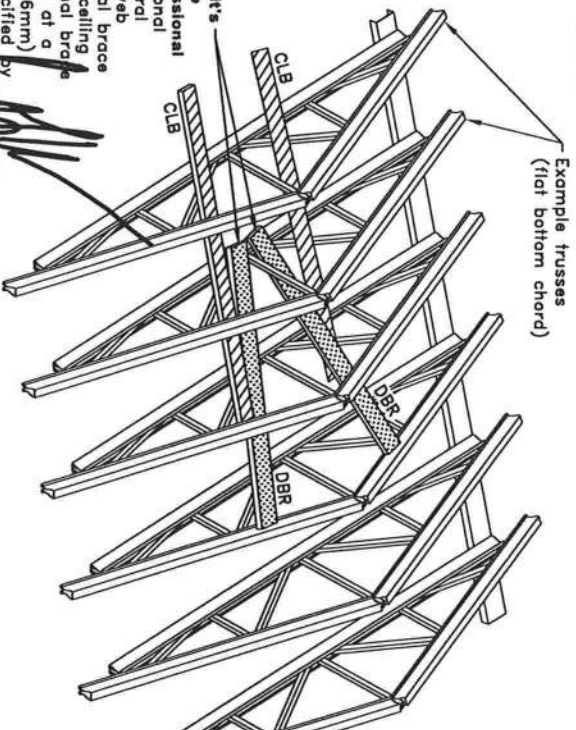
Diagonal Brace Restraint (DBR) within the unit (3A & 3B)



Compression webs, sloping or vertical, or web needing bracing.

Diagonal brace and it's connection are to be designed by a professional engineer. The diagonal brace prevents lateral movement of the web and transfers lateral brace force to roof and ceiling diaphragms. Diagonal brace should be repeated at a maximum 20' (6096mm) intervals or as specified by a professional engineer.

Fig. 3B



NOTE: Truss spacing is 4'0" (1219mm) O.C. maximum.
NOTE: Alpine recommends the CLB is to be 150F125-33 or 362S162-33 or equids. Attach to each web with (2) #10 self drilling sheet metal screws. See drawing TS019 for other details.

Anchorage Or Restraint Of Lateral Bracing

The drawing below shows how to restrain the continuous lateral bracing (CLB -) needed in trusses (drawing shows example trusses with flat bottom chords). The diagonal brace restraint (DBR -) members and it's connections are to be designed by a professional engineer. The ends are attached to top & bottom chords. The diagonal brace may be attached to the CLB or the web opposite the CLB.



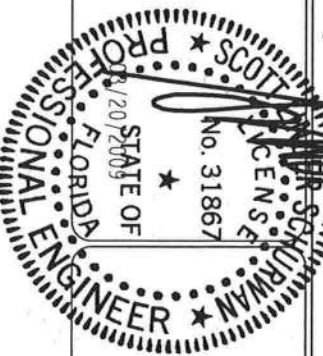
Division of ITW Building Components Group, Inc.

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Web CLB Restraint

ITW Building Components Group, Inc. shall not be responsible for any performance failure in a connection due to a deviation from this detail. Any variation from this detail shall be approved in advance by ITW Building Components Group, Inc.



Standard Detail:

TS017

Date:

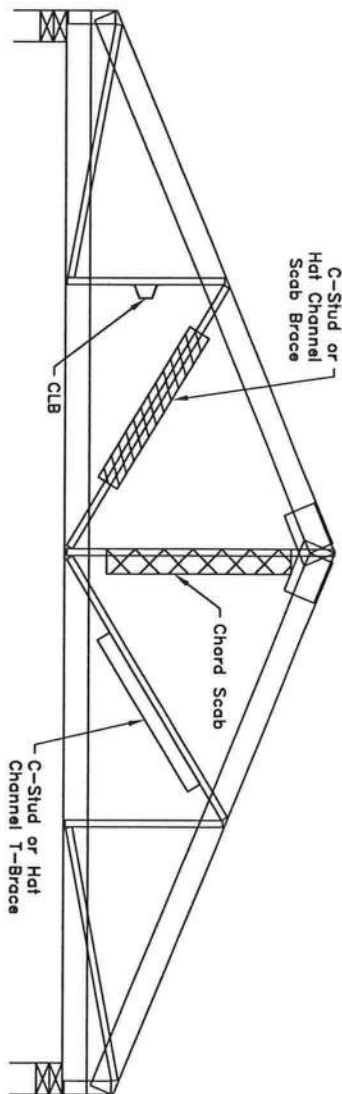
03/08/07

TrusSteel Detail Category:

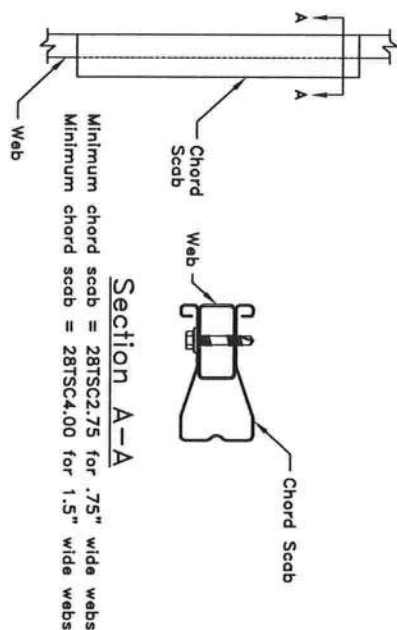
Bracing

Different Types of Web Bracing Shown on TrusSteel Drawings

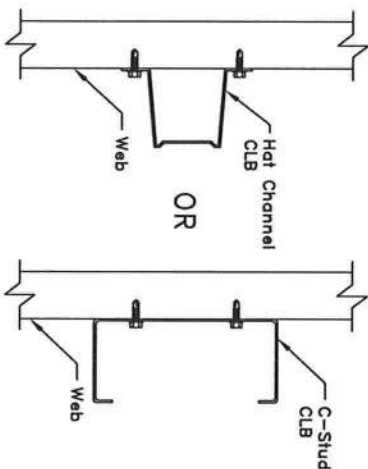
(This depiction is for illustration purposes only.)



Chord Scab



Continuous Lateral Brace (CLB)

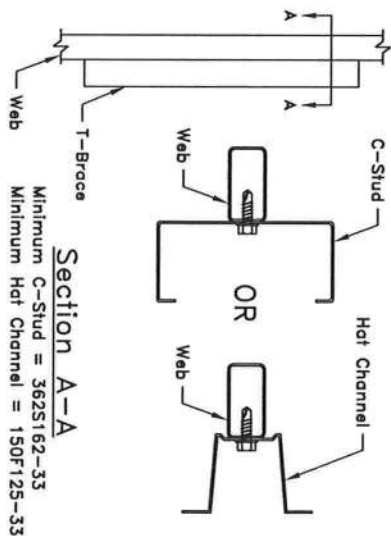


Minimum CLB = 150F125-33 or 362S162-33

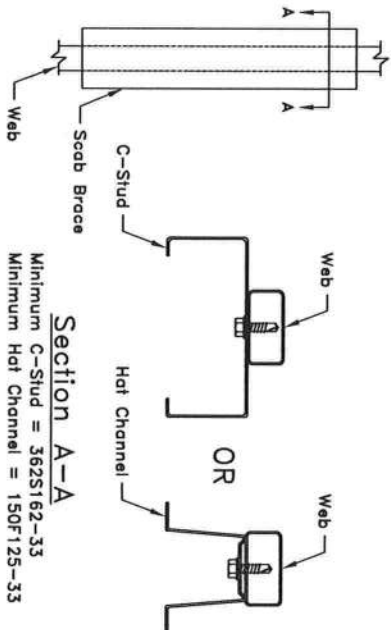
See TS015 for Steel Truss Temporary and Permanent Bracing Guidelines.

See TS017 for Web CLB Restraint.

C-Stud or Hat Channel T-Brace



C-Stud or Hat Channel Scab Brace



General Notes:

- 1) The details on this page are generic installation guides only. See approved truss drawings for specific brace material, size and connection requirements.
- 2) Web bracing called out on the approved truss drawings may NOT be substituted for a different brace type unless approved by a TrusSteel engineer.



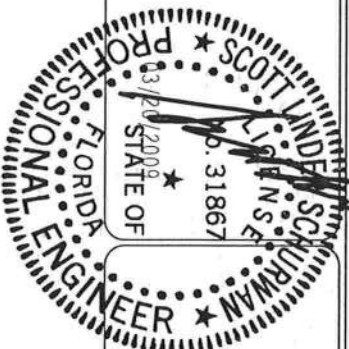
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General Web Reinforcement Guidelines

ITW Building Components Group, Inc. shall not be responsible for any performance failure in a connection due to a deviation from this detail. Any variation from this detail shall be approved in advance by ITW Building Components Group, Inc.

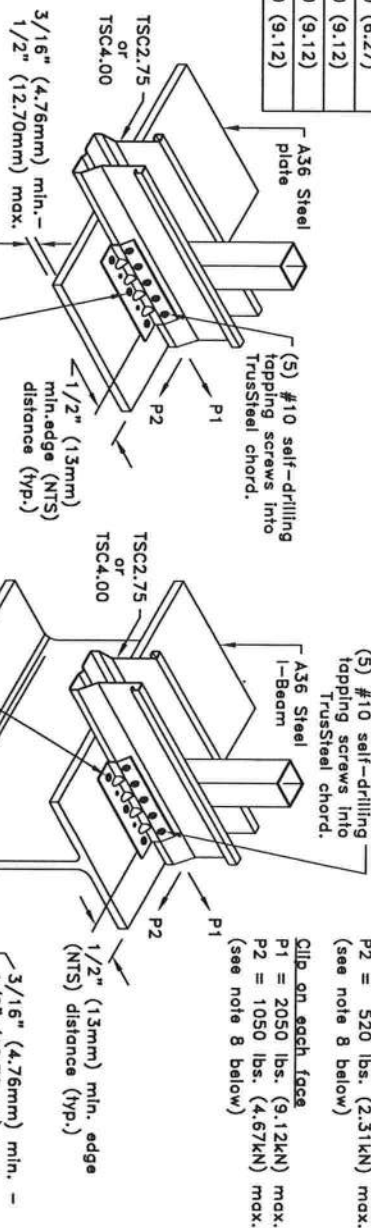


TrusSteel Detail Category: Bracing

Standard Detail:
TS019

Date:
06/21/07

Maximum Uplift Capacity From Any Loads lbs. (kN)		
Steel thickness	Clip on one face	Clip on each face
3/16" (4.76mm)	400 (1.78)	1410 (6.27)
1/4" (6.35mm)	400 (1.78)	2050 (9.12)
3/8" (9.53mm)	400 (1.78)	2050 (9.12)
1/2" (12.70mm)	400 (1.78)	2050 (9.12)

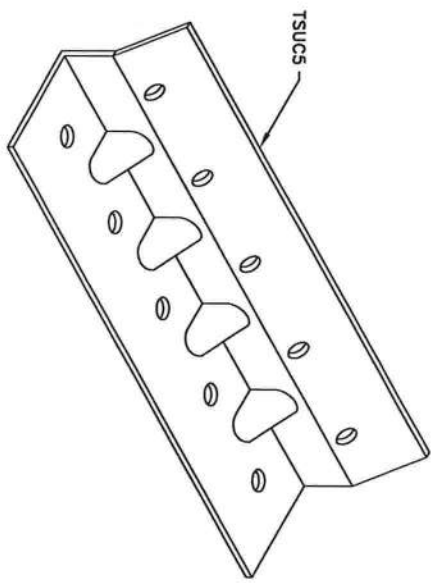


(3) HHH X-EDNIX0.145" (3.68mm) diameter dome head nail with knurled shank (or equal) into A36 steel (refer to note 5 below for length)

(3) HHH X-EDNIX0.145" (3.68mm) diameter dome head nail with knurled shank (or equal) into A36 steel (refer to note 5 below for length)

General Notes:

1. Attachment of second clip on opposite face of chord is identical to what is detailed.
2. Install pins in the two outside holes and the middle of TSUC5 clip. Pin spacing is 1-1/2" (38mm) minimum.
3. Pins must be driven through existing holes in TSUC5 clip and be driven perpendicular to steel surface.
4. Care must be taken to insure pins are not overdriven. Pins that are overdriven may puncture surface of TSUC5 clip causing damage. If TSUC5 clip is damaged, the connection will not carry any load.
5. Pin length must be long enough to insure the tip either penetrates completely through steel, or shows evidence of steel deformation that occurs just before penetration.
6. Do not install pins into area of beam flange directly above beam web.
7. Refer to manufacturers specification and code approval regarding proper installation of anchor.
8. Lateral allowable loads (P1 and P2) shown are maximum values. If these loads are in combination with an uplift load, contact a TrusSteel engineer.
9. Reference manufacturers code approval for other steel pins.
10. The allowable loads outlined in this detail have not been increased by 1.35.



Maximum Allowable Lateral Loads

Clip on one face
P1 = 1030 lbs. (4.58kN) max.
P2 = 520 lbs. (2.31kN) max.
(see note 8 below)

Clip on each face
P1 = 2050 lbs. (9.12kN) max.
P2 = 1050 lbs. (4.67kN) max.
(see note 8 below)

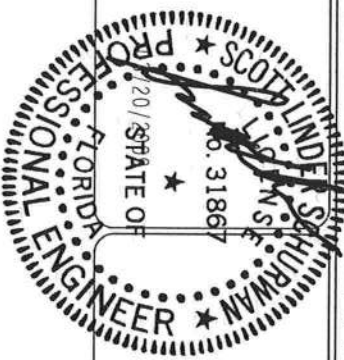


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TSUC5 Uplift Attachment To A36 Steel Using Pins

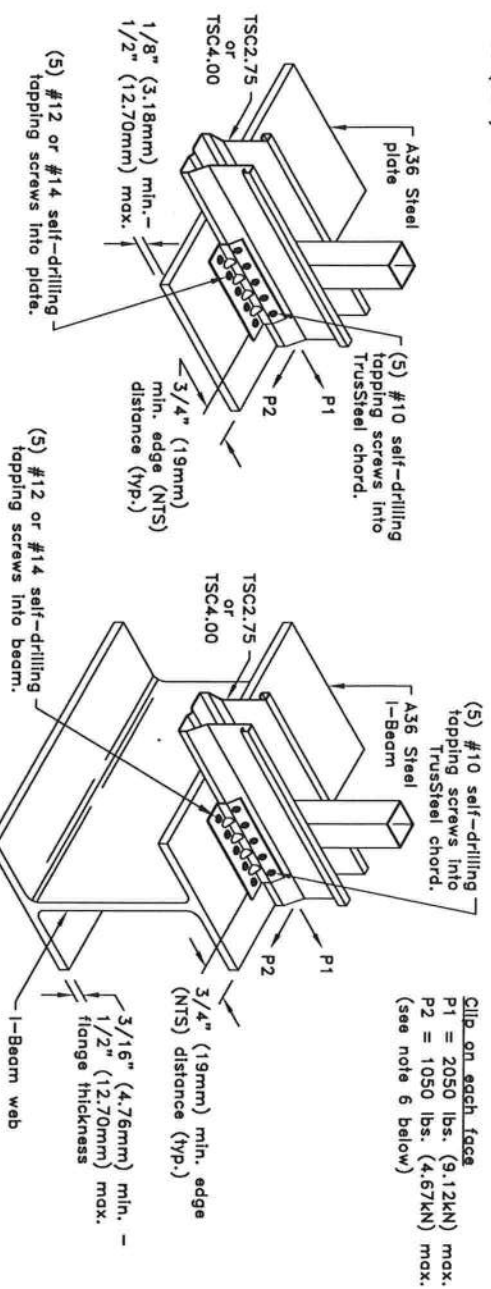
ITW Building Components Group, Inc. shall not be responsible for any performance failure in a connection due to a deviation from this detail. Any variation from this detail shall be approved in advance by ITW Building Components Group, Inc.



Standard Detail:
TS040
Date:
04/17/07

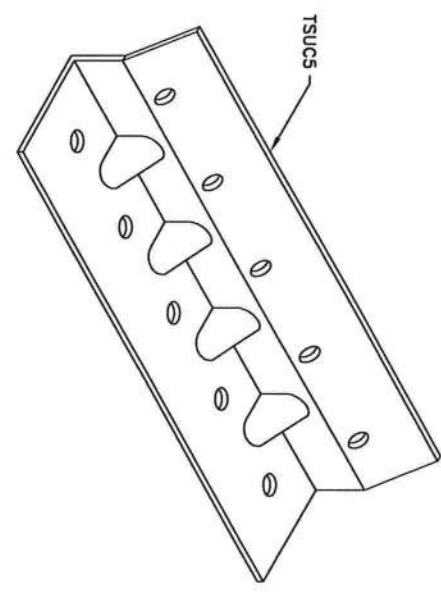
TrusSteel Detail Category:
Truss-To-Bearing All Other Materials

Maximum Uplift Capacity From Any Loads lbs. (kN)		
Steel thickness	Clip on one face	Clip on each face
1/8" (3.18mm)	400 (1.78)	1980 (8.91)
to 1/2" (12.70mm)		



General Notes:

1. Select proper screw for flange thickness. Refer to screw manufacturers recommendation.
2. Attachment of second clip on opposite face of chord is identical to what is detailed.
3. Do not overdriven screws. Overdriven screws may strip out TrussSteel chord.
4. Do not drive screws into ore of beam flange directly above beam web.
5. Refer to manufacturers specification and code approval regarding proper installation of #12 or #14 self-drilling tapping screws into steel thickness shown above.
6. Lateral allowable loads (P1 and P2) shown are maximum values. If these loads are in combination with an uplift load, contact a TrussSteel engineer.
7. The allowable loads outlined in this detail have not been increased by 1.35.



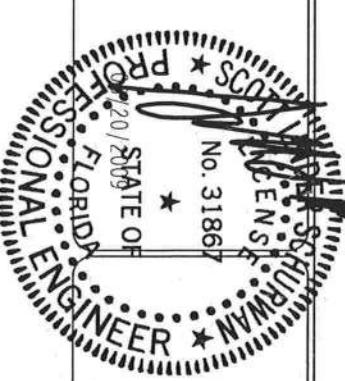
TrussSteel
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www.TrussSteel.com

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Missouri: 13369 Lakefront Drive / Earth City, MO 63045 / (800) 326-4102
California: 8351 Rovana Circle / Sacramento, CA 95828 / (800) 877-3678

**TSUC5 Uplift Attachment To
A36 Steel Using Screws**

ITW Building Components Group, Inc. shall not be responsible for any performance failure in a connection due to a deviation from this detail. Any variation from this detail shall be approved in advance by ITW Building Components Group, Inc.



Standard Detail:
TS048
Date:
06/04/07

TrussSteel Detail Category:
Truss-To-Bearing All Other Materials

Maximum Allowable Lateral Loads
Clip on one face
P1 = 1030 lbs. (4.58kN) max.
P2 = 520 lbs. (2.31kN) max.
(see note 6 below)

Clip on each face
P1 = 2050 lbs. (9.12kN) max.
P2 = 1050 lbs. (4.67kN) max.
(see note 6 below)



Columbia County

BUILDING DEPARTMENT

**MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR THE
FLORIDA BUILDING CODE ,FLORIDA PLUMBING CODE,FLORIDA MECHANICAL
CODE,FLORIDA FUEL AND GAS CODE 2007 EFFECTIVE 1 MARCH 2009 & 2009
SUPPLEMENTS EFFECTIVE 1 MARCH 2009 with Supplements and Revision OF THE
NATIONAL ELECTRICAL 2008**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

COMMERCIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE
CURRENT FLORIDA BUILDING CODES. ALL PLANS OR DRAWING SHALL
PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND
SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED
IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES,
APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE
PER FBC FIGURE 1609 STATE OF FLORIDA WIND-BORNE DEBRIS
REGION & BASIC WIND SPEED MAP**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75
ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:		Items to Include- Each Box shall be Circled as Applicable		
1	All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void.	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
2	If the design professional is an architect or engineer legally registered under the laws of this state regulating the practice of architecture as provided for in Chapter 481, Florida Statutes, Part I, or engineering as provided for in Chapter 471, Florida Statutes, then he or she shall affix his or her official seal to said drawings, specifications and accompanying data, as required by Florida Statute.	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
3	The design professional signature shall be affixed to the plans	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>
4	Two (2) complete sets of plans with the architecture or engineer signature and the date the affix embossed official seal was placed on the plans	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	N/A <input type="checkbox"/>



Two (2) complete sets of plans containing the following information:

Building Site Plan Requirements										Items to Include- Each Box shall be Circled as Applicable		
4	Parking, including provision FBC chapter 11 for the required accessible parking site									Yes	No	N/A
5	Fire access, showing all drive way which will be accessible for emergency vehicles									Yes	No	N/A
6	Driving/turning radius of parking lots									Yes	No	N/A
7	Vehicle loading include truck dock loading or rail site loading									Yes	No	N/A
8	Nearest or number of onsite Fire hydrant/water supply/post indicator valve (PIV)									Yes	No	N/A
9	Set back of all existing or proposed structures from each structure and property boundaries, Show all separation including assumed property lines									Yes	No	N/A
10	Location of specific tanks(above or under grown ,water lines and sewer lines and septic tank and drain fields									Yes	No	N/A
11	All structures exterior views include finished floor elevation									Yes	No	N/A
12	Total height of structure(s) form established grade									Yes	No	N/A
Review required by the Columbia County Fire Department Items 13 th 43												
Occupancy group use circle all uses:		Group A	Group B	Group E	Group F	Group H	Group I	Group M	Group R	Group S	Group U D	
13	Special occupancy requirements.									Yes	No	N/A
14	Incidental use areas (total square footage for each room of use area)									Yes	No	N/A
15	Mixed occupancies									Yes	No	N/A
16	REQUIRED SEPARATION OF OCCUPANCIES IN HOURS FBC TABLE 302.3.2									Yes	No	N/A
Minimum type of permitted construction by code for occupancy use circle the construction type FBC 602												
17	Type I	Type II	Type III	Type IV	Type V							
Fire-resistant construction requirements shall be shown, include the following components:												
18	Fire-resistant separations									Yes	No	N/A
19	Fire-resistant protection for type of construction									Yes	No	N/A
20	Protection of openings and penetrations of rated walls									Yes	No	N/A
21	Protection of corridors and penetrations of rated walls									Yes	No	N/A
22	Fire blocking and draftstopping and calculated fire resistance									Yes	No	N/A
Fire suppression systems shall be shown include:												
23	Early warning smoke evacuation systems Schematic fire sprinklers Standpipes									Yes	No	N/A
24	Standpipes									Yes	No	N/A
25	Pre-engineered systems									Yes	No	N/A
26	Riser diagram									Yes	No	N/A
Life safety systems shall be shown include the following requirements:												
27	Occupant load and egress capacities									Yes	No	N/A
28	Early warning									Yes	No	N/A
29	Smoke control									Yes	No	N/A
30	Stair pressurization									Yes	No	N/A
31	Systems schematic									Yes	No	N/A
Occupancy load/egress requirements shall be shown include:												
32	Occupancy load									Yes	No	N/A
33	Gross occupancy load									Yes	No	N/A
34	Net occupancy load									Yes	No	N/A
35	Means of egress									Yes	No	N/A
36	Exit access									Yes	No	N/A
37	Exit discharge									Yes	No	N/A
38	Stairs construction/geometry and protection									Yes	No	N/A
39	Doors									Yes	No	N/A

40	Emergency lighting and exit signs	Yes	No	N/A
41	Specific occupancy requirements	Yes	No	N/A
42	Construction requirements	Yes	No	N/A
43	Horizontal exits/exit passageways	Yes	No	N/A

**Items to Include-
Each Box shall
be Circled as
Applicable**

Structural requirements shall be shown include:				
44	Soil conditions/analysis	Yes	No	N/A
45	Termite protection	Yes	No	N/A
46	Design loads	Yes	No	N/A
47	Wind requirements	Yes	No	N/A
48	Building envelope	Yes	No	N/A
49	Structural calculations (if required)	Yes	No	N/A
50	Foundation For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	Yes	No	N/A
51	Wall systems	Yes	No	N/A
52	Floor systems	Yes	No	N/A
53	Roof systems	Yes	No	N/A
54	Threshold inspection plan	Yes	No	N/A
55	Stair systems	Yes	No	N/A
Materials shall be shown include the following				
56	Wood	Yes	No	N/A
57	Steel	Yes	No	N/A
58	Aluminum	Yes	No	N/A
59	Concrete	Yes	No	N/A
60	Plastic	Yes	No	N/A
61	Glass	Yes	No	N/A
62	Masonry	Yes	No	N/A
63	Gypsum board and plaster	Yes	No	N/A
64	Insulating (mechanical)	Yes	No	N/A
65	Roofing	Yes	No	N/A
66	Insulation	Yes	No	N/A
Accessibility requirements shall be shown include the following				
67	Site requirements	Yes	No	N/A
68	Accessible route	Yes	No	N/A
69	Vertical accessibility	Yes	No	N/A
70	Toilet and bathing facilities	Yes	No	N/A
71	Drinking fountains	Yes	No	N/A
72	Equipment	Yes	No	N/A
73	Special occupancy requirements	Yes	No	N/A
74	Fair housing requirements	Yes	No	N/A
Interior requirements shall include the following				
75	Review required by the Columbia County Fire Department Items 75 th 80	Yes	No	N/A
	Interior finishes (flame spread/smoke development)			
76	Light and ventilation	Yes	No	N/A
77	Sanitation	Yes	No	N/A
Special systems				
78	Elevators	Yes	No	N/A
79	Escalators	Yes	No	N/A
80	Lifts	Yes	No	N/A
Swimming pools				
81	Barrier requirements	Yes	No	N/A
82	Spas	Yes	No	N/A
83	Wading pools	Yes	No	N/A

Items to Include-Each Box shall be Circled as Applicable				
Electrical				
84	Wiring	Yes	No	N/A
85	Services For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	Yes	No	N/A
86	Feeders and branch circuits	Yes	No	N/A
87	Overcurrent protection	Yes	No	N/A
88	Grounding	Yes	No	N/A
89	Wiring methods and materials	Yes	No	N/A
90	GFCIs	Yes	No	N/A
91	Equipment	Yes	No	N/A
92	Special occupancies	Yes	No	N/A
93	Emergency systems	Yes	No	N/A
94	Communication systems	Yes	No	N/A
95	Low voltage	Yes	No	N/A
96	Load calculations	Yes	No	N/A
Plumbing				
97	Minimum plumbing facilities	Yes	No	N/A
98	Fixture requirements	Yes	No	N/A
99	Water supply piping	Yes	No	N/A
100	Sanitary drainage	Yes	No	N/A
101	Water heaters	Yes	No	N/A
102	Vents	Yes	No	N/A
103	Roof drainage	Yes	No	N/A
104	Back flow prevention	Yes	No	N/A
105	Irrigation	Yes	No	N/A
106	Location of water supply line	Yes	No	N/A
107	Grease traps	Yes	No	N/A
108	Environmental requirements	Yes	No	N/A
109	Plumbing riser	Yes	No	N/A
Mechanical				
110	Energy calculations	Yes	No	N/A
111	Review required by the Columbia County Fire Department Items 111th 114 Exhaust systems	Yes	No	N/A
112	Clothes dryer exhaust	Yes	No	N/A
113	Kitchen equipment exhaust	Yes	No	N/A
114	Specialty exhaust systems	Yes	No	N/A
Equipment location				
115	Make-up air	Yes	No	N/A
116	Roof-mounted equipment	Yes	No	N/A
117	Duct systems	Yes	No	N/A
118	Ventilation	Yes	No	N/A
119	Laboratory	Yes	No	N/A
120	Combustion air	Yes	No	N/A
121	Chimneys, fireplaces and vents	Yes	No	N/A
122	Appliances	Yes	No	N/A
123	Boilers	Yes	No	N/A
124	Refrigeration	Yes	No	N/A
125	Bathroom ventilation	Yes	No	N/A

Items to Include-Each Box shall be Circled as Applicable				
Gas				
126	Review required by the Columbia County Fire Department Items 126 th 134			Yes No N/A
	Gas piping			
127	Venting			Yes No N/A
128	Combustion air			Yes No N/A
129	Chimneys and vents			Yes No N/A
130	Appliances			Yes No N/A
131	Type of gas			Yes No N/A
132	Fireplaces			Yes No N/A
133	LP tank location			Yes No N/A
134	Riser diagram/shutoffs			Yes No N/A
Notice of Commencement				
135	A recorded (in the Columbia County Clerk Office) notice of commencement is required to be on file with the building department. <i>Before Any Inspections Will Be Done</i>			Yes No N/A
Disclosure Statement for Owner Builders				
				Yes No N/A

Private Potable Water				
136	Horse power of pump motor			Yes No N/A
137	Capacity of pressure tank			Yes No N/A
138	Cycle stop valve if used			Yes No N/A

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

139	Building Permit Application	A current Building Permit Application form is to be completed and submitted for all construction projects.	Yes No N/A
140	Parcel Number	The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also requested. (386) 758-1084	Yes No N/A
141	Environmental Health Permit or Sewer Tap Approval	A copy of an approved Environmental Health (386) 758-1058 waste water disposal permit or an approved City of Lake City (386) 752-2031 sewer tap is required before a building permit can be issued. Toilet facilities shall be provided for construction workers	Yes No N/A
142	Driveway Connection	If the property does not have an existing access to a public road, then an application for a culvert permit must be made (\$25.00). Culvert installation for commercial, industrial and other uses shall conform to the approved site plan or to the specifications of a registered engineer. Use or joint use of driveways will comply with Florida Department of Transportation specifications. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	Yes No N/A
143	Suwannee River Water Management District Approval	All commercial projects must have an SRWMD permit issued or an exemption letter, before a building permit will be issued.	Yes No N/A

144	Flood Management	All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of section 8.8 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) has not been established shall meet the requirements of section 8.7 of Columbia County Land Development Regulations. A development permit will also be required. The development permit cost is \$50.00	<input checked="" type="radio"/> Yes	No	N/A
145	Flood Management	A CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.	<input checked="" type="radio"/> Yes	No	N/A
146	911 Address	If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	<input checked="" type="radio"/> Yes	No	N/A

Pursuant to Chapter one (administration) section R101.2.1 of the Florida Building Code: Section 105.3.2 **Time limitation of application.** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Pursuant to Chapter one (administration) section R101.2.1 of the Florida Building Code: Section 105.4.1 **Permit intent.** A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department.



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 382-1001
TELEPHONE: 800-228-1066
FAX (386) 382-1056

GENERAL PERMIT

PERMITTEE:
CHRIST CENTRAL MINISTRIES
217 SW DYAL AVE.
LAKE CITY, FL 32024

PERMIT NUMBER: ERP98-0381M3
DATE ISSUED: 12/08/2008
DATE EXPIRES: 12/08/2011
COUNTY: COLUMBIA
TRS: S26/T4S/R16E

PROJECT: CHRIST CENTRAL MINISTRIES PONDS

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

LONNIE R. JOHNS
CHRIST CENTRAL MINISTRIES
217 SW DYAL AVE.
LAKE CITY, FL 32024

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Previous permit issued for 3.20 acres of impervious surface on 8.98 acres. Modification consists of construction and operation of a surfacewater management system serving 8.98 acres of impervious surface on a total project area of 42.60 acres in a manner consistent with the application package submitted by Freeman Design Group, certified on November 20, 2008.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.



This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.

5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.

7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.

10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.

11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.

12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance

criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance

documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;
- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including

cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;

c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;

d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;

e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;

f. Existing water elevation(s) and the date determined; and

g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other

Permit No.: ERP98-0381M3

Project: CHRIST CENTRAL MINISTRIES PONDS

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lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by  Date Approved 12/8/08
District Staff

 
Clerk Executive Director

NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.
2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may choose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.
4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.
5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.
6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

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Project: CHRIST CENTRAL MINISTRIES PONDS

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7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.

11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

CHRIST CENTRAL MINISTRIES
217 SW DYAL AVE.
LAKE CITY, FL 32024

At 4:00 p.m. this 3 day of Dec, 2008.



Jon M. Dinges
Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49

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Project: CHRIST CENTRAL MINISTRIES PONDS

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Live Oak, Florida 32060

386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP98-0381M3

Columbia County Building Permit Application

For Office Use Only		Application # <u>6909-05</u>	Date Received <u>9/3/09</u>	By <u>GP</u>	Permit # <u>28103</u>
Zoning Official <u>BLK</u>	Date <u>22.09.09</u>	Flood Zone <u>X</u>	Land Use <u>A-3</u>	Zoning <u>A-3</u>	
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>[Signature]</u>	Date <u>9/21/09</u>
Comments _____					
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> EH <input checked="" type="checkbox"/> Deed or PA <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Parent Parcel # _____					
<input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter					
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____					
School _____ = TOTAL <u>N/A</u> <u>ACCESSORY Structure</u>					

Septic Permit No. ~~9-0009~~ 9-0381 Fax 386-758-8920

Name Authorized Person Signing Permit Bryan Zecher Phone 386-752-8653

Address PO Box 815, Lake City, FL 32056

Owners Name Lonnie Johns/Christ Central Phone 386-755-2525

911 Address 217 SW Dyal Rd. Lake City, FL 32024

Contractors Name Bryan Zecher Phone 386-752-8653

Address PO BOX 815, LC FL 32056

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Bill Freeman

Mortgage Lenders Name & Address Columbia Bank, Lake City, FL 752-5646

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 26-45-16-03189-003 02 Estimated Cost of Construction 35,000

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions From US Hwy 90, go South on Sisters Welcome Rd until it crosses CR 242 and becomes Dyal Rd. Job site is a few hundred feet on the left, behind existing church bldg. Number of Existing Dwellings on Property _____

Construction of Church Addition (portico) Total Acreage 42 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 20

Actual Distance of Structure from Property Lines - Front 200' Side 120' Side 1000' Rear 1000'

Number of Stories 1 Heated Floor Area _____ Total Floor Area 416 Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

1st Message 9/24/09

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

Owners Signature _____

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

Contractor's Signature (Permitee) _____

Contractor's License Number CBC05450
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 3 day of Sept 2009.
Personally known ☒ or Produced Identification _____

Adren P. D.
State of Florida Notary Signature (For the Contractor)

SEAL:



007. 200

THIS INSTRUMENT WAS PREPARED BY:
TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328
RETURN TO:
TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328
File No. 08-252

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DeWITT CASON, CLERK OF COURTS
By Shawn Hagler
Deputy Clerk
Date 10-6-2008



Inst: 200812018317 Date: 10/6/2008 Time: 11:46 AM
P. DeWitt Cason, Columbia County Page 1 of 3 B:1159 P:2202

PERMIT NO. _____

TAX FOLIO NOS.: _____

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF COLUMBIA

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property:
SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF.
2. General description of improvement: Construction of
3. Owner information:
 - a. Name and address: CHRIST CENTRAL MINISTRIES, INC.
 - b. Interest in property: Fee Simple
 - c. Name and address of fee simple title holder (if other than Owner):
4.
 - a. Contractor: Bryan Zecher Construction
Post Office Box 815, Lake City, Florida 32056
 - b. Contractor's phone Number: (386) 752-8653
5. Surety n/a
 - a. Name and address: None
 - b. Phone Number:
 - c. Amount of Bond:
6.
 - a. Lender: COLUMBIA BANK
173 NW Hillsboro Street, Lake City, Florida 32055
 - b. Lender's phone Number: (386) 754-8888
7.
 - a. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: None
 - b. Phone Numbers of designated persons:
8.
 - a. In addition to himself or herself, Owner designates Roger Ward of Columbia Bank, to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.
 - b. Phone Number of person or entity by owner: (386) 754-8888

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

10. This Notice of Commencement replaces the Notice of Commencement recorded in Official Records Book 1151/1158 Page 1601/2104, by virtue of the Termination of the Notice of Commencement recorded in Official Records Book 1159, Pages 165-166 public records of Columbia County, Florida, which is null and void.

"WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER. PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT."

CHRIST CENTRAL MINISTRIES, INC.

By: *Lonnie Ray Johns, Jr.*
LONNIE RAY JOHNS, JR., President

By: *Bradley N. Dicks*
BRADLEY N. DICKS, Secretary

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 29th day of September, 2008, by LONNIE RAY JOHNS, JR., President and BRADLEY N. DICKS, Secretary of CHRIST CENTRAL MINISTRIES, INC., a Florida corporation. They are personally known to me and did not take an oath.



Lisa C. Osburn
Notary Public
My commission expires: _____

VERIFICATION PURSUANT TO SECTION 92.525, FLORIDA STATUTES.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS STATED IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CHRIST CENTRAL MINISTRIES, INC.

By: *Lonnie Ray Johns, Jr.*
LONNIE RAY JOHNS, JR., President

By: *Bradley N. Dicks*
BRADLEY N. DICKS, Secretary

EXHIBIT A

PARCEL NO. 1:

TOWNSHIP 4 SOUTH - RANGE 16 EAST

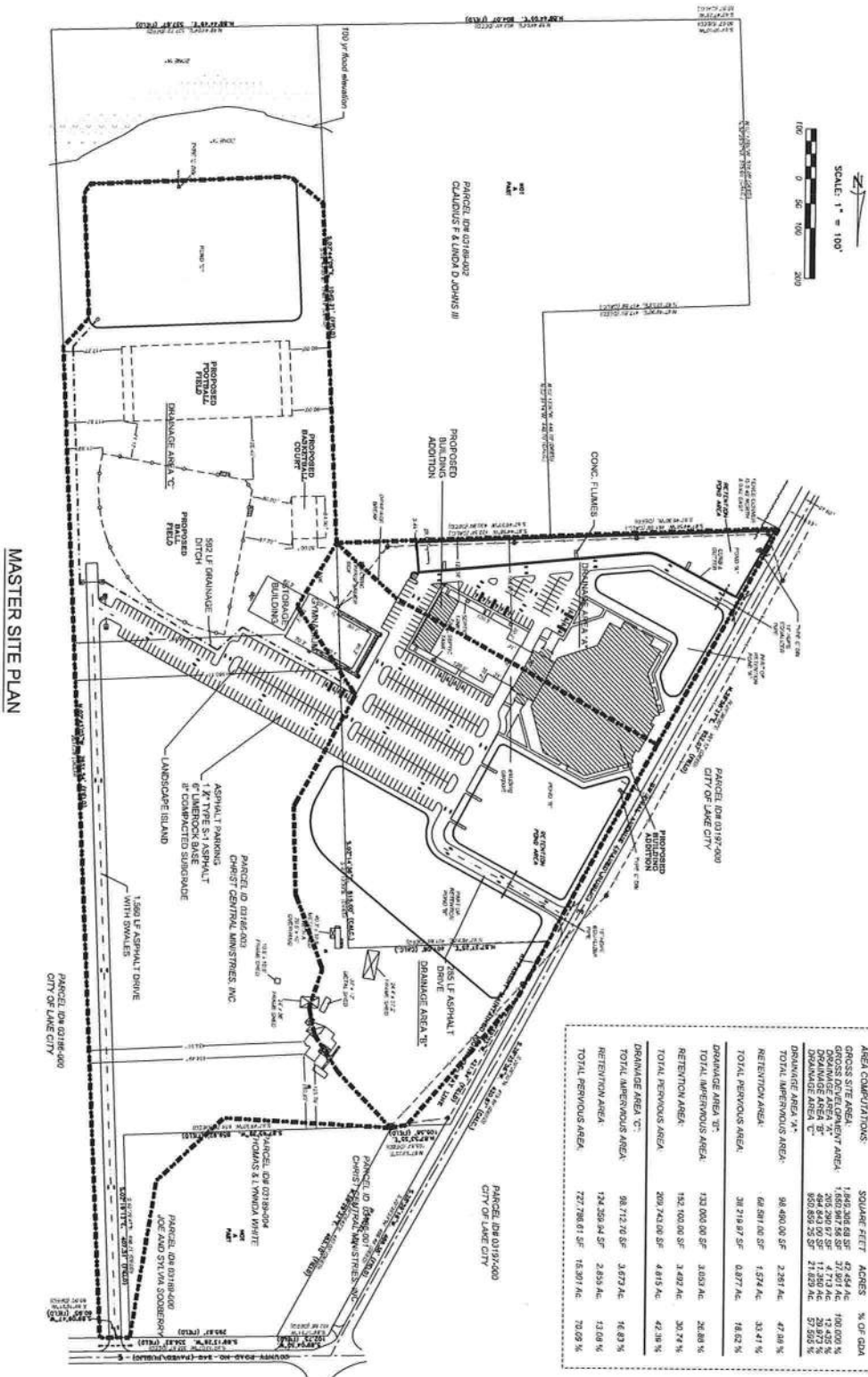
SECTION 26: Part of the West Half of the NW 1/4 of said Section 26, Columbia County, Florida, more particularly described as follows:

Commence at the SW Corner of the SW 1/4 of the NW 1/4 of said Section 26; thence N 88°44'04"E along the South line of said NW 1/4 a distance of 803.95 feet to the POINT OF BEGINNING; thence continue N 88°44'04"E along said South line, 537.73 feet to the SE Corner of the aforementioned SW 1/4 of the NW 1/4; thence N 02°43'03"W along the East line of said West Half of the NW 1/4 a distance of 2631.28 feet to a point on the South right-of-way line of County Road No. 242 (an 80 foot wide public right-of-way as presently established); thence S 89°16'21"W along said right-of-way line, 60.00 feet; thence S 02°29'47"E, 408.21 feet; thence S 87°46'30"W, 658.78 feet to a point on the Westerly right-of-way line of the old ACL Railroad; thence S 28°26'30"W along said Westerly line, 419.89 feet; thence N 87°46'30"E, 409.97 feet to a point on the West line of lands described in Official Records Book 688, Page 732 of the Official Records of Columbia County, Florida; thence S 02°13'30"E along said West line, 815.00 feet to the Southerly most NW Corner of lands described in Official Records Book 764, Page 1268 of said Official Records; thence S 02°43'03"E along the West line of said lands, 1040.19 feet to the POINT OF BEGINNING. Being the same lands as those described in Official Records Book (ORB) 688, Page 732 and ORB 764, Page 1268 of the Official Records of Columbia County, Florida, and those lands deeded to Philip D. Engle and his wife, Cheryl O. Engle by Columbia Service Company, Inc.

PARCEL NO. 2:

TOWNSHIP 4 SOUTH - RANGE 16 EAST

SECTION 26: Commence at the Southwest corner of the SW 1/4 of the NW 1/4 in Section 26, Township 4 South, Range 16 East, and run thence S 84°00'00"W, a distance of 50.07 feet; thence N 02°13'00"W, a distance of 575.00 feet; thence N 87°46'30"E, a distance of 417.89 feet; thence N 02°13'30"W, a distance of 450.56 feet to the POINT OF BEGINNING; thence S 87°46'30"W, a distance of 461.98 feet to the East right-of-way line of the New Dyal Road; thence N 28°36'30"E, along said East right-of-way 951.57 feet; thence N 87°46'30"E, a distance of 401.85 feet; thence S 02°13'30"E, a distance of 815.00 feet; thence S 87°46'30"W, a distance of 430.99 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.



STATE OF FLORIDA
DEPARTMENT OF HEALTH

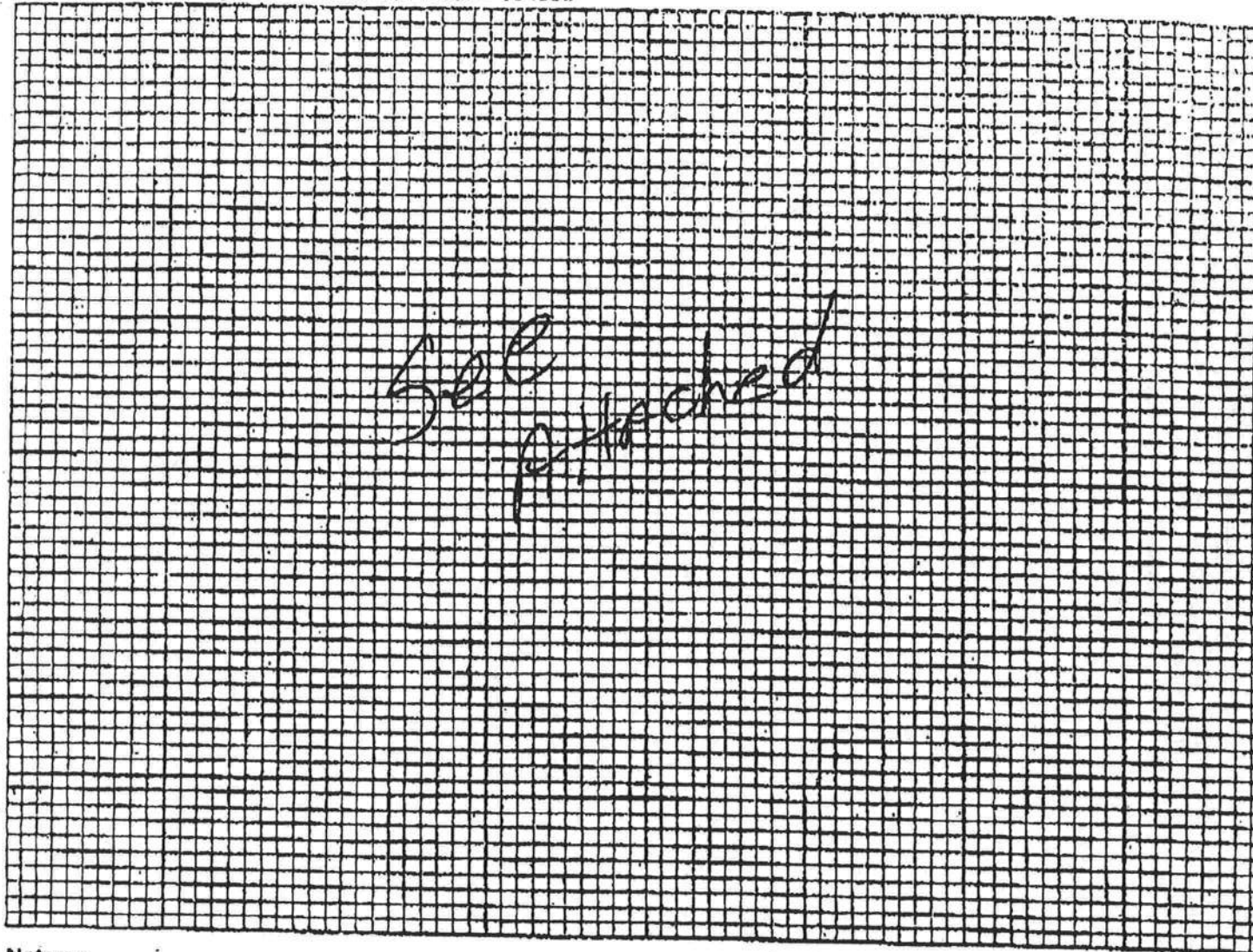
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number

09-0381E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes:

Site Plan submitted by:

Plan Approved ☒

Signature

Not Approved

Title

Date 7-16-09

By

Rich D

[Signature]

Julie Ford

County Health Department

City Director - (dumb)

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Faxed on 8-21-09

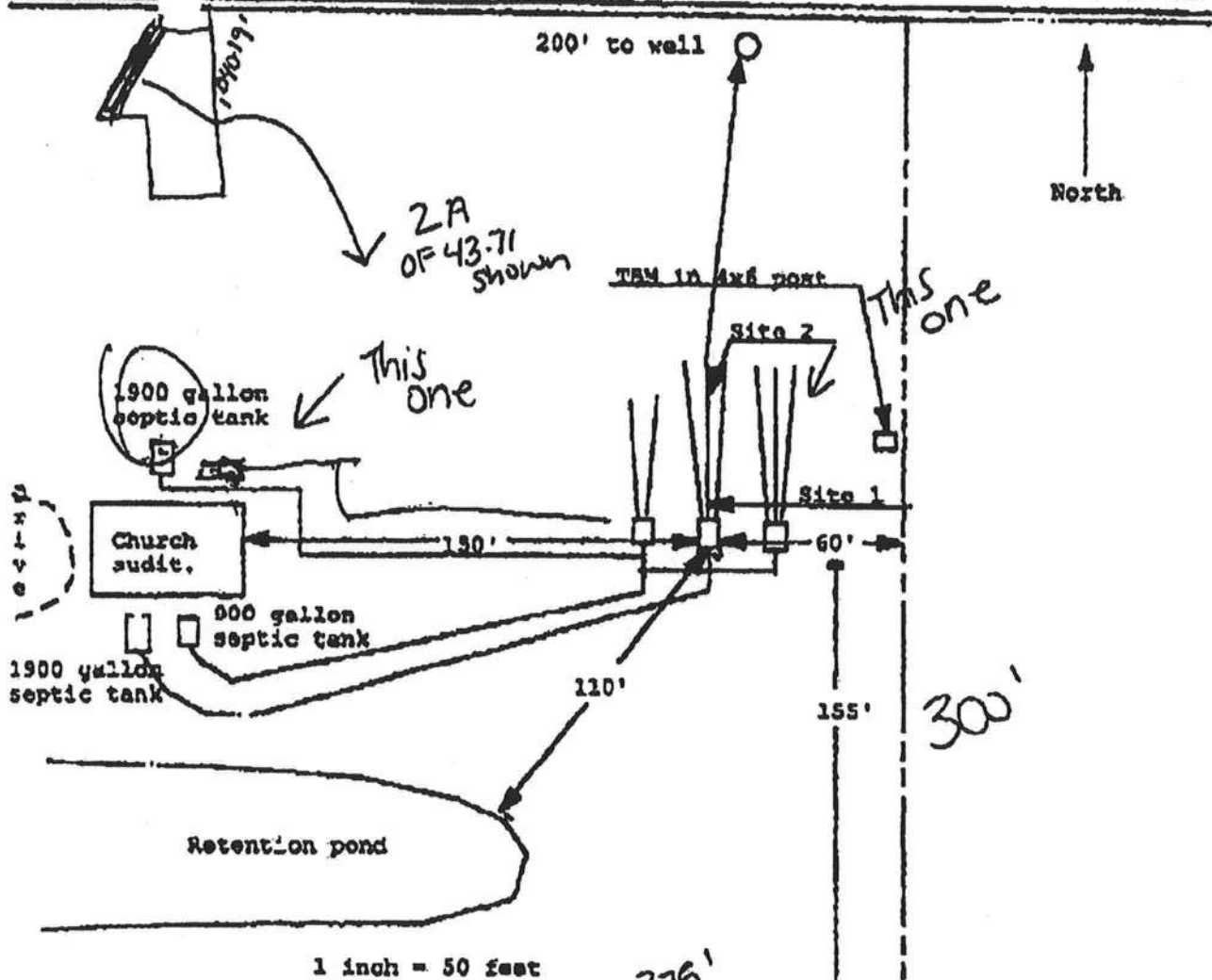
AUG-27-09 PM 9:45 AM PAUL LLOYD

FAX NO. 9047538058

P. 5

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 09-8381E

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Site Plan Submitted By [Signature] Date 7-14-09
 Plan Approved By [Signature] Date 7-14-09

By [Signature] CPHU

Notes: _____

Faxed on 8-21-09

Deed

COMM SW COR OF SW1/4 OF NW1/4, CHURCH CENTRAL MINISTRIES INC 26-4S-16-03189-003									
RUN W 50.07 FT, N 575 FT, E CARD 001 of 004									
417.89 FT, N 450.56 FT FOR P O BOX 1703 BY JEFF									
POB, RUN W 461.98 FT TO E R/W LAKE CITY, FL 32056									
PRINTED 7/08/2009 9:53 COLUMBIA COUNTY 2009 R									
APPR 12/23/2008 CP									
AE? N 21680 HTD AREA 140.502 INDEX 26416.00 DIST 3 PUSE 007100 CHURCHES									
MOD 4 COMMERCIAL BATH 22256 EFF AREA 68.846 E-RATE 100.000 INDX STR 26-4S-16 2,482,408 BLDG									
EXW 25 MOD METAL FIXT 1532237 RCN 2000 AYB 2000 AYB MKT AREA 01 110,565 XFOB									
20% 16 WD FR STUC BDRM 94.00 %GOOD 1440,302 B BLDG VAL 2000 EYB AC 43.710 212,730 LAND									
RSTR 10 STEEL FRME RMS UNITS #FIELD CK: 359 DYAL RD SW NOTE									
RCVR 12 MODULAR MT C-W% 1.0 4FUS2000 4									
INTW 05 DRYWALL N/A 0 0									
FLOR 14 CARPET STYS 120 0									
10% 15 HARDTILE ECON 0									
HTTP 09 ENG F AIR FUNC 120 0									
A/C 06 ENG CENTRL SPDC 120 0									
QUAL 07 07 DEPR 06 120 0									
FNDN N/A UD-1 N/A									
SIZE ALL UD-2 N/A									
CEIL 02 F NOT SUS UD-3 N/A									
ARCH N/A UD-4 N/A									
FRME 05 STEEL UD-5 N/A									
KITCH N/A UD-6 N/A									
WINDO N/A UD-7 N/A									
CLAS N/A UD-8 N/A									
OCC N/A UD-9 N/A									
COND 03 03 % E-AREA SUB VALUE									
BAS00 16880 100 16880 1092397									
CAN00 1920 30 576 37275									
FUS00 4800 100 4800 310630									
TOTAL 23600 22256 1440302									
EXTRA FEATURES									
AE BN CODE DESC LEN WID HGT QTY QL YR ADJ UNITS UT PRICE ADJ UT PR SPDC % %GOOD XFOB VALUE									
Y 0260 PAVEMENT-ASP 1 2000 1.00 94942.000 SF .900 100.00 100.00 85,448									
Y 0166 CONC, PAVMT 1 2000 1.00 3257.000 SF 1.500 100.00 100.00 4,886									
Y 0120 CLFENCE 4 1 2000 1.00 372.000 SF 2.500 100.00 100.00 930									
Y 0258 PATIO 1 1 0000 1.00 1.000 UT 1300.000 100.00 100.00 1,300									
N 0030 BARN, MT 1 1 0000 1.00 1.000 UT 900.000 100.00 100.00 900									
Y 0040 BARN, POLE 1 1 0000 1.00 1.000 UT 100.000 100.00 100.00 100									
LAND DESC ZONE ROAD {UD1 {UD3 FRONT DEPTH FIELD CK: UNITS UT PRICE ADJ UT PR LAND VALUE									
AE CODE TOPO UTIL A-1 0002 1.00 1.00 1.00 1.00 42.600 AC 4860.000 4860.00 207,036									
N 007100 CHURCH 0002 0003 1.00 1.00 1.00 1.00 1.110 AC 5130.000 5130.00 5,694									
Y 000000 VAC RES A-1 0002 0003									

COMM SW COR OF SW1/4 OF NW1/4, CHRIST CENTRAL MINISTRIES INC 26-4S-16-03189-003 Columbia County 2009 R
RUN W 50.07 FT, N 575 FT, E P O BOX 1703 CARD 003 of 004
417.89 FT, N 450.56 FT FOR LAKE CITY, FL 32056 BY JEFF
POB, RUN W 461.98 FT TO E/R/W

009100 CHURCH		AE? N		12000 HTD AREA		126.681 INDEX		26416.00 DIST 3		PUSE		007100 CHURCHES	
4 COMMERCIAL		23		12000 EFF AREA		62.074 E-RATE		100.000 INDX		STR 26- 4S- 16			
25 MOD METAL		9		744888 RCN				2003 AYB		MKT AREA 01		2,482,408 BLDG	
% N/A				96.00 %GOOD		715,092 B BLDG VAL		2003 EYB		(PUD1		110,565 XFOB	
RSTR 10 STEEL FRME										AC 43.710		212,730 LAND	
RCVR 12 MODULAR MT										NTCD		0 AG	
% N/A										APPR CD		2,805,703 JUST	
INTW 05 DRYWALL		15								CND0		0 CLAS	
% N/A										BLK			
FLOR 14 CARPET		1.0								LOT		0 SOHD	
10% 15 HARDTILE										MAP#		0 ASSD	
HTTP 09 ENG F AIR										02		0 EXPT	
A/C 06 ENG CENTRL										TXDT		0 COTXBL	
QUAL 07 07		06											
FNDN N/A		N/A											
SIZE ALL		N/A											
CEIL UD-2		N/A											
ARCH UD-3		N/A											
FRME UD-4		N/A											
STEEL UD-5		N/A											
N/A UD-6		N/A											
WINDO UD-7		N/A											
N/A UD-8		N/A											
CLAS UD-9		N/A											
OCC N/A		N/A											
COND 03 03		N/A											
A-AREA %		SUB VALUE											
BAS03		381380											
SFB03		333712											
7000 80													
TOTAL 13400		12000											
		715092											

BAS2003=W80 S80 E80 N80\$		BLDG TRAVERSE		-----		-----		-----		-----		-----	
E70 N100 W70 S10\$.													
SPB2003=S90													
NUMBER		DESC		PERMITS		AMT		ISSUED					
BOOK		PAGE		DATE		SALE		PRICE					
862		475		7/07/1998 U V				47400					
GRANTOR		CARMON L & JEAN D HARRIS											
GRANTEE		CHRIST CENTRAL MINISTRIES INC											
688		731		6/15/1989 U I				119800					
GRANTOR		SEDBERRY											
GRANTEE		ENGLE											

COMM SW COR OF SW1/4 OF NW1/4,
RUN W 50.07 FT, N 575 FT, E
417.89 FT, N 450.56 FT FOR
POB, RUN W 461.98 FT TO E R/W

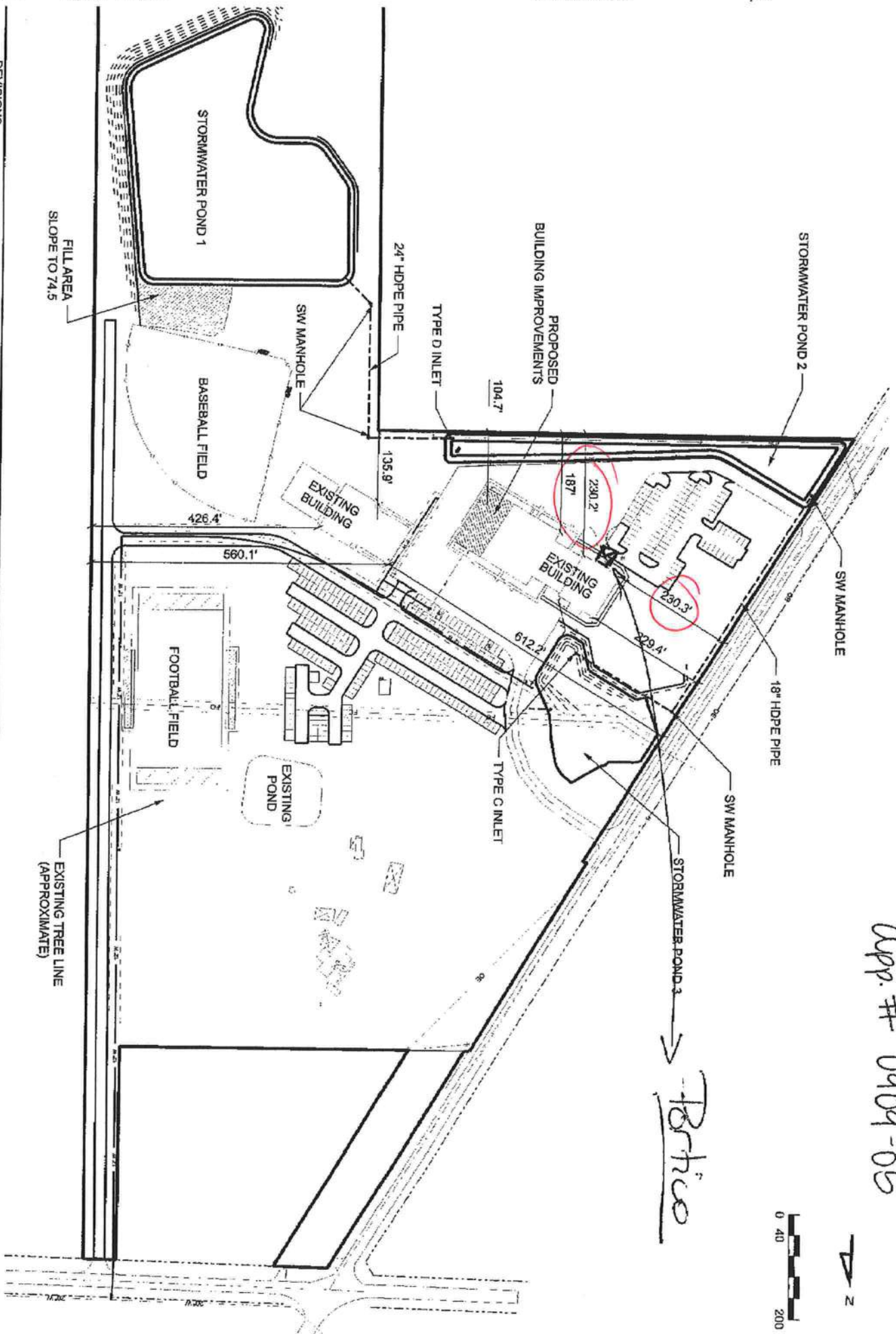
BUSE 008400 WAREH STOR AE? N
MOD 6 WAREHOUSE BATH

ARCH	N/A	UD-4	N/A
FRME	06 FIREPROOF	UD-5	N/A
KTCH	N/A	UD-6	N/A

TOTAL	6400	6400	261220
-----EXTRA FEATURES-----			
CODE			
PN			

T AND	DESC	ZONE	BOUND (T

App. # 0909-05



REVISIONS

N	DATE	BY	DESCRIPTION

CES

Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

DRAWN BY:

BC

CHRIST CENTRAL MINIST

APPROVED BY:

BC

PRELIMINARY
SITE PLAN

Brett A. Crews, P.E. 65692



COMPRESSIVE STRENGTH REPORT

ASC Office:

366 SW Knox Street, Suite 103, Lake City, Florida 32025

PROJECT INFORMATION

PROJECT:	Christ Central Ministries Additions	DATE:	28-Oct-09
LOCATION:	Lake City, Columbia County, Florida	PROJECT NO:	09G1003
CLIENT:	Bryan Zecher Construction, Inc.	LAB NO:	20
CONTRACTOR:	Bryan Zecher Construction, Inc.	TECHNICIAN:	Daryn Wimpy

SPECIMEN INFORMATION

SUPPLIER:	Columbia Ready Mix	WEATHER CONDITIONS:	sunny
DATE MOLDED:	30-Sep-09	SPECIMEN TYPE:	cylinders
DATE RECEIVED:		DIMENSIONS:	4 x 8
REPRESENTATIVE LOCATION:	Auditorium stadium seating perimeter footing, entire footing from NE corner around to SE corner.		

CONCRETE TEMPERATURE: 78 °F	# OF SPECIMENS MOLDED: 5
ATMOSPHERE TEMPERATURE: 75 °F	SET #: 8
AIR CONTENT: %	QUANTITY REP: 4.50 yds
SLUMP: 8.00 in.	TIME BATCHED: 9:06 AM
WATER ADDED: gal(s).	TIME MOLDED: 10:10 AM
WATER AUTHORIZED BY:	CONCRETE TRUCK #: 40
STRENGTH REQUIREMENT: 3,000 psi @ 28 days	CONCRETE TICKET #: 91434
DESIGN MIX #: 3PM	ADD MIX:

STRENGTH INFORMATION

unless otherwise noted, tests were performed in general accordance with the following ASTM test methods:
C31, C39, C78, C172, C231, C173, C143, C192, C138, C1064, C1231, C617, C1019, C270, C780, C1314

SPECIMEN NO.	TEST AT DAYS	DATE TESTED	ACTUAL DIMENSION (in.) (dia x height)			AREA (in. ²)	TOTAL LOAD (lbs)	COMPRESSIVE STRENGTH (psi)	TYPE FRAC. (not applicable w/ neoprene capping)	CAPPING TYPE
A	7	7-Oct-09	4.00	x	8.00	12.57	26,210	2,090 *	N/A	neoprene
B	7	7-Oct-09	4.00	x	8.00	12.57	25,180	2,000 *	N/A	neoprene
C	28	28-Oct-09	4.00	x	8.00	12.57	45,630	3,630	N/A	neoprene
D	28	28-Oct-09	4.00	x	8.00	12.57	46,950	3,740	N/A	neoprene
									* indicates specimen did not meet strength requirement	
REMARKS/NOTES:								FRAC TYPE:	<input type="checkbox"/>	(1) CONE
									<input type="checkbox"/>	(2) CONE SHEAR
									<input type="checkbox"/>	(3) SHEAR
									<input type="checkbox"/>	(4) SPLIT
									<input type="checkbox"/>	(5) OTHER

COPIES TO: Bryan Zecher/Bryan Zecher Construction
Harry Dicks/Columbia County Building Department
Bill Freeman/Freeman Design Group

J. Patel 11/3/09

Jayantilal R. Patel, P.E., Florida Registration No. 34087



Mr. Bryan Zecher
Bryan Zecher Construction, Inc.
P.O. Box 815, 465 NW Orange Street
Lake City, Florida 32056

3 November 2009

Subject: Threshold Inspection Reports
Christ Central Ministries Addition – Phase II
Dyal Road
Lake City, Columbia County, Florida

Permit No.: 27596

ASC Project: 09G1801
ASC Document No. 090095L


Dear Mr. Zecher:


Enclosed please find a Threshold Inspection Report for the above-referenced project. This covers the inspection made on 26 October 2009 (Field Report No. TI-21). An Action Item Summary is attached to this cover letter.

Should you have any questions, please do not hesitate to contact us.

Sincerely,

ASC geosciences, inc.


Jayantilal R. Patel, P.E.
Special Inspector No. 2038
Florida Registration No. 34087


Tommy Bradshaw
Vice President
Project Manager

Copies to: 1 - Mr. Bryan Zecher / Zecher Construction
1 - Columbia County Building Department
2 - ASC Lake City & ASC Lakeland

■ physical address:

ASC geosciences, inc.
366 SW Knox Street, Suite 103
Lake City, Florida 32025

■ contacts:

phone: 386.755.1414
fax: 386.755.8882



THRESHOLD INSPECTION ACTION ITEM SUMMARY

3 November 2009

PROJECT: Christ Central Ministries Additions – Phase II

ASC PROJECT NO.: 09G1801

LOCATION: Lake City, Columbia County, Florida

CLIENT: Bryan Zecher Construction, Inc.

[illegible]



THRESHOLD REPORT

PROJECT INFORMATION

PROJECT NAME:	Christ Central Ministries Additions - Phase II	DATE:	26-Oct-09
PROJECT LOCATION:	Lake City, Colombia County, Florida	PROJECT NO.	09G1801
INSPECTOR/INSPECTOR REPRESENTATIVE:	J. Curry	LAB NO.:	TI-21
CLIENT:	Bryan Zecher Construction	PERMIT NO.:	27596

INSPECTION OF:

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> reinforcing steel/formwork | <input type="checkbox"/> structural steel framing | <input type="checkbox"/> structural steel welds |
| <input type="checkbox"/> structural steel bolted connections | <input type="checkbox"/> post-tensioned concrete slab | <input type="checkbox"/> shoring/reshoring |
| <input type="checkbox"/> roof trusses/straps | <input type="checkbox"/> roof sheathing and nailing pattern | <input type="checkbox"/> reinforced concrete masonry |
| <input type="checkbox"/> grout/concrete placement | <input type="checkbox"/> other | |

TYPE OF ELEMENT:

- | | | | |
|--|--|---------------------------------|--|
| <input checked="" type="checkbox"/> footings | <input type="checkbox"/> pile reinforcing | <input type="checkbox"/> walls | <input type="checkbox"/> reinforced concrete masonry walls |
| <input type="checkbox"/> ground slab | <input type="checkbox"/> pile caps/grade beams | <input type="checkbox"/> beams | <input type="checkbox"/> other |
| <input type="checkbox"/> column base plates | <input type="checkbox"/> elevated slab | <input type="checkbox"/> column | |

INSPECTION LOCATION

Existing Church Building:

Inspected formwork & reinforcing steel installation in footing as listed below.

Footing at south end from existing wall 14' west.

RESULTS OF INSPECTION:

- | |
|--|
| <input checked="" type="checkbox"/> above elements in general accordance with project requirements |
| <input type="checkbox"/> work not complete, as noted |
| <input type="checkbox"/> elements described below not in compliance with project requirements, reinspection required |

VARIANCES TO CONTRACT DRAWINGS/SPECIFICATIONS BY:

Freeman Design Group

J. Patel 11/3/09
Jayantil Patel, P.E., Florida Registration No. 34087, Special Inspector No. 2038