

tomorrow AM - check # 1263

Columbia County New Building Permit Application

For Office Use Only Application # 1906-83 Date Received 6/21/19 By MG Permit # 38395  
Zoning Official 7.C. / LH Date 7-1-19 Flood Zone X Land Use AG Zoning A-3  
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 7-1-19  
Comments Non Habitable Storage Bldg, Front 30' Sides 25', Rear 25'  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well Letter ☐ 911 Sheet ☐ Parent Parcel #  
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☐ Sub ☒ Form

Septic Permit No. 19-0489 OR City Water ☐ Fax \_\_\_\_\_

Applicant (Who will sign/pickup the permit) Michael Vidal Phone 239-280-8925

Address 475 SW Blaylock Court Lake City, FL. 32024

Owners Name Michael & Tammy Vidal Phone 239-280-8925

911 Address 475 SW Blaylock Ct Lake City, FL 32024

Contractors Name Michael & Tammy Vidal Phone 239-280-8925

Address 475 SW Blaylock Court Lake City, FL. 32024

Contractor Email michaeljvidal@aol.com \*\*\*Include to get updates on this job.

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address Wayne S. Moore 1009 E Ave North Augusta, SC 29841

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 01-5S-16-03401-008 Estimated Construction Cost 19,000.00

Subdivision Name Rivers Manor - The South 1/2 of Lot 8 Block \_\_\_\_\_ Unit 2 Phase \_\_\_\_\_

Driving Directions from a Major Road 47-S to Walter Avenue to Little Road, Turn Left  
and the Lot is on the Left with white fence

Construction of Steel Building Commercial OR ☒ Residential

Proposed Use/Occupancy NON-HABITABLE STORAGE Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? No If Yes, blueprints included \_\_\_\_\_ Or Explain \_\_\_\_\_

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 30 Side 25 Side 25 Rear 25

Number of Stories 1 Heated Floor Area \_\_\_\_\_ Total Floor Area 1800 Acreage 5

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) \_\_\_\_\_

to speak w/ Michael 6.28.19 + sent email

Call spoke to Michael 6/28/19

7/2 left message, ready for pickup

**Columbia County Building Permit Application**

**CODE: Florida Building Code 2014 and the 2011 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Michael Vidal  
\_\_\_\_\_  
Print Owners Name

\_\_\_\_\_  
Owners Signature

**\*\*Property owners must sign here before any permit will be issued.**

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature

\_\_\_\_\_  
Contractor's License Number

\_\_\_\_\_  
Columbia County

\_\_\_\_\_  
Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

\_\_\_\_\_  
SEAL:

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)



**Columbia County Property Appraiser**  
 Jeff Hampton | Lake City, Florida | 386-758-1083

**PARCEL: 01-5S-16-03401-008 - SINGLE FAM (000100)**

S1/2 OF LOT 8 RIVERS MANOR UNIT 2 UNREC, BEING THE S1/2 OF THE FOLLOWING: COMM SW COR OF SE 1/4 OF SE1/4, RUN E 644.8 FT TO SW COR LOT 1 RIVERS MANOR

Name: VIDAL MICHAEL &

Site: 475 SW BLAYLOCK CT

TAMMY L VIDAL

Mail: 475 SW BLAYLOCK CT

LAKE CITY, FL 32055

Sales 8/11/2017

Info 8/11/2017

\$0.00 I / U

\$400,000.00 I / Q

**2018 Certified Values**

Land \$33,048.00

Bldg \$258,904.00

Assd \$307,290.00

Exmpt \$0.00

Taxbl Cnty: \$307,290

Other: \$307,290 | Schl: \$307,290



NOTES:

This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office.

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**GrizzlyLogic.com**

# NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

1-55-16-03401-008

Clerk's Office Stamp

Inst: 201912017032 Date: 07/22/2019 Time: 3:47PM  
Page 1 of 1 B: 1389 P: 1540, P. DeWitt Cason, Clerk of Court  
Columbia County, By: KV  
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Vidal  
a) Street (job) Address: 475 SW Blaylock Court LAKE CITY, FL 32024
2. General description of improvements: Steel Building
3. Owner Information or Lessee information if the Lessee contracted for the improvements:  
a) Name and address: Michael J. Vidal  
b) Name and address of fee simple titleholder (if other than owner): 475 SW Blaylock Court  
c) Interest in property: Owner
4. Contractor Information  
a) Name and address: Owner Builder  
b) Telephone No.: 239-280-8925
5. Surety Information (if applicable, a copy of the payment bond is attached):  
a) Name and address: \_\_\_\_\_  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_
6. Lender  
a) Name and address: \_\_\_\_\_  
b) Phone No.: \_\_\_\_\_
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name: \_\_\_\_\_ OF \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. [Signature]  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

Michael Vidal  
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 22 day of July, 2019, by:

Michael Vidal as owner for self  
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known \_\_\_\_\_ OR Produced Identification ☒ Type FCDL

Notary Signature [Signature]

Notary Stamp or Seal:





**Columbia County Property Appraiser**

Jeff Hampton

**2018 Tax Roll Year**

updated: 5/9/2019

Retrieve Tax Record

2018 TRIM (pdf)

Property Card

Parcel List Generator

Show on GIS Map

Print

Parcel: << **01-5S-16-03401-008** >>

Aerial Viewer Pictometry Google Maps

**Owner & Property Info**

Result: 1 of 1

Owner	VIDAL MICHAEL & TAMMY L VIDAL 475 SW BLAYLOCK CT LAKE CITY, FL 32055		
Site	475 BLAYLOCK CT, LAKE CITY		
Description*	S1/2 OF LOT 8 RIVERS MANOR UNIT 2 UNREC, BEING THE S1/2 OF THE FOLLOWING: COMM SW COR OF SE 1/4 OF SE1/4, RUN E 644.8 FT TO SW COR LOT 1 RIVERS MANOR UNIT 1, RUN N 644.34 FT FOR POB, CONT N 649.27 FT, W 671.78 FT TO E RW DAVIS LANE, S 649.27 FT, E 671.58 ...more>>>		
Area	5 AC	S/T/R	01-5S-16
Use Code**	SINGLE FAM (000100)	Tax District	3

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

**Property & Assessment Values**

2018 Certified Values		2019 Working Values	
Mkt Land (1)	\$33,048	Mkt Land (1)	\$33,048
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$258,904	Building (1)	\$260,950
XFOB (3)	\$15,338	XFOB (3)	\$15,338
Just	\$307,290	Just	\$309,336
Class	\$0	Class	\$0
Appraised	\$307,290	Appraised	\$309,336
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$307,290	Assessed	\$309,336
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$307,290 city:\$307,290 other:\$307,290 school:\$307,290	Total Taxable	county:\$309,336 city:\$309,336 other:\$309,336 school:\$309,336

**▼ Sales History**

Show Similar Sales within 1/2 mile

Fill out Sales Questionnaire

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
8/11/2017	\$400,000	1342/2705	WD	I	Q	01
8/11/2017	\$0	1342/2703	WD	I	U	11
11/13/2013	\$70,100	1264/2446	WD	I	U	30
8/22/2005	\$110,000	1055/2357	WD	I	Q	
5/17/2002	\$26,700	954/0419	WD	I	U	03
12/21/2001	\$100	943/1033	CT	V	U	01
7/3/1996	\$18,600	824/2337	CD	I	U	13

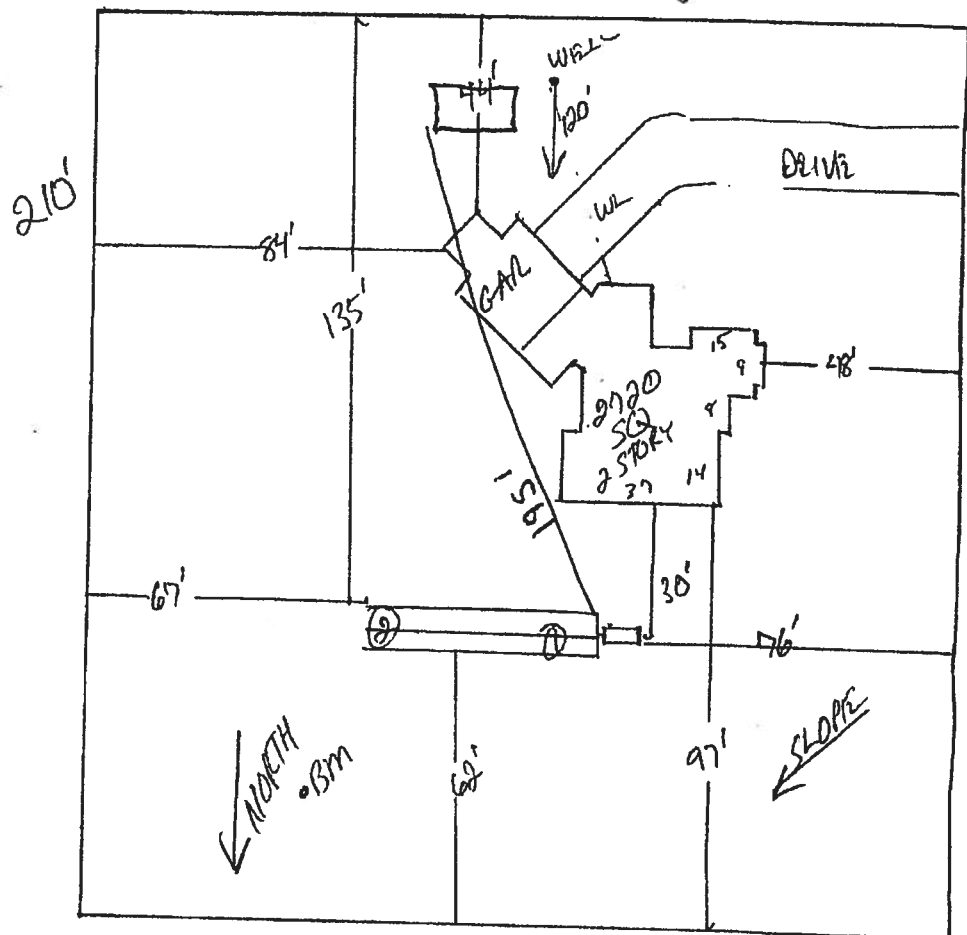
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

19-5189

PART II - SITEPLAN

Scale: 1 inch = 40 feet.



Notes:

Site Plan submitted by: Michael Vidal

Durker

Plan Approved V

Not Approved \_\_\_\_\_

Date 6.28.19

By Sally Ford Env Health Director

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0489  
DATE PAID: 4-20-19  
FEE PAID: 612114  
RECEIPT #: 600 00  
1420371

## APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Michael J. Vidal

AGENT: \_\_\_\_\_

TELEPHONE: 239-280-8925MAILING ADDRESS: 475 SW Blaylock Court Lake City, FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: 8 BLOCK: \_\_\_\_\_ SUBDIVISION: River Manor U2 PLATTED: \_\_\_\_\_PROPERTY ID #: 01-SS-16-03401-008 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: ☒ Y ☐ NPROPERTY SIZE: 5 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ☐ ≤2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: 200' FTPROPERTY ADDRESS: 475 SW Blaylock Court Lake City, FL 32024DIRECTIONS TO PROPERTY: 475 to Walter Ave to Little Rd, Turn Left

## BUILDING INFORMATION

☒ RESIDENTIAL☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Steel Building</u>	<u>N/A</u>	<u>1800</u>	<u>Non-Habitable Storage</u>
2	_____	_____	_____	_____
3	_____	_____	_____	_____
4	_____	_____	_____	_____

☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

DATE: 6-21-2019

## Janice Williams

---

**From:** Janice Williams  
**Sent:** Friday, June 28, 2019 4:47 PM  
**To:** 'michaeljvidal@aol.com'  
**Subject:** FW: Application 1906-83 - Metal Storage Building  
  
**Importance:** High

**From:** Janice Williams  
**Sent:** Friday, June 28, 2019 4:43 PM  
**To:** michaeljvidal@aol.com  
**Subject:** Application 1906-83 - Metal Storage Building  
**Importance:** High

Hi Michael,

I have just received the **Environmental Health Signed Site Plan Approval**.

We will follow up with you once the **application has completed final review**.

Have a nice weekend!

CONFIDENTIALITY NOTICE: This e-mail message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential, proprietary, and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy, or distribute this e-mail message or its attachments. If you believe you have received this e-mail message in error, please contact the sender by reply e-mail and telephone immediately and destroy all copies of the original message.





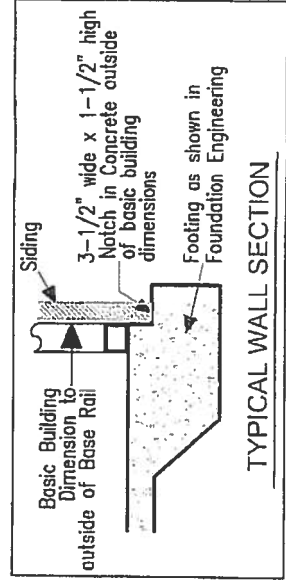
**IMPORTANT - NOTES**



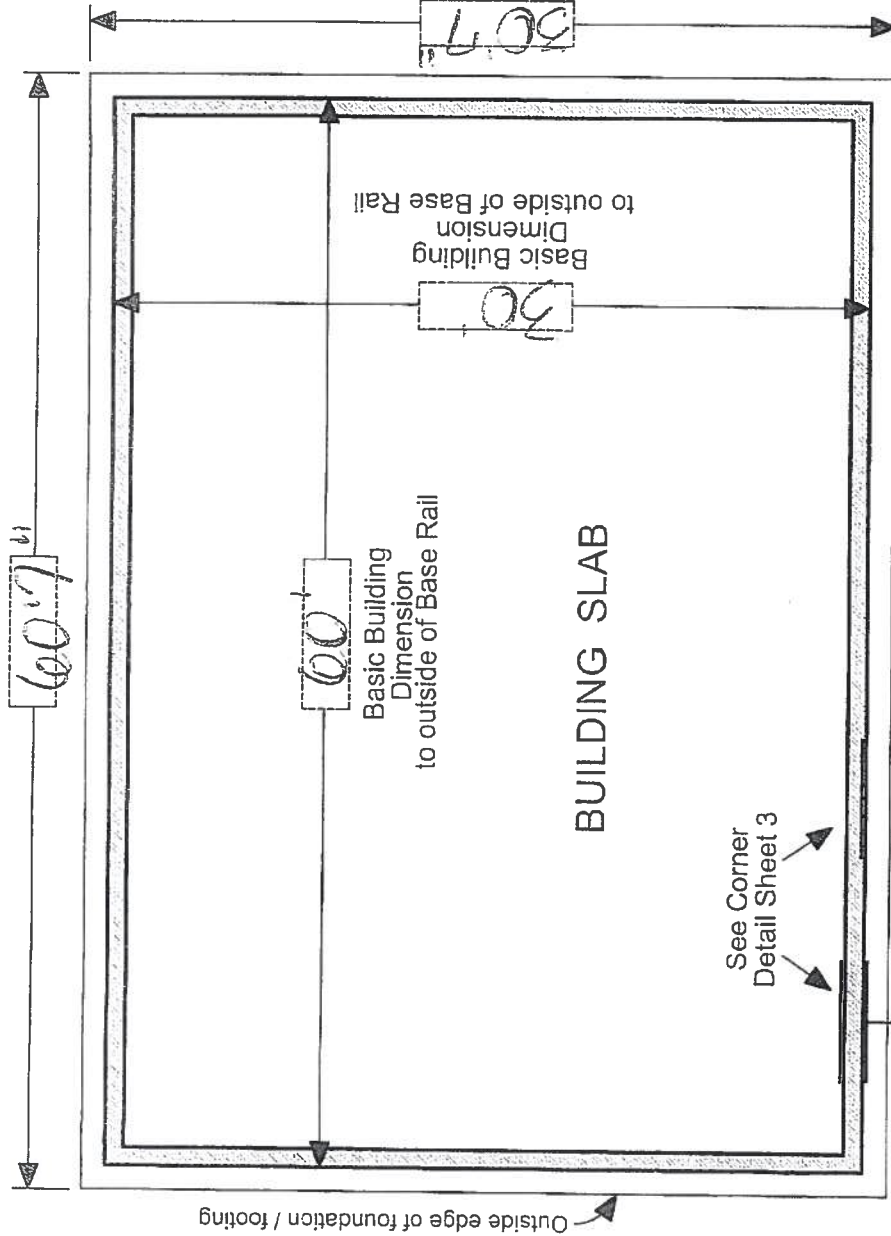
Record Measurements  
in these spaces provided

All basic building dimensions  
are to the outside of the  
frame Base Rail and DO NOT  
INCLUDE the 3-1/2" x 1-1/2"  
notch in the concrete footing

See Sheet 3 of 3  
for Detail of Building  
corner configuration



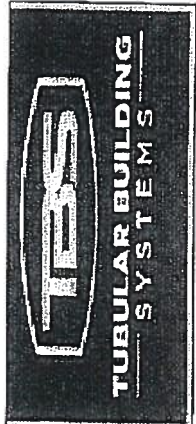
Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches



Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches

3-1/2" wide x 1-1/2" high Notch  
in Concrete outside  
of basic building  
dimensions

**TYPICAL BUILDING  
FOUNDATION MEASUREMENTS**



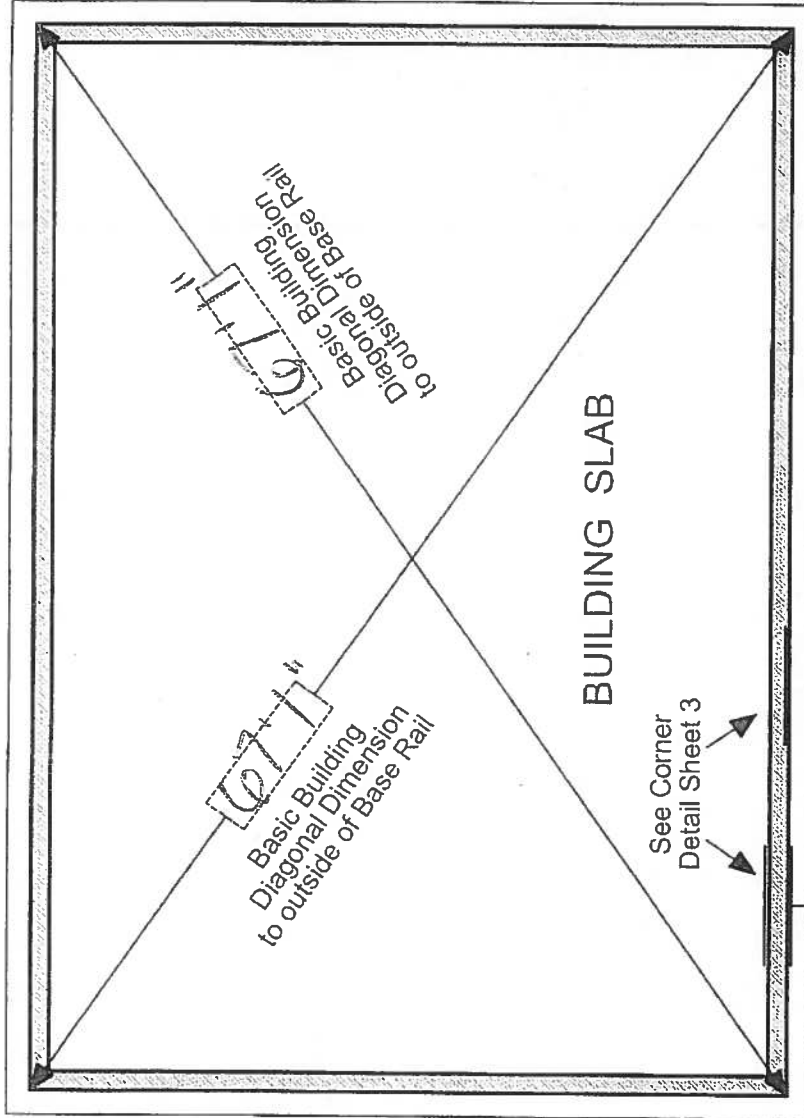
## IMPORTANT - NOTES



Record Measurements  
in these spaces provided

All basic building diagonal dimensions  
are to the outside corner of the  
frame Base Rail and DO NOT  
INCLUDE the 3-1/2" x 1-1/2"  
notch in the concrete footing

See Sheet 3 of 3  
for Detail of Building  
corner configuration

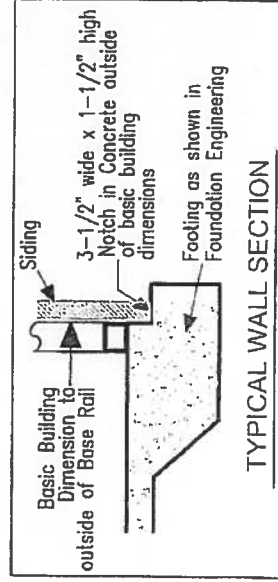


Outside edge of foundation / footing

Building  
Base Rail

3-1/2" wide x 1-1/2" high Notch  
in Concrete outside  
of basic building  
dimensions

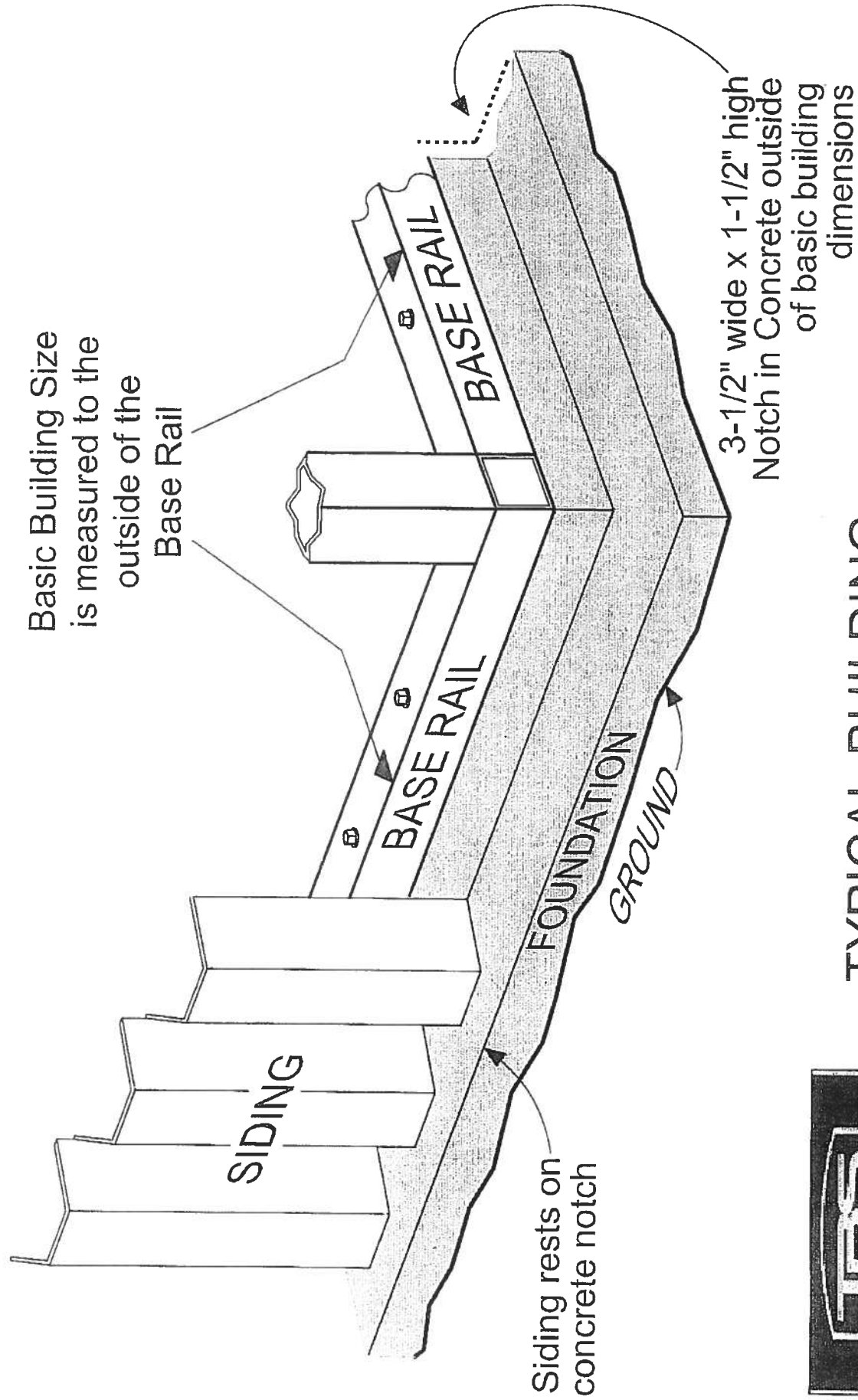
See Corner  
Detail Sheet 3



## TYPICAL BUILDING

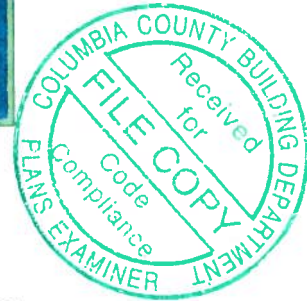
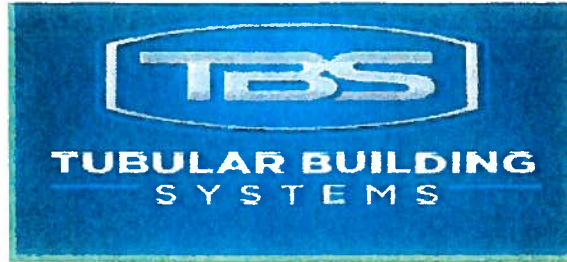
### FOUNDATION MEASUREMENTS DIAGONALS





## TYPICAL BUILDING

### CORNER DETAIL



**STRUCTURAL DESIGN**  
**ENCLOSED BUILDING**  
**EXPOSURE B**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE  
FRAME AND BOW FRAME**

**18 December 2017**

**Revision 4**

**M&A Project No. 16022S/17300S**

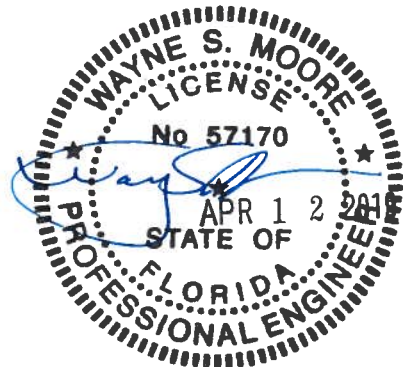
**Prepared for:**

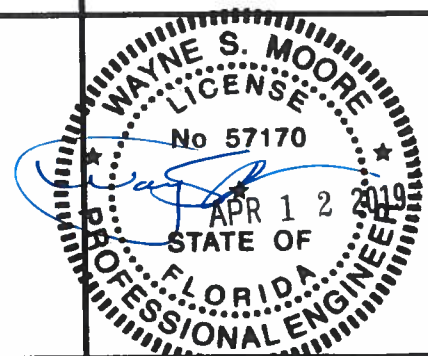
**Tubular Building Systems, LLC  
631 SE Industrial Circle  
Lake City, Florida 32025**

**Prepared by:**

**Moore and Associates Engineering and Consulting, Inc.  
1009 East Avenue  
North Augusta, SC 29841**

**401 S. Main Street, Suite 200  
Mount Airy, NC 27030**



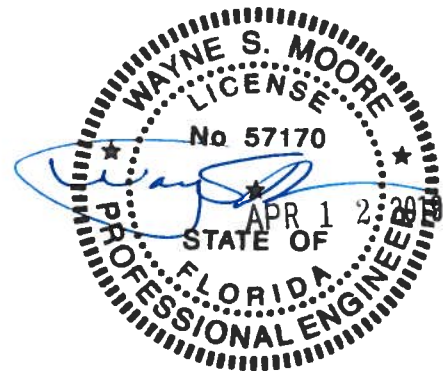



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B PE SEAL COVER SHEET		
	CHECKED BY: PDH			
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.	PROJECT MGR: VSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 1	DWG. NO: SK-3	REV: 4



# DRAWING INDEX

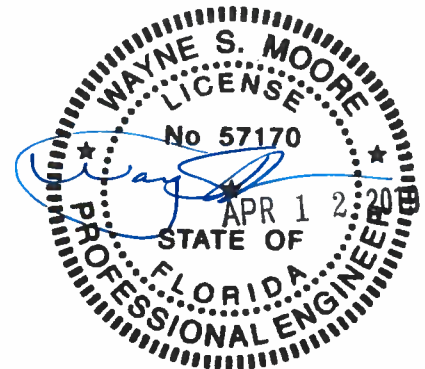
SHEET 1	PE SEAL COVER SHEET
SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS
SHEET 4	TYPICAL SIDE AND END ELEVATIONS
SHEET 5	TYPICAL RAFTER COLUMN END AND SIDE FRAMING SECTIONS (BOX EAVE RAFTER)
SHEET 6A	TYPICAL RAFTER COLUMN CONNECTION DETAILS (LACED COLUMN)
SHEET 6B	TYPICAL RAFTER COLUMN CONNECTION DETAILS (DOUBLE COLUMN)
SHEET 6C	TYPICAL RAFTER COLUMN CONNECTION DETAILS (SINGLE COLUMN)
SHEET 7	TYPICAL RAFTER COLUMN END AND SIDE FRAMING SECTIONS (BOW RAFTER)
SHEET 8A	TYPICAL RAFTER COLUMN CONNECTION DETAILS (DOUBLE COLUMN)
SHEET 8B	TYPICAL RAFTER COLUMN CONNECTION DETAILS (SINGLE COLUMN)
SHEET 9A	BASE RAIL ANCHORAGE OPTIONS
SHEET 9B	OPTIONAL FOUNDATION ANCHORAGE
SHEET 10	TYPICAL END WALL AND SIDE WALL OPENING FRAMING SECTIONS (BOX EAVE RAFTER)
SHEET 11	TYPICAL END WALL AND SIDE WALL OPENING FRAMING SECTIONS (BOW RAFTER)
SHEET 12	WALL OPENING DETAILS
SHEET 13	LEAN-TO OPTIONS (BOX EAVE RAFTER)
SHEET 14	LEAN-TO OPTIONS (BOW RAFTER)
SHEET 15	VERTICAL ROOF/SIDING OPTION END AND SIDE ELEVATION AND SECTION
SHEET 16	OPTIONAL DOOR HEADER



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT		TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH				
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.	PROJECT MGR: VSM		DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TRS		SHT. 2	DWG. NO: SK-3	REV: 4

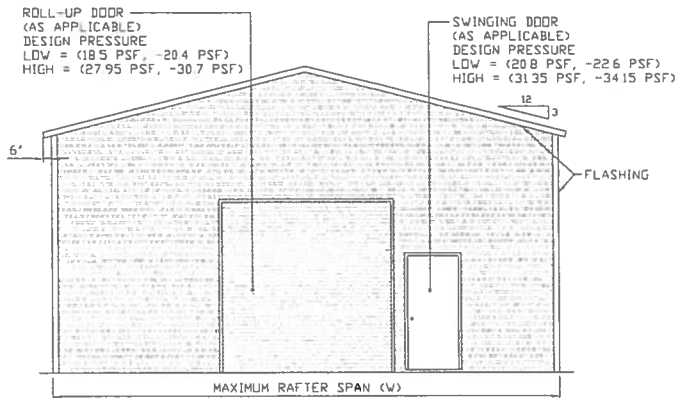
## INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR A MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2012 INTERNATIONAL BUILDING CODE (IBC), AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
  - A) DEAD LOAD = 1.5 PSF
  - B) LIVE LOAD = 12 PSF
  - C) GROUND SNOW LOAD = 10 PSF
4. LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET.
5. HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET.
6. LOW HAZARD RISK CATEGORY I (WIND).
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS. FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS (UNLESS OTHERWISE NOTED).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" OR END = 6", (MAX.)
10. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES
12. GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/WELDED NUT x 30" LONG IN SUITABLE SOIL CONDITIONS MAY BE USED FOR LOW (< 108 MPH NOMINAL) WIND SPEEDS ONLY. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USE IN UNSUITABLE SOILS AS NOTED.
13. OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND MUST BE USED FOR HIGH WIND SPEEDS.
14. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
  - SOIL SITE CLASS = D
  - RISK CATEGORY I/II/III
  - R = 3.25      I<sub>E</sub> = 10
  - S<sub>DS</sub> = 1.522      V = C<sub>s</sub>W
  - S<sub>DI</sub> = 0.839



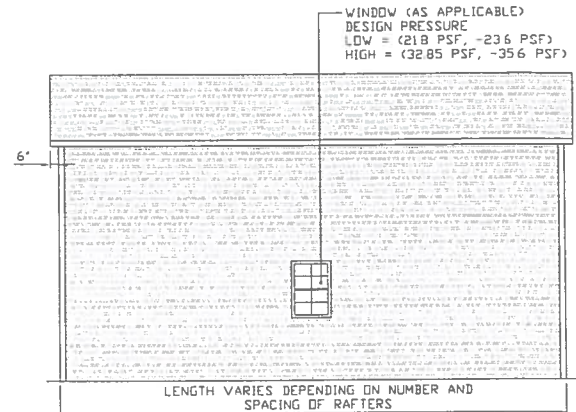
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT		TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH				
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	CLIENT: TBS	SHT. 3	DWG. NO: SK-3	REV: 4	

## BOX EAVE FRAME RAFTER ENCLOSED BUILDING



**TYPICAL END ELEVATION-HORIZONTAL ROOF**

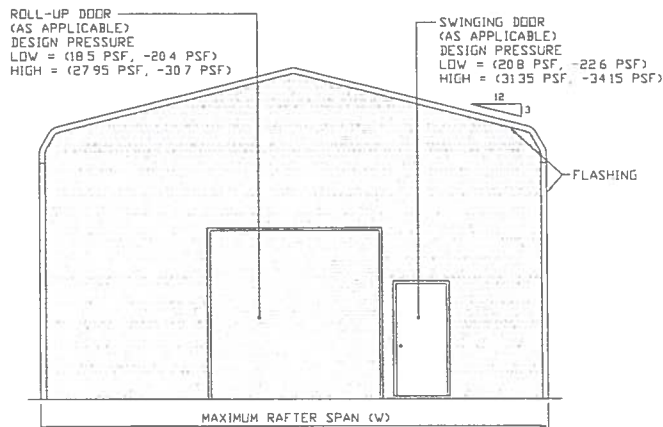
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**TYPICAL SIDE ELEVATION-HORIZONTAL ROOF**

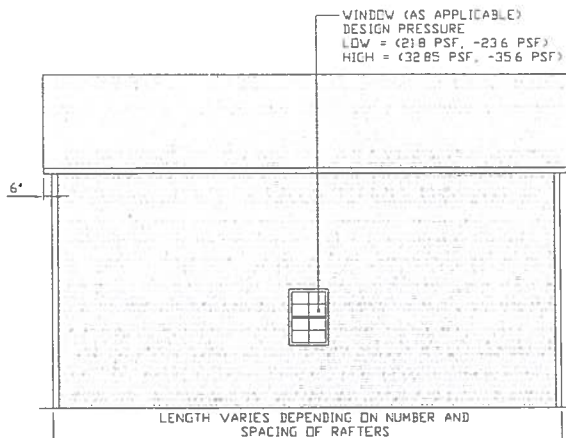
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## BOW FRAME RAFTER ENCLOSED BUILDING



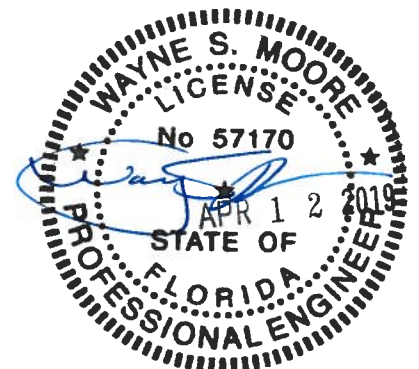
**TYPICAL END ELEVATION**

SCALE: NTS



**TYPICAL SIDE ELEVATION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: VSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 4**

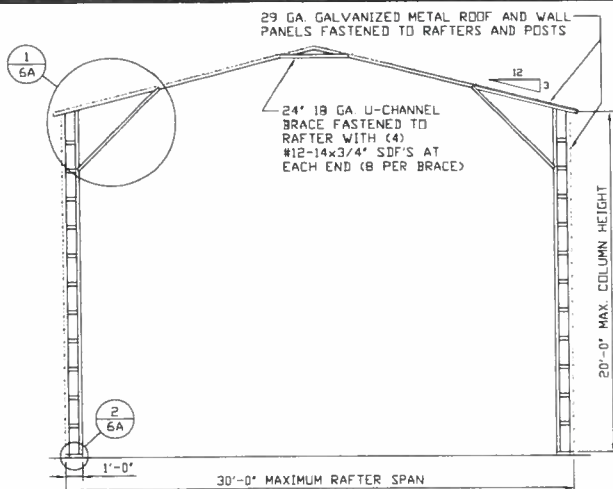
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**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

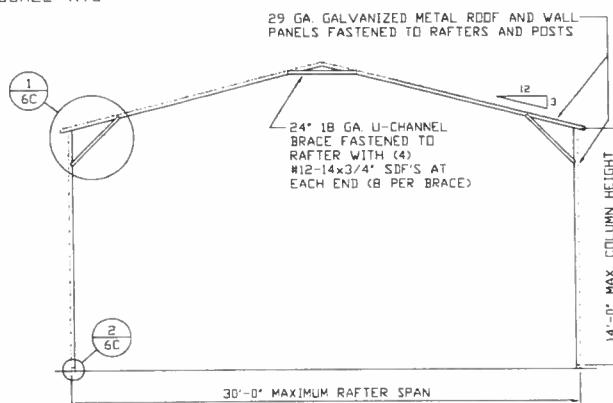
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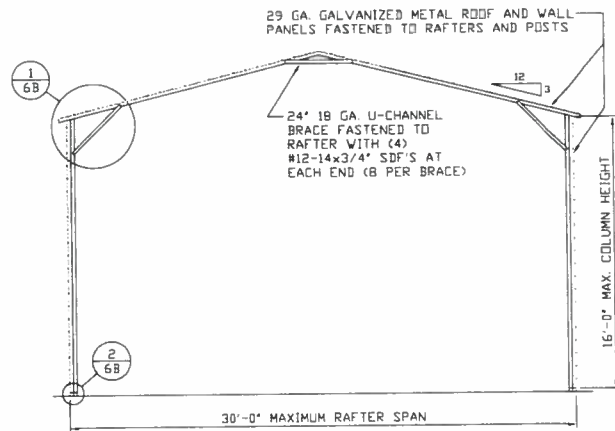
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SCALE: NTS



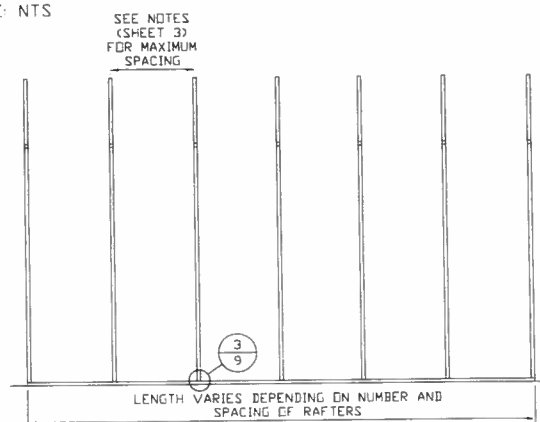
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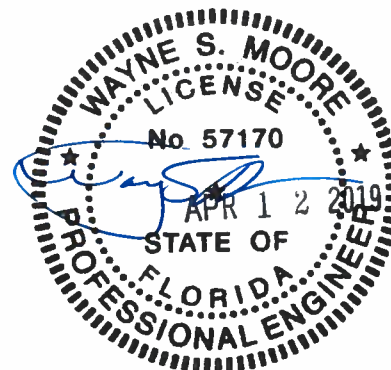
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"X20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 5

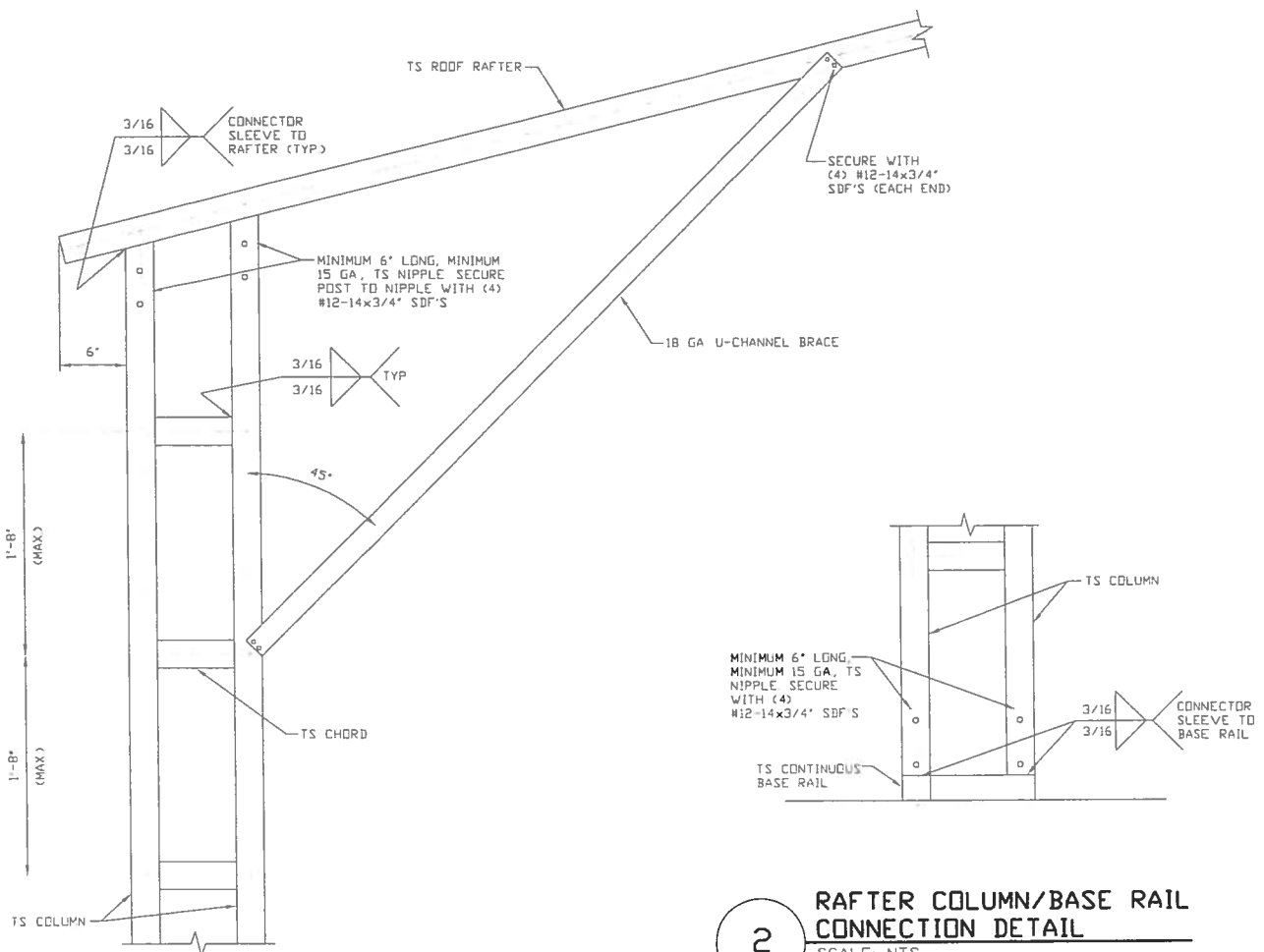
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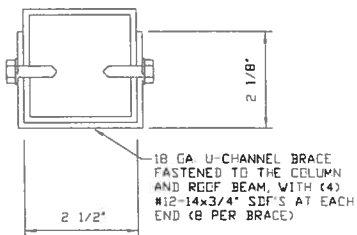
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16022S/17300S

REV: 4

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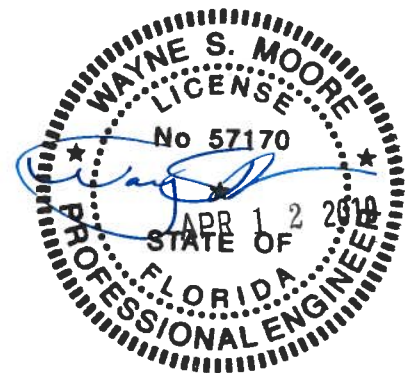


**1** BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"  
SCALE: NTS



**BRACE SECTION**  
SCALE: NTS

**2** RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL  
SCALE: NTS



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**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 6A**

**SCALE: NTS**

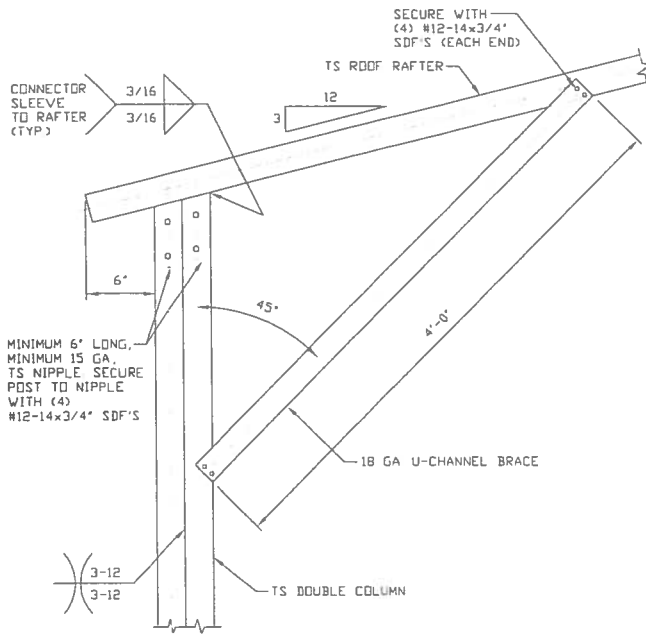
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**JOB NO:  
16022S/17300S**

**REV: 4**

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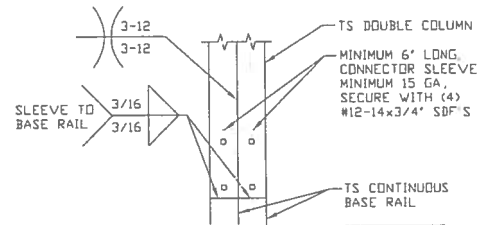




1

**BOX EAVE RAFTER COLUMN  
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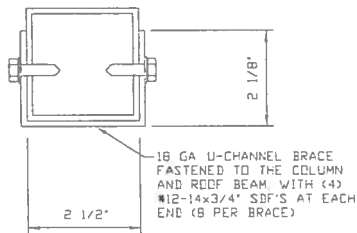
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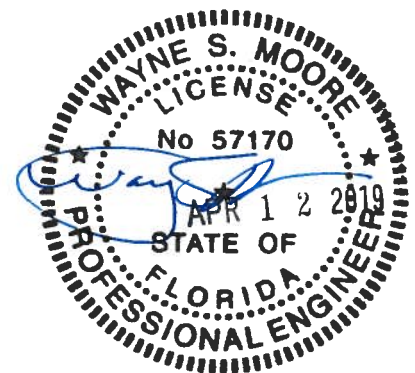
**RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL**

SCALE: NTS



**BRACE SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 6B

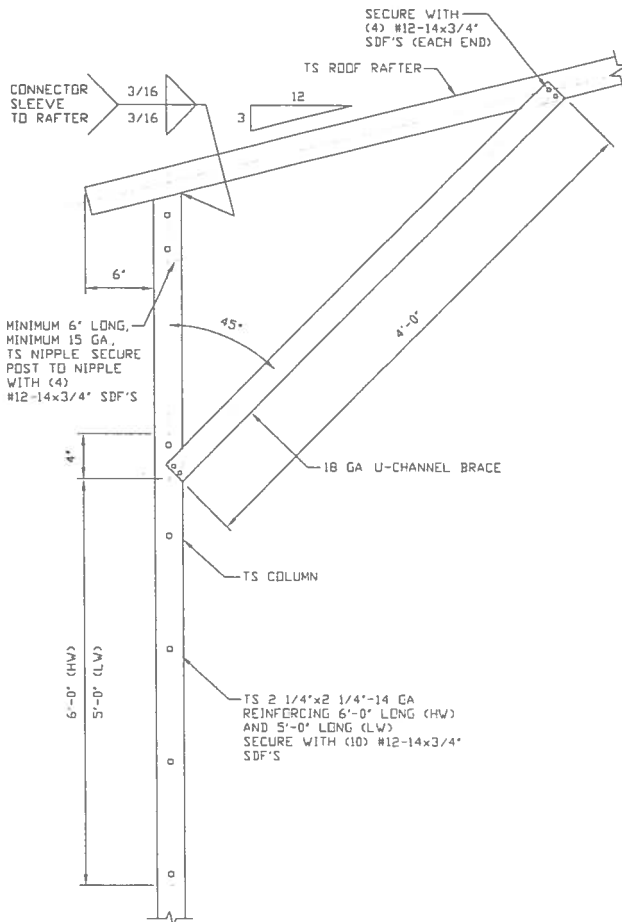
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JOB NO:  
16022S/17300S

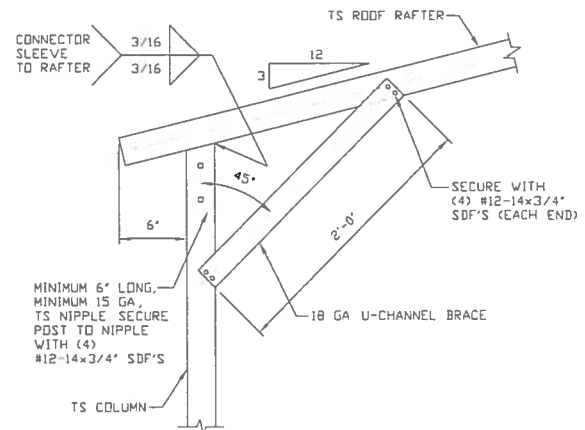
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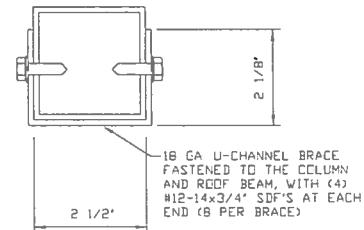
1A

**BOX EAVE RAFTER COLUMN  
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SCALE: NTS

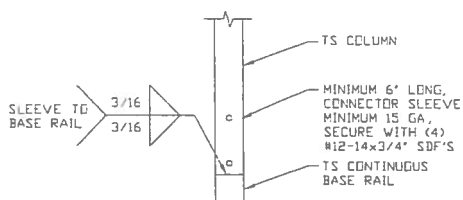


1B

**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS ≤ 10'-0"**  
SCALE: NTS

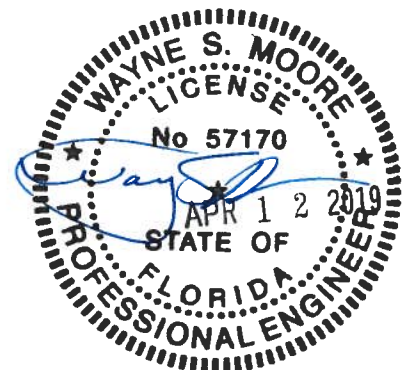


**BRACE SECTION**  
SCALE: NTS



2

**RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



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**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 6C**

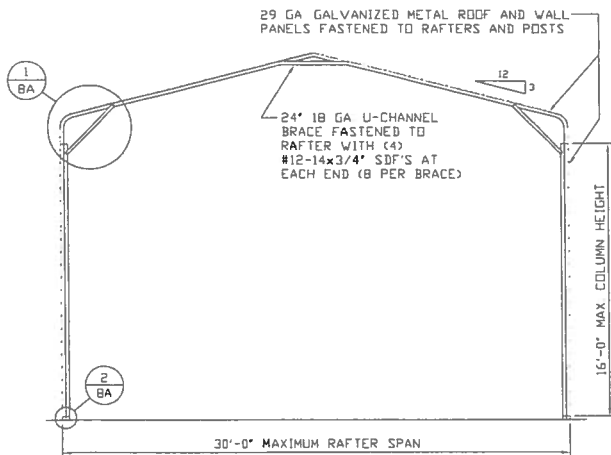
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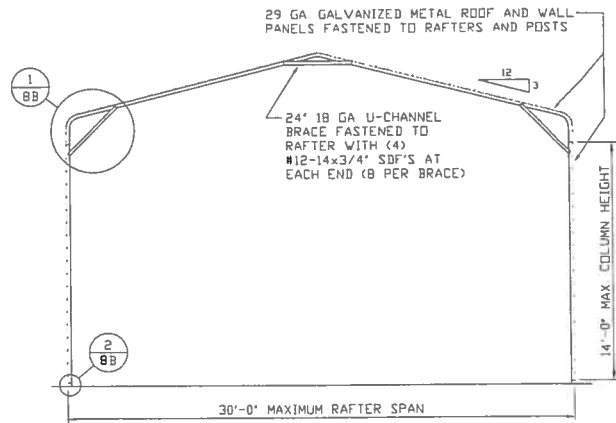
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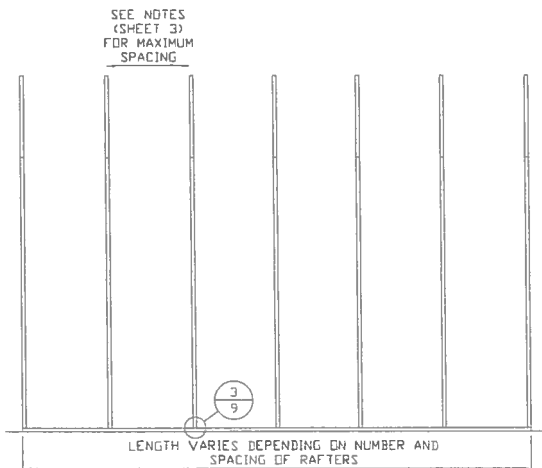
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



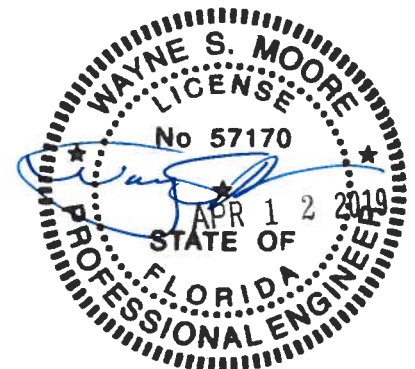
**TYPICAL RAFTER/COLUMN END FRAME SECTION**

SCALE: NTS



**TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION**

SCALE: NTS



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**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"X20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 7**

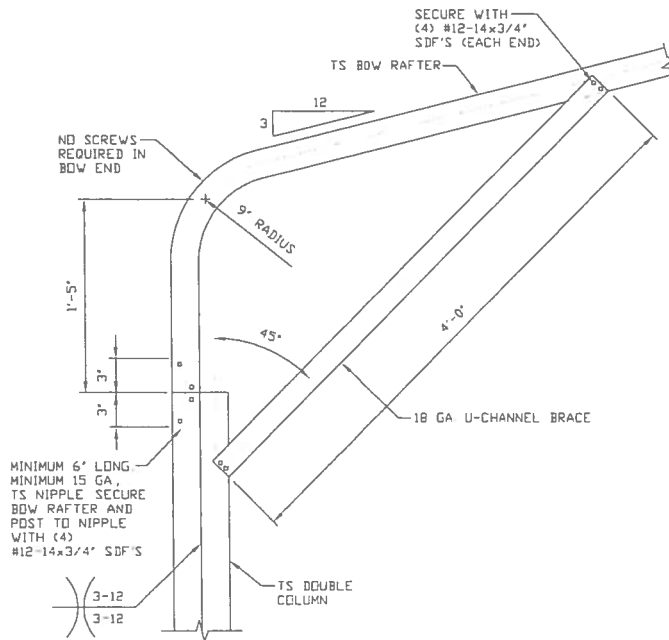
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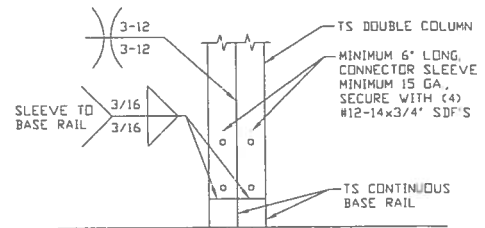
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**REV.: 4**

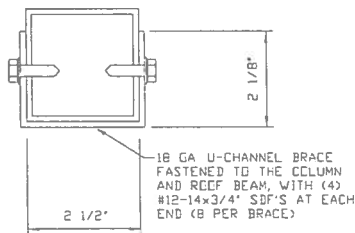
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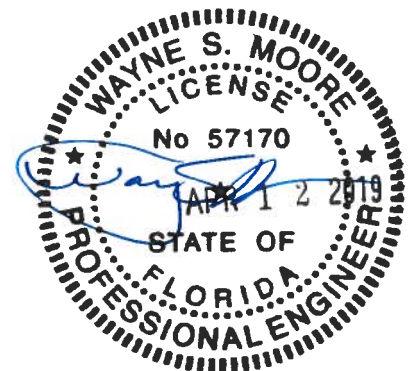
**1** BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"  
SCALE: NTS



**2** RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL  
SCALE: NTS



**BRACE SECTION**  
SCALE: NTS



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CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. BA

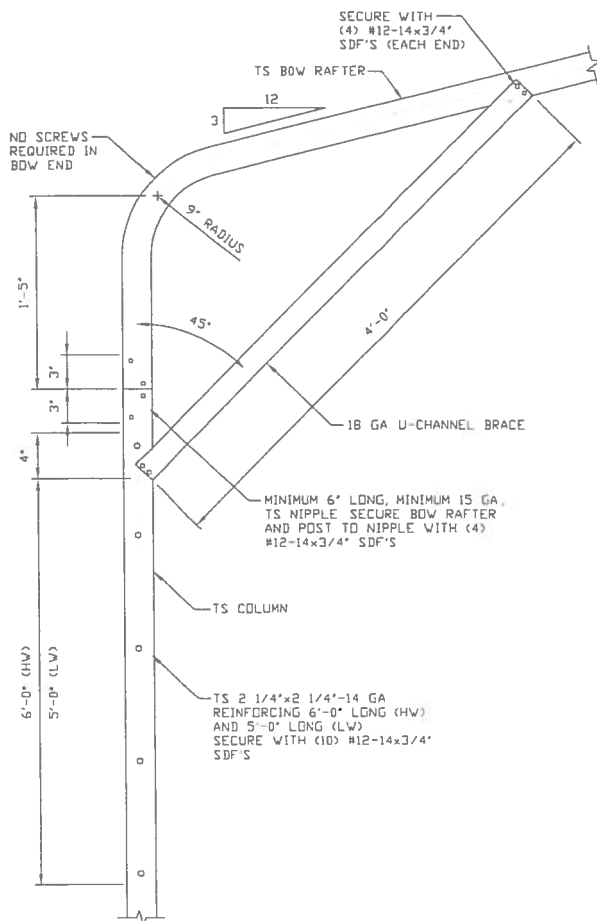
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JOB NO:  
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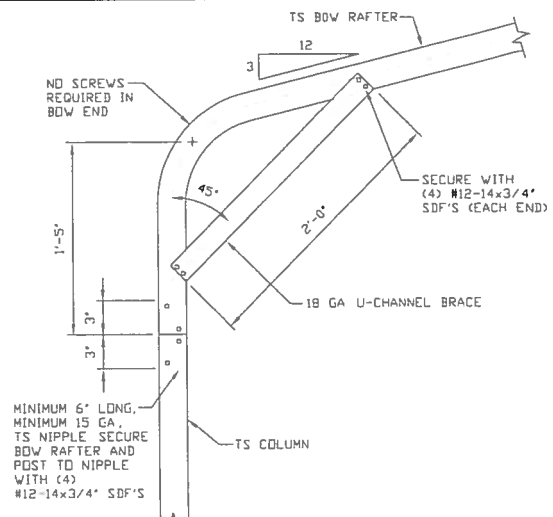
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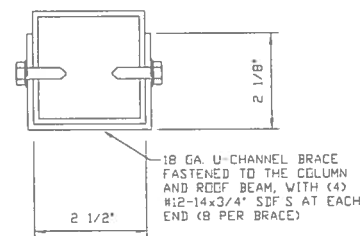
1A

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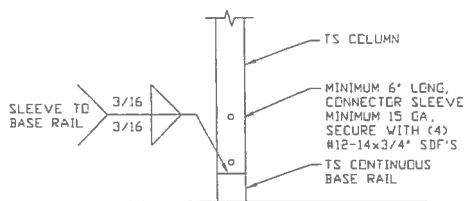


1B

**BOX EAVE RAFTER COLUMN  
CONNECTION DETAIL  
FOR HEIGHTS ≤ 10'-0"**  
SCALE: NTS

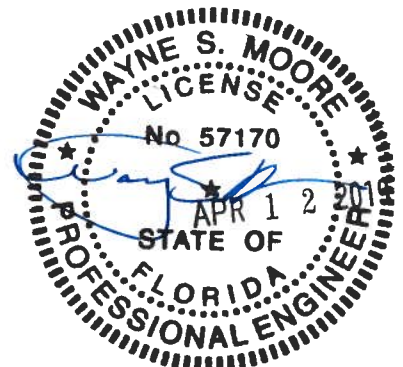


**BRACE SECTION**  
SCALE: NTS



2

**RAFTER COLUMN/BASE RAIL  
CONNECTION DETAIL**  
SCALE: NTS



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**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 8B**

**SCALE: NTS**

**DWG. NO: SK-3**

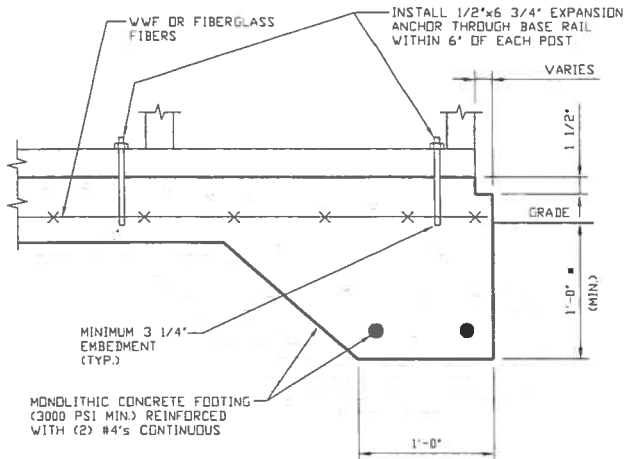
**JOB NO:  
16022S/17300S**

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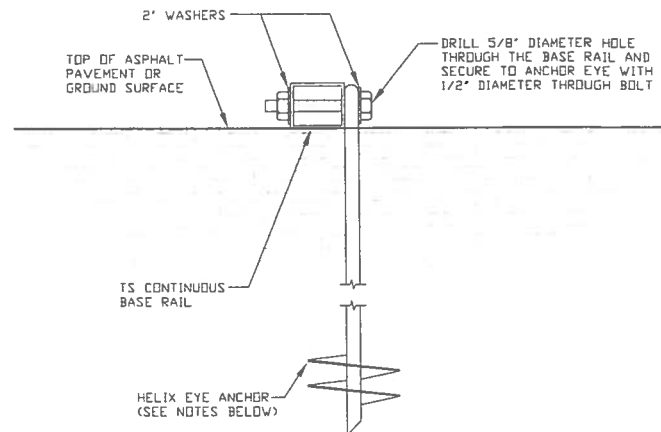
## BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED



**3A**

### **CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE**

SCALE: NTS  
(MINIMUM ANCHOR EDGE DISTANCE IS 4")  
\* COORDINATE WITH LOCAL CODES/ORD



**3B**

### **GROUND BASE HELIX ANCHORAGE**

SCALE: NTS (CAN BE USED FOR ASPHALT)

## **GENERAL NOTES**

### **CONCRETE:**

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

### **COVER OVER REINFORCING STEEL:**

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318  
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

### **REINFORCING STEEL:**

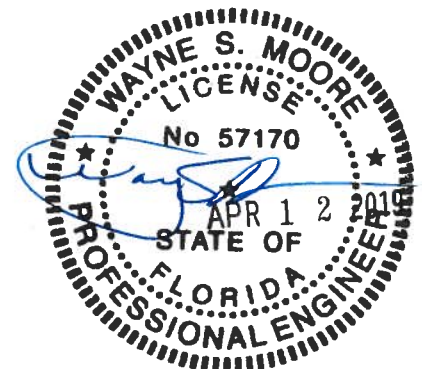
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

### **REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:**

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

### **HELIX ANCHOR NOTES:**

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4' HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4' HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4' HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6' HELICES WITH MINIMUM 50 INCH EMBEDMENT
- 5 FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8' HELICES WITH MINIMUM 60 INCH EMBEDMENT



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 9A**

**SCALE: NTS**

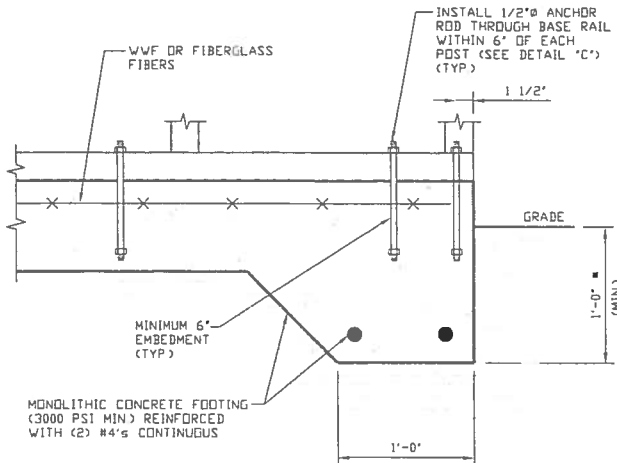
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

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## OPTIONAL FOUNDATION ANCHORAGE FOR LOW & HIGH WIND SPEED

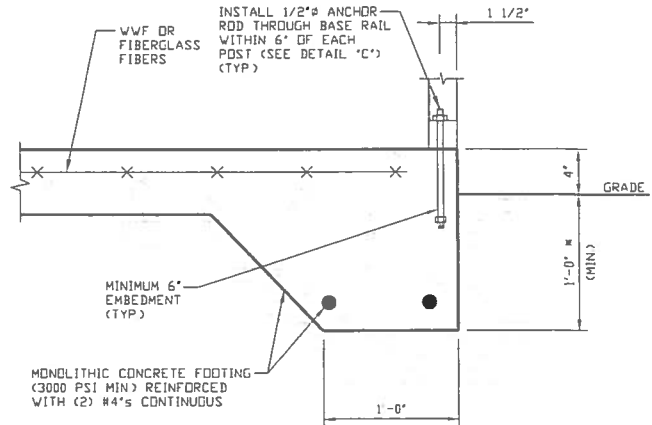


1A

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")  
\* COORDINATE WITH LOCAL CODES/ORD



1B

### CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")  
\* COORDINATE WITH LOCAL CODES/ORD

## GENERAL NOTES

### CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

### COVER OVER REINFORCING STEEL:

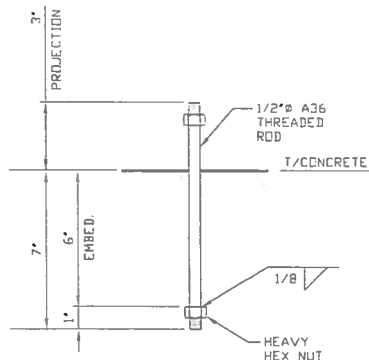
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318  
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

### REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

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1. REINFORCEMENT IS BENT COLD
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT



1C

### ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS



MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 9B

SCALE: NTS

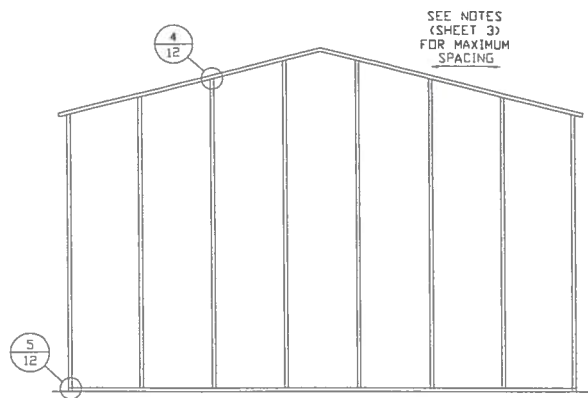
DWG. NO: SK-3

JOB NO:  
16022S/17300S

REV: 4

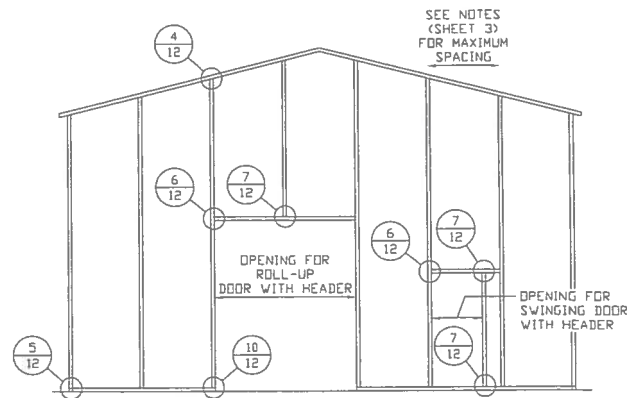
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## BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



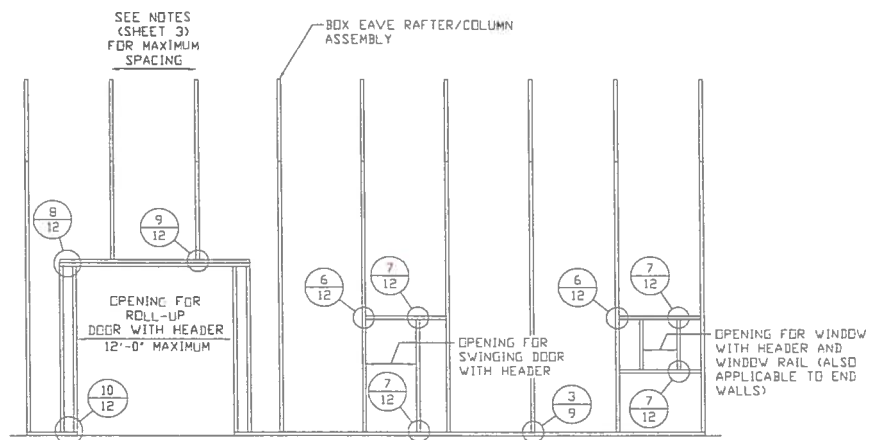
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**

SCALE: NTS



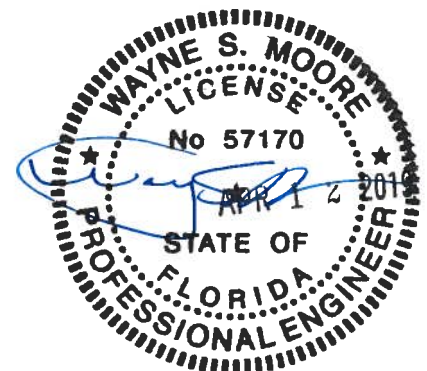
**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 10**

**SCALE: NTS**

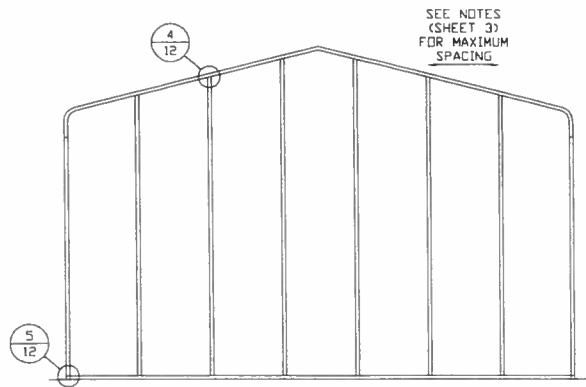
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

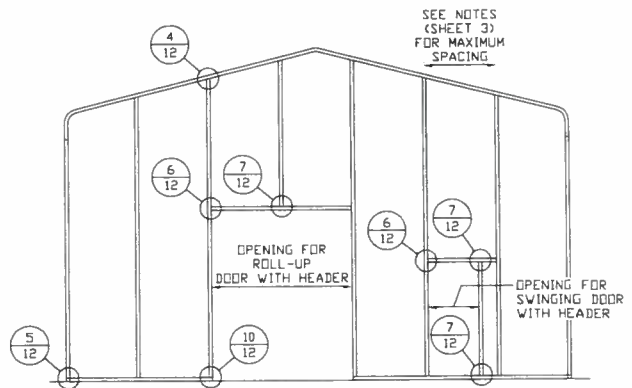
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## BOW RAFTER END WALL AND SIDE WALL OPENINGS



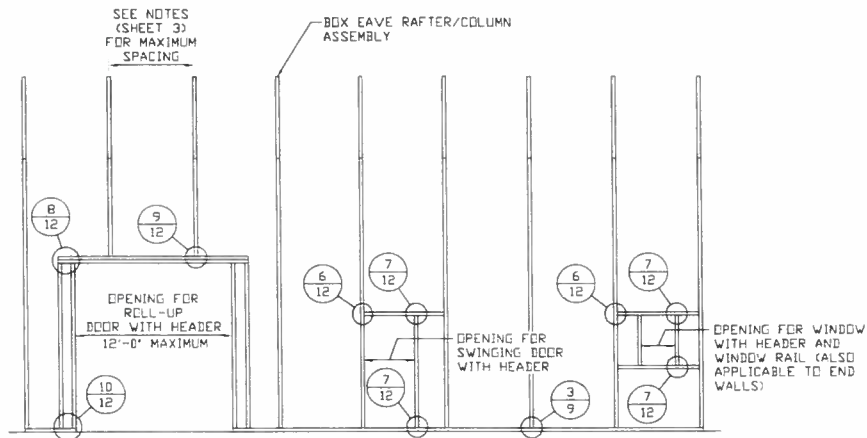
**TYPICAL BOX EAVE RAFTER  
END WALL FRAMING SECTION**

SCALE: NTS



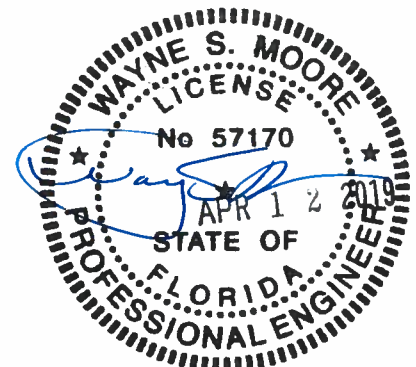
**TYPICAL BOX EAVE RAFTER END  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE  
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: WSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 11**

**SCALE: NTS**

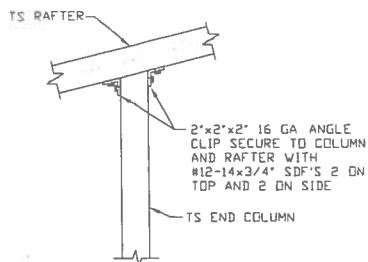
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV.: 4**

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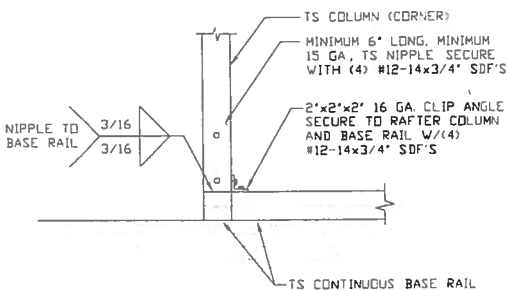
## BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



4

### END COLUMN/RAFTER CONNECTION DETAIL

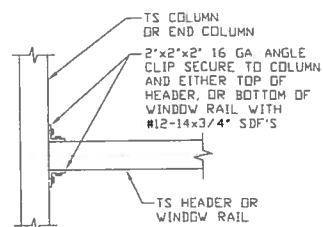
SCALE: NTS



5

### END COLUMN/BASE RAIL CONNECTION DETAIL

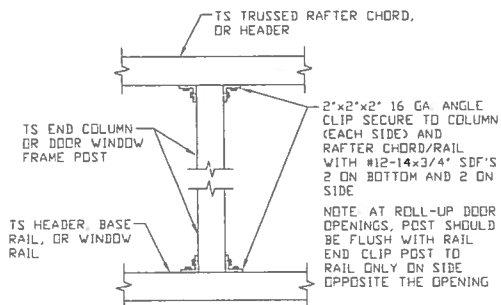
SCALE: NTS



6

### HEADER OR WINDOW RAIL TO COLUMN CONNECTION DETAIL

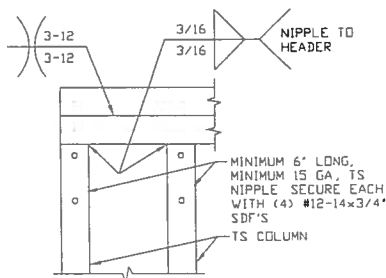
SCALE: NTS



7

### COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL

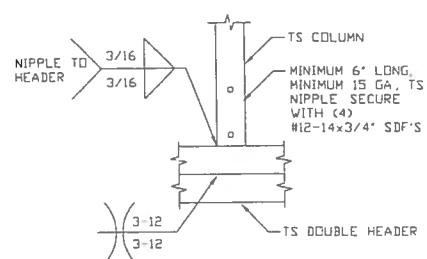
SCALE: NTS



8

### DOUBLE HEADER/COLUMN CONNECTION DETAIL

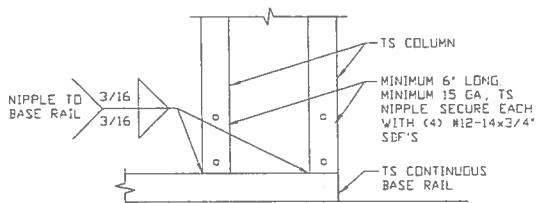
SCALE: NTS



9

### COLUMN/DOUBLE HEADER CONNECTION DETAIL

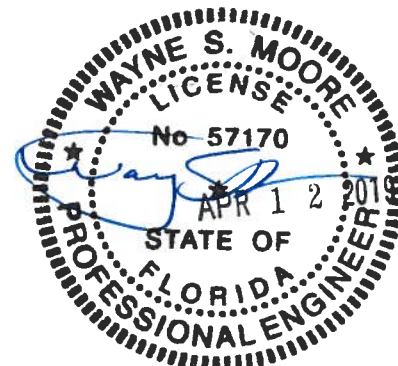
SCALE: NTS



10

### COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 12

SCALE: NTS

DWG. NO: SK-3

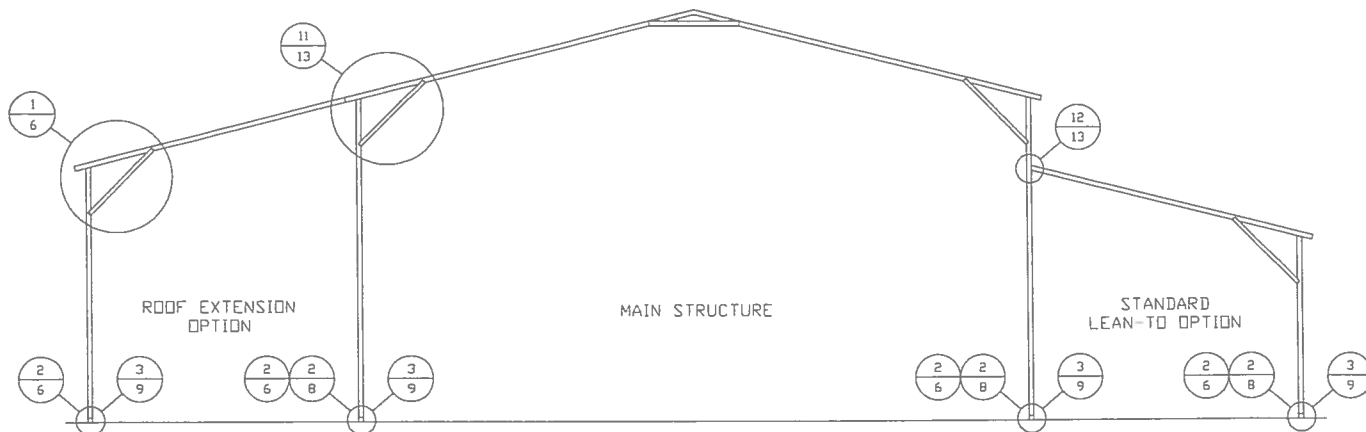
JOB NO:  
16022S/17300S

REV: 4

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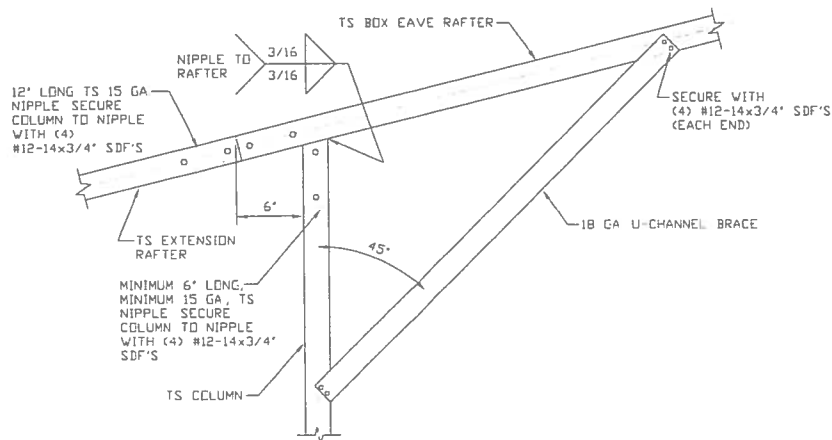
## BOX EAVE RAFTER LEAN-TO OPTIONS



**TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)**

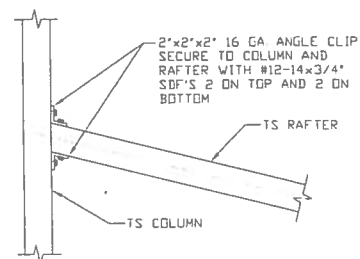
SCALE: NTS

MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0".



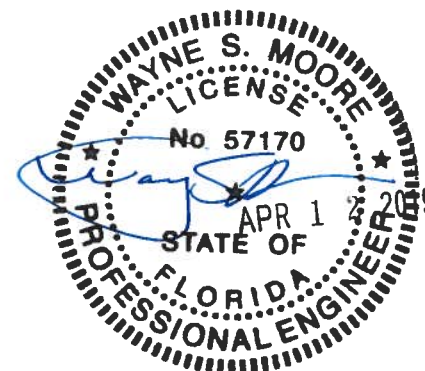
**11A SIDE EXTENSION RAFTER/COLUMN DETAIL**

SCALE: NTS



**12 LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDM

PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS**  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 13

SCALE: NTS

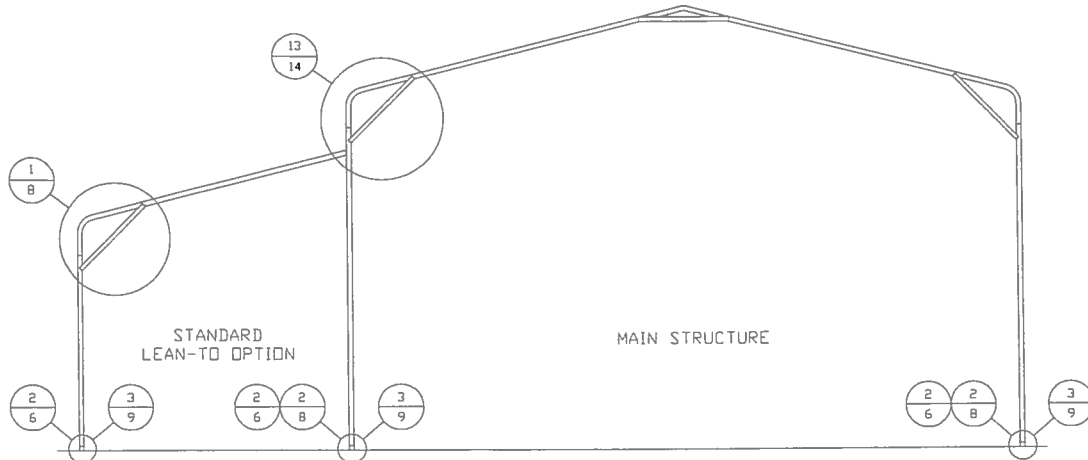
DWG. NO: SK-3

JOB NO:  
16022S/17300S

REV: 4

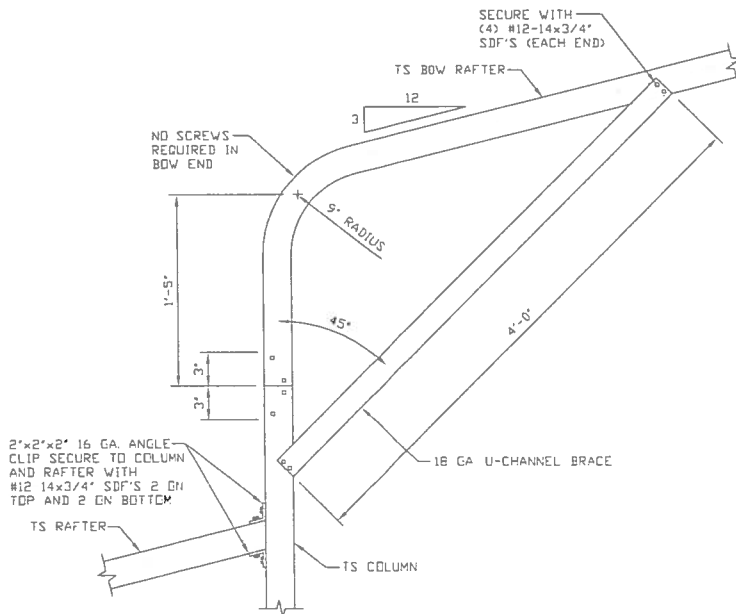
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## BOW RAFTER LEAN-TO OPTIONS



**TYPICAL BOW RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)**

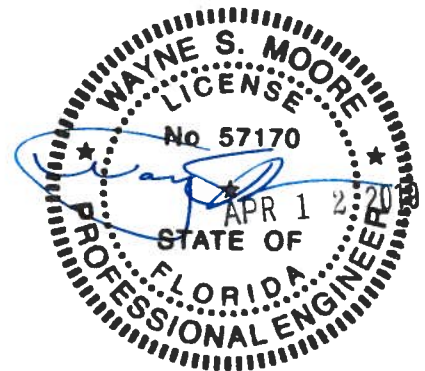
SCALE: NTS  
MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0".



13

**SIDE EXTENSION RAFTER/COLUMN DETAIL**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 14

SCALE: NTS

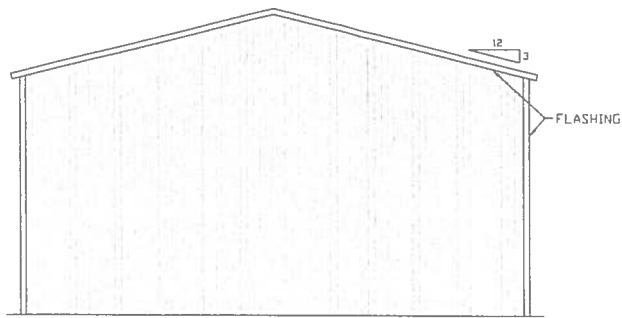
DWG. NO: SK-3

JOB NO:  
16022S/17300S

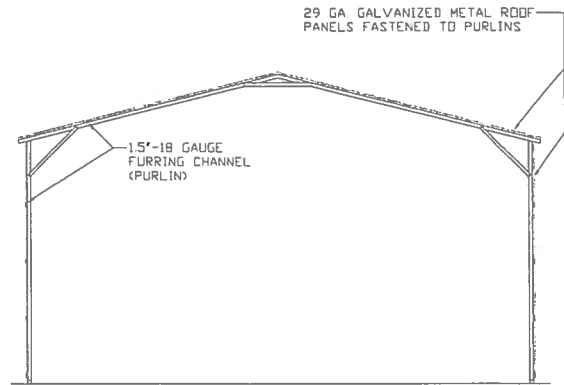
REV: 4

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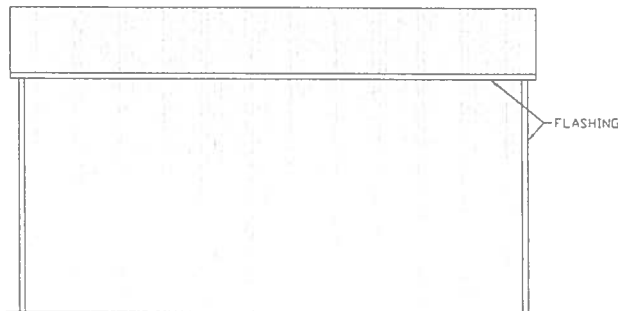
## BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



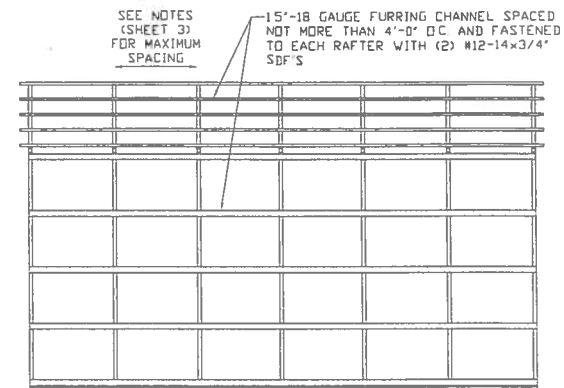
**TYPICAL END ELEVATION  
VERTICAL ROOF/SIDING OPTION**  
SCALE: NTS



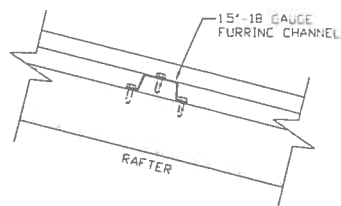
**TYPICAL SECTION VERTICAL  
ROOF/SIDING OPTION**  
SCALE: NTS



**TYPICAL SIDE ELEVATION  
VERTICAL ROOF/SIDING OPTION**  
SCALE: NTS



**TYPICAL FRAMING SECTION  
VERTICAL ROOF/SIDING OPTION**  
SCALE: NTS



**ROOF PANEL ATTACHMENT**  
(ALTERNATE FOR VERTICAL ROOF PANELS)  
SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: VSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 15**

**SCALE: NTS**

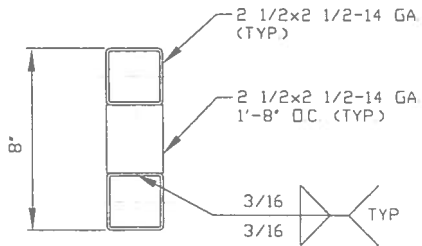
**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

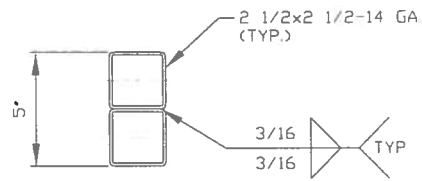
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## OPTIONAL DOOR HEADER



**HEADER DETAIL FOR DOOR  
OPENINGS 12'-0" < LENGTH ≤ 15'-0"**

SCALE: NTS



**HEADER DETAIL FOR DOOR  
OPENINGS LENGTH ≤ 12'-0"**

SCALE: NTS



**MOORE AND ASSOCIATES  
ENGINEERING AND CONSULTING, INC.**

**DRAWN BY: LT**

**CHECKED BY: PDH**

**PROJECT MGR: VSM**

**CLIENT: TBS**

**TUBULAR BUILDING SYSTEMS  
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

**DATE: 12-18-17**

**SHT. 16**

**SCALE: NTS**

**DWG. NO: SK-3**

**JOB NO:  
16022S/17300S**

**REV: 4**

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## **Florida Product Approval Codes**

### **Roll-Up Doors:**

Janus International Corporation Model 3652: 14425.1

EXP 12/31/2019

Janus International Corporation Model 750: 21450.8

EXP 12/31/2019

### **Walk-In Door:**

Elixir Door & Metal Company blank (no window): 17996.5

EXP 9/14/2020

### **Roof Deck:**

Capital Metal Supply Inc. Ag Panel: 20147.1

EXP 07/20/2020

### **Wall Panel:**

Capital Metal Supply Inc. Ag Panel: 20148.1

EXP 07/20/2020

If you have any questions or concern, please contact Donald Little at  
386-961-0006 or at [tubularbuildingsystems@gmail.com](mailto:tubularbuildingsystems@gmail.com).



Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches

60'7"

Basic Building  
Dimension  
to outside of Base Rail

60'

BUILDING SLAB

See Corner  
Detail Sheet 3

Building  
Base Rail

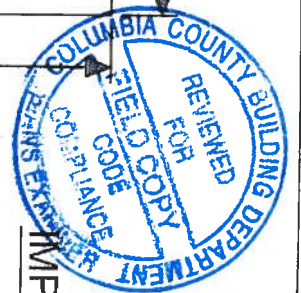
3-1/2" wide x 1-1/2" high Notch  
in Concrete outside  
of basic building  
dimensions

Basic Building  
Dimension  
to outside of Base Rail

30'

Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches

30'7"



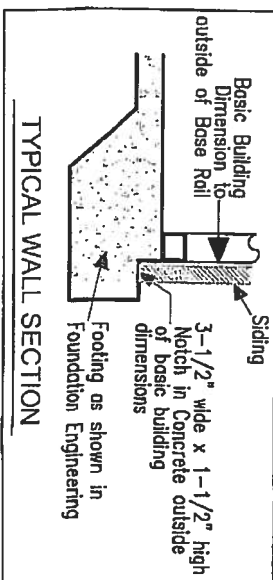
IMPORTANT - NOTES

Record Measurements  
in these spaces provided

All basic building dimensions  
are to the outside of the  
frame Base Rail and DO NOT  
INCLUDE the 3-1/2" x 1-1/2"  
notch in the concrete footing

See Sheet 3 of 3  
for Detail of Building  
corner configuration

TYPICAL WALL SECTION



TYPICAL BUILDING  
FOUNDATION MEASUREMENTS

SHEET 1 of 3

Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches

60'7"

Basic Building  
Dimension  
to outside of Base Rail

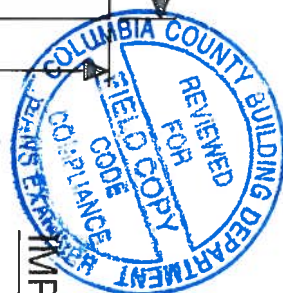
60'

BUILDING SLAB

30'  
Basic Building  
Dimension  
to outside of Base Rail

30'7"

Outside measurement of foundation  
Equals Basic Building Dimension  
plus Seven (7) inches



## IMPORTANT - NOTES

Record Measurements  
in these spaces provided

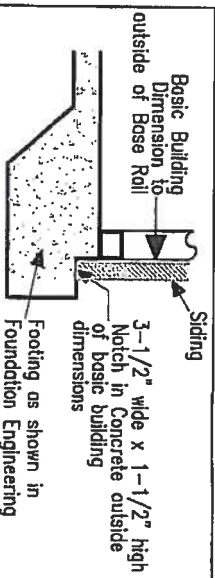
All basic building dimensions  
are to the outside of the  
frame Base Rail and DO NOT  
INCLUDE the 3-1/2" x 1-1/2"  
notch in the concrete footing

See Sheet 3 of 3  
for Detail of Building  
corner configuration

Building  
Base Rail

See Corner  
Detail Sheet 3

3-1/2" wide x 1-1/2" high Notch  
in Concrete outside  
of basic building  
dimensions



TYPICAL WALL SECTION



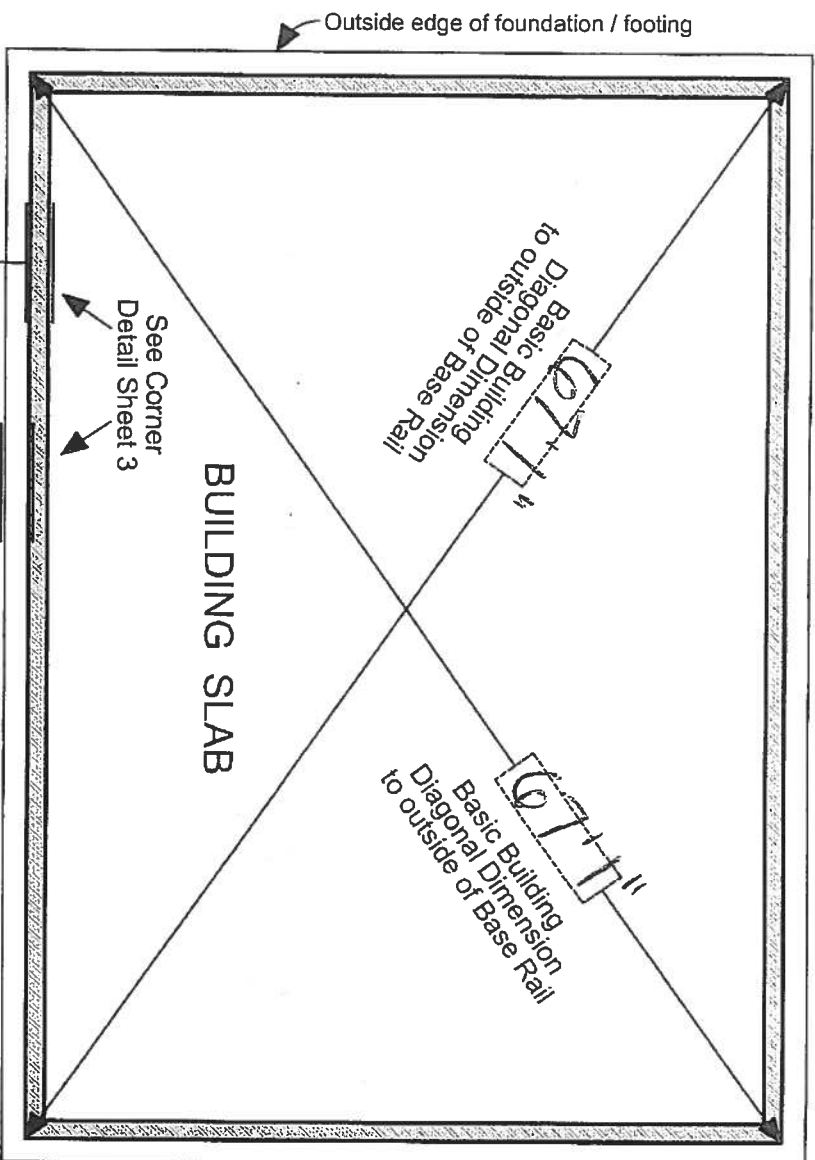
## TYPICAL BUILDING FOUNDATION MEASUREMENTS

## IMPORTANT - NOTES

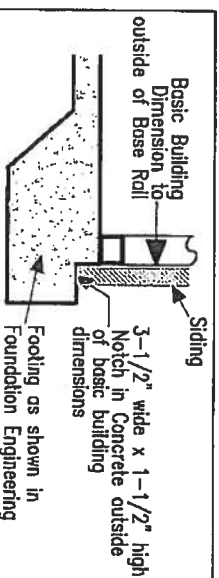
Record Measurements  
in these spaces provided

All basic building diagonal dimensions  
are to the outside corner of the  
frame Base Rail and DO NOT  
INCLUDE the 3-1/2" x 1-1/2"  
notch in the concrete footing

See Sheet 3 of 3  
for Detail of Building  
corner configuration



3-1/2" wide x 1-1/2" high Notch  
in Concrete outside  
of basic building  
dimensions



TYPICAL WALL SECTION



## TYPICAL BUILDING FOUNDATION MEASUREMENTS DIAGONALS