

DATE 05/09/2007

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025796

APPLICANT MARK MADDOX PHONE 755-2411  
ADDRESS 4816 HIGHWAY 90W LAKE CITY FL 32055  
OWNER KELLY SPRADLEY PHONE \_\_\_\_\_  
ADDRESS 10528 SW SR 47 FT. WHITE FL 32038  
CONTRACTOR WOODMAN PARK BUILDERS PHONE 755-2411  
LOCATION OF PROPERTY 47S, ABOUT 2 OR 3 MILES PAST CR 240 ON RIGHT

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 59800.00  
HEATED FLOOR AREA 1196.00 TOTAL AREA 1244.00 HEIGHT \_\_\_\_\_ STORIES 1  
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB  
LAND USE & ZONING A-3 MAX. HEIGHT 14  
Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 22-5S-16-03693-109 SUBDIVISION COLUMBIA HOME SITES  
LOT 9 BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES \_\_\_\_\_

CBC058182  
Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number BK Applicant/Owner/Contractor JH  
EXISTING 07-354-E BK JH Y  
Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: ONE FOOT ABOVE THE ROAD

FDOT APPROVAL ON FILE

Check # or Cash 1125

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Framing \_\_\_\_\_ Rough-in plumbing above slab and below wood floor \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Electrical rough-in \_\_\_\_\_ Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ Pool \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Reconnection \_\_\_\_\_ Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
M/H Pole \_\_\_\_\_ Travel Trailer \_\_\_\_\_ Re-roof \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 300.00 CERTIFICATION FEE \$ 6.22 SURCHARGE FEE \$ 6.22  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_  
FLOOD DEVELOPMENT FEE \$ \_\_\_\_\_ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ \_\_\_\_\_ TOTAL FEE 387.44

INSPECTORS OFFICE [Signature] CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



# Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0704-73 Date Received 4/26/07 By G Permit # 25796  
 Application Approved by - Zoning Official BAK Date 08.05.07 Plans Examiner OKJH Date 4-30-07  
 Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments

SH, for approval

Applicants Name Woodman Park Bldrs Phone 255-2411  
 Address 4816 #100 W 50 W  
 Owners Name Kelly Spradley Phone \_\_\_\_\_  
 911 Address 10528 SW State Rd 47  
 Contractors Name Woodman Park Bldrs Phone 255-2411  
 Address 4816 W 50 West #100  
 Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address \_\_\_\_\_  
 Architect/Engineer Name & Address \_\_\_\_\_  
 Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy  
 Property ID Number 22-55-16-03693-109 Estimated Cost of Construction \$100,000.00  
 Subdivision Name Columbia Hne 645 Lot 9 Block \_\_\_\_\_ Unit 2 Phase \_\_\_\_\_  
 Driving Directions 47 South about 2-3 mile past CR 240 on Right

Type of Construction Residential Number of Existing Dwellings on Property 0  
 Total Acreage 1/2 Lot Size \_\_\_\_\_ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive  
 Actual Distance of Structure from Property Lines - Front 37'45" Side 80' Side 90' Rear 35'  
 Total Building Height 14'6" Number of Stories 1 Heated Floor Area 1244 Roof Pitch 6-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

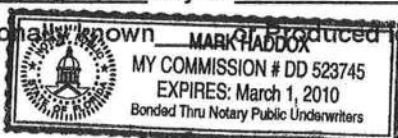
Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA  
 COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this 26 day of \_\_\_\_\_ 2007

Personally known MARK HADDOX Produced Identification \_\_\_\_\_



Contractor Signature \_\_\_\_\_  
 Contractors License Number CBC058182  
 Competency Card Number \_\_\_\_\_  
 NOTARY STAMP/SEAL

Notary Signature

This Instrument Prepared By:  
Michael H. Harrell  
Abstract & Title Services, Inc.  
283 NW Cole Terrace  
Lake City, Florida 32055  
ATS# 16405

Inst:2007008977 Date:04/20/2007 Time:14:08  
Doc Stamp-Deed : 154.00  
J.2 DC, P. Dewitt Cason, Columbia County B:1117 P:281

## GENERAL WARRANTY DEED

Individual to Individual (or Corporation/LLC)

This Warranty Deed made this 16 day of April, 2007 by

Sharon Jones and Beverly Mahon

hereinafter called the Grantor, to

Kelly Jean Spradley

whose post office address is 25205 NW 8th Place, Ste 10, Newberry, FL 32669, hereinafter called the Grantee.

*(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of Individuals, and the successors and assigns of Corporation.)*

The Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, unto the Grantee all that certain land, situate in Columbia County, Florida, viz: TAX ID: R03693-109 :

Lot 9, COLUMBIA CITY HOMESITES UNIT 2, according to the plat thereof as recorded in Plat Book 5, page 107, of the Public Records of Columbia County, Florida.

The above described property is vacant land and is not, nor has it ever been, the homestead property of the Grantors, who in fact reside in Royal Palm Beach, Florida.

Together with all the tenements, hereditaments, and appurtenances thereto belonging or in any ways appertaining.

To have and to hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In witness whereof, the said Grantor has signed and sealed these presents the day and year first above written.

WITNESS

Printed Name: Lanna Evans

WITNESS

Printed Name: Lanna Evans

Sharon Jones

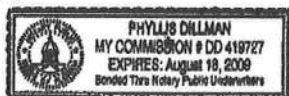
Beverly Mahon

State of Florida

County of Palm Beach

I hereby certify that on this 16<sup>th</sup> day of April, 2007, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared Sharon Jones and Beverly Mahon, who is personally known to me or produced a FL Drivers Lic for identification, and known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he/she/they executed the same, and an oath was not taken.

(SEAL)



NOTARY PUBLIC

My Commission Expires: 8/18/2009

116405

WARRANTY DEED

This Warranty Deed made and executed the 18<sup>th</sup> day of April A.D. 2007, by SUBRANDY LIMITED PARTNERSHIP, hereinafter called the grantor, to BEVERLY MAHON AND SHARON JONES, SISTERS, EACH AS TO AN UNDIVIDED ONE HALF INTEREST AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, AND NOT AS TENANTS IN COMMON, Whose post office address is 4756 DORCHESTER MEWS, HAVERHILL, FL 33415, hereinafter called the grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for the consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

LOT 9, COLUMBIA CITY HOMESITES UNIT 2, A SUBDIVISION AS RECORDED IN PLAT BOOK 3, PAGE 107, COLUMBIA COUNTY, FLORIDA, SUBJECT TO RESTRICTIONS RECORDED IN O.R. BOOK 0894, PAGES 1570-1572, COLUMBIA COUNTY, FLORIDA, AND SUBJECT TO POWER LINE EASEMENT. INCLUDES WELL, SEPTIC AND POWER POLE. PURCHASER HAS BEEN MADE AWARE THAT THERE IS A HIGH-PRESSURE GAS TRANSMISSION LINE WHICH CROSSES THE WEST 20 FEET OF THIS LOT. NO DIGGING OR EXCAVATION SHALL BE UNDERTAKEN WITHIN THE GAS LINE EASEMENT DUE TO POSSIBLE EXPLOSION IF THE GAS LINE SHOULD BE PUNCTURED OR RUPTURED IN ANY WAY. THIS DEED IS IN FULFILLMENT OF THE PROVISIONS IN THAT CERTAIN AGREEMENT FOR DEED BETWEEN THE PARTIES HERETO DATED FEBRUARY 22, 2005, AND RECORDED IN O.R. BOOK 1036, PAGES 1595-1604, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA

Together with all the tenements, hereditaments and appurtenances thereto belong or in any-wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple: that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Nanci Nettles  
Signature of Witness

Nanci Nettles  
Print name of Witness

[Signature]  
Signature of witness

Jon C. Jackson  
Print name of Witness

Bradley N. Dicks  
Bradley N. Dicks, General Partner  
Subrandy Limited Partnership

State of Florida  
County of Columbia

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Bradley N. Dicks, who is personally known to me to be the person described in and who executed the foregoing instrument, who was not required to furnish identification, and he acknowledged before me that he executed the same and who did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 18<sup>TH</sup> day of April, A.D. 2007

Nanci Nettles  
Notary Public, State of Florida

This instrument prepared by: Bradley N. Dicks  
Address: P.O. Box 513 Lake City, FL 32056



Inst: 200708976 Date: 04/20/2007 Time: 14:08  
Doc Stamp: Deed : 0.70  
P. 9 - DC, P. Deed Lt Caseon, Columbia County B: 1117 P: 280



# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 4/19/2007 DATE ISSUED: 4/19/2007

### ENHANCED 9-1-1 ADDRESS:

10528 SW STATE ROAD 47

FORT WHITE FL 32038

### PROPERTY APPRAISER PARCEL NUMBER:

22-5S-16-03693-109

### Remarks:

LOT 9 COLUMBIA CITY HOMESITES UNIT 2 S/D

Address Issued By: 

Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

Approved Address

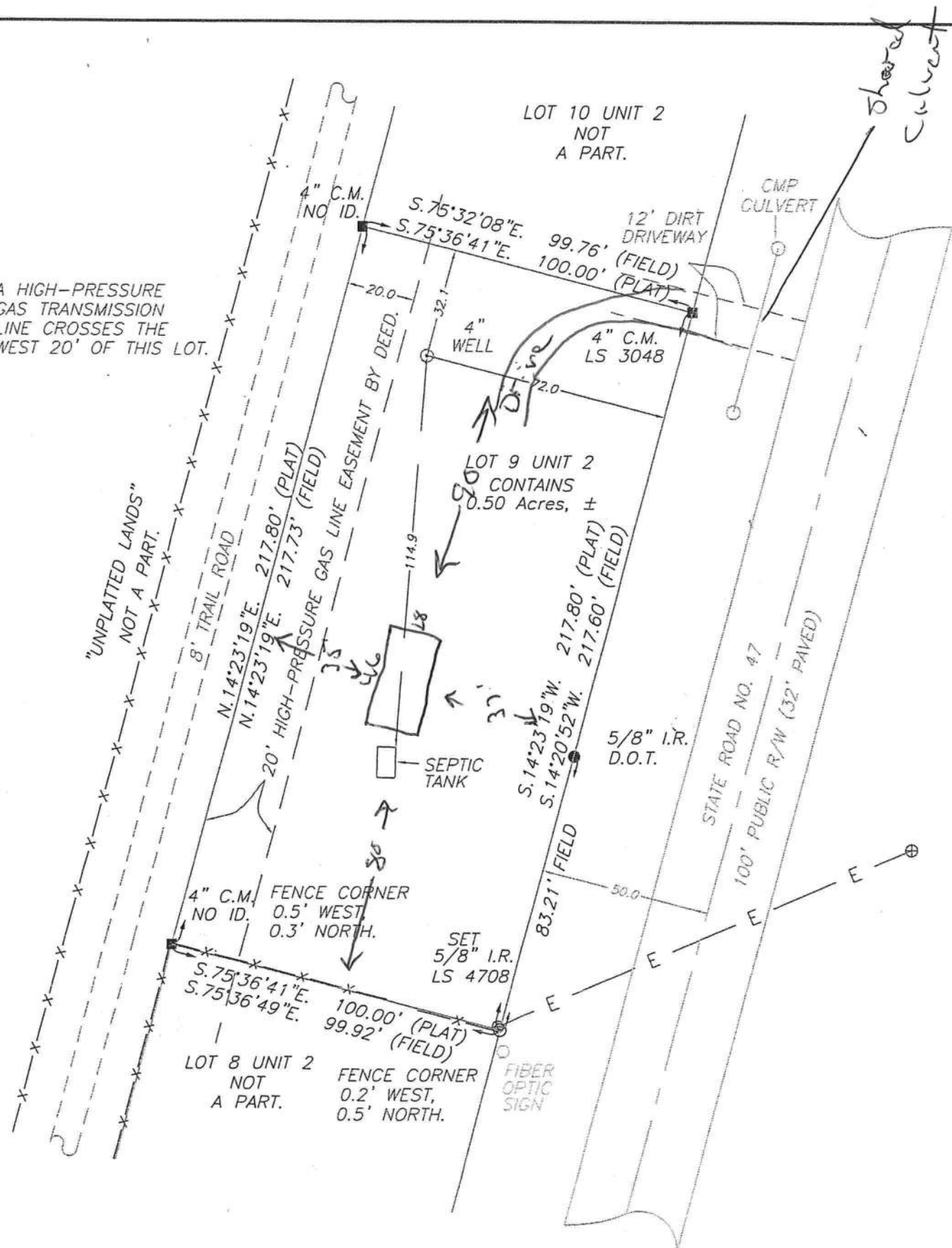
722

APR 3 9 2007

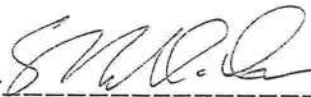
911Addressing/GIS Dept

Kelly Sgradley Site Plan

A HIGH-PRESSURE GAS TRANSMISSION LINE CROSSES THE WEST 20' OF THIS LOT.



Shored Culvert

SIGNED:   
MARK D. DUREN, LS 4708



16405

This Instrument Prepared By:  
Michael H. Harrell  
Abstract & Title Services, Inc.  
283 NW Cole Terrace  
Lake City, Florida 32055

### NOTICE OF COMMENCEMENT

#### TO WHOM IT MAY CONCERN:

The undersigned hereby give notice that improvements will be made to certain real property and in accordance with Chapter 713.13, Florida Statutes, the following is provided in this Notice of Commencement:

1. Description of Property: Lot 9, COLUMBIA CITY HOMESITES UNIT 2, according to the plat thereof as recorded in Plat Book 5, page 107, of the Public Records of Columbia County, Florida,

2. General Description of Improvement: Construction of Dwelling

3. Owner Information:

a. Name and Address: Kelly Jean Spradley, <sup>P.O. Box 455 Ft. White FL 32038</sup> ~~25206 NW 8th Place, Ste 10, Newberry, FL 32269~~

b. Interest in property: Fee Simple

c. Name and address of fee simple title holder (if other than Owner): NONE

4. Contractor (name and address): Woodman Park Builders, PO Box 3535, Lake City, FL 32056

5. Surety:

a. Name and Address: N/A

Inst: 2007008879 Date: 04/20/2007 Time: 14:08

DC, P. DeWitt Cason, Columbia County B: 1117 P: 295

b. Amount of Bond: N/A

6. LENDER: FIRST FEDERAL SAVINGS BANK OF FLORIDA  
4705 WEST US HIGHWAY 90  
PO BOX 2029  
LAKE CITY, FL 32056

7. Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided in Section 713.13(1)(a)7., Florida Statutes: NONE

8. In addition to himself, Owner designates PAULA HACKER OF FIRST FEDERAL SAVINGS BANK OF FLORIDA, 4705 WEST US HIGHWAY 90/PO BOX 2029, LAKE CITY, FL 32056 to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes.

8. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

\*Owner is used for singular or plural as context requires.

Signed, sealed and delivered in the presence:

Tamlyn J. Hoppes  
WITNESS Tamlyn Hoppes  
Nicole Polkas  
WITNESS Nicole Polkas

Kelly Jean Spradley  
Kelly Jean Spradley

STATE OF FLORIDA  
COUNTY OF Columbia

Before me, personally appeared Kelly Jean Spradley, to me known to be the person(s) described in and who executed the foregoing instrument, and they acknowledged to and before me that they executed said instrument for the purpose therein expressed.

Witness my hand and official seal this 13<sup>th</sup> day of April, 2007.

(SEAL)

Tamlyn J. Hoppes  
NOTARY PUBLIC

My Commission Expires:



Tamlyn J. Hoppes  
My Commission DD168834  
Expires April 25, 2007

**FAX  
MEMORANDUM****MEMORANDUM****FLORIDA DEPARTMENT OF TRANSPORTATION**

**To:** Mr. John Kerce, Dept. Director  
Columbia Co. Building & Zoning Dept.  
**Fax No:** 386-758-2160

**From:** Dale L. Cray, FDOT Permits Insp.  
**Date:** 5-09-2007 **Fax No.** 386-961-7183  
**Attention:** Col Co. Building Zoning Dept.

☐ Sign and return. ☐ For your files. ☐ Please call me. ☒ FYI ☐ For Review

**REF:** Existing- Res. D/W / Inspected On: 5-08-2007

**PROJECT:** Res D/W / Res. Access S.R. 47 (S)

**PARCEL ID No:** 22-55-16-03693-109 **Permit No :** N/A **Sec No :** 29090

**MTLE POST N/A +- Engineer: N/A**

**Mr. Kerce:**

Please accept this as our legal notice of final passing inspection for (KELLY SPRADLEY) for existing driveway. The project is located, 105 28 SW 47 Lake City, FL 32055. The old owner's name is (BEVERLY MAHON & SHARON JONES).

This access has been inspected and meets FDOT Standard Requirements.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7146.

Sincerely,



Dale L. Cray  
Access Permits Inspector



## Columbia County Property Appraiser

DB Last Updated: 4/11/2007

Parcel: 22-5S-16-03693-109

## 2007 Proposed Values

[Tax Record](#) [Property Card](#) [Interactive GIS Map](#) [Print](#)

### Owner & Property Info

Search Result: 1 of 1

Owner's Name	MAHON BEVERLY &		
Site Address			
Mailing Address	SHARON JONES 4756 DORCHESTER MEWS HAVERHILL, FL 33415		
Use Desc. (code)	VACANT (000000)		
Neighborhood	22516.01	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	0.500 ACRES		
Description	LOT 9 COLUMBIA CITY HOMESITES UNIT 2. ORB 859-317, AFD 1056-1595.		

### GIS Aerial



### Property & Assessment Values

Mkt Land Value	cnt: (1)	\$13,500.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$13,500.00

Just Value	\$13,500.00
Class Value	\$0.00
Assessed Value	\$13,500.00
Exempt Value	\$0.00
Total Taxable Value	\$13,500.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
2/22/2005	1056/1595	AG	V	U	01	\$16,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

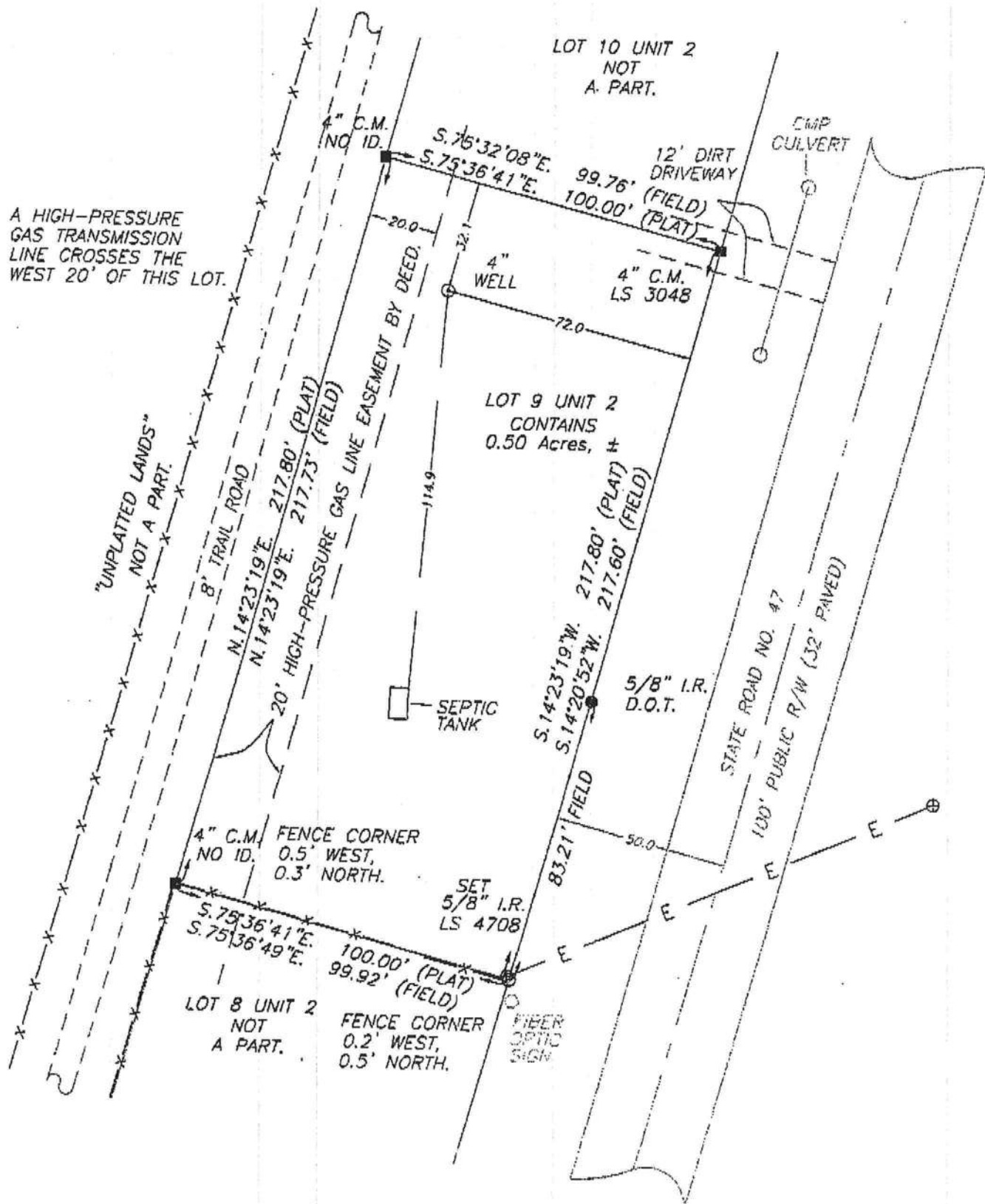
### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	1.000 LT - (.500AC)	1.00/1.00/1.00/1.00	\$13,500.00	\$13,500.00

Columbia County Property Appraiser

DB Last Updated: 4/11/2007

1 of 1



SIGNED:

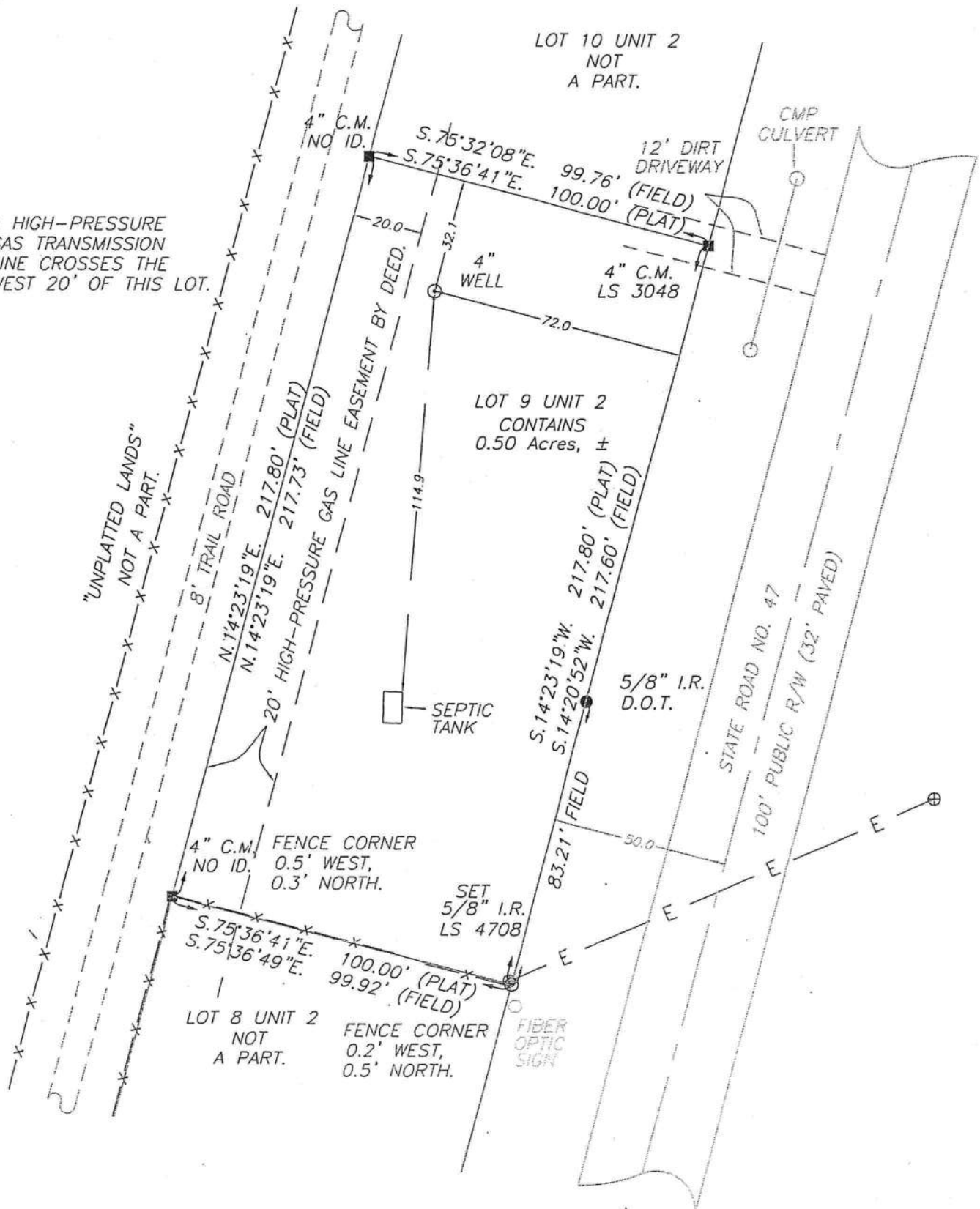
MARK D. DUREN, LS 4708





07-0354E

A HIGH-PRESSURE  
GAS TRANSMISSION  
LINE CROSSES THE  
WEST 20' OF THIS LOT.



SIGNED:   
MARK D. DUREN, LS 4708



# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name:	HADDOX - SPRADLEY RESIDENCE	Builder:	WOODMAN PARK BUILDERS
Address:		Permitting Office:	COLUMBIA COUNTY
City, State:	,	Permit Number:	25796
Owner:	KELLY SPRADLEY	Jurisdiction Number:	221000
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 30.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	No	c. N/A	
6. Conditioned floor area (ft²)	1196 ft²	13. Heating systems	
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		a. Electric Heat Pump	Cap: 30.0 kBtu/hr
a. U-factor:	Description Area		HSPF: 8.20
(or Single or Double DEFAULT) 7a. (Dble, U=0.9)	90.0 ft²	b. N/A	
b. SHGC:		c. N/A	
(or Clear or Tint DEFAULT) 7b. (Clear)	175.0 ft²	14. Hot water systems	
8. Floor types		a. Electric Resistance	Cap: 40.0 gallons
a. Slab-On-Grade Edge Insulation	R=0.0, 141.5(p) ft		EF: 0.93
b. N/A		b. N/A	
c. N/A		c. Conservation credits	
9. Wall types		(HR-Heat recovery, Solar	
a. Frame, Wood, Exterior	R=13.0, 929.0 ft²	DHP-Dedicated heat pump)	
b. Frame, Wood, Adjacent	R=0.0, 112.0 ft²	15. HVAC credits	
c. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
d. N/A		HF-Whole house fan,	
e. N/A		PT-Programmable Thermostat,	
10. Ceiling types		MZ-C-Multizone cooling,	
a. Under Attic	R=30.0, 1196.0 ft²	MZ-H-Multizone heating)	
b. N/A			
c. N/A			
11. Ducts(Leak Free)			
a. Sup: Unc. Ret: Unc. AH: Attic	Sup. R=6.0, 170.0 ft		
b. N/A			

Glass/Floor Area: 0.15

Total as-built points: 19306

Total base points: 19436

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Larry Resmondo a/c

DATE: April 10, 2007

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

**SUMMER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	1196.0	18.59	4002.0	1.Double,U=0.87,Clear	E	1.5	6.0	90.0	42.06	0.91	3455.0
				2.Double,U=0.87,Clear	S	1.5	6.0	30.0	35.87	0.86	921.0
				3.Double,U=0.87,Clear	W	1.5	6.0	30.0	38.52	0.91	1055.0
				4.Double,U=0.87,Clear	W	1.5	3.0	5.0	38.52	0.73	140.0
				5.Double,U=0.87,Clear	N	1.5	3.0	5.0	19.20	0.83	79.0
				6.Double,U=0.87,Clear	N	1.5	6.0	15.0	19.20	0.94	270.0
				As-Built Total:		175.0			5920.0		
<b>WALL TYPES</b>											
Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	112.0	0.70	78.4	1. Frame, Wood, Exterior	13.0		929.0		1.50		1393.5
Exterior	929.0	1.70	1579.3	2. Frame, Wood, Adjacent	0.0		112.0		2.20		246.4
Base Total:				1041.0		1657.7		As-Built Total:		1041.0 1639.9	
<b>DOOR TYPES</b>											
Area X BSPM = Points				Type	Area X SPM = Points						
Adjacent	0.0	0.00	0.0	1.Exterior Wood	63.0 6.10 384.3						
Exterior	63.0	6.10	384.3								
Base Total:				63.0		384.3		As-Built Total:		63.0 384.3	
<b>CEILING TYPES</b>											
Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points				
Under Attic	1196.0	1.73	2069.1	1. Under Attic	30.0		1196.0 1.73 X 1.00		2069.1		
Base Total:				1196.0		2069.1		As-Built Total:		1196.0 2069.1	
<b>FLOOR TYPES</b>											
Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Slab	141.5(p)	-37.0	-5235.5	1. Slab-On-Grade Edge Insulation	0.0		141.5(p) -41.20		-5829.8		
Raised	0.0	0.00	0.0								
Base Total:				-5235.5		As-Built Total:		141.5		-5829.8	
<b>INFILTRATION</b>											
Area X BSPM = Points				Area X SPM = Points							
1196.0 10.21 12211.2				1196.0 10.21 12211.2							

**SUMMER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT						
<b>Summer Base Points: 15088.7</b>				<b>Summer As-Built Points: 16394.6</b>						
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component (System - Points)	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	=	Cooling Points
15088.7	0.3250		4903.8	16395	1.00	(1.09 x 1.000 x 1.11)	0.260	1.000		5157.3
				<b>16394.6</b>	<b>1.00</b>	<b>1.210</b>	<b>0.260</b>	<b>1.000</b>		<b>5157.3</b>

(sys 1: Central Unit 30000btuh ,SEER/EFF(13.0) Ducts:Unc(S),Unc(R),Att(AH),R6.0(INS)

**WINTER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Points			
.18	1196.0	20.17	4342.0	1.Double,U=0.87,Clear	E	1.5	6.0	90.0	18.79	1.04	1751.0
				2.Double,U=0.87,Clear	S	1.5	6.0	30.0	13.30	1.12	445.0
				3.Double,U=0.87,Clear	W	1.5	6.0	30.0	20.73	1.02	636.0
				4.Double,U=0.87,Clear	W	1.5	3.0	5.0	20.73	1.08	112.0
				5.Double,U=0.87,Clear	N	1.5	3.0	5.0	24.58	1.01	124.0
				6.Double,U=0.87,Clear	N	1.5	6.0	15.0	24.58	1.00	369.0
				As-Built Total:		175.0			3437.0		
<b>WALL TYPES</b> Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Adjacent	112.0	3.60	403.2	1. Frame, Wood, Exterior	13.0			929.0	3.40	3158.6	
Exterior	929.0	3.70	3437.3	2. Frame, Wood, Adjacent	0.0			112.0	10.40	1164.8	
Base Total:				1041.0		3840.5			As-Built Total:		1041.0 4323.4
<b>DOOR TYPES</b> Area X BWPM = Points				Type	Area X WPM = Points						
Adjacent	0.0	0.00	0.0	1.Exterior Wood	63.0 12.30 774.9						
Exterior	63.0	12.30	774.9								
Base Total:				63.0		774.9			As-Built Total:		63.0 774.9
<b>CEILING TYPES</b> Area X BWPM = Points				Type	R-Value			Area X WPM X WCM = Points			
Under Attic	1196.0	2.05	2451.8	1. Under Attic	30.0 1196.0 2.05 X 1.00 2451.8						
Base Total:				1196.0		2451.8			As-Built Total:		1196.0 2451.8
<b>FLOOR TYPES</b> Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Slab	141.5(p)	8.9	1259.3	1. Slab-On-Grade Edge Insulation	0.0 141.5(p) 18.80 2660.2						
Raised	0.0	0.00	0.0								
Base Total:				1259.3		141.5 2660.2			As-Built Total:		141.5 2660.2
<b>INFILTRATION</b> Area X BWPM = Points				Area X WPM = Points							
1196.0 -0.59 -705.6				1196.0 -0.59 -705.6							



**WINTER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: , , ,

PERMIT #:

BASE			AS-BUILT					
<b>Winter Base Points: 11962.9</b>			<b>Winter As-Built Points: 12941.7</b>					
Total Winter Points	X System Multiplier	= Heating Points	Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Heating Points
11962.9	0.5540	6627.5	(sys 1: Electric Heat Pump 30000 btuh ,EFF(8.2) Ducts:Unc(S),Unc(R),Att(AH),R6.0 12941.7 1.000 (1.069 x 1.000 x 1.10) 0.416 1.000 6328.5 12941.7 1.00 1.176 0.416 1.000 6328.5					

**WATER HEATING & CODE COMPLIANCE STATUS****Residential Whole Building Performance Method A - Details**

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT						
<b>WATER HEATING</b>										
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X Credit Multiplier	= Total
3		2635.00	7905.0	40.0	0.93	3		1.00	2606.67	1.00 7820.0
				As-Built Total:						7820.0

**CODE COMPLIANCE STATUS**

BASE					AS-BUILT				
Cooling Points	+	Heating Points	+	Hot Water Points = Total Points	Cooling Points	+	Heating Points	+	Hot Water Points = Total Points
4904		6627		7905 19436	5157		6329		7820 19306

**PASS**

# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

Tested sealed ducts must be certified in this house.

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 84.0**

**The higher the score, the more efficient the home.**

KELLY SPRADLEY, , , ,

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 30.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	No		
6. Conditioned floor area (ft <sup>2</sup> )	1196 ft <sup>2</sup>	c. N/A	
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)			
a. U-factor:	Description Area	13. Heating systems	
(or Single or Double DEFAULT)	7a. (Dble, U=0.9) 90.0 ft <sup>2</sup>	a. Electric Heat Pump	Cap: 30.0 kBtu/hr
b. SHGC:			HSPF: 8.20
(or Clear or Tint DEFAULT)	7b. (Clear) 175.0 ft <sup>2</sup>	b. N/A	
8. Floor types		c. N/A	
a. Slab-On-Grade Edge Insulation	R=0.0, 141.5(p) ft	14. Hot water systems	
b. N/A		a. Electric Resistance	Cap: 40.0 gallons
c. N/A			EF: 0.93
9. Wall types		b. N/A	
a. Frame, Wood, Exterior	R=13.0, 929.0 ft <sup>2</sup>	c. Conservation credits	
b. Frame, Wood, Adjacent	R=0.0, 112.0 ft <sup>2</sup>	(HR-Heat recovery, Solar	
c. N/A		DHP-Dedicated heat pump)	
d. N/A		15. HVAC credits	
e. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
10. Ceiling types		HF-Whole house fan,	
a. Under Attic	R=30.0, 1196.0 ft <sup>2</sup>	PT-Programmable Thermostat,	
b. N/A		MZ-C-Multizone cooling,	
c. N/A		MZ-H-Multizone heating)	
11. Ducts(Leak Free)			
a. Sup: Unc. Ret: Unc. AH: Attic	Sup. R=6.0, 170.0 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_ City/FL Zip: \_\_\_\_\_



*\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar<sup>TM</sup> designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLRCSB v4.5)



**CERTIFICATE OF OCCUPANCY**

# OCCUPANCY

COLUMBIA COUNTY, FLORIDA

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 22-5S-16-03693-109

Building permit No. 000025796

Use Classification SFD, UTILITY

Fire: 5.58

Permit Holder WOODMAN PARK BUILDERS

Waste: 16.75

Owner of Building KELLY SPRADLEY

Total: 22.33

Location: 10528 SW SR 47, FT. WHITE, FL

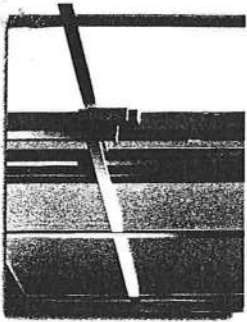
Date: 09/06/2007

*Harry Dicks*

Building Inspector

POST IN A CONSPICUOUS PLACE  
(Business Places Only)



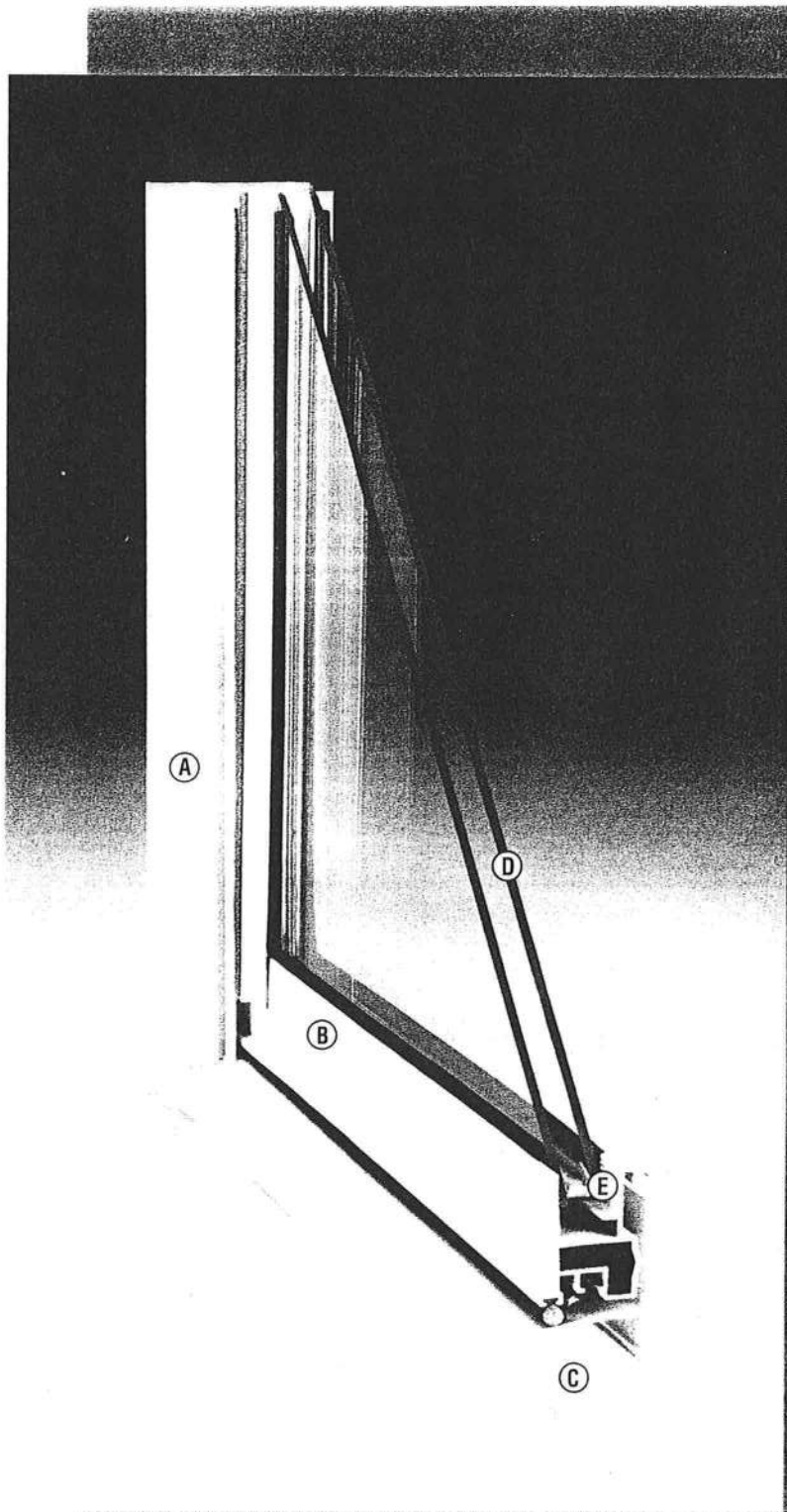
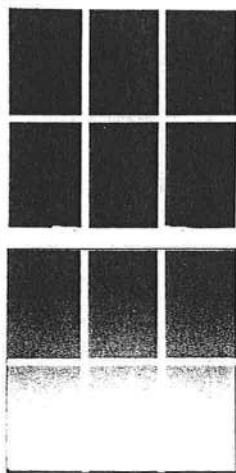


## 650 SERIES

### *Non-Thermal Single Hung Aluminum Windows*

**Ideal for warmer climates,  
this durable single hung offers  
plenty of features.**

- Aluminum Tilt-Single Hung
- Block & Tackle Balance
- Sweep Lock System at Meeting Rail
- Inside Removable Meeting Rail for  
Easy Drywall Pass Thru.
- Interlock System at Meeting Rail
- Optional Decorative Grids Between the Glass
- Complete Specialty Window and Mulling  
Accessories Available
- AAMA Labeled and NFRC Certified



- Ⓐ Aluminum Main Frame
- Ⓑ Aluminum Sash
- Ⓒ 2 3/8" Frame Depth
- Ⓓ 5/8" Insulated Glass
- Ⓔ Removable Bottom Glass Is  
Marine Glazed In Sash Frame  
Removable Top Glass Is Drop-In  
Tape Glazed In Main Frame

**CAPITOL™**  
WINDOWS AND DOORS

# 650 SERIES

## Single Hung Opening Specifications

NOMINAL UNIT SIZE	SASH RAISED SQ. FT. CLEAR OPENING	SASH RAISED CLEAR OPENING WIDTH X HEIGHT (INCH X INCH)	SASH REMOVED SQ. FT. CLEAR OPENING	SASH REMOVED CLEAR OPENING WIDTH X HEIGHT (INCH X INCH)	VENT AREA SQ. FT.	VISIBLE LITE SQ. FT.	SCREEN SIZE WIDTH X HEIGHT	GLASS SIZE WIDTH X HEIGHT
2'0 x 3'0	1.68	18 1/8 x 13 5/16	1.93	18 1/8 x 15 5/16	1.91	3.72	19 1/4 x 17	19 x 16
2'0 x 4'0	2.43	18 1/8 x 19 5/16	2.68	18 1/8 x 21 5/16	2.65	5.21	19 1/4 x 23	19 x 22
2'0 x 4'4	2.68	18 1/8 x 21 5/16	2.93	18 1/8 x 23 5/16	2.90	5.71	19 1/4 x 25	19 x 24
2'0 x 5'0	3.19	18 1/8 x 25 5/16	3.44	18 1/8 x 27 5/16	3.39	6.70	19 1/4 x 29	19 x 28
2'0 x 6'0	3.94	18 1/8 x 31 5/16	4.19	18 1/8 x 33 5/16	4.13	8.19	19 1/4 x 35	19 x 34
2'0 x 6'0 ORIEL	3.19	18 1/8 x 25 5/16	3.44	18 1/8 x 27 5/16	3.39	8.19	19 1/4 x 29	19 x 40 TOP 19 x 28 BOTTOM
2'4 x 3'0	2.05	22 1/8 x 13 5/16	2.35	22 1/8 x 15 5/16	2.34	4.56	23 1/4 x 17	23 x 16
2'4 x 4'0	2.97	22 1/8 x 19 5/16	3.27	22 1/8 x 21 5/16	3.25	6.38	23 1/4 x 23	23 x 22
2'4 x 4'0	3.27	22 1/8 x 21 5/16	3.58	22 1/8 x 23 5/16	3.55	6.99	23 1/4 x 25	23 x 24
2'4 x 5'0	3.89	22 1/8 x 25 5/16	4.20	22 1/8 x 27 5/16	4.15	8.20	23 1/4 x 29	23 x 28
2'4 x 6'0	4.81	22 1/8 x 31 5/16	5.12	22 1/8 x 33 5/16	5.06	10.03	23 1/4 x 35	23 x 34
2'4 x 6'0 ORIEL	3.89	22 1/8 x 25 5/16	4.20	22 1/8 x 27 5/16	4.15	10.03	23 1/4 x 29	23 x 40 TOP 23 x 28 BOTTOM
2'8 x 3'0	2.42	26 1/8 x 13 5/16	2.78	26 1/8 x 15 5/16	2.77	5.39	27 1/4 x 17	27 x 16
2'8 x 4'0	3.50	26 1/8 x 19 5/16	3.87	26 1/8 x 21 5/16	3.84	7.55	27 1/4 x 23	27 x 22
2'8 x 4'4	3.87	26 1/8 x 21 5/16	4.23	26 1/8 x 23 5/16	4.20	8.27	27 1/4 x 25	27 x 24
2'8 x 5'0	4.59	26 1/8 x 25 5/16	4.96	26 1/8 x 27 5/16	4.92	9.70	27 1/4 x 29	27 x 28
2'8 x 6'0	5.68	26 1/8 x 31 5/16	6.04	26 1/8 x 33 5/16	5.99	11.86	27 1/4 x 35	27 x 34
2'8 x 6'0 ORIEL	4.59	26 1/8 x 25 5/16	4.96	26 1/8 x 27 5/16	4.92	11.86	27 1/4 x 29	27 x 40 TOP 27 x 28 BOTTOM
3'0 x 3'0	2.78	30 1/8 x 13 5/16	3.20	30 1/8 x 15 5/16	3.20	6.22	31 1/4 x 17	31 x 16
3'0 x 4'0	4.04	30 1/8 x 19 5/16	4.46	30 1/8 x 21 5/16	4.44	8.71	31 1/4 x 23	31 x 22
3'0 x 4'4	4.46	30 1/8 x 21 5/16	4.88	30 1/8 x 23 5/16	4.86	9.54	31 1/4 x 25	31 x 24
3'0 x 5'0	5.30	30 1/8 x 25 5/16	5.71	30 1/8 x 27 5/16	5.68	11.20	31 1/4 x 29	31 x 28
3'0 x 6'0	6.55	30 1/8 x 31 5/16	6.97	30 1/8 x 33 5/16	6.92	13.69	31 1/4 x 35	31 x 34
3'0 x 6'0 ORIEL	5.30	30 1/8 x 25 5/16	5.71	30 1/8 x 27 5/16	5.68	13.69	31 1/4 x 29	31 x 40 TOP 31 x 28 BOTTOM
3'4 x 4'0	4.58	34 1/8 x 19 5/16	5.05	34 1/8 x 21 5/16	5.04	9.88	35 1/4 x 23	35 x 22
3'4 x 4'4	5.05	34 1/8 x 21 5/16	5.52	34 1/8 x 23 5/16	5.51	10.82	35 1/4 x 25	35 x 24
3'4 x 5'0	6.00	34 1/8 x 25 5/16	6.47	34 1/8 x 27 5/16	6.45	12.70	35 1/4 x 29	35 x 28
3'4 x 6'0 ORIEL	6.00	34 1/8 x 25 5/16	6.47	34 1/8 x 27 5/16	6.45	15.53	35 1/4 x 29	35 x 40 TOP 35 x 28 BOTTOM
3'8 x 4'0	5.11	38 1/8 x 19 5/16	5.64	38 1/8 x 21 5/16	5.64	11.05	39 1/4 x 23	39 x 22
3'8 x 4'4	5.64	38 1/8 x 21 5/16	6.17	38 1/8 x 23 5/16	6.16	12.10	39 1/4 x 25	39 x 24
3'8 x 5'0	6.70	38 1/8 x 25 5/16	7.23	38 1/8 x 27 5/16	7.21	14.20	39 1/4 x 29	39 x 28
3'8 x 6'0 ORIEL	6.70	38 1/8 x 25 5/16	7.23	38 1/8 x 27 5/16	7.21	17.36	39 1/4 x 29	39 x 40 TOP 39 x 28 BOTTOM
4'0 x 4'0	5.65	42 1/8 x 19 5/16	6.23	42 1/8 x 21 5/16	6.23	12.21	43 1/4 x 23	43 x 22
4'0 x 5'0	7.40	42 1/8 x 25 5/16	7.99	42 1/8 x 27 5/16	7.97	15.70	43 1/4 x 29	43 x 28
4'0 x 6'0 ORIEL	7.40	42 1/8 x 25 5/16	7.99	42 1/8 x 27 5/16	7.97	15.70	43 1/4 x 29	43 x 40 TOP 43 x 28 BOTTOM

*Non-Thermal Aluminum Single Hung & Specialty - Standard Window Unit Sizes Available*

### ARCH TOP SIZES

The image shows a 2x4 grid of baseball scoreboards. The top row contains four scoreboards with the following scores:

- Scoreboard 1: 4-0, 47 1/8, 47 5/8
- Scoreboard 2: 5-0, 59 1/8, 59 5/8
- Scoreboard 3: 5-4, 63 1/8, 63 5/8
- Scoreboard 4: 6-0, 71 1/8, 71 5/8

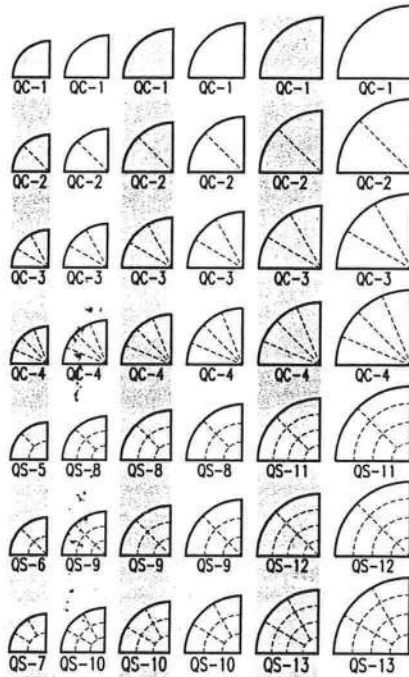
The bottom row contains four empty scoreboards for recording.



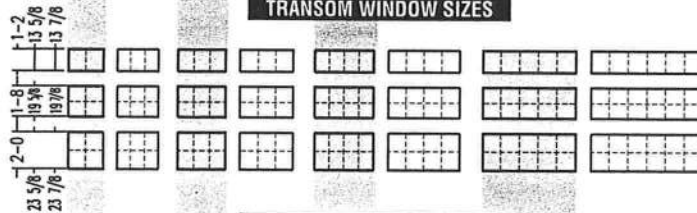
Some products may require special glazing options to meet certain Energy Star criteria. Contact your sales representative for more information.



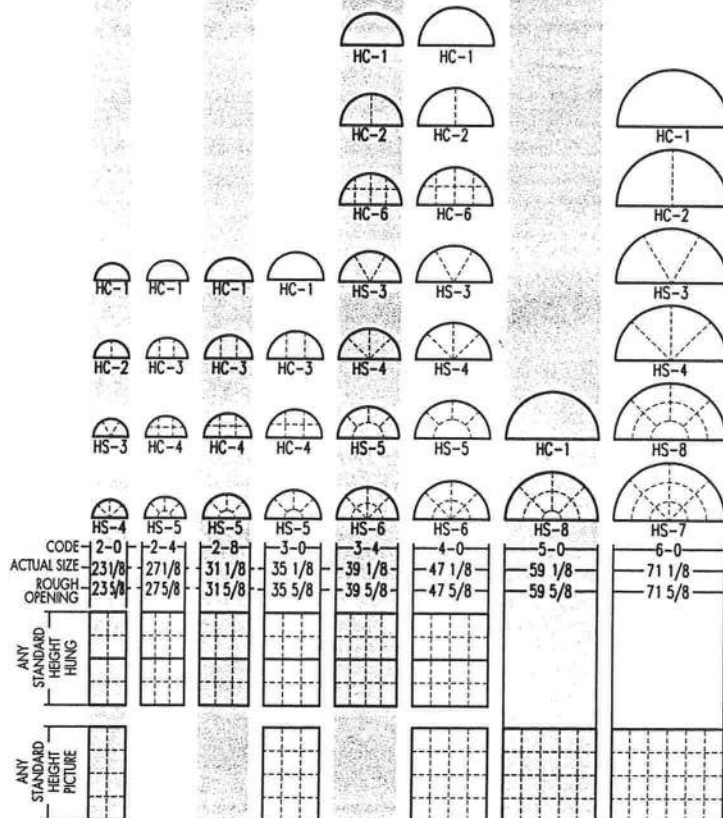
# QUARTER CIRCLE WINDOW SIZES



## TRANSOM WINDOW SIZES

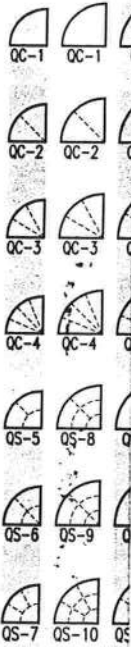


## CIRCLE TOP WINDOW SIZES

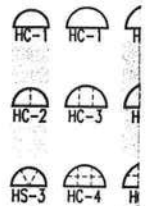


NOTE: Actual height of circle top = Actual width divided by 2 + 9/16"  
 Rough Opening height of circle top = Actual Height (calculated above) + 1/2"

QUART



1-1-2  
13 5/8  
1-8  
19 3/8  
2-0  
23 5/8  
23 7/8



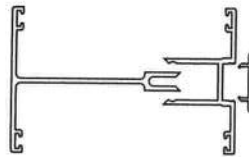
CODE	2-0	2-4	2
ACTUAL SIZE	23 1/8	27 1/8	31
ROUGH OPENING	23 5/8	27 5/8	31
ANY STANDARD HEIGHT HUNG			
ANY STANDARD HEIGHT PICTURE			

NOTE: Actual  
Rough

# 650 SERIES

*Non-Thermal Single Hung  
Aluminum Windows*

## MULLIONS AVAILABLE

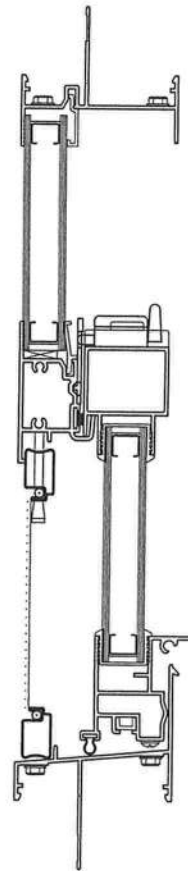


CM-45028  
CM-45029 3-PIECE  
CM-45030  
1 1/16" ADD ON

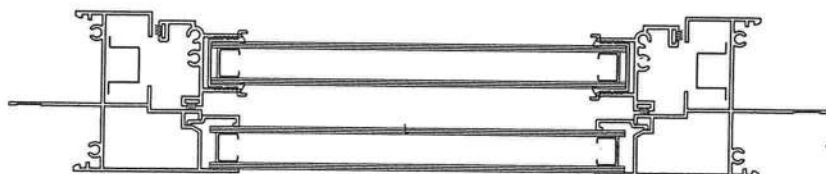


CM-65024 H-MULL  
1/8" ADD ON

## VERTICAL DETAIL



## HORIZONTAL DETAIL



**Load Short Form**  
**Entire House**  
**LARRY RESMONDO AIR CONDITIONING**

Job: KELLY SPRADLEY  
Date: Apr 10, 2007  
By:

**Project Information**

For: MARK HADDOX, WOODMAN PARK BUILDERS

**Design Information**

	Htg	Clg	Infiltration	
Outside db (°F)	33	92	Method	Simplified
Inside db (°F)	70	75	Construction quality	Average
Design TD (°F)	37	17	Fireplaces	0
Daily range	-	M		
Inside humidity (%)	-	50		
Moisture difference (gr/lb)	-	52		

**HEATING EQUIPMENT**

Make Ruud  
Trade Ruud UPNE Series  
Model UPNE-030J\*Z  
Efficiency 8.2 HSPF  
Heating input  
Heating output 32200 Btuh @ 47°F  
Temperature rise 30 °F  
Actual air flow 980 cfm  
Air flow factor 0.039 cfm/Btuh  
Static pressure 0.10 in H2O  
Space thermostat

**COOLING EQUIPMENT**

Make Ruud  
Trade Ruud UPNE Series  
Cond UPNE-030J\*Z  
Coil UGFD-07?MCK?+RCHJ-36A1  
Efficiency 13 SEER  
Sensible cooling 20580 Btuh  
Latent cooling 8820 Btuh  
Total cooling 29400 Btuh  
Actual air flow 980 cfm  
Air flow factor 0.044 cfm/Btuh  
Static pressure 0.10 in H2O  
Load sensible heat ratio 0.83

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
LAUNDRY	102	3387	6149	131	268
M/BATH	72	1208	578	47	25
M/CLOSET	56	79	142	3	6
M/BEDROOM	194	4970	3058	193	133
DINING	98	1232	689	48	30
KITCHEN	137	1532	3830	59	167
FAMILY ROOM	234	3929	2754	152	120
BEDROOM 2	125	3833	2253	149	98
BATH 2	54	777	307	30	13
BEDROOM 3	125	4348	2756	168	120

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.

Entire House	d	1196	25296	22517	980	980
Other equip loads			1690	777		
Equip. @ 0.97 RSM				22595		
Latent cooling				4898		
TOTALS		1196	26986	27493	980	980

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.





# Building Analysis Entire House LARRY RESMONDO AIR CONDITIONING

Job: KELLY SPRADLEY  
Date: Apr 10, 2007  
By:

## Project Information

For: MARK HADDOX, WOODMAN PARK BUILDERS

## Design Conditions

### Location:

Gainesville, FL, US  
Elevation: 0 ft  
Latitude: 30°N

### Outdoor:

Dry bulb (°F)  
Daily range (°F)  
Wet bulb (°F)  
Wind speed (mph)

### Heating

33  
-  
15.0

### Cooling

92  
19 ( M )  
77  
7.5

### Indoor:

Indoor temperature (°F)  
Design TD (°F)  
Relative humidity (%)  
Moisture difference (gr/lb)

### Heating

70  
37  
30  
10.6

### Cooling

75  
17  
50  
51.6

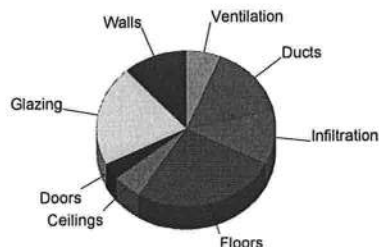
### Infiltration:

Method  
Construction quality  
Fireplaces

Simplified  
Average  
0

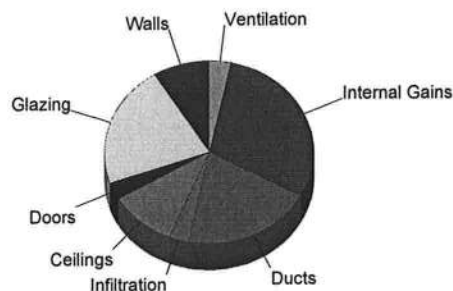
## Heating

Component	Btuh/ft²	Btuh	% of load
Walls	3.0	3128	11.6
Glazing	32.2	5633	20.9
Doors	14.4	909	3.4
Ceilings	1.2	1416	5.2
Floors	5.9	7110	26.3
Infiltration	2.6	3063	11.4
Ducts		4036	15.0
Piping		0	0.0
Humidification		0	0.0
Ventilation		1690	6.3
Adjustments		0	0.0
<b>Total</b>		<b>26986</b>	<b>100.0</b>



## Cooling

Component	Btuh/ft²	Btuh	% of load
Walls	2.0	2042	8.8
Glazing	28.7	5028	21.6
Doors	11.4	716	3.1
Ceilings	2.0	2398	10.3
Floors	0.0	0	0.0
Infiltration	0.6	719	3.1
Ducts		4694	20.2
Ventilation		777	3.3
Internal gains		6920	29.7
Blower		0	0.0
Adjustments		0	0.0
<b>Total</b>		<b>23294</b>	<b>100.0</b>



Overall U-value = 0.142 Btuh/ft²·°F

Data entries checked.



**Project Summary**  
**Entire House**  
**LARRY RESMONDO AIR CONDITIONING**

Job: KELLY SPRADLEY  
Date: Apr 10, 2007  
By:

**Project Information**

For: MARK HADDOX, WOODMAN PARK BUILDERS

Notes:

**Design Information**

Weather: Gainesville, FL, US

**Winter Design Conditions**

Outside db 33 °F  
Inside db 70 °F  
Design TD 37 °F

**Summer Design Conditions**

Outside db 92 °F  
Inside db 75 °F  
Design TD 17 °F  
Daily range M  
Relative humidity 50 %  
Moisture difference 52 gr/lb

**Heating Summary**

Structure 21260 Btuh  
Ducts 4036 Btuh  
Central vent (42 cfm) 1690 Btuh  
Humidification 0 Btuh  
Piping 0 Btuh  
Equipment load 26986 Btuh

**Sensible Cooling Equipment Load Sizing**

Structure 17823 Btuh  
Ducts 4694 Btuh  
Central vent (42 cfm) 777 Btuh  
Blower 0 Btuh  
Use manufacturer's data n  
Rate/swing multiplier 0.97  
Equipment sensible load 22595 Btuh

**Infiltration**

Method Simplified  
Construction quality Average  
Fireplaces 0

	Heating	Cooling
Area (ft²)	1196	1196
Volume (ft³)	10036	10036
Air changes/hour	0.45	0.23
Equiv. AVF (cfm)	75	38

**Latent Cooling Equipment Load Sizing**

Structure 2149 Btuh  
Ducts 1294 Btuh  
Central vent (42 cfm) 1456 Btuh  
Equipment latent load 4898 Btuh  
Equipment total load 27493 Btuh  
Req. total capacity at 0.70 SHR 2.7 ton

**Heating Equipment Summary**

Make Ruud  
Trade Ruud UPNE Series  
Model UPNE-030J\*Z  
Efficiency 8.2 HSPF  
Heating input 32200 Btuh @ 47°F  
Heating output 30 °F  
Temperature rise 980 cfm  
Actual air flow 0.039 cfm/Btuh  
Air flow factor 0.10 in H2O  
Static pressure  
Space thermostat

**Cooling Equipment Summary**

Make Ruud  
Trade Ruud UPNE Series  
Cond UPNE-030J\*Z  
Coil UGFD-07?MCK?+RCHJ-36A1  
Efficiency 13 SEER  
Sensible cooling 20580 Btuh  
Latent cooling 8820 Btuh  
Total cooling 29400 Btuh  
Actual air flow 980 cfm  
Air flow factor 0.044 cfm/Btuh  
Static pressure 0.10 in H2O  
Load sensible heat ratio 0.83

Printout certified by ACCA to meet all requirements of Manual J 8th Ed.



# Duct System Summary

## Entire House

### LARRY RESMONDO AIR CONDITIONING

Job: KELLY SPRADLEY  
Date: Apr 10, 2007  
By:

#### Project Information

For: MARK HADDOX, WOODMAN PARK BUILDERS

	<b>Heating</b>	<b>Cooling</b>
External static pressure	<b>0.10</b> in H2O	<b>0.10</b> in H2O
Pressure losses	0.25 in H2O	0.25 in H2O
Available static pressure	-0.2 in H2O	-0.2 in H2O
Supply / return available pressure	-0.09 / -0.06 in H2O	-0.09 / -0.06 in H2O
Lowest friction rate	<b>0.100</b> in/100ft	<b>0.100</b> in/100ft
Actual air flow	980 cfm	980 cfm
Total effective length (TEL)	170 ft	

#### Supply Branch Detail Table

Name	Design (Btuh)	Htg (cfm)	Clg (cfm)	Design FR	Diam (in)	Rect Size (in)	Duct Matl	Actual Ln (ft)	Ftg.Eqv Ln (ft)	Trunk
LAUNDRY-A	c 3075	66	134	0.100	7	14x3	VIFx	100.0	0.0	ST1
LAUNDRY	c 3075	66	134	0.100	7	14x3	VIFx	100.0	0.0	ST1
M/BATH	h 1208	47	25	0.100	5	14x1	VIFx	100.0	0.0	ST1A
M/CLOSET	c 142	3	6	0.100	4	14x1	VIFx	100.0	0.0	ST1
M/BEDROOM	h 4970	193	133	0.100	9	14x5	VIFx	100.0	0.0	ST1
DINING	h 1232	48	30	0.100	5	14x1	VIFx	100.0	0.0	ST1
KITCHEN	c 3830	59	167	0.100	8	14x4	VIFx	100.0	0.0	ST1
FAMILY ROOM	h 3929	152	120	0.100	8	14x4	VIFx	100.0	0.0	ST1
BEDROOM 2	h 3833	149	98	0.100	8	14x4	VIFx	100.0	0.0	ST1
BATH 2	h 777	30	13	0.100	4	14x1	VIFx	100.0	0.0	ST1
BEDROOM 3	h 4348	168	120	0.100	8	14x4	VIFx	100.0	0.0	ST1

#### Supply Trunk Detail Table

Name	Trunk Type	Htg (cfm)	Clg (cfm)	Design FR	Veloc (fpm)	Diam (in)	Rect Duct Size (in)	Duct Material	Trunk
ST1	Peak AVF	980	980	0.100	511	18	12 x 23	RectFbg	ST1
ST1A	Peak AVF	47	25	0.100	562	10	12 x 1	RectFbg	

*Bold/italic values have been manually overridden*

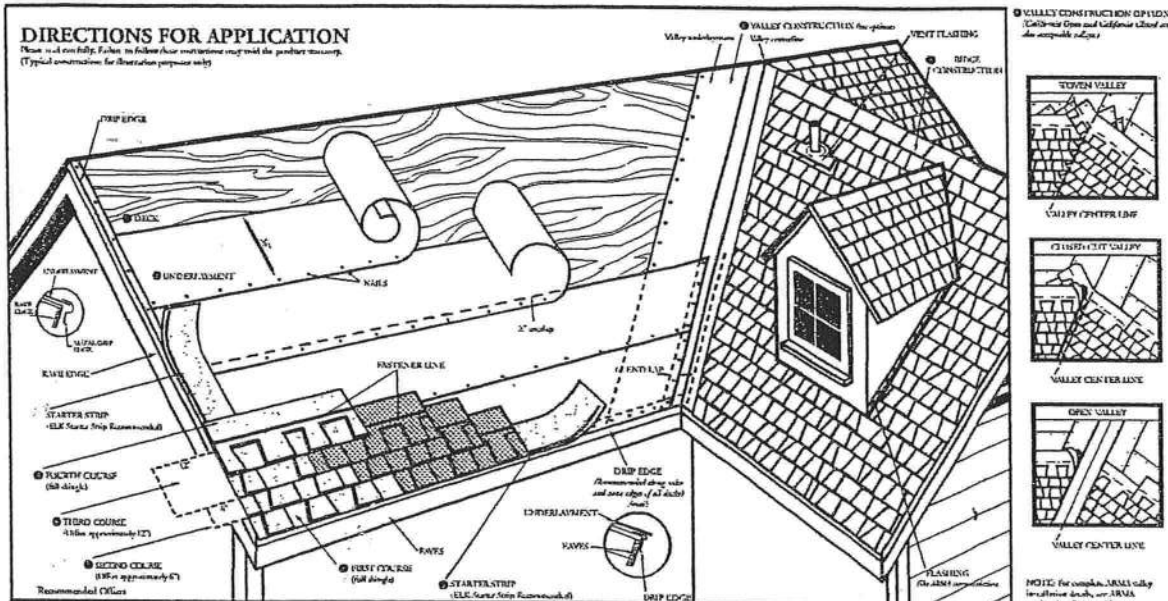
## Return Branch Detail Table

Name	Grill Size (in)	Htg (cfm)	Clg (cfm)	TEL (ft)	Design FR	Veloc (fpm)	Diam (in)	RectSize (in)	Stud/Joist Opening (in)	Duct Matl	Trunk
RB1	0x0	318	509	70.0	0.100	509	13	12x 12		VIFx	
RB2	0x0	193	133	70.0	0.100	385	9	12x 6		VIFx	
RB3	0x0	152	120	70.0	0.100	365	8	12x 5		VIFx	
RB4	0x0	149	98	70.0	0.100	356	8	12x 5		VIFx	
RB5	0x0	168	120	70.0	0.100	404	8	12x 5		VIFx	



## DIRECTIONS FOR APPLICATION

Please read carefully. Failure to follow these instructions may void the product warranty. (Typical construction for illustration purposes only.)



## DIRECTIONS FOR APPLICATION

These application instructions are the minimum required to meet Elk's application requirements. Your failure to follow these instructions may void Elk's product warranty. In some areas, the building codes may require additional application techniques or methods beyond our instructions. In these cases, the local code must be followed. Under no circumstances will Elk accept application requirements that are less than those printed here. Shingles should not be jammed tightly together. All attics should be properly ventilated. Note: It is not necessary to remove tape on back of shingle.

### DECK PREPARATION

Roof decks should be dry, well-seasoned 1" x 6" boards or exterior grade plywood minimum 3/8" thick and conform to the specifications of the American Plywood Association or 7/16" oriented strandboard, or 7/16" chipboard.

### UNDERLAYMENT

Apply underlayment (Non-Perforated No. 15 or 30 asphalt saturated felt, Elk Versashield® or self adhering underlayment is also acceptable. Cover drip edge at eaves only.

For low slope (2/12 up to 4/12), completely cover the deck with two plies of underlayment overlapping a minimum of 15". Begin by fastening a 19" wide strip of underlayment placed along the eaves. Place a full 36" wide sheet over the starter, horizontally placed along the eaves and completely overlapping the starter strip.

**EAVE FLASHING FOR ICE DAMS (ASK A ROOFING CONTRACTOR, REFER TO ARMA MANUAL OR CHECK LOCAL CODES)**

For standard slope (4/12 to less than 21/12), use coated roll roofing of no less than 50 pounds over the felt underlayment extending from the eave edge to a point at least 24" beyond the inside wall of the living space below or one layer of a self-adhered eave and flashing membrane.

For low slope (2/12 up to 4/12), use a continuous layer of asphalt plastic cement between the two plies of underlayment from the eave edge up roof to a point at least 24" beyond the inside wall of the living space below or one layer of a self-adhered eave and flashing membrane.

Consult the Elk Technical Services Department for application specifications over other decks and other slopes.

### STARTER SHINGLE COURSE

USE AN ELK STARTER STRIP OR THE HEADLAP OF A STRIP SHINGLE WITH THE ADHESIVE STRIP POSITIONED AT THE EAVE EDGE. With at least 3" trimmed from the end of the first shingle, start at the rake edge overhanging the eave and rake edges 1/2" to 3/4". Fasten 2" from the lower edge and 1" from each side.

### FIRST COURSE

Start at rake and continue course with full shingles laid flush with the starter course. Shingles may be applied with a course alignment of 45° on the roof.

### SECOND COURSE

Offset the second course of shingles with respect to the first by approximately 6". Other offsets are approved if greater than 4".

### THIRD COURSE

Offset the next course by 6" with respect to the second course, or consistent with the original offset.

### FOURTH COURSE

Start at the rake and continue with full shingles across roof.

### FIFTH AND SUCCEEDING COURSES.

Repeat application as shown for second, third, and fourth courses. Do not rack shingles straight up the roof. Offsets may be adjusted around valleys and penetrations.

### VALLEY CONSTRUCTION

Open, woven and closed cut valleys are acceptable when applied by Asphalt Roofing Manufacturing Association (ARMA) recommended procedures. For metal valleys, use 36" wide vertical underlayment prior to applying metal flashing (secure edge with nails). No nails are to be within 5" of valley center.

### RIDGE CONSTRUCTION

For ridge construction Elk recommends Class "A" Z-Ridge or Seal-A-Ridge® with formula FLX™ or RidgeCrest® with FLX (See ridge package for installation instructions). Vented RidgeCrest or 3-tab shingles are also approved.

### FASTENERS

While nailing is the preferred method for Elk shingles, Elk will accept fastening methods according to the following instructions.

Using the fastener line as a reference, nail or staple the shingle in the double thickness common bond area. For shingles without a fastener line, nails or staples must be placed between and/or in the sealant dots.

**NAILS:** Corrosive resistant, 3/8" head, minimum 12-gauge roofing nails. Elk recommends 1-1/4" for new roofs and 1-1/2" for re-roofs. In cases where you are applying shingles to a roof that has an exposed overhang, for new roofs only, 3/4" ring shank nails are allowed to be used from the eave's edge to a point up the roof that is past the outside wall line. 1" ring shank nails allowed for re-roof.

**STAPLES:** Corrosive resistant, 16-gauge minimum, crown width minimum of 15/16". Note: An improperly adjusted staple gun can result in raised staples that can cause a fish-mouthed appearance and can prevent sealing.

Fasteners should be long enough to obtain 3/4" deck penetration or penetration through deck, whichever is less. This product meets the requirements of the IRC 2003 code when fastened with 4 nails.

### MANSAARD APPLICATIONS

Correct fastening is critical to the performance of the roof. For slopes exceeding 60° (or 21/12) use six fasteners per shingle. Locate fasteners in the fastener area 1" from each side edge with the remaining four fasteners equally spaced along the length of the double thickness (laminated) area. Only fastening methods according to the above instructions are acceptable.

### LIMITED WIND WARRANTY

- For a Limited Wind Warranty, all Prestique and Raised Profile™ shingles must be applied with 4 properly placed fasteners, or in the case of mansard applications, 6 properly placed fasteners per shingle.
- For a Limited Wind Warranty up to 110 MPH for Prestique Gallery Collection or Prestique Plus or 90 MPH for Prestique I, shingles must be applied with 6 properly placed NAILS per shingle. SHINGLES APPLIED WITH STAPLES WILL NOT QUALIFY FOR THIS ENHANCED LIMITED WIND WARRANTY. Also, Elk Starter Strip shingles must be applied at the eaves and rake edges to qualify Prestique Plus, Prestique Gallery Collection and Prestique I shingles for this enhanced Limited Wind Warranty. Under no circumstances should the Elk Shingles or the Elk Starter Strip overhang the eaves or rake edge more than 3/4" of an inch.

### HELP STOP BLOW-OFFS AND CAIL-BACKS

A minimum of four fasteners must be driven into the DOUBLE THICKNESS (laminated) area of the shingle. Nails or staples must be placed along – and through – the fastener line – or on products without fastener lines, nail or staple between and in line with sealant dots. CAUTION: Do not use fastener line for shingle alignment.



Refer to local codes which in some areas may require specific application techniques beyond those Elk has specified. All Prestique and Raised Profile shingles have a U.L.® Wind Resistance Rating when applied in accordance with these instructions using nails or staples on re-roofs as well as new construction.

**CAUTION TO WHOLESALER:** Careless and improper storage or handling can harm fiberglass shingles. Keep these shingles completely covered, dry, reasonably cool, and protected from the weather. Do not store near various sources of heat. Do not store in direct sunlight until applied. DO NOT DOUBLE STACK. Systematically rotate all stock so that the material that has been stored the longest will be the first to be moved out.



©2014, Elk Premium Building Products, Inc. All trademarks, ®, are registered trademarks of Elk Premium Building Products, Inc. All trademarks, ™, are trademarks pending registration of Elk Premium Building Products, Inc., an ElkCorp company. UL is registered trademark of Underwriters Laboratories, Inc.



# RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004 WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE  
EFFECTIVE OCTOBER 1, 2005

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

## GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Designers name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Site Plan including:</u> a) Dimensions of lot b) Dimensions of building set backs c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements. d) Provide a full legal description of property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Wind-load Engineering Summary, calculations and any details required</u> Plans or specifications must state compliance with FBC Section 1609. The following information must be shown as per section 1603.1.4 FBC a. Basic wind speed (3-second gust), miles per hour (km/hr). b. Wind importance factor, $I_w$ , and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7. c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated. d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient. e. Components and Cladding. The design wind pressures in terms of psf ( $kN/m^2$ ) to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Elevations including:</u> a) All sides b) Roof pitch c) Overhang dimensions and detail with attic ventilation

- [illegible]

□ □

- 10

10

- 10

10

- 10

10

- 10

c. Crawl space (if applicable)

☐

☐

b) Wood frame wall

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
7. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termiteicide or alternative method)
11. Slab on grade
  - a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed
  - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
  - a. Attic space
  - b. Exterior wall cavity
  - c. Crawl space (if applicable)

☐

☐

c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

**Floor Framing System:**

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable

**Plumbing Fixture layout**

**Electrical layout including:**

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment
- g) Arc Fault Circuits (AFCI) in bedrooms
- h) Exhaust fans in bathroom

**HVAC information**

- a) Energy Calculations (dimensions shall match plans)
- b) Manual J sizing equipment or equivalent computation
- c) Gas System Type (LP or Natural) Location and BTU demand of equipment

**Disclosure Statement for Owner Builders**

**\*\*\*Notice Of Commencement Required Before Any Inspections Will Be Done**

**Private Potable Water**

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

☒

☐

☐

☐

☐

☐

☐

☐

☐

☐

☒

☐

☒

☐

☒

☐

☒

☐

☒

☐

☒

☐

☒

☐

☒

☐

☒

☐

☒

☐

☒

☐

☒

☐

☐

☐

☐

☐

☐

☐

☐

☐

00RS

Dec. 28. 2001 5:03PM PREMDOR DICKSON 515 445 7029

1885 P. 12/32

MIAMI-DADE

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDINGBUILDING CODE COMPLIANCE OFFICE  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908CONTRACTOR LICENSING SECTION  
(305) 375-2527 FAX (305) 375-2533CONTRACTOR ENFORCEMENT DIVISION  
(305) 375-2966 FAX (305) 375-2908PRODUCT CONTROL DIVISION  
(305) 375-2902 FAX (305) 375-6339PRODUCT CONTROL NOTICE OF ACCEPTANCEPremdor Entry Systems  
One Premdor Drive  
Dickson, TN 37055

- Your application for Notice of Acceptance (NOA) of:  
 Entergy SE Double Door w/sidelites - Inswing - Opnque-8'0" In a Wood Frame  
 under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of  
 Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade  
 County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure this  
 product or material at any time from a jobsite or manufacturer's plant for quality control testing. If this  
 product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the  
 use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is  
 determined by BCCO that this product or material fails to meet the requirements of the South Florida  
 Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 01-1031.06  
 EXPIRES: 11/05/2006

*[Signature]*  
 Raul Pedraza  
 Chief of Building Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL  
CONDITIONS  
BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building  
 Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set  
 forth above.

*[Signature]*

Francisco J. Quintana, R.A.  
 Director  
 Miami-Dade County  
 Building Code Compliance Office

APPROVED: 12/11/2001



Dec. 28, 2001 5:04PM PREMDOR DICKSON 815 446 7229

8885 P. 13/52

Premdor Entry Systems

ACCEPTANCE No.: 01-1031.06

APPROVED: December 11, 2001

EXPIRES: November 5, 2006

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

## 1. SCOPE

- 1.1 This renews Notice of Acceptance (NOA) No. 00-0720.10, which was issued on November 09, 2000. It renews the approval of a residential insulated steel door, as described in Section 2 of this NOA, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.

## 2. PRODUCT DESCRIPTION

- 2.1 The Series "Entergy" Inswing Opaque Double Residential Insulated Steel Doors (Metal Edge) with Sidelites 8' 0" High - Impact Resistant Door Slab Only and its components shall be constructed in strict compliance with the following document: Drawing No 31-1034-EM-I, Sheets 1 through 6 of 6, titled "Premdor (Entergy Metal Edge) Double Door w/ Sidelites in Wood Frame w/ Bumper Threshold - 8' 0" Height (Inswing)," prepared by manufacturer, dated 6/15/98 and revised on 7/27/01, bearing the Miami-Dade County Product Control renewal stamp with the NOA number and expiration date by the Miami-Dade County Product Control Division. This document shall hereinafter be referred to as the approved drawings.

## 3. LIMITATIONS

- 3.1 This approval applies to single unit applications of pair of doors and single door with sidelites, as shown in approved drawings. Single door units shall include all components described in the active leaf of this approval.
- 3.2 Unit shall be installed only at locations protected by a canopy or overhang such that the angle between the edge of canopy or overhang to sill is less than 45 degrees. Unless unit is installed in non-habitable areas where the unit and the area are designed to accept water infiltration.

## 4. INSTALLATION

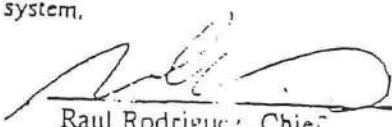
- 4.1 The residential insulated steel door and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters):  
Door Slab: The installation of this unit will not require a hurricane protective system.  
Sidelites: The installation of these units will require a hurricane protective system.

## 5. LABELING

- 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

## 6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

  
Raul Rodriguez, Chief  
Product Control Division



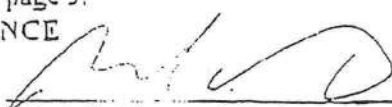
Dec. 28. 2001 5:04PM PREMDOR DICKSON 615 446 7223

6885 9. 14/52

Premdor Entry SystemsACCEPTANCE No. 01-1031.06APPROVED: December 11, 2001EXPIRES: November 5, 2006NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

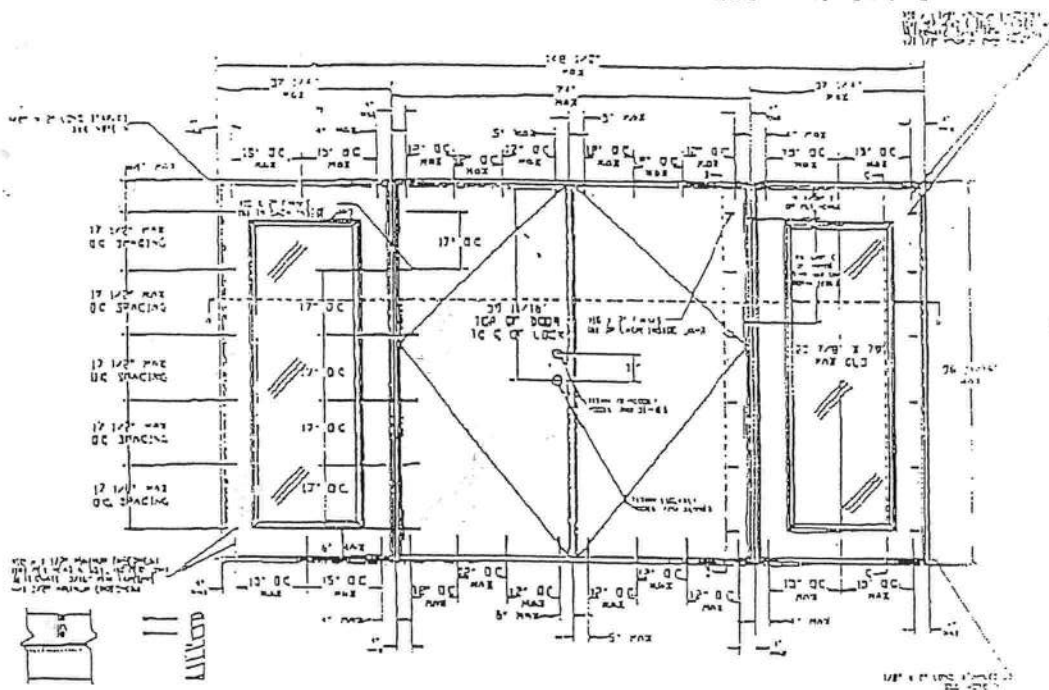
1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
  - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
  - b) The product is no longer the same product (identical) as the one originally approved;
  - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
  - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
  - a) Unsatisfactory performance of this product or process.
  - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE

  
\_\_\_\_\_  
Raul Rodriguez, Chief  
Product Control Division

Dec. 28, 2001 5:04PM PREMDOR DICKSON 615 446 7229  
 PREMDOR (ENTERGY METAL EDGE) DOUBLE DOOR  
 WITH SIDELITES IN WOOD FRAMES  
 WITH BUMPER THRESHOLD-8'0" HEIGHT (INSWING)

8885 P. 15/52



ATTACH ASTRAGAL THROUGH DOOR STRIKE PLATE TO THE HEAD AND THRESHOLD WITH NO. 8 PLATHEAD SCREWS

## NOTES:

1) WOOD BLOCKS BY OTHERS MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.  
 2) THE FOLLOWING DIMENSIONS ARE INTENDED TO QUALIFY THE FOLLOWING INSTALLATIONS:

A. WOOD FRAME CONSTRUCTION WHERE DOOR SYSTEM IS ANCHORED TO A MINIMUM TWO BY WOOD OPENING

B. MASONRY OR CONCRETE CONSTRUCTION WHERE DOOR SYSTEM IS ANCHORED TO A MINIMUM TWO BY STRUCTURAL WOOD BLOCK

C. MASONRY OR CONCRETE CONSTRUCTION WHERE DOOR SYSTEM IS ANCHORED DIRECTLY TO CONCRETE OR MASONRY WITH OR WITHOUT A NON-STRUCTURAL ONE BY WOOD BLOCK

3. ALL ANCHORING SCREWS TO BE 1/2" MINIMUM 1/2" EMBEDMENT INTO WOOD SUBSTRATE OR 3/16" PER LAP JOINTS WITH 1/2" MINIMUM EMBEDMENT INTO MASONRY

4. GLAZED UNIT MUST BE INSTALLED WITH MINIMUM-GRADE COUNTY APPROVED SILLERS

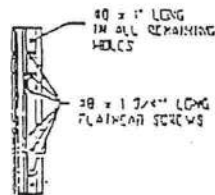
5. INSIDE STAPLES PER SIDE JAMB INTO HEADER ON SIDELITES AND DOOR, THREE STAPLES PER JAMB INTO THRESHOLD ON SIDELITES AND DOOR

6. LATEX SEALANT TO BE APPLIED AT SIDE BY SIDE JAMBS AND SIDELITES

7. DOOR/SIDELITE HEADERS, DOOR/SIDELITE JAMBS, AND SIDELITE BASE CORNERS ARE CORED AND BUTTED

8. DOORS SHALL BE PRE-PRIMED WITH AN ACRYLIC LATEX WATER-BASED/ WATER-REDUCIBLE WHITE PRIMER WITH A DFT FILM THICKNESS OF 0.8 TO 1.2 MIL.

9. FRAMES SHALL BE PRE-PRIMED WITH A WATER-BASED CROST PRIMER WITH A DFT FILM THICKNESS OF 1.2 TO 1.2 MIL.



ASTRAGAL

IN SWING

## PRODUCT RENEWED

ACCEPTANCE NO. H-1031.04

EXPIRATION DATE: 1/1/2005

BY: [Signature]

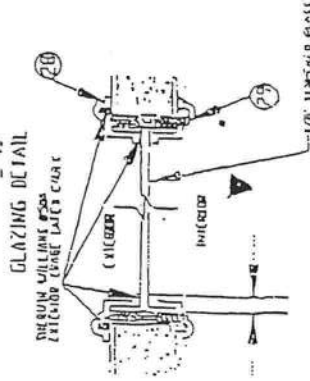
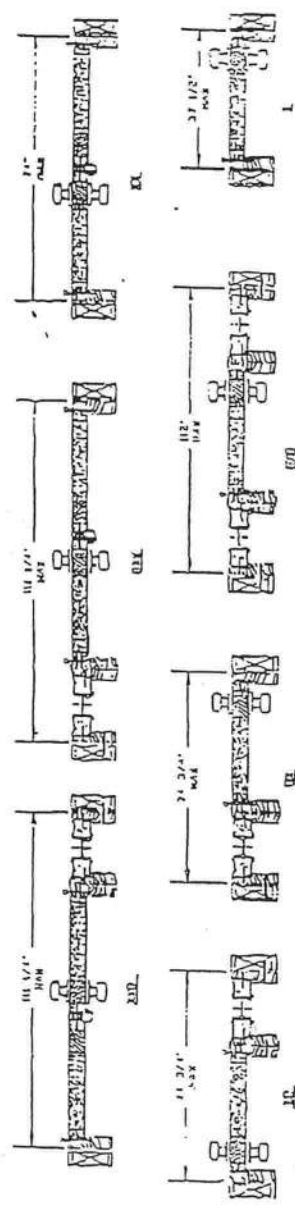
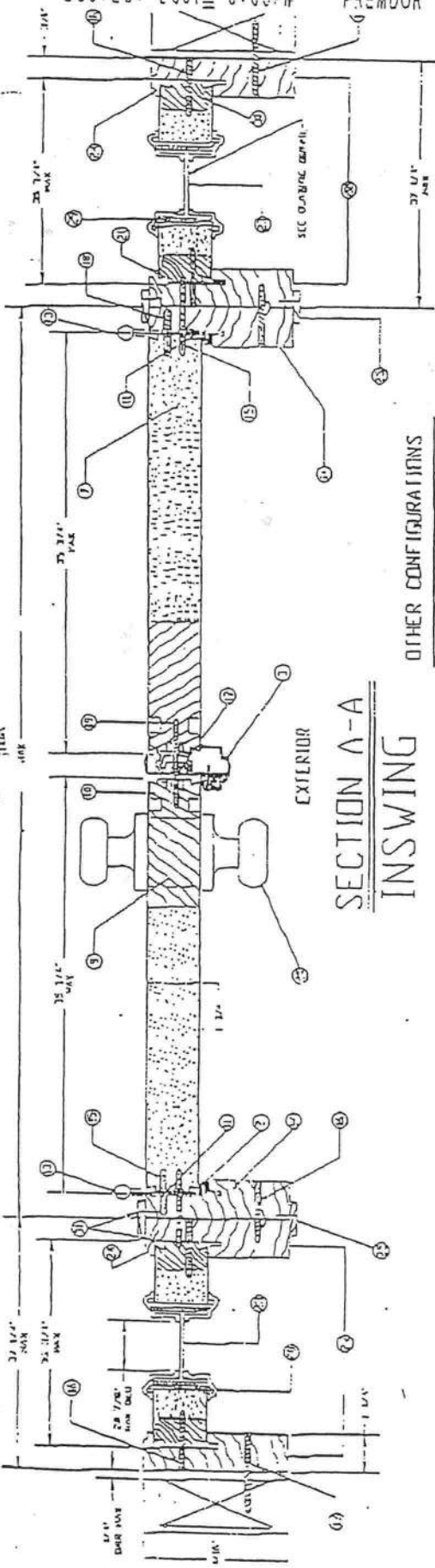
PRODUCT CONTROL DIVISION  
 BUILDING CODE COMPLIANCE OFFICE

DESIGN PRESSURE RATINGS		
	WHERE WATER INFILTRATION REQUIREMENT IS MET	WHERE WATER INFILTRATION REQUIREMENT IS NOT MET
Positive	NOT APPROVED X	-14.7 PSI
Negative	NOT APPROVED X	-14.7 PSI

\* UNITS SHALL BE INSTALLED ONLY AT LOCATIONS PROTECTED BY A CANOPY OR OVERHANG SUCH THAT THE ANGLE BETWEEN THE CASE OF CANOPY OR OVERHANG TO SILL IS LESS THAN 45 DEGREES. UNLESS UNIT IS INSTALLED IN NON-HABITABLE AREAS WHERE THE UNIT AND THE AREA ARE DESIGNED TO ACCEPT WATER INFILTRATION.

THIS UNIT SHALL BE:	1. DOOR/SIDELITE HEADERS, DOOR/SIDELITE JAMBS, AND SIDELITE BASE CORNERS ARE CORED AND BUTTED	2. DOOR/SIDELITE HEADERS, DOOR/SIDELITE JAMBS, AND SIDELITE BASE CORNERS ARE CORED AND BUTTED
DOORS SHALL BE PRE-PRIMED WITH AN ACRYLIC LATEX WATER-BASED/ WATER-REDUCIBLE WHITE PRIMER WITH A DFT FILM THICKNESS OF 0.8 TO 1.2 MIL.	3. DOORS SHALL BE PRE-PRIMED WITH AN ACRYLIC LATEX WATER-BASED/ WATER-REDUCIBLE WHITE PRIMER WITH A DFT FILM THICKNESS OF 0.8 TO 1.2 MIL.	4. DOORS SHALL BE PRE-PRIMED WITH AN ACRYLIC LATEX WATER-BASED/ WATER-REDUCIBLE WHITE PRIMER WITH A DFT FILM THICKNESS OF 0.8 TO 1.2 MIL.
FRAMES SHALL BE PRE-PRIMED WITH A WATER-BASED CROST PRIMER WITH A DFT FILM THICKNESS OF 1.2 TO 1.2 MIL.	5. FRAMES SHALL BE PRE-PRIMED WITH A WATER-BASED CROST PRIMER WITH A DFT FILM THICKNESS OF 1.2 TO 1.2 MIL.	6. FRAMES SHALL BE PRE-PRIMED WITH A WATER-BASED CROST PRIMER WITH A DFT FILM THICKNESS OF 1.2 TO 1.2 MIL.
PREMDOR ENTRY SYSTEMS		
61-1034-EM-1		
SHEET 1 OF 6		

Dec. 28, 2001 5:05PM PREMDOR DICKSON 615 446 7229

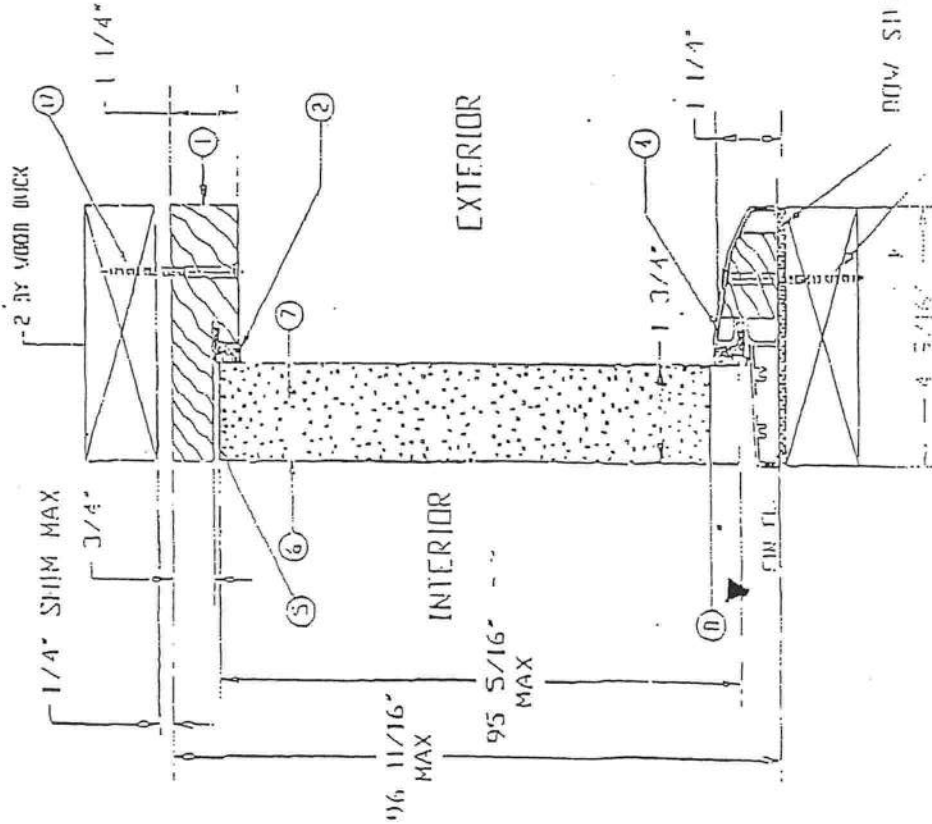


PRODUCT RENEWED  
ACCEPTANCE NO. 01-101-01  
EXPIRATION DATE 10/1/01  
BY [Signature]  
REGISTRATION CONTROL SYSTEM  
DOOR FAB

1	DOOR HINGE	1/2"	1/2"
2	DOOR HINGE	1/2"	1/2"
3	DOOR HINGE	1/2"	1/2"
4	DOOR HINGE	1/2"	1/2"
5	DOOR HINGE	1/2"	1/2"
6	DOOR HINGE	1/2"	1/2"
7	DOOR HINGE	1/2"	1/2"
8	DOOR HINGE	1/2"	1/2"
9	DOOR HINGE	1/2"	1/2"
10	DOOR HINGE	1/2"	1/2"
11	DOOR HINGE	1/2"	1/2"
12	DOOR HINGE	1/2"	1/2"
13	DOOR HINGE	1/2"	1/2"
14	DOOR HINGE	1/2"	1/2"
15	DOOR HINGE	1/2"	1/2"
16	DOOR HINGE	1/2"	1/2"
17	DOOR HINGE	1/2"	1/2"
18	DOOR HINGE	1/2"	1/2"
19	DOOR HINGE	1/2"	1/2"
20	DOOR HINGE	1/2"	1/2"
21	DOOR HINGE	1/2"	1/2"
22	DOOR HINGE	1/2"	1/2"
23	DOOR HINGE	1/2"	1/2"
24	DOOR HINGE	1/2"	1/2"
25	DOOR HINGE	1/2"	1/2"

MATERIALS LIST

ITEM NO	DESCRIPTION	QTY	UNIT
1	WOOD HEAD JOIST	1	EA
2	CONCRETE VERTICAL BRACKET	1	EA
3	ALUMINUM STRIP	1	EA
4	ALUMINUM BRACKET	1	EA
5	WOOD BRACKET	1	EA
6	WOOD BRACKET	1	EA
7	WOOD BRACKET	1	EA
8	WOOD BRACKET	1	EA
9	WOOD BRACKET	1	EA
10	WOOD BRACKET	1	EA
11	WOOD BRACKET	1	EA
12	WOOD BRACKET	1	EA
13	WOOD BRACKET	1	EA
14	WOOD BRACKET	1	EA
15	WOOD BRACKET	1	EA
16	WOOD BRACKET	1	EA
17	WOOD BRACKET	1	EA
18	WOOD BRACKET	1	EA
19	WOOD BRACKET	1	EA
20	WOOD BRACKET	1	EA
21	WOOD BRACKET	1	EA
22	WOOD BRACKET	1	EA
23	WOOD BRACKET	1	EA
24	WOOD BRACKET	1	EA
25	WOOD BRACKET	1	EA
26	WOOD BRACKET	1	EA
27	WOOD BRACKET	1	EA
28	WOOD BRACKET	1	EA
29	WOOD BRACKET	1	EA
30	WOOD BRACKET	1	EA
31	WOOD BRACKET	1	EA
32	WOOD BRACKET	1	EA
33	WOOD BRACKET	1	EA
34	WOOD BRACKET	1	EA
35	WOOD BRACKET	1	EA
36	WOOD BRACKET	1	EA
37	WOOD BRACKET	1	EA
38	WOOD BRACKET	1	EA
39	WOOD BRACKET	1	EA
40	WOOD BRACKET	1	EA
41	WOOD BRACKET	1	EA
42	WOOD BRACKET	1	EA
43	WOOD BRACKET	1	EA
44	WOOD BRACKET	1	EA
45	WOOD BRACKET	1	EA
46	WOOD BRACKET	1	EA
47	WOOD BRACKET	1	EA
48	WOOD BRACKET	1	EA
49	WOOD BRACKET	1	EA
50	WOOD BRACKET	1	EA
51	WOOD BRACKET	1	EA
52	WOOD BRACKET	1	EA
53	WOOD BRACKET	1	EA
54	WOOD BRACKET	1	EA
55	WOOD BRACKET	1	EA
56	WOOD BRACKET	1	EA
57	WOOD BRACKET	1	EA
58	WOOD BRACKET	1	EA
59	WOOD BRACKET	1	EA
60	WOOD BRACKET	1	EA
61	WOOD BRACKET	1	EA
62	WOOD BRACKET	1	EA
63	WOOD BRACKET	1	EA
64	WOOD BRACKET	1	EA
65	WOOD BRACKET	1	EA
66	WOOD BRACKET	1	EA
67	WOOD BRACKET	1	EA
68	WOOD BRACKET	1	EA
69	WOOD BRACKET	1	EA
70	WOOD BRACKET	1	EA
71	WOOD BRACKET	1	EA
72	WOOD BRACKET	1	EA
73	WOOD BRACKET	1	EA
74	WOOD BRACKET	1	EA
75	WOOD BRACKET	1	EA
76	WOOD BRACKET	1	EA
77	WOOD BRACKET	1	EA
78	WOOD BRACKET	1	EA
79	WOOD BRACKET	1	EA
80	WOOD BRACKET	1	EA
81	WOOD BRACKET	1	EA
82	WOOD BRACKET	1	EA
83	WOOD BRACKET	1	EA
84	WOOD BRACKET	1	EA
85	WOOD BRACKET	1	EA
86	WOOD BRACKET	1	EA
87	WOOD BRACKET	1	EA
88	WOOD BRACKET	1	EA
89	WOOD BRACKET	1	EA
90	WOOD BRACKET	1	EA
91	WOOD BRACKET	1	EA
92	WOOD BRACKET	1	EA
93	WOOD BRACKET	1	EA
94	WOOD BRACKET	1	EA
95	WOOD BRACKET	1	EA
96	WOOD BRACKET	1	EA
97	WOOD BRACKET	1	EA
98	WOOD BRACKET	1	EA
99	WOOD BRACKET	1	EA
100	WOOD BRACKET	1	EA



SECTION B-B

DOOR SHUTTER

PRODUCT RENEWAL

ALL DIMENSIONS IN INCHES  
EXCEPT WHERE NOTED OTHERWISE  
BY THE FABRICATOR

PREMIER ENTRY SYSTEMS

31-1034-1M

SHEET 3 OF 3

5885

17/52

Dec. 28, 2001 2:36PM PREMDOR DICKSON 615 445 7229

3885 20/52

# LITHER DOOR PANEL STYLES

36" MAX

36" MAX

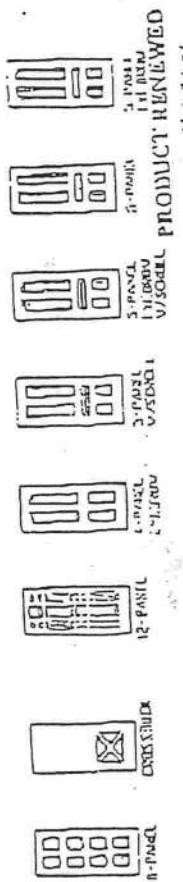
MAX 36" MAX

# LITHER SIDELITE STYLES

36" MAX

36" MAX

MAX 36" MAX



PRODUCT RENEWED

ACCEPTANCE NO. 01-1431-06

INSURANCE NO. 01-1431-06

BY [Signature]

PREMDOR DICKSON

615 445 7229

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

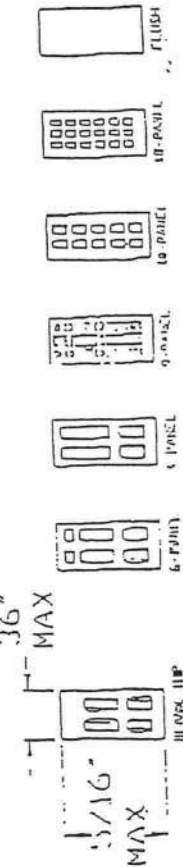
01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06



PRODUCT RENEWED

ACCEPTANCE NO. 01-1431-06

INSURANCE NO. 01-1431-06

BY [Signature]

PREMDOR DICKSON

615 445 7229

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

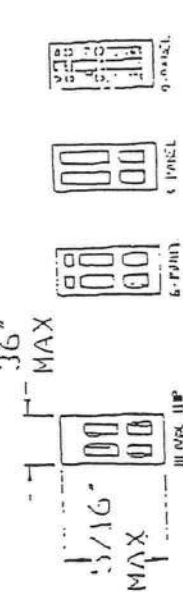
01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06



PRODUCT RENEWED

ACCEPTANCE NO. 01-1431-06

INSURANCE NO. 01-1431-06

BY [Signature]

PREMDOR DICKSON

615 445 7229

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

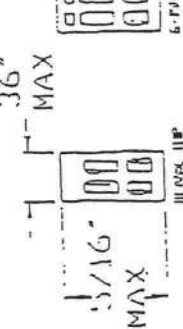
01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06



PRODUCT RENEWED

ACCEPTANCE NO. 01-1431-06

INSURANCE NO. 01-1431-06

BY [Signature]

PREMDOR DICKSON

615 445 7229

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

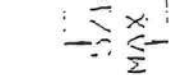
01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06



PRODUCT RENEWED

ACCEPTANCE NO. 01-1431-06

INSURANCE NO. 01-1431-06

BY [Signature]

PREMDOR DICKSON

615 445 7229

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06

01-1431-06





# LATERAL TOE-NAIL DETAIL

## ST-TOENAIL

MITek Industries, Chesterfield, MO Page 1 of 1

### NOTES:

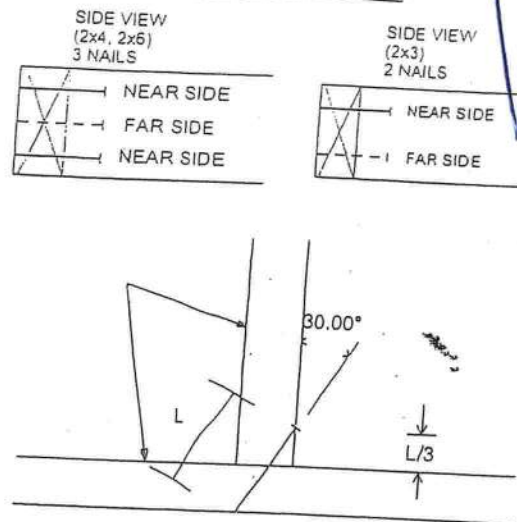
1. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END AS SHOWN.
2. THE END DISTANCE, EDGE DISTANCE, AND SPACING OF NAILS SHALL BE SUCH AS TO AVOID UNUSUAL SPLITTING OF THE WOOD.
3. ALLOWABLE VALUE SHALL BE THE LESSER VALUE OF THE BOTTOM CHORD SPECIES FOR MEMBERS OF DIFFERENT SPECIES.

TOE-NAIL SINGLE SHEAR VALUES PER NDS 2001 (lb/nail)

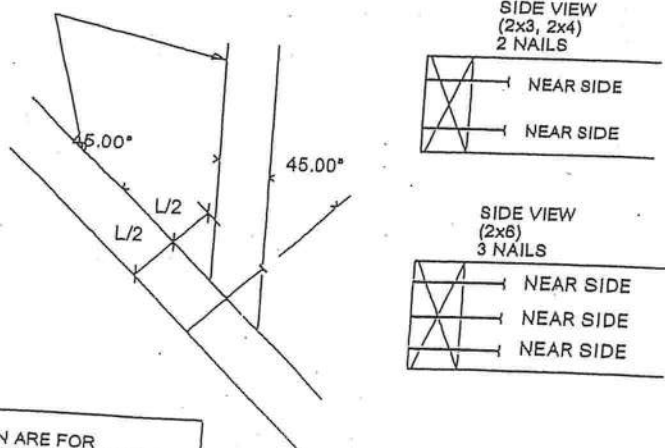
	DIAM.	SYP
3.5" LONG	.131	83.3
	.135	89.6
	.162	118.3
3.25" LONG	.128	80.5
	.131	83.3
	.148	102.1
3.0" LONG	.120	70.5
	.128	80.5
	.131	83.3
	.148	102.1

VALUES SHOWN ARE CAPACITY PER TOE-NAIL.  
APPLICABLE DURATION OF LOAD INCREASES MAY BE APPLIED.

### SQUARE CUT



### 45 DEGREE ANGLE BEVEL CUT

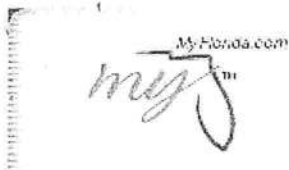


VIEWS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY

This detail may only be applied to Pre-engineered truss drawings signed and sealed by Structural Engineering and Inspections Inc.

The seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any particular building design is the responsibility of the building designer.

MAR 28 2007

[Log On](#)[DBPR Home](#) | [Online Services Home](#) | [Help](#) | [Site Map](#)

4:41:01 PM 12/7/2006

**Public Services**

[Search for a Licensee](#)  
[Apply for a License](#)  
[View Application Status](#)  
[Apply to Retake Exam](#)  
[Find Exam Information](#)  
[File a Complaint](#)  
[AB&T Delinquent Invoice  
& Activity List Search](#)

**User Services**

[Renew a License](#)  
[Change License Status](#)  
[Maintain Account](#)  
[Change My Address](#)  
[View Messages](#)  
[Change My PIN](#)  
[View Continuing Ed](#)

**Licensee Details****Licensee Information**

Name: **WOOD, WILLIAM G (Primary Name)**  
**WOODMAN PARK BUILDERS INC (DBA Name)**  
Main Address: **P.O.BOX 3535**  
**LAKE CITY Florida 32056**  
County: **COLUMBIA**

License Mailing:

License Location: **P.O.BOX 3535**  
**LAKE CITY FL 32026**  
County: **COLUMBIA**

**License Information**

License Type: **Certified Building Contractor**  
Rank: **Cert Building**  
License Number: **CBC058182**  
Status: **Current, Active**  
Licensure Date: **10/06/1997**  
Expires: **08/31/2008**

Special Qualifications	Qualification Effective
Bldg Code Core Course Credit	
Qualified Business License Required	02/20/2004

[View Related License Information](#)[View License Complaint](#)[Term Glossary](#)[Online Help](#)[Terms of Use](#) | [Privacy Statement](#)



Job L232793	Truss CJ3	Truss Type JACK	Qty 8	Ply 1	WOODMAN PARK BLDRS. INC. <small>Job Reference (optional)</small>
<small>Builders FirstSource, Lake City, Fl 32055</small>			<small>6.300 s Apr 19 2006 MiTek Industries, Inc. Mon Mar 26 08:45:22 2007 Page 1</small>		

Scale = 1:13.6

<b>LOADING</b> (psf)	<b>SPACING</b> 2-0-0	<b>CSI</b>	<b>DEFL</b> in (loc) l/defl L/d	<b>PLATES</b>	<b>GRIP</b>
TCLL 20.0	Plates Increase 1.25	TC 0.30	Vert(LL) -0.00 2-4 >999 240	MT20	244/190
TCDL 7.0	Lumber Increase 1.25	BC 0.05	Vert(TL) -0.01 2-4 >999 180		
BCLL 10.0	Rep Stress Incr YES	WB 0.00	Horz(TL) -0.00 3 n/a n/a		
BCDL 5.0	Code FBC2004/TPI2002	(Matrix)			
Weight: 13 lb					

<b>LUMBER</b> TOP CHORD 2 X 4 SYP No.2 BOT CHORD 2 X 4 SYP No.2	<b>BRACING</b> TOP CHORD Structural wood sheathing directly applied or 3-0-0 oc purlins. BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
---	---

**REACTIONS** (lb/size) 3=29/Mechanical, 2=279/0-4-0, 4=42/Mechanical  
 Max Horz 2=132(load case 5)  
 Max Uplift 3=27(load case 6), 2=205(load case 5)

**FORCES** (lb) - Maximum Compression/Maximum Tension  
 TOP CHORD 1-2=0/47, 2-3=-58/7  
 BOT CHORD 2-4=0/0

**NOTES**  
 1) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; Lumber DOL=1.60 plate grip DOL=1.60.  
 This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.  
 2) Refer to girder(s) for truss to truss connections.  
 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 27 lb uplift at joint 3 and 205 lb uplift at joint 2.

**LOAD CASE(S)** Standard



Job L232793	Truss CJ5	Truss Type JACK	Qty 8	Ply 1	WOODMAN PARK BLDRS. INC.
Builders FirstSource, Lake City, FL 32055			6.300 s Apr 19 2006 MiTek Industries, Inc. Mon Mar 26 08:45:44 2007 Page 1		

Scale = 1:18.4

LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.30	in (loc) l/def L/d	MT20	244/190
TCDL 7.0	Plates Increase 1.25	BC 0.16	Vert(LL) -0.03 2-4 >999 240		
BCLL 10.0	Lumber Increase 1.25	WB 0.00	Vert(TL) -0.05 2-4 >999 180		
BCDL 5.0	Rep Stress Incr YES	(Matrix)	Horz(TL) -0.00 3 n/a n/a		
	Code FBC2004/TPI2002			Weight: 19 lb	

<b>LUMBER</b> TOP CHORD 2 X 4 SYP No.2 BOT CHORD 2 X 4 SYP No.2	<b>BRACING</b> TOP CHORD Structural wood sheathing directly applied or 5-0-0 oc purlins. BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
---	---

**REACTIONS** (lb/size) 3=102/Mechanical, 2=344/0-4-0, 4=72/Mechanical  
 Max Horz 2=178(load case 5)  
 Max Uplift 3=86(load case 5), 2=-201(load case 5)

**FORCES** (lb) - Maximum Compression/Maximum Tension  
 TOP CHORD 1-2=0/47, 2-3=-87/36  
 BOT CHORD 2-4=0/0

**NOTES**  
 1) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; Lumber DOL=1.60 plate grip DOL=1.60.  
 This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.  
 2) Refer to girder(s) for truss to truss connections.  
 3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 86 lb uplift at joint 3 and 201 lb uplift at joint 2.

**LOAD CASE(S)** Standard

Job L232793	Truss EJ3	Truss Type JACK	Qty 2	Ply 1	WOODMAN PARK BLDRS. INC. Job Reference (optional)
----------------	--------------	--------------------	----------	----------	--

Builders FirstSource, Lake City, FL 32055 6.300 s Apr 19 2006 MiTek Industries, Inc. Mon Mar 26 08:46:25 2007 Page 1

<b>LOADING (psf)</b> TCLL 20.0 TCDL 7.0 BCLL 10.0 BCDL 5.0	<b>SPACING</b> 2-0-0 Plates Increase 1.25 Lumber Increase 1.25 Rep Stress Incr YES Code FBC2004/TPI2002	<b>CSI</b> TC 0.30 BC 0.08 WB 0.00 (Matrix)	<b>DEFL</b> in (loc) l/defl L/d Vert(LL) 0.01 2-4 >999 240 Vert(TL) -0.01 2-4 >999 180 Horz(TL) -0.00 3 n/a n/a	<b>PLATES</b> <b>GRIP</b> MT20 244/190 Weight: 13 lb
--	---	---	--	--

**LUMBER**  
TOP CHORD 2 X 4 SYP No.2  
BOT CHORD 2 X 4 SYP No.2

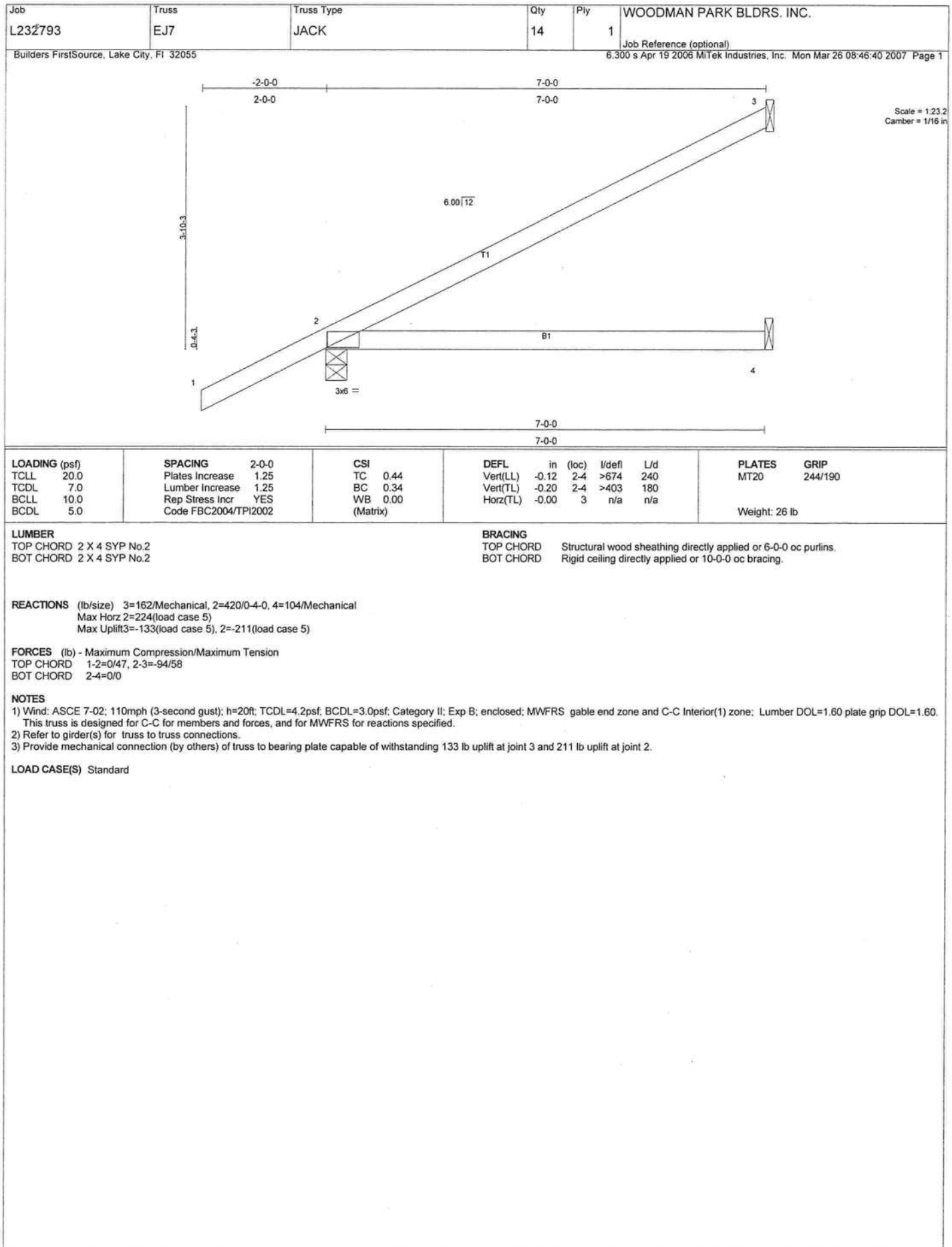
**BRACING**  
TOP CHORD Structural wood sheathing directly applied or 3-0-0 oc purlins.  
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

**REACTIONS** (lb/size) 3=29/Mechanical, 2=279/0-4-0, 4=42/Mechanical  
Max Horz 2=132(load case 5)  
Max Uplift 3=27(load case 6), 2=240(load case 5), 4=26(load case 3)

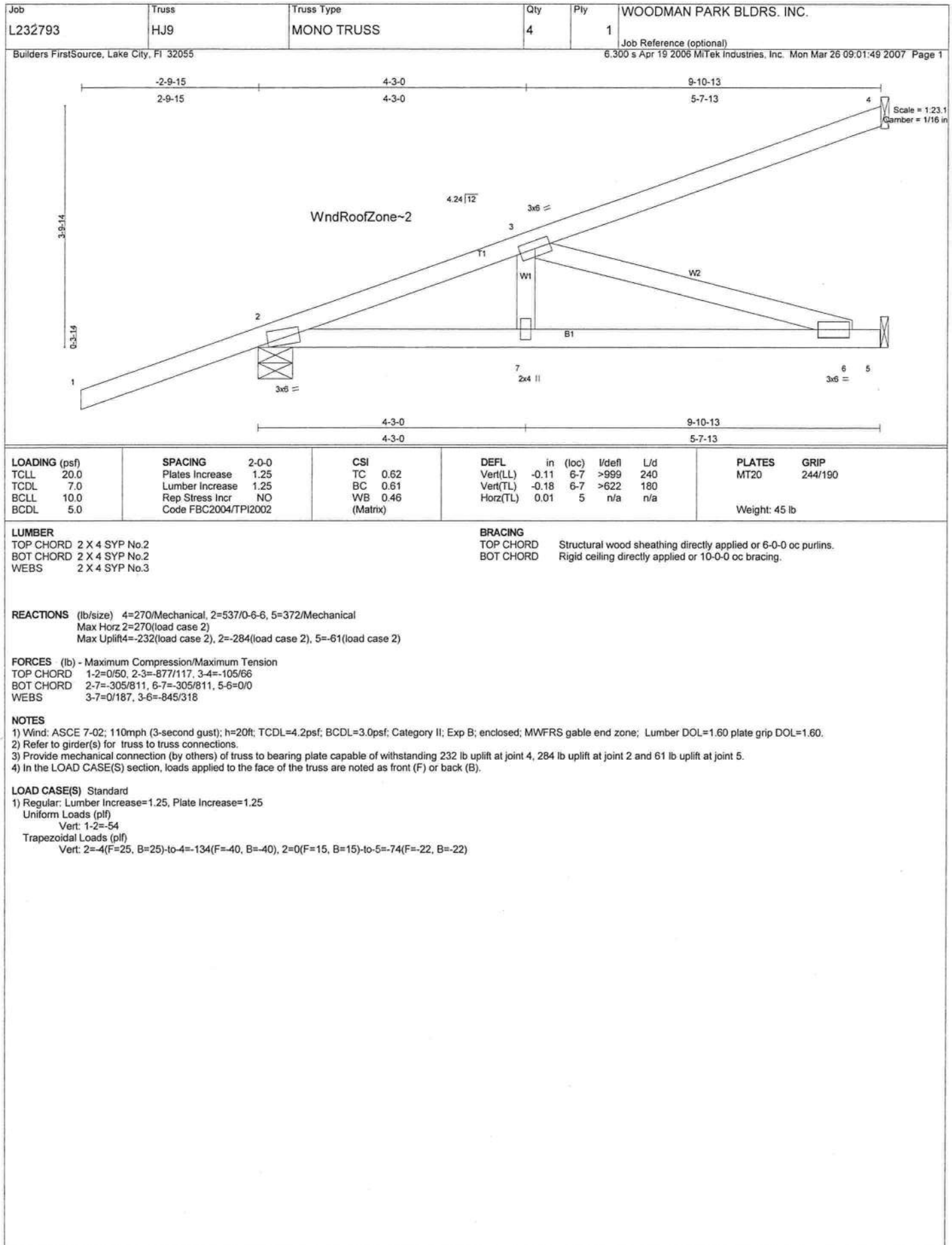
**FORCES** (lb) - Maximum Compression/Maximum Tension  
TOP CHORD 1-2=0/47, 2-3=-58/7  
BOT CHORD 2-4=0/0

**NOTES**  
1) Wind: ASCE 7-02; 110mph (3-second gust); h=20ft; TCDL=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; porch left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.  
2) Refer to girder(s) for truss to truss connections.  
3) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 27 lb uplift at joint 3, 240 lb uplift at joint 2 and 26 lb uplift at joint 4.

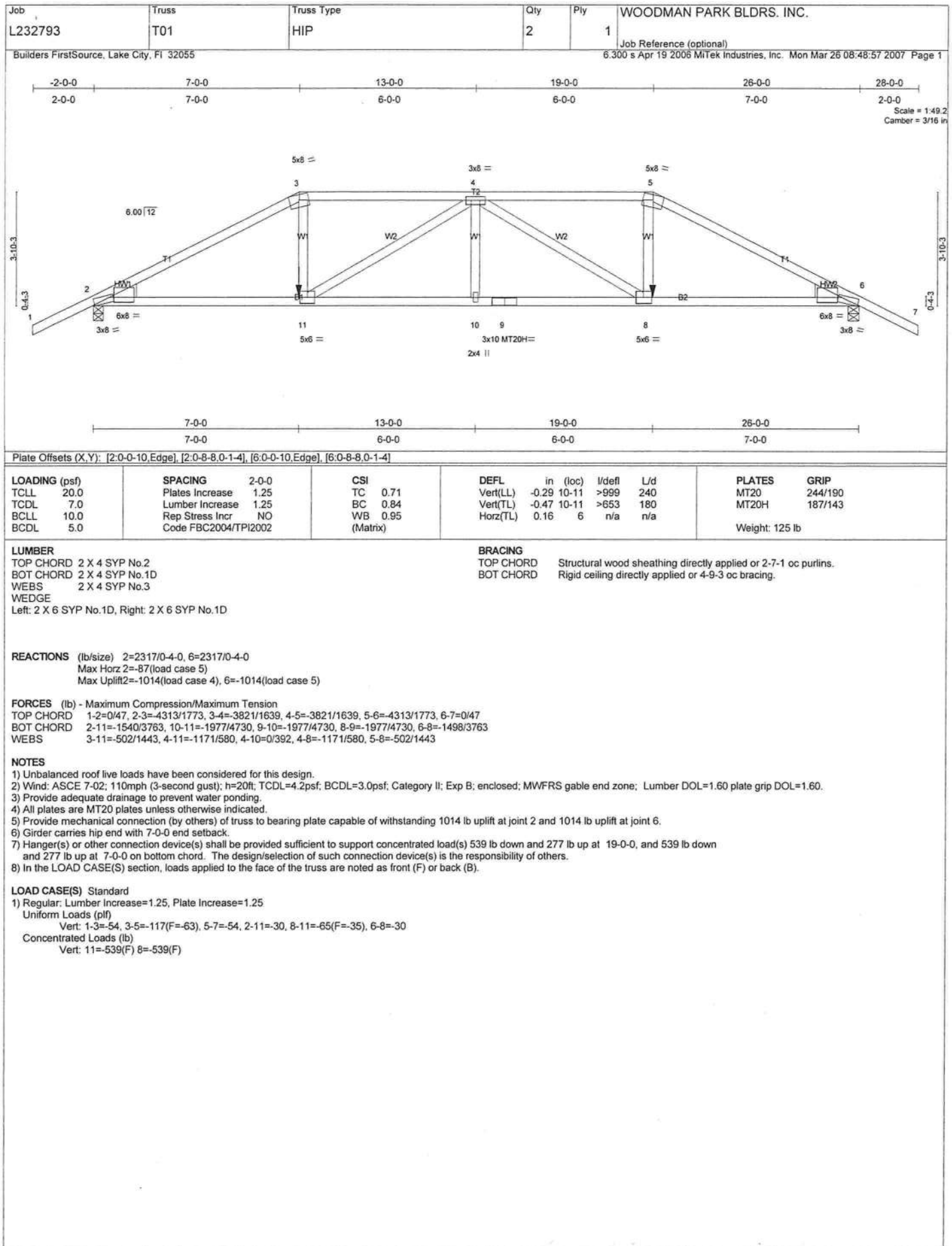
**LOAD CASE(S)** Standard

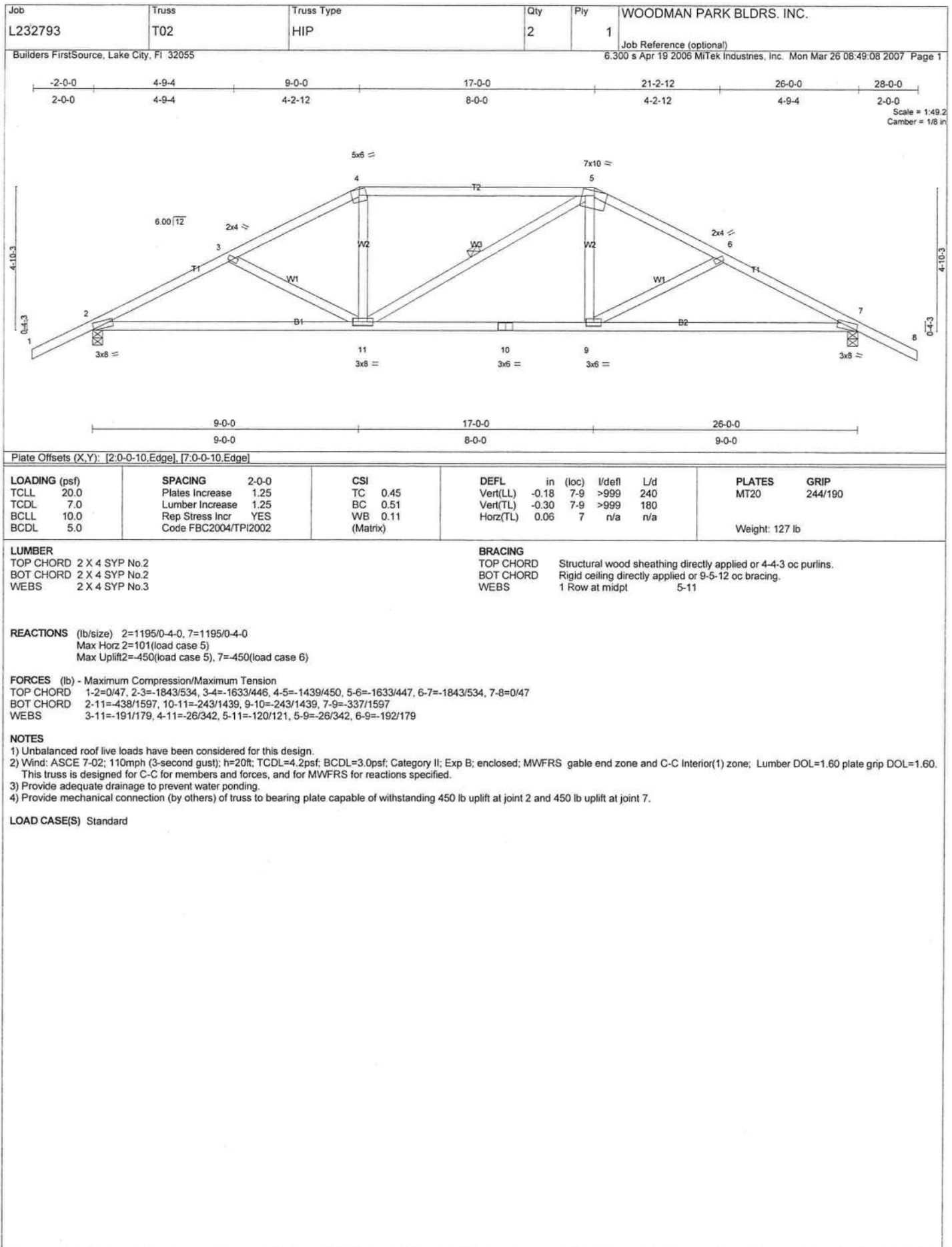


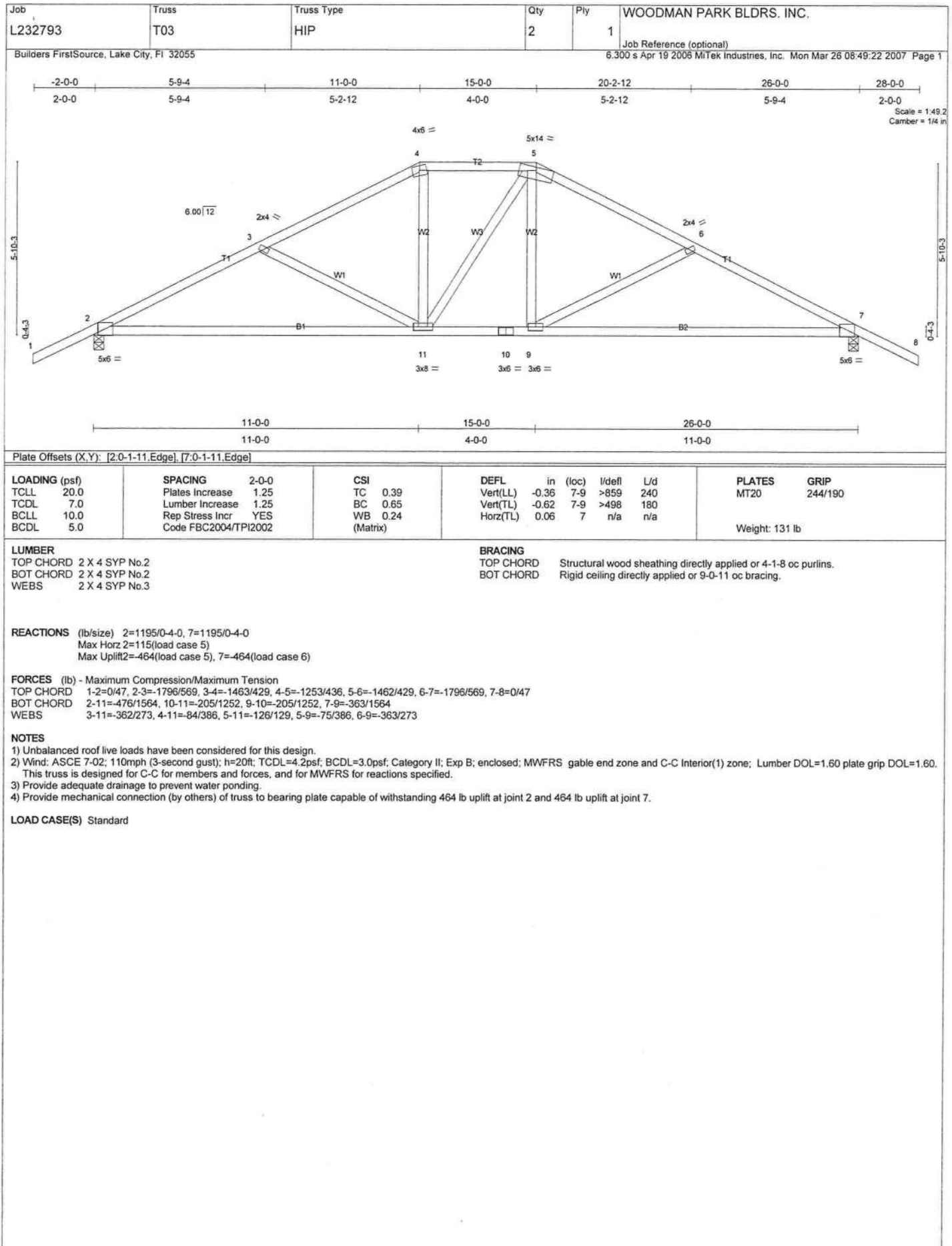


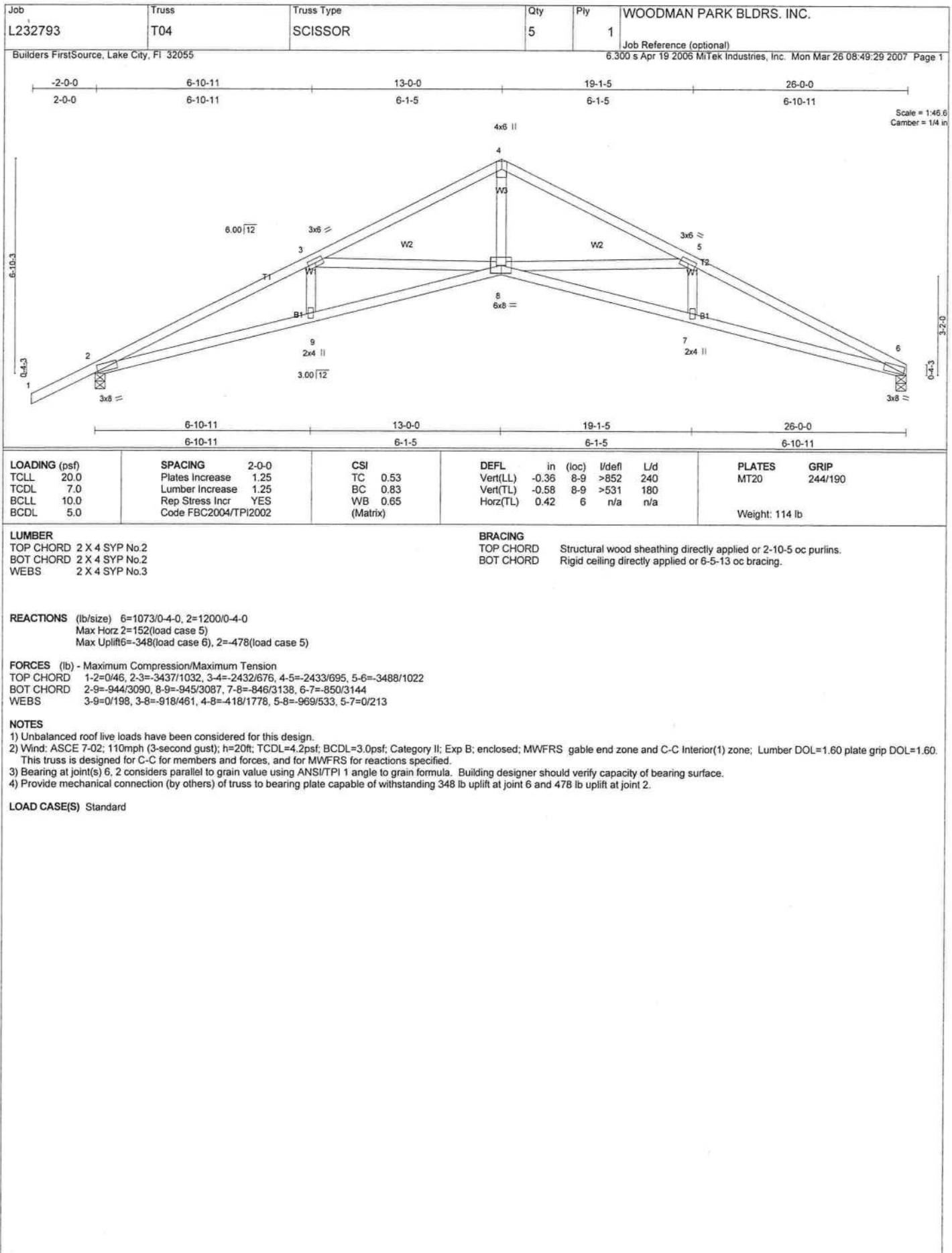


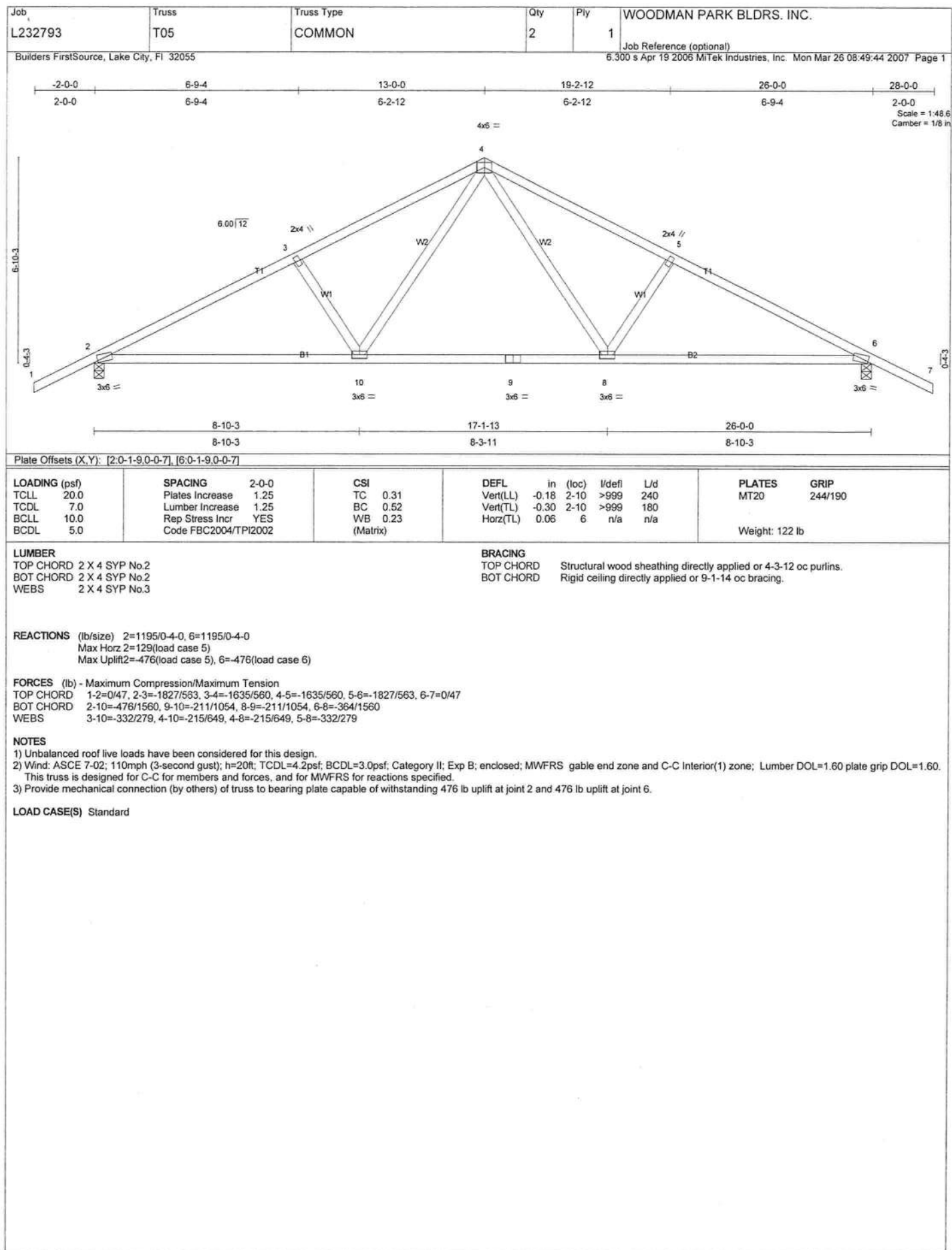






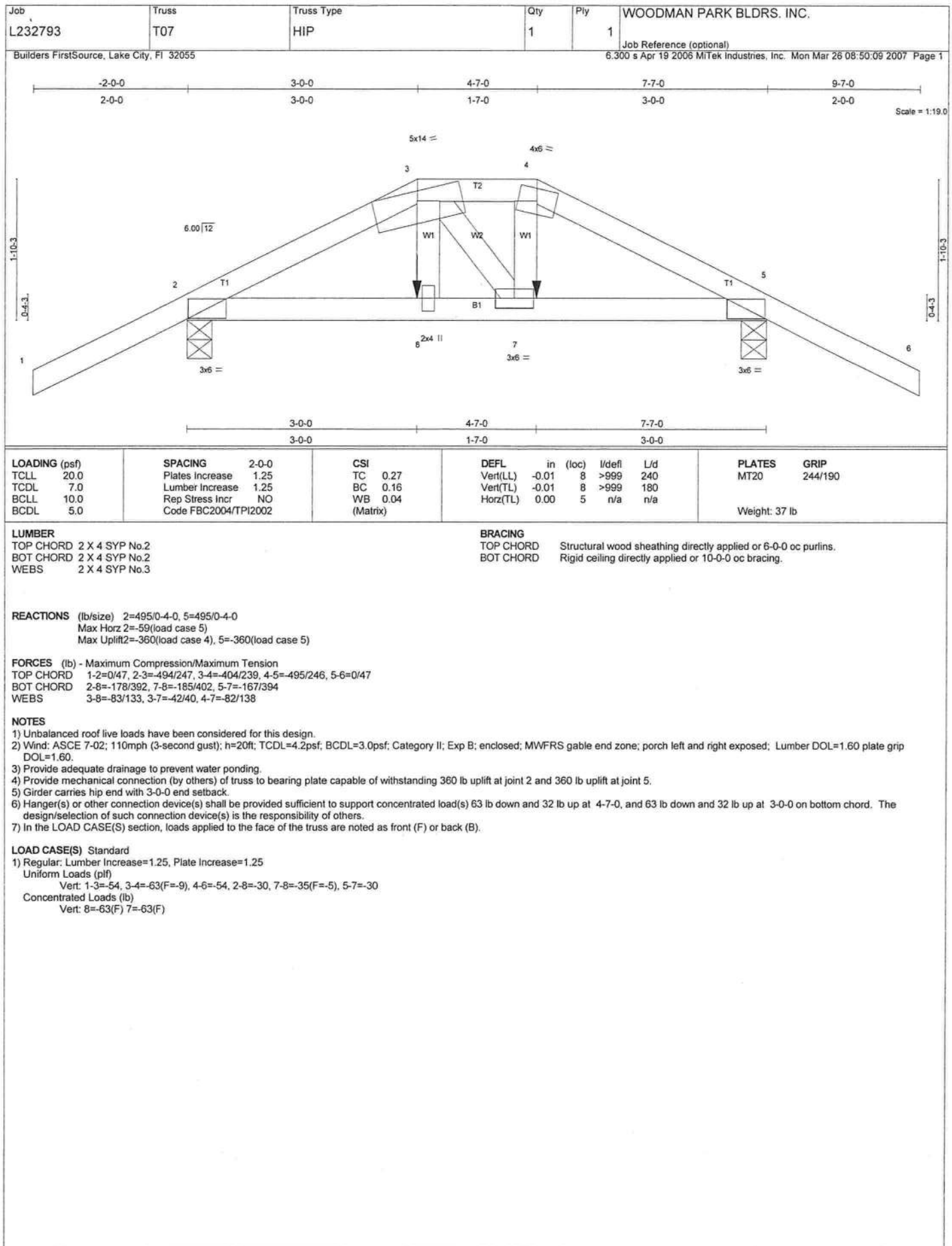


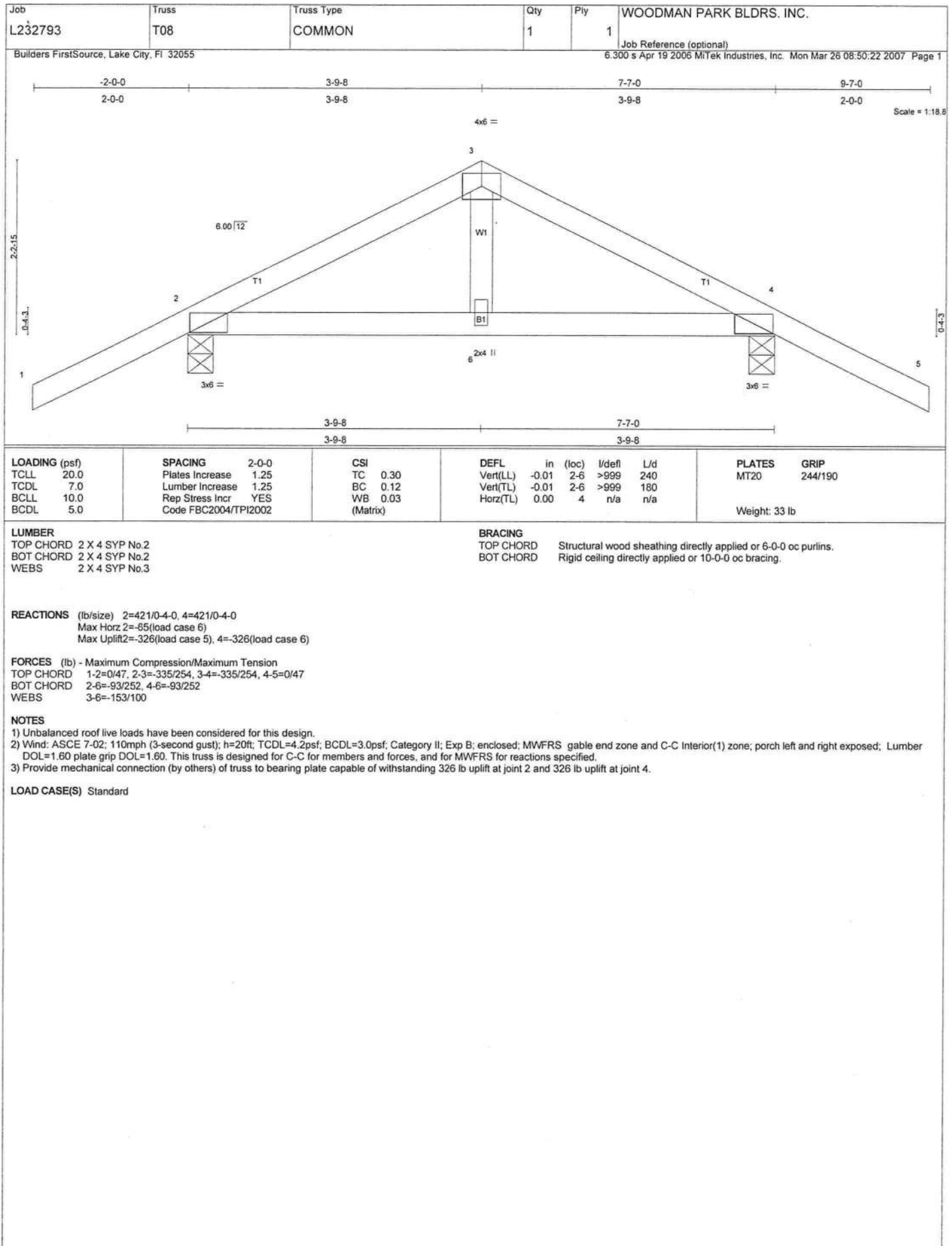










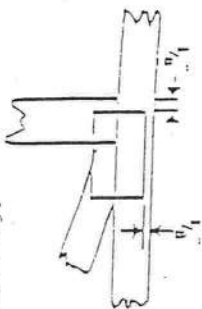


# Symbols

## PLATE LOCATION AND ORIENTATION



\* Center plate on joint unless dimensions indicate otherwise. Dimensions are in inches. Apply plates to both sides of luss and section.



\* For 1 x 2 orientation, locate plates 1/8" from outside edge of luss and vertical web.



\* This symbol indicates the required direction of slats in connector plates.

## PLATE SIZE



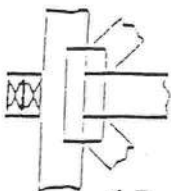
The first dimension is the width perpendicular to slats. Second dimension is the length parallel to slats.

## LATERAL BRACING



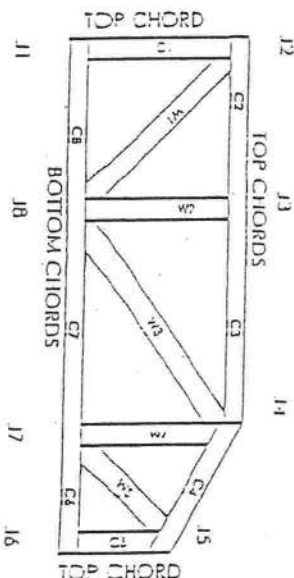
Indicates location of required continuous lateral bracing.

## BEARINGS



Indicates location of joints at which bearings (supports) occur.

# Numbering System

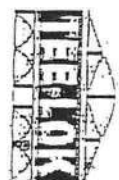


JOINTS AND CHORDS ARE NUMBERED CLOCKWISE AROUND THE TRUSS STARTING AT THE LOWEST JOINT FARTHEST TO THE LEFT.

WEBS ARE NUMBERED FROM LEFT TO RIGHT

## CONNECTOR PLATE CODE APPROVALS

BOCA	96-31, 96-67
ICBO	3907, 4922
SACCI	9667, 9432A
WISC/DIIIIR	960022-W, 970036-11
IIR	561



# General Safety Notes

## Failure to Follow Could Cause Property Damage or Personal Injury

1. Provide copies of this luss design to the building designer, erection supervisor, property owner and all other interested parties.
2. Cut members to bear tightly against each other.
3. Place plates on each face of luss at each joint and embed fully. Avoid knots and wane at joint locations.
4. Unless otherwise noted, locate chord splices at 1/2 panel length (1' 6" from adjacent joint.)
5. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
6. Unless expressly noted, this design is not applicable for use with the retardant or preservative treated lumber.
7. Camber is a non-structural consideration and is the responsibility of luss fabricator. General practice is to camber for dead load deflection.
8. Plate type, size and location dimensions shown indicate minimum plating requirements.
9. Lumber shall be of the species and size, and in all respects, equal to or better than the grade specified.
10. Top chords must be sheathed or pulins provided at spacing shown on design.
11. Bottom chords require lateral bracing at 10 ft spacing, or less. If no ceiling is installed, unless otherwise noted.
12. Anchorage and / or load transferring connections to lusses are the responsibility of others unless shown.
13. Do not overload roof or floor lusses with stacks of construction materials.
14. Do not cut or alter luss member or plate without prior approval of a professional engineer.
15. Care should be exercised in handling, erection and installation of lusses.

16405

This Instrument Prepared By:  
Michael H. Horell  
Abstract & Title Services, Inc.  
283 NW Cole Terrace  
Lake City, Florida 32055

## NOTICE OF COMMENCEMENT

## TO WHOM IT MAY CONCERN:

The undersigned hereby give notice that improvements will be made to certain real property and in accordance with Chapter 713.13, Florida Statutes, the following is provided in this Notice of Commencement:

1. Description of Property: Lot 9, COLUMBIA CITY HOMESITES UNIT 2, according to the plat thereof as recorded in Plat Book 5, page 107, of the Public Records of Columbia County, Florida.
2. General Description of Improvement: Construction of Dwelling
3. Owner Information:  
 a. Name and Address: Kelly Jean Spradley, <sup>P.O. Box 455, Ft. White, FL 32053</sup> ~~25205 NW 8th Place, Ste 10, Newberry, FL 32669~~  
 b. Interest in property: Fee Simple  
 c. Name and address of fee simple title holder (if other than Owner): NONE
4. Contractor (name and address): Woodman Park Builders, PO Box 3535, Lake City, FL 32056
5. Surety:  
 a. Name and Address: N/A <sup>Inst: 2907008979 Date: 04/20/2007 Time: 14:08</sup>  
 b. Amount of Bond: N/A <sup>AT DC, P. DeWitt Cason, Columbia County B: 1117 P: 295</sup>
6. LENDER: FIRST FEDERAL SAVINGS BANK OF FLORIDA  
 4705 WEST US HIGHWAY 90  
 PO BOX 2029  
 LAKE CITY, FL 32056
7. Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided in Section 713.13(1)(a)7., Florida Statutes: NONE
8. In addition to himself, Owner designates PAULA HACKER OF FIRST FEDERAL SAVINGS BANK OF FLORIDA, 4705 WEST US HIGHWAY 90/PO BOX 2029, LAKE CITY, FL 32056 to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes.
8. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

\*Owner is used for singular or plural as context requires.

Signed, sealed and delivered in the presence:

Ashley Hoppes  
WITNESS Ashley Hoppes  
Nicole Polkas  
WITNESS Nicole Polkas

Kelly Jean Spradley  
Kelly Jean Spradley

STATE OF FLORIDA  
COUNTY OF Columbia

Before me, personally appeared Kelly Jean Spradley, to me known to be the person(s) described in and who executed the foregoing instrument, and they acknowledged to and before me that they executed said instrument for the purpose therein expressed.

Witness my hand and official seal this 13<sup>th</sup> day of April, 2007.

(SEAL)

A. Hoppes  
NOTARY PUBLIC

My Commission Expires:

STATE OF FLORIDA, COUNTY OF COLUMBIA  
I HEREBY CERTIFY that the above and foregoing  
is a true copy of the original filed in this office,  
P. DEWITT CASON, CLERK OF COURTS

By P. DeWitt Cason  
Deputy Clerk

Date 04-20-2007



Tamryn J. Hoppes  
My Commission D0196534  
Expires April 25, 2007

Mark  
Atty:  
Ga: 1  
Woodman Park  
permitted  
25796  
Spradley



# New Construction Subterranean Termite Soil Treatment Record

OMB Approval No. 2502-0525

This form is completed by the licensed Pest Control Company.

**Public reporting burden** for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

#25796

## Section 1: General Information (Treating Company Information)

Company Name: Aspen Pest Control, Inc.  
Company Address: 321 N.W. Cole Terrace, Suite 107 City Lake City State FL Zip 32055  
Company Business License No. JB109476 Company Phone No. 386-755-3611 • 352-494-5751  
FHA/VA Case No. (if any) \_\_\_\_\_

## Section 2: Builder Information

Company Name: Woodman Park Builders Company Phone No. 755-2411

## Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) Kelly Spradley  
10528 SW SR 47  
Lake City, FL 32038  
Type of Construction (More than one box may be checked) ☒ Slab ☐ Basement ☐ Crawl ☐ Other \_\_\_\_\_  
Approximate Depth of Footing: Outside 1' Inside 2' Type of Fill Sand

## Section 4: Treatment Information

Date(s) of Treatment(s) 6/5/07  
Brand Name of Product(s) Used Bifen XTS  
EPA Registration No. 53883-189  
Approximate Final Mix Solution % .06%  
Approximate Size of Treatment Area: Sq. ft. 1244 sf Linear ft. 1103 Linear ft. of Masonry Voids 163  
Approximate Total Gallons of Solution Applied 320  
Was treatment completed on exterior? ☐ Yes ☒ No  
Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) \_\_\_\_\_

Comments \_\_\_\_\_

Name of Applicator(s) S. Gregory Certification No. (if required by State law) JB104576

The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations.

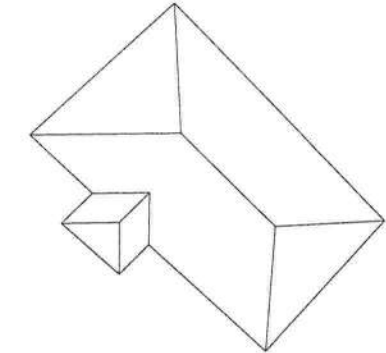
Authorized Signature \_\_\_\_\_ Date 6/5/07

**Warning:** HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Form NPCA-99-B may still be used

form HUD-NPCA-99-B (04/2003)

BEARING HEIGHT SCHEDULE



8'-0"

OVERHANG  
2'-0"

ROOF PITCH(S)  
6/12

NOTES:

- 1) REFER TO BID #1 (RECOMMENDATIONS FOR HANDLING INSTALLATION AND TEMPORARY BRACING) REFER TO ENGINEERED DRAWINGS FOR PERMANENT BRACING REQUIRED.
- 2) ALL TRUSSES (INCLUDING TRUSSES UNDER VALLEYS) SHALL BE CONSIDERED FULLY BRACED UNLESS OTHERWISE NOTED. ALTERNATE BRACING REQUIREMENTS.
- 3) ALL VALLEYS ARE TO BE CONVENTIONALLY FRAMED BY BUILDER.
- 4) ALL TRUSSES ARE DESIGNED FOR 2 o.s. MAXIMUM SPACING, UNLESS OTHERWISE NOTED.
- 5) ALL WALLS SHOWN ON PLACEMENT PLAN ARE CONSIDERED TO BE LOAD BEARING, UNLESS OTHERWISE NOTED.
- 6) SY42 TRUSSES MUST BE INSTALLED WITH THE TOP BEING UP.
- 7) ALL ROOF TRUSS HANGERS TO BE SIMPSON HUSO UNLESS OTHERWISE NOTED. ALL FLOOR TRUSS HANGERS TO BE SIMPSON TH4422 UNLESS OTHERWISE NOTED.
- 8) BEAM/ADEQUATE L. (H/R) TO BE FURNISHED BY BUILDER.

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VIDS. ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS, REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST DAMAGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

Request Delivery Date: \_\_\_\_\_  
Approved by: \_\_\_\_\_ Date: \_\_\_\_\_



PHONE: 904-437-3544 FAX: 904-437-3494  
Jacksonville  
PHONE: 904-772-6100 FAX: 904-772-1473  
Lake City  
PHONE: 904-795-6894 FAX: 904-795-7973  
Sanford  
PHONE: 407-322-0094 FAX: 407-322-9593

BUILDER: **WOODMAN PARK BLDGS.**  
**KELLY SPRADLEY**

LEGAL ADDRESS: **COLUMBIA, FL**

MODEL: **CUSTOM** REVISION:

DATE: **03/26/07** SCALE: **NTS**

DRAWN BY: **JOB #:**  
**L232793**  
MONDRAGON