

CK# 40110

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

✓ SERIAL #

For Office Use Only

(Revised 7-1-15)

Zoning Official TM

Building Official TM 12/29/17

AP#

1712-66

Date Received

12/22

By

JW

Permit #

36212

Flood Zone

X

Development Permit

Zoning

A-3

Land Use Plan Map Category

A8

Comments

Legal lot of record

FEMA Map#

Elevation

Finished Floor

1 inch

River

In Floodway

☒ Recorded Deed or ☐ Property Appraiser PO ☒ Site Plan ☒ VEH # 17-0801N ☐ Well letter OR

☐ Existing well ☐ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid

☐ DOT Approval ☐ Parent Parcel # ☐ STUP-MH ☒ 911 App

☐ Ellisville Water Sys ☒ Assessment owed ☐ Out County ☐ In County ☒ Sub VF Form

Property ID # 20-45-17-08624-003

Subdivision

N/A

Lot#

▪ New Mobile Home ☒ Used Mobile Home ☐ MH Size 32x72 Year 2017

▪ Applicant PAUL BARNEY Phone # 386-209-0906

▪ Address 466 S.W. DEP J. DAVIS LN, LAKE CITY, FL, 32024

▪ Name of Property Owner FRED GORDON JR Lillie Mae Phone # 352-360-8568

✓ 911 Address 253 S.W. JONES TERR, LAKE CITY, FL 32025

▪ Circle the correct power company - FL Power & Light - Clay Electric  
(Circle One) - Suwannee Valley Electric - Duke Energy

▪ Name of Owner of Mobile Home FRED GORDON JR Phone # 352-360-8568

Address 32846 WOODBINE AVE, LEESBURG, FL 34748

▪ Relationship to Property Owner SELF

▪ Current Number of Dwellings on Property 0

▪ Lot Size 178'x 661' Total Acreage 2.71

▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

▪ Is this Mobile Home Replacing an Existing Mobile Home NO

▪ Driving Directions to the Property 41/441 SOUTH TO TUSTENUGEE, T/R TO S.W. PACKARD ST T/L TO S.W. JONES TERR, T/L TO SITE ON LEFT. (SEE FREEDOM HOMES SIGN.)

▪ Name of Licensed Dealer/Installer PAUL E ALBRIGHT Phone # 386-365-5314

▪ Installers Address 199 SW THOMAS TERR, LAKE CITY, FL 32024

▪ License Number 1H 1025239 Installation Decal # 45843

To find Receipt w/APP # on it 12.22.17

UH-Spoletto Paul 1-2-18  
& 1-3-18

\$684.78

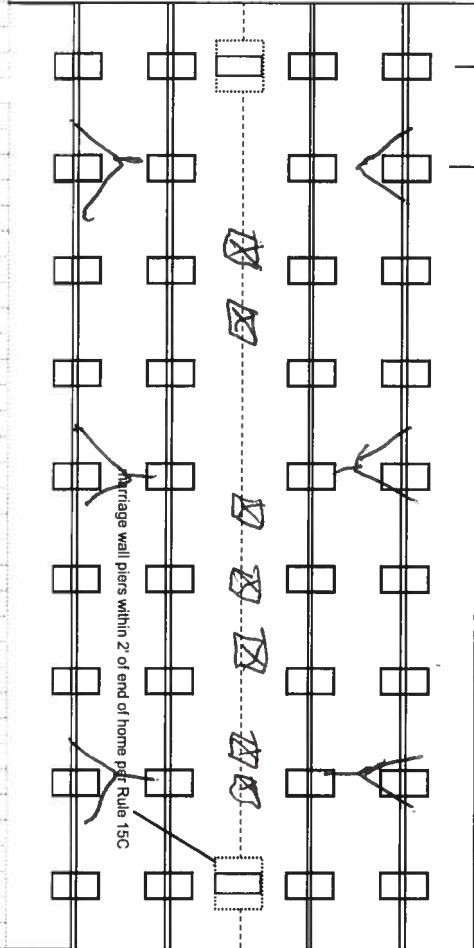
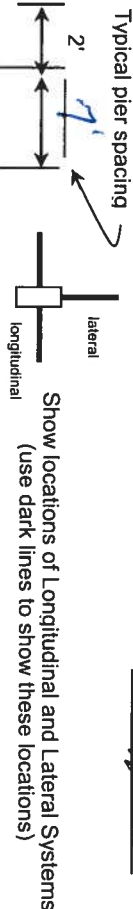
# Mobile Home Permit Worksheet

Installer: Paul E Albright License # 1025239  
 Address of home being installed \_\_\_\_\_

Manufacturer Lowe Oak Length x width 32x76

**NOTE:** If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home. I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials PAE



Application Number: \_\_\_\_\_ Date: \_\_\_\_\_

New Home ☒ Used Home ☐  
 Home installed to the Manufacturer's Installation Manual ☐  
 Home is installed in accordance with Rule 15-C ☐  
 Single wide ☐ Wind Zone II ☒ Wind Zone III ☐  
 Double wide ☒ Installation Decal # 45843  
 Triple/Quad ☐ Serial # 7006445

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 (342)	20" x 20" (400)	22" x 22" (484)*	24" X 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4'6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x25  
 Perimeter pier pad size 16x16  
 Other pier pad sizes (required by the mfg.) 17x22

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size  
20 23x32  
4 17x25  
3 17x25

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft ☒ 5 ft Center

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)  
 Manufacturer \_\_\_\_\_  
 Longitudinal Stabilizing Device w/ Lateral Arms  
 Manufacturer \_\_\_\_\_

OTHER TIES

Number  
 Sidewall 12  
 Longitudinal 8  
 Marriage wall 4  
 Shearwall 4

# Mobile Home Permit Worksheet

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psi or check here to declare 1000 lb. soil without testing.

X 1500 X 1500 X 1500

### POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1500 X 1500

### TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5" anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

**Note:** A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

Paul C. Williams Installer's Initials

### ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

#### Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

#### Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Application Number:

Date:

#### Site Preparation

Debris and organic material removed Swale ☒ Pad ☒ Other ☐

#### Fastening multi wide units

Floor: Type Fastener: Lags Length: 6 Spacing: 24"  
Walls: Type Fastener: Self-drilling Length: 4" Spacing: 24"  
Roof: Type Fastener: Lags Length: 6" Spacing: 24"  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

#### Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket Pg.

Footer  
Installed: Between Floors Yes ☒  
Between Walls Yes ☒  
Bottom of ridgebeam Yes ☒

#### Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg.  
Siding on units is installed to manufacturer's specifications. Yes ☒  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

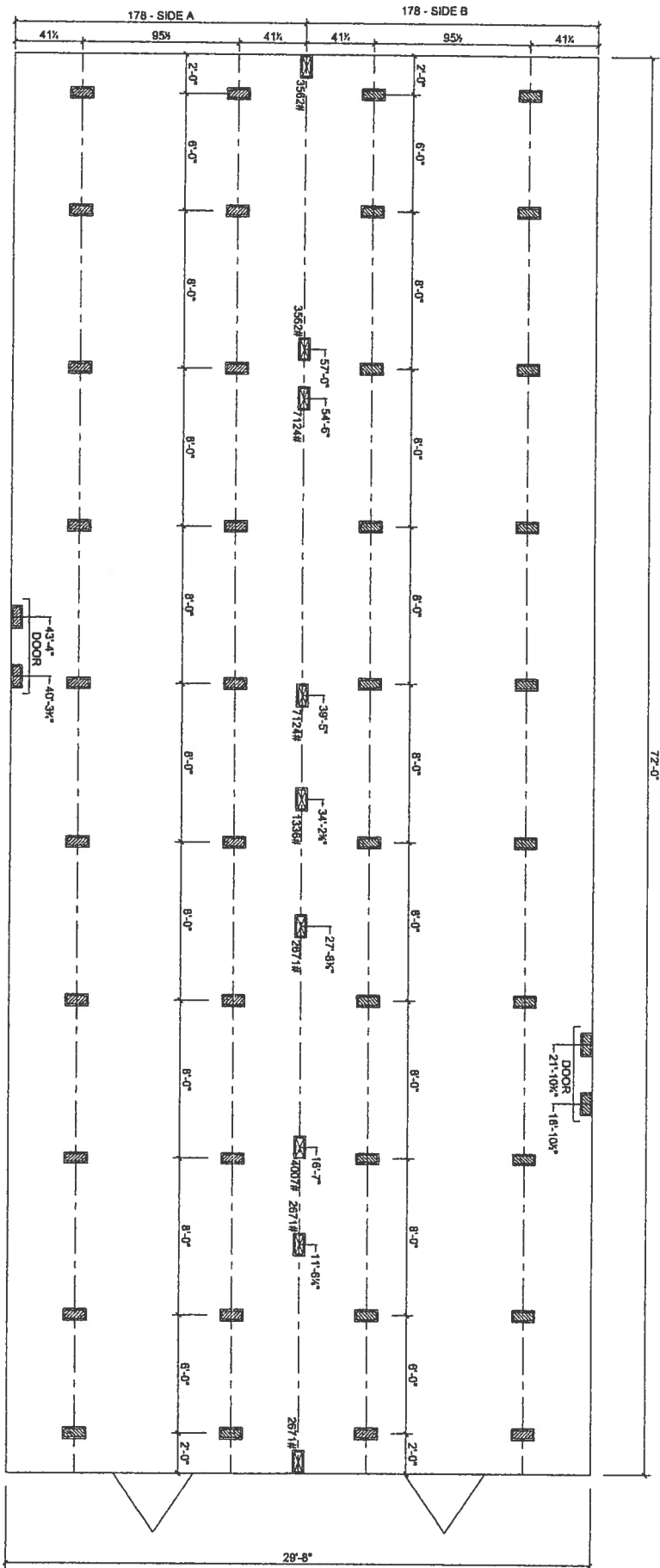
#### Miscellaneous

Skirting to be installed. Yes ☐ No ☐  
Dryer vent installed outside of skirting. Yes ☐ N/A  
Range downflow vent installed outside of skirting. Yes ☒ N/A  
Drain lines supported at 4 foot intervals. Yes ☒  
Electrical crossovers protected. Yes ☒  
Other: ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Date



MARRIAGE LINE OPENING SUPPORT PIER/TYP.

7-5-2016

FOUNDATION NOTES:

- THIS DRAWING IS DESIGNED FOR THE STANDARD WIND ZONE AND IS TO BE USED IN CONJUNCTION WITH THE INSTALLATION MANUAL AND ITS SUPPLEMENTS.
- FOOTINGS ARE SHOWN FOR EXAMPLE ONLY QUANTITY AND SPACING MAY VARY BASED ON PAD TYPE, SOIL CONDITION, ETC.
- FOOTINGS ARE REQUIRED AT SUPPORT POSTS. SEE INSTALLATION MANUAL FOR REQUIREMENTS.

**Live Oak Homes**  
**MODEL: L-3725B - 32 X 76**  
**5-BEDROOM / 3-BATH**

- (A) MAIN ELECTRICAL
- (B) ELECTRICAL CROSSOVER
- (C) WATER INLET
- (D) WATER CROSSOVER (IF ANY)
- (E) GAS INLET (IF ANY)
- (F) GAS CROSSOVER (IF ANY)
- (G) DUCT CROSSOVER
- (H) SEWER DROPS
- (I) RETURN AIR (W/OPT. HEAT PUMP ON DUCT)
- (J) SUPPLY AIR (W/OPT. HEAT PUMP ON DUCT)

3725-B  
 5 K



## Legend

Lake City

Development Zones

others

A-1

A-2

A-3

CG

CHI

CI

CN

CSV

ESA-2

I

ILW

MUD-1

PRD

PRRD

RMF-1

RMF-2

RO

RR

RSF-1

RSF-2

RSF-3

RSF/MH-1

RSF/MH-2

RSF/MH-3

DEFAULT

Roads

DEFAULT

DONTIMPORT

others

Dirt

Interstate

Main

Other

Paved

Private

Parcels

2016Aerials

Addresses

Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

SRWMD Wetlands

Future Land Use Map

Mixed Use Development

Light Industrial

Industrial

Highway Interchange

Commercial

Residential High Density

(< 20 d.u. per acre)

Residential Medium/High Density

(< 14 d.u. per acre)

Residential Medium Density

(< 8 d.u. per acre)

Residential Moderate Density

(< 4 d.u. per acre)

Residential Low Density

(< 2 d.u. per acre)

Residential Very Low Density

(< 1 d.u. per acre)

Agriculture - 3

(< 1 d.u. per 5 acres)

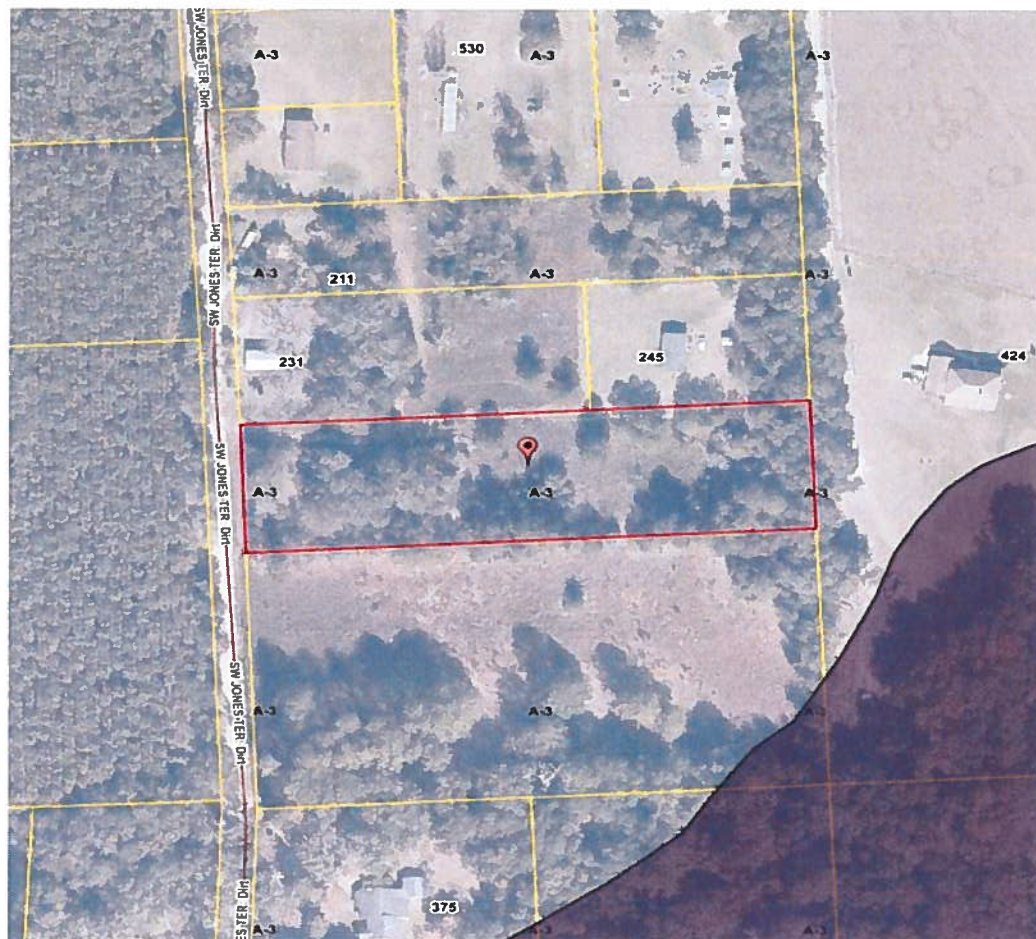
Agriculture - 2

(< 1 d.u. per 10 acres)

Agriculture - 1

# Columbia County, FLA - Building & Zoning Property Map

Printed: Wed Jan 03 2018 10:57:07 GMT-0500 (Eastern Standard Time)



## Parcel Information

Parcel No: 20-4S-17-08624-003

Owner: GORDON FRED JR &

Subdivision:

Lot:

Acres: 2.594461

Deed Acres: 2.71 Ac

District: District 4 Everett Phillips

Future Land Uses: Agriculture - 3

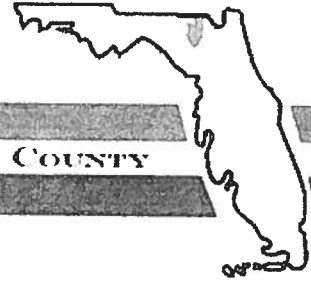
Flood Zones:

Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

District No. 1 - Ronald Williams  
District No. 2 - Rusty DePratter  
District No. 3 - Bucky Nash  
District No. 4 - Everett Phillips  
District No. 5 - Tim Murphy

**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**



**Address Assignment and Maintenance Document**

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **12/20/2017 6:37:56 PM**  
Address: **253 SW JONES Ter**  
City: **LAKE CITY**  
State: **FL**  
Zip Code **32025**

Parcel ID **08624-003**

REMARKS: Address for proposed structure on parcel.

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.**

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

COLUMBIA COUNTY  
911 ADDRESSING / GIS DEPARTMENT

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125  
Email: [gis@columbiacountyfla.com](mailto:gis@columbiacountyfla.com)

## MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1712-66 CONTRACTOR ALBRIGHT, PAUL PHONE 386 365 5314

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

✓ ELECTRICAL 1074	Print Name <u>WHITTINGTON ELECTRIC</u>	Signature <u>[Signature]</u>
	License #: <u>EC13002957</u>	Phone #: <u>386 972 1700</u>
Qualifier Form Attached <input type="checkbox"/>		
✓ MECHANICAL/ A/C 1669	Print Name <u>STYLECREST</u>	Signature <u>[Signature]</u>
	License #: <u>CAC1817658</u>	Phone #: <u>850-769-1453</u>
Qualifier Form Attached <input type="checkbox"/>		

Qualifier Forms cannot be submitted for any Specialty License.

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

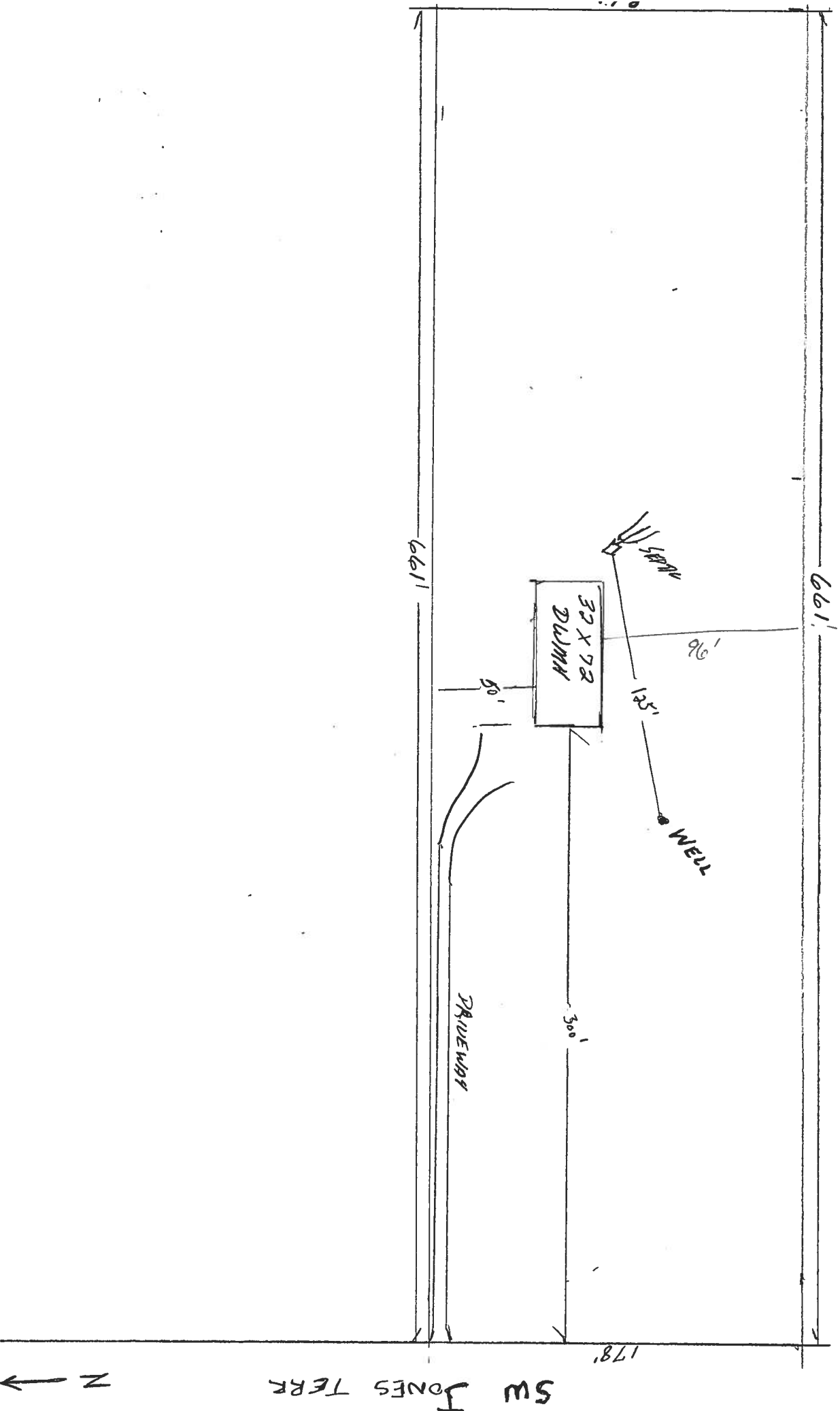
**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Revised 10/30/2015

SITE PLAN FOR GORDON

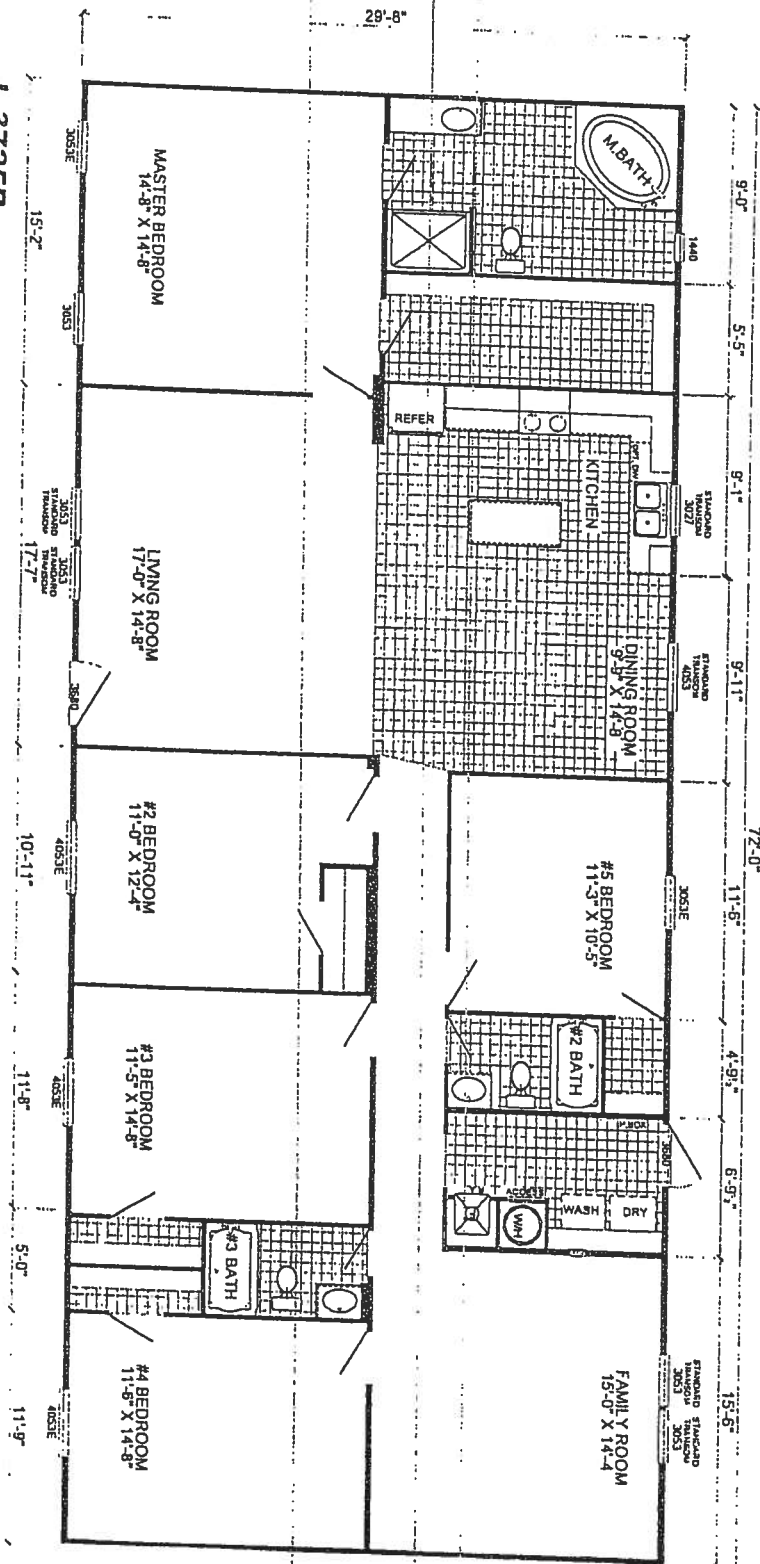
SCALE: 1" = 25'    DATE: 12/20/17    BY: PAUL BARNES

PARCEL ID#: 20-45-17-08624-003





# 5K



2-9-2016  
 All room dimensions include closets, and square footage figures are approximate.  
 Transom windows are available on optional 5'-0" side wall houses only.  
 Underpinning shown is optional.

License Number: IH / 1025239 / 1 Name: PAUL E. ALBRIGHT

Order #: 2989	Label #: 45843	Manufacturer: <i>Live Oak</i>	(Check Size of Home)
Homeowner: <i>GORDON</i>		Year Model:	Single _____
Address:		Length & Width: <i>32 X 72-76</i>	Double <input checked="" type="checkbox"/> _____
City/State/Zip:		Type Longitudinal System:	Triple _____
Phone #:		Type Lateral Arm System: <i>6</i>	HUD Label #:
Date Installed:		New Home: <input checked="" type="checkbox"/> Used Home: _____	Soil Bearing / PSF: <i>1500</i>
Installed Wind Zone:		Data Plate Wind Zone:	Torque Probe / in-lbs: <i>285</i>
Note:			Permit #:

STATE OF FLORIDA  
INSTALLATION CERTIFICATION LABEL

45843

LABEL #

DATE OF INSTALLATION

PAUL E. ALBRIGHT

NAME

IH / 1025239 / 1

2989

LICENSE #

ORDER #

CERTIFIES THAT THE INSTALLATION OF THIS MOBILE HOME IS  
IN ACCORDANCE WITH FLORIDA STATUTES 320.8249, 320.8325  
AND RULES OF THE HIGHWAY SAFETY AND MOTOR VEHICLES.

INSTRUCTIONS

PLEASE WRITE DATE OF  
INSTALLATION AND AFFIX  
LABEL NEXT TO HUD LABEL.  
USE PERMANENT INK PEN  
OR MARKER ONLY.  
COMPLETE INFORMATION  
ABOVE AND KEEP ON FILE  
FOR A MINIMUM OF 2 YEARS.  
YOU ARE REQUIRED TO  
PROVIDE COPIES WHEN  
REQUESTED.

**Columbia County Property Appraiser**

Jeff Hampton

**2017 Tax Roll Year**

updated: 12/6/2017

Parcel: << **20-4S-17-08624-003** >>**Owner & Property Info**

Result: 1 of 1

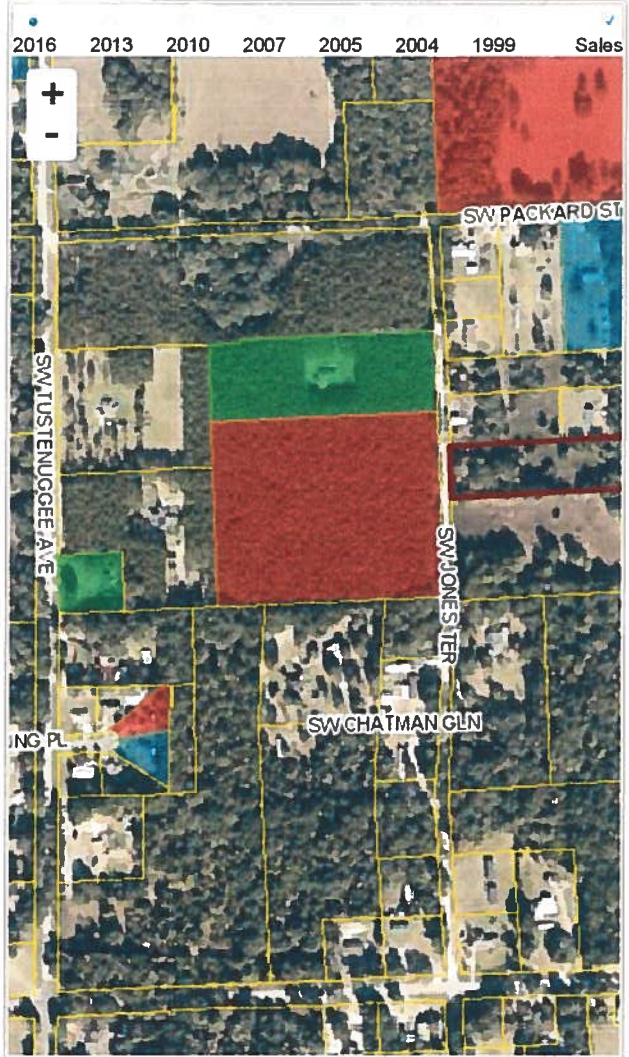
Owner	GORDON FRED JR & LILLIE MAE COLEMAN GORDAN P O BOX 492811 LEESBURG, FL 347492811		
Site	-		
Description *	COMM SW COR OF NE1/4 OF SE1/4, RUN N 355.98 FT FOR POB, CONT N 177.99 FT, E 661.51 FT TO E LINE OF W1/2 OF NE1/4 OF SE1/4, S 178.43 FT, W 661.85 FT TO POB. (AKA PARCEL 6) 713-495, 795-1662, QC 1167-109 QC 1170-2362, PB 1341-1512,		
Area	2.71 AC	S/T/R	20-4S-17
Use Code *	VACANT (000000)	Tax District	2

\* The Description above is not to be used as the Legal Description for this parcel in any legal transaction. The Use Code is a FL Dept. of Revenue (DOR) code. Please contact the Columbia County Planning & Development office for specific zoning information.

**Property & Assessment Values**

2017 Certified Values		2018 Working Values	
Mkt Land (1)	\$21,495	Mkt Land (1)	\$23,645
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$21,495	Just	\$23,645
Class	\$0	Class	\$0
Appraised	\$21,495	Appraised	\$23,645
Exempt	\$0	Exempt	\$0
Assessed	\$21,495	Assessed	\$23,645
Total Taxable	county:\$21,495 city:\$21,495 other:\$21,495 school:\$21,495	Total Taxable	county:\$23,645 city:\$23,645 other:\$23,645 school:\$23,645

Aerial Viewer Pictometry Google Maps

**Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
7/27/2017	\$0	1341/1512	PB	V	U	18
3/16/2009	\$100	1170/2362	QC	V	U	11
2/10/2009	\$100	1167/0109	QC	V	U	11
9/2/1994	\$0	795/1662	WD	V	U	02 (Multi-Parcel Sale) - show
2/28/1990	\$0	713/0495	WD	V	U	

**Building Characteristics**

Bldg Sketch	Bldg Item	Bldg Desc	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

**Extra Features & Out Buildings - (Show Codes)**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Prepared by and Return to: Stephen G. Sewell, Esquire  
ATTN: Mary Klier  
Post Office Box 492722  
Leesburg, FL 34749-2722

Inst: 200912005811 Date: 4/9/2009 Time: 11:10 AM  
Doc: Stamp-Deed 0.70  
C.P. DeWitt Cason, Columbia County Page 1 of 2 B 1170 P 2362

Property Appraisers Parcel Identification Number: 20-45-17-08624-003

QUIT-CLAIM DEED

**THIS QUIT-CLAIM DEED**, executed this 16th day of March, 2009, by **Lillie Mae Coleman Gordon, fka Lillie Mae Coleman**, a married woman, and her daughter, **Elizabeth Marie Coleman**, an unmarried woman, both presently of P. O. Box 492811, Leesburg, Florida 34749-2811, first party, to **Fred Gordon, Jr., and Lillie Mae Coleman Gordon**, husband and wife, as an estate by the entirety, presently of P. O. Box 492811, Leesburg, Florida 34749-2811, second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**WITNESSETH:** That the said first party, for and in consideration of love and affection, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following-described lot, piece or parcel of land, situate, lying and being in the County of Columbia, State of Florida, to-wit:

Township: 4 South - Range 17 East. Section 20: COMMENCE at the Southwest corner of the NE 1/4 of SE 1/4, Section 20, Township 4 South, Range 17 East, Columbia County, Florida, and run thence N 1°42'28" W along the West line of said NE 1/4 of SE 1/4, 355.98 feet to the POINT OF BEGINNING; thence continue N 1°42'28" W along said West line, 177.99 feet; thence N 88°04'32" E, 661.51 feet to the East line of the W 1/2 of said NE 1/4 of SE 1/4; thence S 1°49'07" E along said East line, 178.43 feet; thence S 88°06'49" W, 661.85 feet to the POINT OF BEGINNING. Said lands being subject to easement off the West side for county maintained road.

Subject to covenants, restrictions, reservations, conditions, and easements of record, if any, which specifically are not hereby extended or reimposed. Also subject to ad valorem real property taxes for the year 2009 and prior years.

The subject property does not constitute the homestead of either **LILLIE MAE COLEMAN GORDON** or **ELIZABETH MARIE COLEMAN** (who are referred to herein together as "first party") and is not contiguous to the homestead of either of them.

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered  
in our presence:

*Cordie A. Hadley*  
Signature first witness  
**Cordie A. Hadley**  
*Mary Kiler*  
Printed name first witness  
*Mary Kiler*  
Signature second witness  
**Mary Kiler**  
Printed name second witness

*Lillie Mae Coleman Gordon* (SEAL)  
LILLIE MAE COLEMAN GORDON,  
aka LILLIE MAE COLEMAN  
*Elizabeth Marie Coleman* (SEAL)  
ELIZABETH MARIE COLEMAN

STATE OF FLORIDA  
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this 16<sup>th</sup> day of March, 2009,  
by Lillie Mae Coleman Gordon, aka Lillie Mae Coleman, and Elizabeth Marie Coleman,

- ☐ who are personally known to me; or  
☒ who have produced a FL Driver's License as identification; or  
☐ who have produced FL I.D. card as identification  
(Elizabeth Marie Coleman)  
(Lillie Mae Coleman Gordon)

(SEAL)



*Stephen G. Sewall*  
Notary Public Signature  
**Stephen G. Sewall**

Printed Name of Notary Public  
My Commission Expires: 6/20/12



Rec 11.54  
Doc .55  
11.05

Legal let of  
Record

EX 0713 PG 495

OFFICIAL RECORDS

THIS INSTRUMENT WAS PREPARED BY:  
TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

WARRANTY DEED

THIS INDENTURE, made this 28<sup>th</sup> day of Feb, 1990,  
between FLORIDA C. COLE and ELIZABETH C. O'BARA, of the County of  
Columbia, State of Florida, grantor\*, and NELLIE C. KEY, whose post  
office address is: P.O. Box 1512, Leesburg, FL 34748,  
of the County of Leesburg, State of Florida, grantee\*.

WITNESSETH: that said grantor, for and in consideration of  
the sum of Ten Dollars (\$10.00), and other good and valuable  
considerations to said grantor in hand paid by said grantee, the  
receipt whereof is hereby acknowledged, has granted, bargained and  
sold to the said grantee, and grantee's heirs and assigns forever,  
the following described land, situate, lying and being in Columbia  
County, Florida, to-wit:

TOWNSHIP 4 SOUTH - RANGE 17 EAST

SECTION 20: Commence at the Southwest corner of the NE 1/4 of SE  
1/4, Section 20, Township 4 South, Range 17 East, Columbia County,  
Florida, and run thence N 1°42'28" W along the West line of said  
NE 1/4 and SE 1/4, 353.98 feet to the POINT OF BEGINNING, thence  
continue N 1°42'28" W along said West line, 177.99 feet, thence N  
88°04'32" E 661.51 feet to the East line of the N 1/2 of said NE  
1/4 of SE 1/4, thence S 1°49'07" E along said East line, 178.43  
feet; thence S 88°06'49" W 661.85 feet to the POINT OF BEGINNING.  
Said lands being subject to easement off the West side for county  
maintained road.

SUBJECT TO: Restrictions, easements and outstanding mineral rights  
of record, if any, and taxes for the current year.

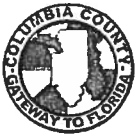
PARCEL NO.  
TAX IDENTIFICATION NO.

and said grantor does hereby fully warrant the title to said land,  
and will defend the same against the lawful claims of all persons  
whomsoever.

\*"Grantor" and "grantee" are used for singular or plural, as  
context requires.

DOCUMENTARY STAMP .55  
INTANGIBLE TAX #  
P. DEWITT CASON, CLERK OF  
COUNTY, COLUMBIA COUNTY  
BY C. A. B. [Signature]

2.71 AC



COLUMBIA COUNTY BUILDING DEPARTMENT  
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160

# MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, PAUL E. ALBRIGHT, give this authority for the job address show below  
Installer License Holder Name

only, 608 SW QUARRY CIRCLE, FT WHITE, and I do certify that  
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
PAUL A. BARNEY	<i>Paul A Barney</i>	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
LINDA PENHALIGON	<i>Linda Penhaligon</i>	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

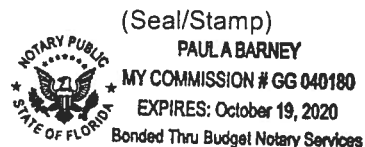
*Paul E Albright* License Holders Signature (Notarized) 1H1025239 License Number 8-10-17 Date

## NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: SUWANNEE

The above license holder, whose name is PAUL E ALBRIGHT, personally appeared before me and (is known by me) or has produced identification (type of I.D.)  on this 10 day of AUGUST, 20 17.

*Paul A Barney*  
NOTARY'S SIGNATURE



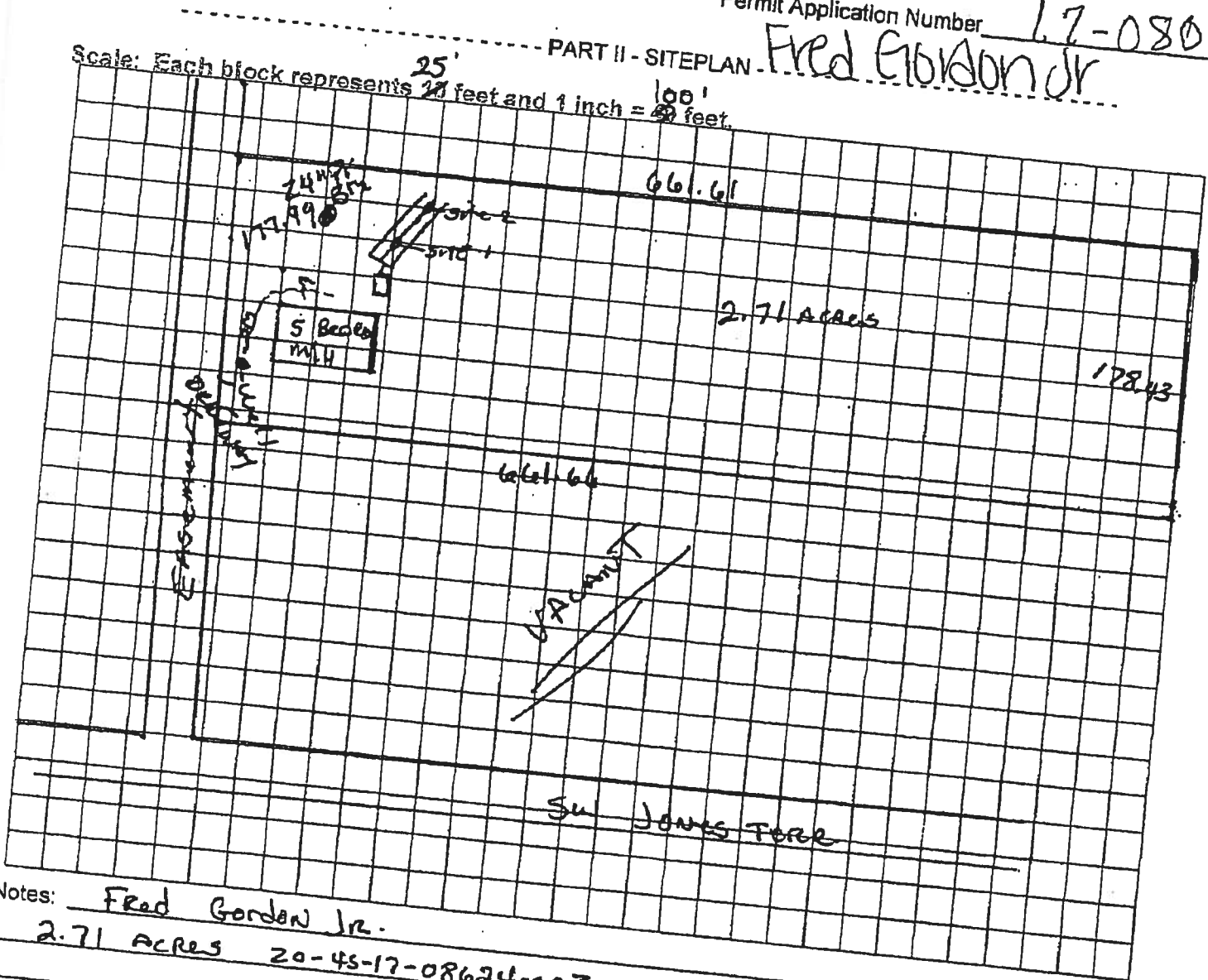
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

17-0801N  
Fred Gordon Jr

Scale: Each block represents 25' feet and 1 inch = 100' feet.

PART II - SITEPLAN



Votes: Fred Gordon Jr.

2.71 ACRES 20-45-17-08624-003

te Plan submitted by: Robert W. Ford Jr. 12-20-17

an Approved [Signature] Not Approved [Signature]

Agent

Date 12/27/17

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

015, 08/09 (Obsoletes previous editions which may not be used) Incorporated: 64E-6.001, FAC  
k Number: 5744-002-4015-6



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 17-0801N  
DATE PAID: 12/20/17  
FEE PAID: 310.00  
RECEIPT #: 1320482

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Gordon Fred Jr

AGENT: Robert W Ford Jr NFST INC.

386  
TELEPHONE: 755-6372

MAILING ADDRESS: 741 SE STATE RD 100 LC FIA 32025

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDEFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 1 BLOCK: 1 SUBDIVISION: meets & bonds PLATTED: 12/20/17

PROPERTY ID #: 20-AS-17-08024-003 ZONING: M/H I/M OR EQUIVALENT: ☒ Y ☐ N

PROPERTY SIZE: 2.71 ACRES WATER SUPPLY: ☒ PRIVATE ☐ PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: Jones Road

DIRECTIONS TO PROPERTY: Hwy 441 South to 242 TR  
Follow to SW Jones Terr Follow to Easement TR  
Follow Easement to site on Right

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	M-H	5	2140	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify)

SIGNATURE: Robert W Ford Jr

DATE: 12/20/17

DH 4015, 08/09 (Obsoletes previous editions which may not be used)  
Incorporated 64E-6.001, FAC