

DATE 10/18/2004

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022401

APPLICANT AMY NORMAN

PHONE 754-6737

ADDRESS 3882 W US HIGHWAY 90

LAKE CITY

FL 32055

OWNER MATHEW SAPONARA

PHONE 863 581-6087

ADDRESS 514 SW NEWTON CIRCLE

FT. WHITE

FL 32038

CONTRACTOR WILLIAM ROYALS

PHONE 754-6737

LOCATION OF PROPERTY 41S, PAST OLENO PARK, TL ON HIGHWAY 18, TR ON 131, TR ON

SW NEWTON CIRCLE, CRNER OF SW NEWTON CIRCLE

TYPE DEVELOPMENT MH, UTILITY

ESTIMATED COST OF CONSTRUCTION .00

HEATED FLOOR AREA

TOTAL AREA

HEIGHT .00

STORIES

FOUNDATION

WALLS

ROOF PITCH

FLOOR

LAND USE & ZONING A-3

MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 30.00

REAR 25.00

SIDE 25.00

NO. EX.D.U. 0

FLOOD ZONE

X

DEVELOPMENT PERMIT NO.

PARCEL ID 08-6S-17-09626-132

SUBDIVISION TUSKENUGGEE

LOT 32

BLOCK

PHASE

UNIT

TOTAL ACRES 4.02

IH0000127

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING

04-1001

BK

RK

Y

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 21529

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

date/app. by

date/app. by

date/app. by

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

date/app. by

date/app. by

Framing

Rough-in plumbing above slab and below wood floor

date/app. by

date/app. by

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

date/app. by

date/app. by

date/app. by

Permanent power

C.O. Final

Culvert

date/app. by

date/app. by

date/app. by

M/H tie downs, blocking, electricity and plumbing

date/app. by

Pool

date/app. by

Reconnection

Pump pole

Utility Pole

date/app. by

date/app. by

date/app. by

M/H Pole

Travel Trailer

Re-roof

date/app. by

date/app. by

date/app. by

BUILDING PERMIT FEE \$.00

CERTIFICATION FEE \$.00

SURCHARGE FEE \$.00

MISC. FEES \$ 200.00

ZONING CERT. FEE \$ 50.00

FIRE FEE \$ 68.00

WASTE FEE \$ 147.00

FLOOD ZONE DEVELOPMENT FEE \$

CULVERT FEE \$

TOTAL FEE 465.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

For Office Use Only
Zoning Official 12-110-01 By G Permit # 22401 10-13-04
AP# 0410-23 Date Received 8 Land Use Plan Map Category A-3
Flood Zone X Development Permit N/A Zoning A-3
Comments Talked to owner concerning placement of MH as there was standing water on property as of 5 October 04.
-(Signed SITE plan needed/EH) - (list)
☒ Site Plan with Setbacks shown ☒ Environmental Health Signed Site Plan ☒ Env. Health Release
☒ Need a Culvert Permit ☒ Need a Waiver Permit ☒ Well letter provided ☒ Existing Well

Property ID 08-65-17-09626-132 Must have a copy of the property deed
New Mobile Home ☒ Used Mobile Home _____ Year 2004
Subdivision Information LOT 32 Tuskenugger Sub Division
Applicant Danny Herring Phone # 386-754-6737
Address 3882 W US Hwy 90 Lake City, FL 32055
Name of Property Owner Mathew Saponara Phone# 863-581-6087
911 Address 514 SW Newton Cir Fort White FL 32038
Name of Owner of Mobile Home Feresa or Mathew Saponara Phone # 813-759-9363
Address 1511 Paddock Dr. Plant City FL 33566
Relationship to Property Owner Same
Current Number of Dwellings on Property 0
Lot Size _____ Total Acreage 4.02
Explain the current driveway exists
Driving Directions I 75 (N) to Alachua 41/441 (N) (TR) to High Spgs. Continue on 41/441 past Oleno Park 1/2 mi. (TL) on Hwy 18 go 2.3 mi. (TR) 131 3.3 mi. Tuskenugger Hills Drive to corner of 2nd road on Right Lot 32
Is this Mobile Home Replacing an Existing Mobile home NO
Name of Licensed Dealer/Installer William E. Roberts Phone # 386-754-6737
Installers Address 3882 W US Hwy 90 Lake City, FL 32055
License Number IH0000127 Installation Decal # 227114

called Amy for 10-13-04 1130

PERMIT NUMBER

PERMIT WORKSHEET

page 2 of 2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1000 psf or check here to declare 1000 lb. soil without testing.

x 1000 x 1000 x 1000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1000 x 1000 x 1000

TORQUE PROBE TEST

The results of the torque probe test is inch pounds or check here if you are declaring 5' anchors without testing . A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A slate approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

William E Rogers

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 38

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 40

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 40

Site Preparation

Debris and organic material removed ✓
Water drainage: Natural ✓ Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: lag Length: 6" Spacing: Max 24" OC
Walls: Type Fastener: lag Length: 6" Spacing: 18" O.C.
Roof: Type Fastener: lag Length: 6" Spacing: Max 24" OC
For used homes: a min. 30 gauge, .08" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

WER

Installed:

Type gasket foam pad

Pg. 38

Between Floors Yes ✓
Between Walls Yes ✓
Bottom of ridgebeam Yes ✓

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ✓ Pg. 12
Siding on units is installed to manufacturer's specifications. Yes ✓
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ✓

Miscellaneous

Skirting to be installed. Yes ✓ No
Dryer vent installed outside of skirting. Yes ✓ N/A
Range downflow vent installed outside of skirting. Yes ✓ N/A ✓
Drain lines supported at 4 foot intervals. Yes ✓
Electrical crossovers protected. Yes ✓
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

William E Rogers Date

PERMIT WORKSHEET

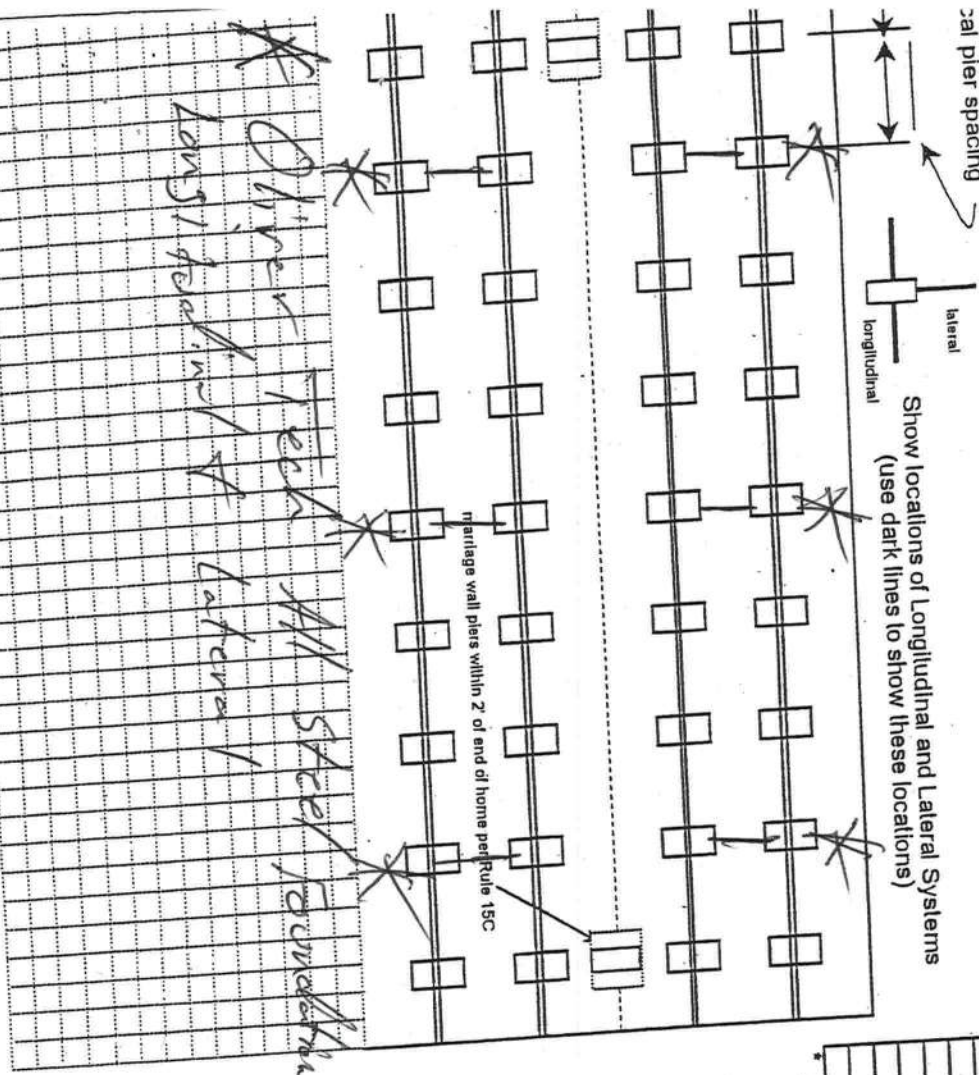
MIT NUMBER

William E Reynolds License # IH 0000127

Address of home installed

Manufacturer Herter Length x width 64 x 28

NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home. Understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall lies exceed 5 ft 4 in. Installer's initials MGR



New Home ☒ Used Home ☐
Home installed to the Manufacturer's Installation Manual
Home is installed in accordance with Rule 15-C
Single wide ☐ Wind Zone II ☒ Wind Zone III ☐
Double wide ☒ Installation Decal # 227114
Triple/Quad ☐ Serial # 4181117

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	Footer size (256)	18" x 18" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

PIER PAD SIZES

I-beam pier pad size 12 x 22
Perimeter pier pad size 16 x 16

POPULAR PAD SIZES

Pad Size	Sq. in
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

Other pier pad sizes (required by the mfg.)
Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

ANCHORS

4 ft 5 ft Shewen's

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer Oliver

Sidewall Longitudinal Marriage wall Shearwall

There is a difference at

ROYALS MOBILE HOMES

SALES & SERVICE

within 2'

60' Box

within 2'

within 2'

Customer

Saponaia

1000 P.S.I

Preis 5'0" on Center

17x22 ABS Footers

4' Anchors

5'4" on Center

Driver Tee

ALL Steel Foundation

Model 1100

Williams & Sons

Prepared by and return to:
Sherry Hice, Stokes-Nassau, Inc.,
551 Baymeadows Road, Suite 4
Jacksonville, FL 32256

WARRANTY DEED
(Corporate)

BK 0865 PG 0752

THIS INDENTURE, Made this 27th day of August, 1998, between
STOKES-NASSAU, INC., a Florida corporation, Grantor, whose mailing address is
9551 Baymeadows Road, Suite 4, Jacksonville, FL 32256, Grantor, and MATHEW P.
SAPONARA and TERESA A. SAPONARA, his wife, Grantee, whose mailing address is
610 Royal Palm Way, Davie, FL 33325,

WITNESSETH: That the said Grantor, for and in consideration of the sum of
Ten Dollars (\$10.00) and other valuable consideration, to it in hand paid by
the said Grantee, the receipt whereof is hereby acknowledged, has granted,
bargained and sold to the said Grantee, their heirs and assigns forever, the
following described land, situate, lying and being in the County of Columbia,
State of Florida, to-wit:

Lot 32, TUSTENUGGEE HILLS, a subdivision as per plat thereof
recorded in Plat Book 5, pages 140 and 140A of the public records
of Columbia County, Florida;

Subject to easements and restrictions of record, if any, and taxes
for the year 1989 and subsequent years.

RE #: 08-6S-17-09626-132

And the said Grantor does hereby fully warrant the title to said land, and will
defend the same against the lawful claims of all persons whomsoever.

THIS DEED IS GIVEN upon fulfillment of that certain Agreement for Deed
dated the 20th day of May, 1989, recorded in Official Records Book 697, page
637, of the public records of Columbia County, Florida, between Stokes-Nassau,
Inc., as Seller and Mathew P. Saponara and Teresa A. Saponara, his wife, as
Buyer.

IN WITNESS WHEREOF, the said Grantor has caused this instrument to be
executed in its name by its Vice President and caused its Corporate Seal to be
hereto affixed the day and year first above written.

Signed, sealed and delivered
in the presence of:

JoAnn McLeod

Sherry Hice
Sherry Hice

STOKES-NASSAU, INC.

By: Sharon W. Fredenhagen
Sharon W. Fredenhagen
Vice President

(CORPORATE
SEAL)

STATE OF FLORIDA

COUNTY OF DUVAL

The foregoing instrument was acknowledged before me this 27th day of
August, 1998, by Sharon W. Fredenhagen, as Vice President of Stokes-
Nassau, Inc., a Florida corporation, on behalf of the corporation. She is
personally known to me, and did not take an oath.

Sherry Hice
Sherry Hice
Notary Public, State of Florida

(SEAL)

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL

1998 SEP -1 PM 1:27

RECORD VERIFIED
P. DeWitt Cason
CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA
BY MCK D.C.



Sherry Hice
MY COMMISSION # CC625829 EXPIRES
March 30, 2000
BONDED THRU TROY FAIN INSURANCE, INC.

98-14214

Documentary Stamp
Intangible Tax \$ 91.00
P. DeWitt Cason
Clerk of Court
By MCK D.C.



ROYALS MOBILE HOME SALES
386/754-6737 FAX 386/758-7764
PROPERTY LOCATOR

Cell 863-581-6087
Cell 813-928-7465
Matt
Teresa

Customer Saponara

Telephone (813) 759-9363

Make Horton

Model 1501

Serial# _____

Size 27X60

DOP _____

Physical
Address _____

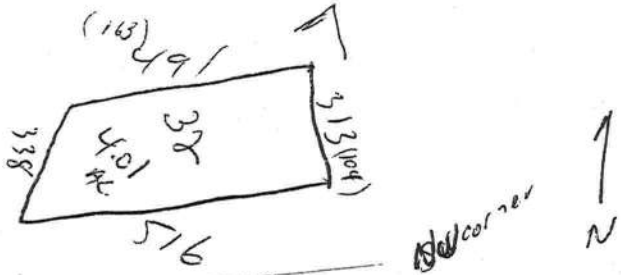
Mailing Address

1511 Paddock Dr.
Plant City, FL 33564

I75 (N) to Alachua 41/441^{exit} (R) to Highways.
to 41 past Oleno State Park approx 1/2 mile (L)
on Hwy 18 approx 2.3 miles (R) onto 131 approx
3.3 miles to Tustenuggee Hills Drive
Land is on the corner of 2nd Rd. on
right. Lot 32

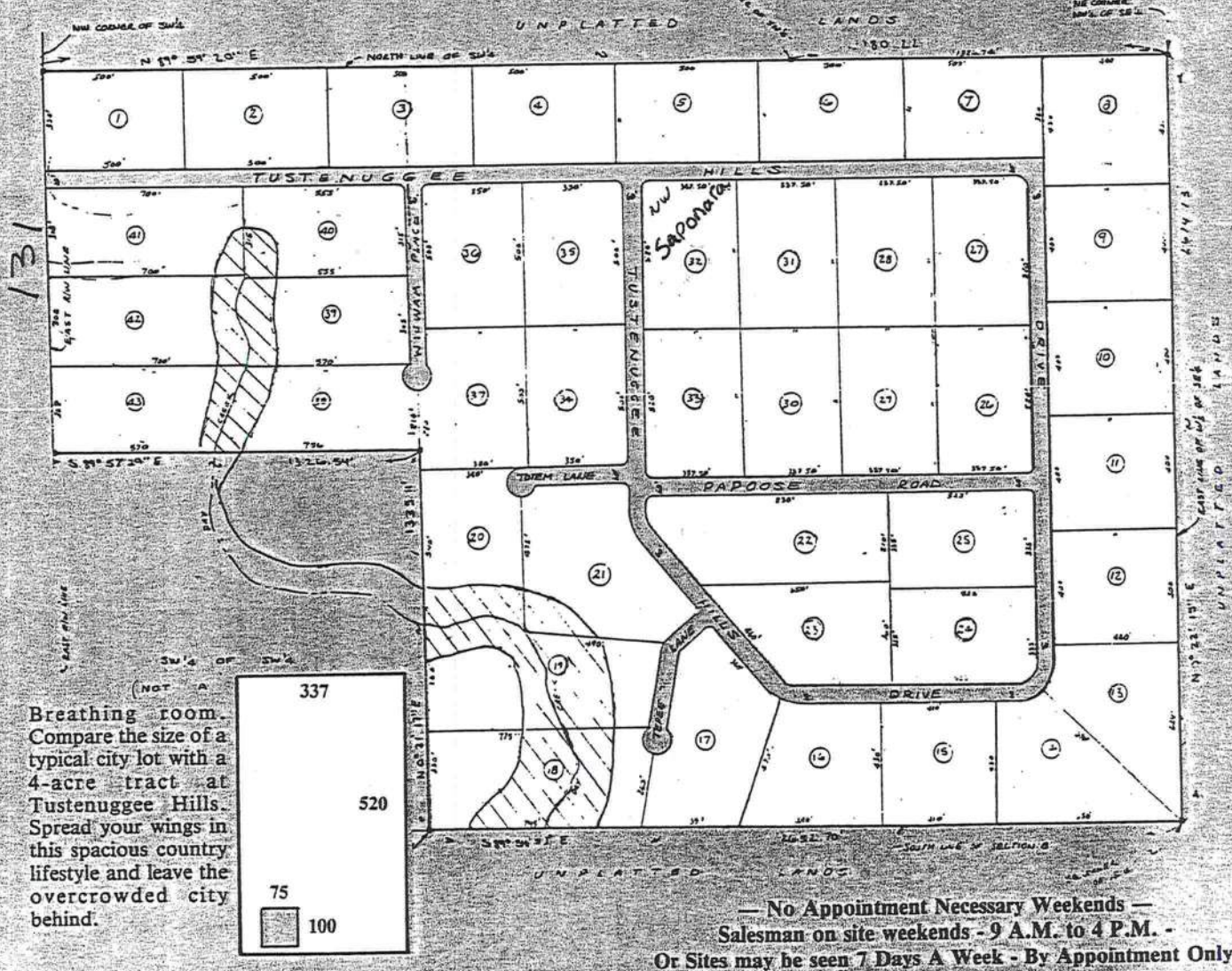
- 1.) Exterior Vinyl _____
- 2.) Shutters _____
- 3.) Carpet _____
- 4.) Floor Vinyl# _____
- 5.) Shingles _____
- 6.) Wall Board _____

Address Correction Requested



LARGE 4-ACRE WOODED FARM, RANCH & VACATION HOMESTEADS

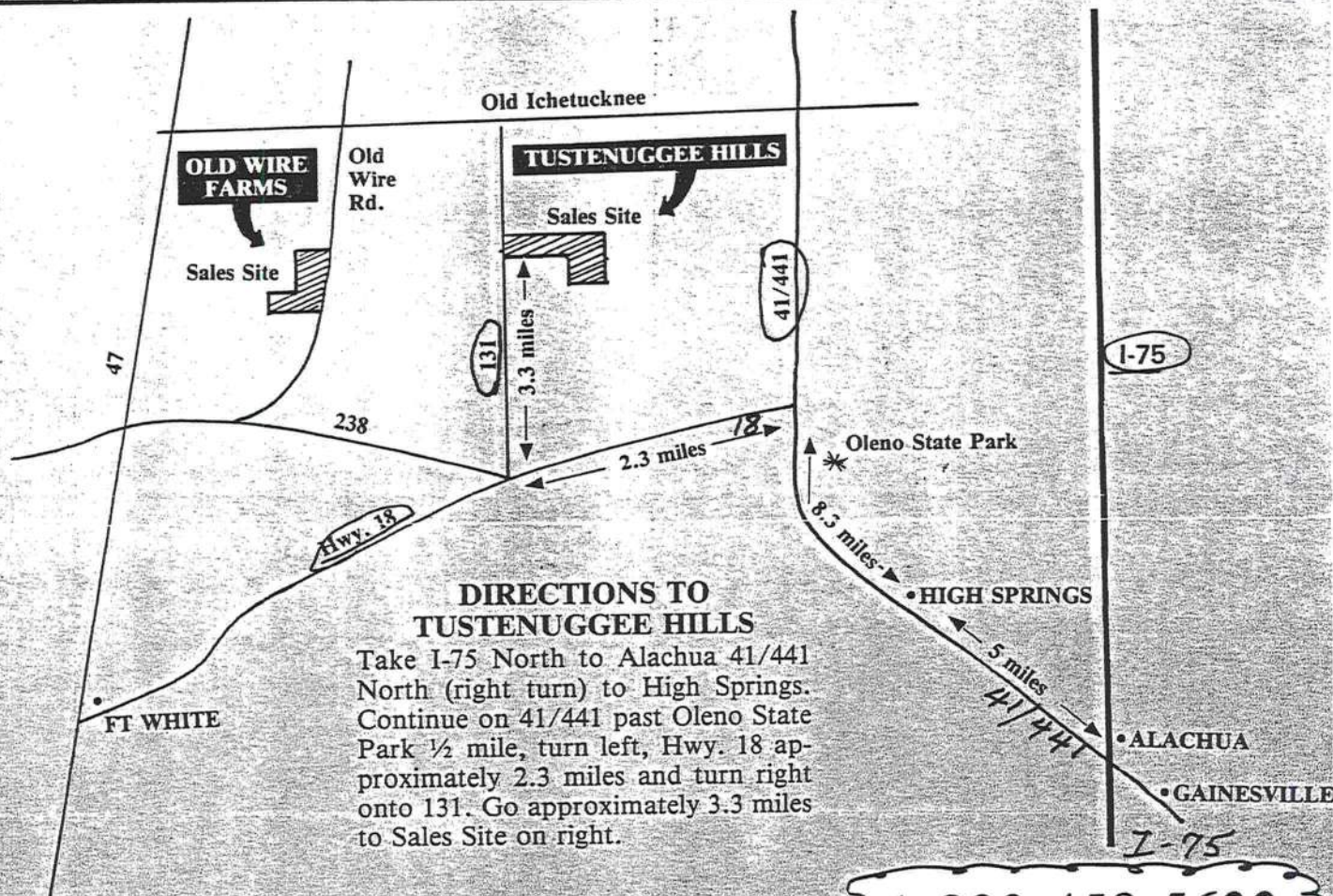
From \$295 Down -\$139 Monthly



From \$10,995

* \$295 Down

* \$139 Month



CALL TODAY TOLL FREE

1-800-458-5633



Stokes & Company Realty Group, Inc.

Approximate Mileage

from

TUSTENUGGEE HILLS

Lake City	12 miles
Gainesville	29 miles
High Springs	15 miles
Ichetucknee State Park	8 miles
Oleno State Park	7 miles
I-75	5 miles
Fort White	8 miles

EVERY TRACT GUARANTEED BUILDABLE

Owner Financed - No prepayment penalty.

All Tracts front on county owned or private roads. All Farm tracts contain a minimum of 4.01 acres. Numerous nearby cities fulfill shopping, educational, recreational and medical needs.

TUSTENUGGEE HILLS

Purchase Price	Down	Monthly	Years (approx)
\$10,995	\$295	\$139	15
\$11,995	\$495	\$149	15
\$12,995	\$495	\$165	15
\$13,995	\$495	\$175	15

At these low prices indications are all Farm Tracts will be sold shortly. Due to limited quantity, sales will be on a first come, first sale basis. Customers must inspect land before buying.

RON E. BIAS WELL DRILLING

RT.2 BOX 5340

FT. WHITE, FLORIDA 32038

(904) 497-1045

MOBILE: 364-9233

TO: Columbia County Building Department

Description of well to be installed for Customer: Matt Sampinera

Located at Address: Tustenuggee Rd

1 hp - 1 1/2" drop over 86 gallon tank, 250 gallon equivalent captive with back flow preventer. 35-gallon draw down with check valve pass requirements.

Ron E. Bias
Ron Bias

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949
PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: October 8, 2004

ENHANCED 9-1-1 ADDRESS:

514 SW NEWTON CIR (FORT WHITE, FL 32038)

Addressed Location 911 Phone Number: NOT AVAIL.

OCCUPANT NAME: NOT AVAIL.

OCCUPANT CURRENT MAILING ADDRESS: _____

PROPERTY APPRAISER MAP SHEET NUMBER: 103

PROPERTY APPRAISER PARCEL NUMBER: 08-6S-17-09626-132

Other Contact Phone Number (If any): _____

Building Permit Number (If known): _____

Remarks: LOT 32 TUSTENUGGEE HILLS S/D

Address Issued By: _____

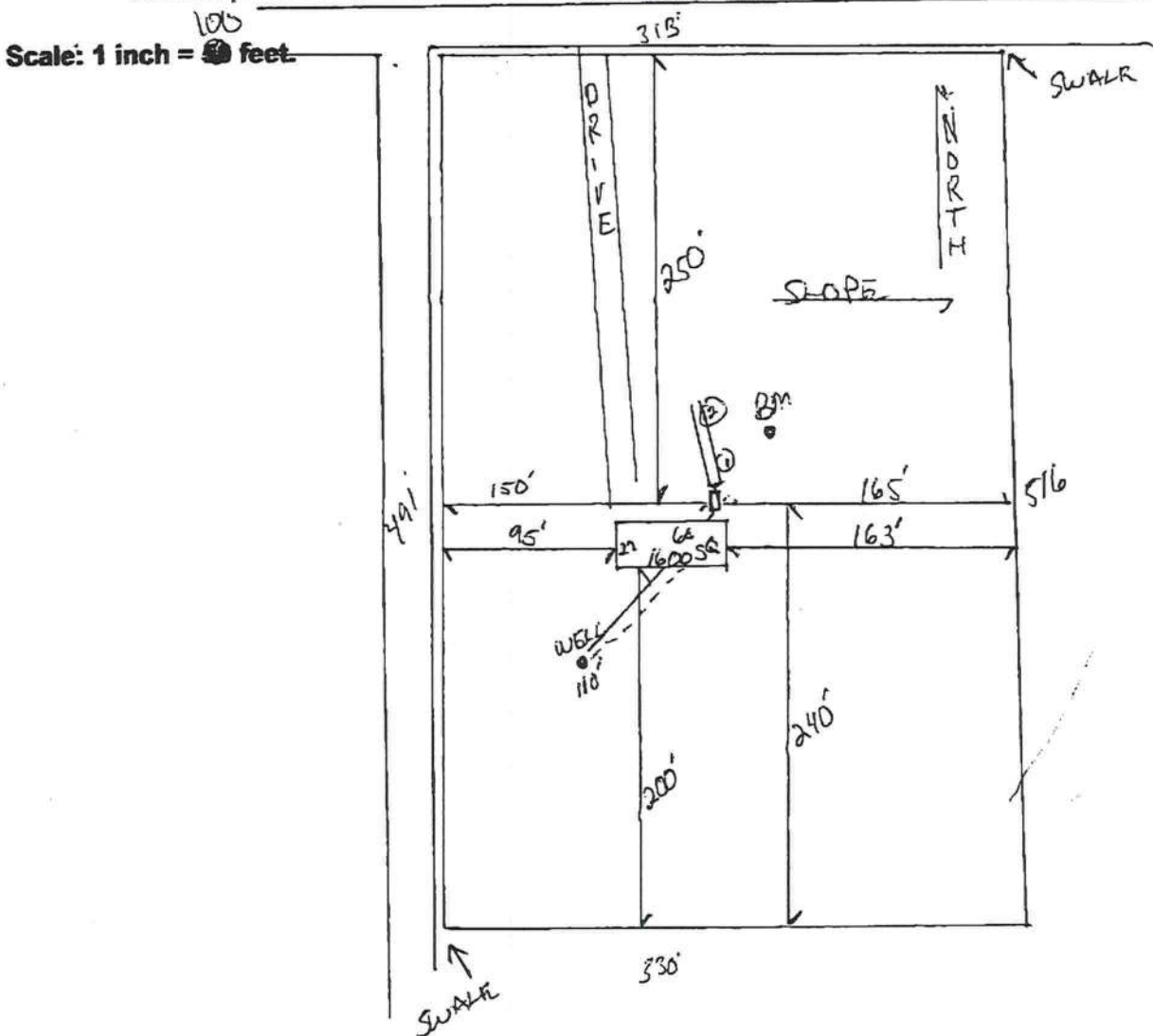
Columbia County 9-1-1 Addressing Department

COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

PART II - SITEPLAN



Notes: _____

Site Plan submitted by: Rocky D. F. O. Master Contractor
Plan Approved _____ Not Approved _____ Date _____
By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

04/10-23

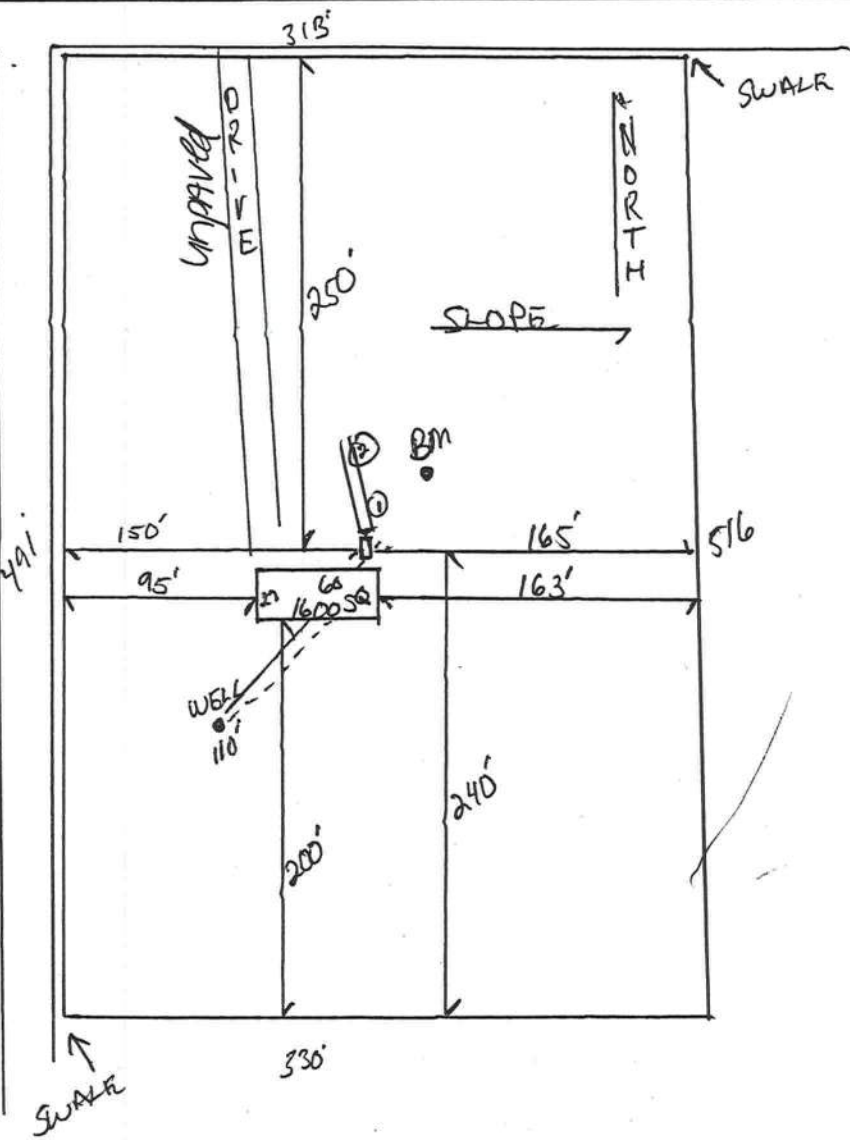


STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 04-1001

PART II - SITEPLAN

Scale: 1 inch = ¹⁰⁰~~50~~ feet



Notes:

Site Plan submitted by: Rocky D F Master Contractor
Plan Approved ☒ Not Approved ☐ Date 10-19-04
By Sallie A. Graddy-ESI-COLUMBIA County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

RECEIVED
11/20/04

COLUMBIA COUNTY
FLORIDA

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 08-6S-17-09626-132

Building permit No. 000022401

Permit Holder WILLIAM ROYALS

Owner of Building MATHEW SAPONARA

Location: 514 SW NEWTON CIRCLE

Date: 11/01/2004



Henry Decker

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)