

DATE 04/25/2007

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025749

APPLICANT ROBERT MCWILLIAMS PHONE 386-719-6801  
ADDRESS 204 SW FRITZ GLEN LAKE CITY FL 32024  
OWNER ROBERT MCWILLIAMS PHONE 719-6801  
ADDRESS 1118 SW SILOAM STREET LAKE CITY FL 32024  
CONTRACTOR DALE HOUSTON PHONE 752-7814  
LOCATION OF PROPERTY 247 S, R SILOAM ST, THEN 3RD ON LEFT

TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING AG-3 MAX. HEIGHT 35  
Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 11-5S-15-00431-126 SUBDIVISION PINE WIND ESTATES  
LOT 26 BLOCK PHASE UNIT 1 TOTAL ACRES 4.01

IH0000040  
Culvert Permit No. Culvert Waiver Contractor's License Number JH Applicant/Owner/Contractor  
EXISTING 07-312-N CS JH N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

Check # or Cash 7665

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by  
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by  
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by  
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 33.48 WASTE FEE \$ 100.50  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 408.98  
INSPECTORS OFFICE L. Hal CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

elc# 7665

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

**For Office Use Only** (Revised 9-22-06)      Zoning Official elc 4/25/07      Building Official OKJTH 7-20-07  
AP# 0704-35      Date Received 4/18/07      By CFS      Permit # 25749  
Flood Zone X      Development Permit ---      Zoning A-3      Land Use Plan Map Category A-3  
Comments panel 225  
FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_  
☒ Site Plan with Setbacks Shown    ☒ EH Signed Site Plan    ☐ EH Release    ☒ Well letter    ☐ Existing well  
☒ Copy of Recorded Deed or Affidavit from land owner    ☒ Letter of Authorization from installer  
☐ State Road Access    ☐ Parent Parcel # \_\_\_\_\_    ☐ STUP-MH \_\_\_\_\_

Property ID # 11-55-15-00431-126      Subdivision PINE WIND ESTATES UNIT I  
R00431-126

▪ New Mobile Home X      Used Mobile Home \_\_\_\_\_      Year 2007

▪ Applicant Robert A McWilliams      Phone # 386-719-6801

▪ Address 204 SW Fritz Glen Lake City, FL 32024

▪ Name of Property Owner Robert McWilliams      Phone# 386-719-6801

▪ 911 Address 1118 SW Siloam Street Lake City, FL 32024

▪ Circle the correct power company -      FL Power & Light      -      Clay Electric  
(Circle One) -      Suwannee Valley Electric      -      Progress Energy

▪ Name of Owner of Mobile Home Robert / Janice McWilliams      Phone # 386-719-6801

Address 204 SW Fritz Glen Lake City, FL 32024

▪ Relationship to Property Owner Self

▪ Current Number of Dwellings on Property None

▪ Lot Size 256.48 X 681.04      Total Acreage 4.01

▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
(Currently using)      (Blue Road Sign)      (Putting in a Culvert)      (Not existing but do not need a Culvert)

▪ Is this Mobile Home Replacing an Existing Mobile Home No

▪ Driving Directions to the Property South on Branford Hwy 247. Right on SW Siloam Street. PAST methodist church on right. Then 3rd drive way on left

▪ Name of Licensed Dealer/Installer Dale Houston      Phone # 386-752-7814

▪ Installers Address 136 SW Barrs St Lake City, FL 32024

▪ License Number IHO000040      Installation Decal # 278691

# PERMIT NUMBER

# PERMIT WORKSHEET

Installer Dale Housh License # ITH000043

Address of home being installed \_\_\_\_\_

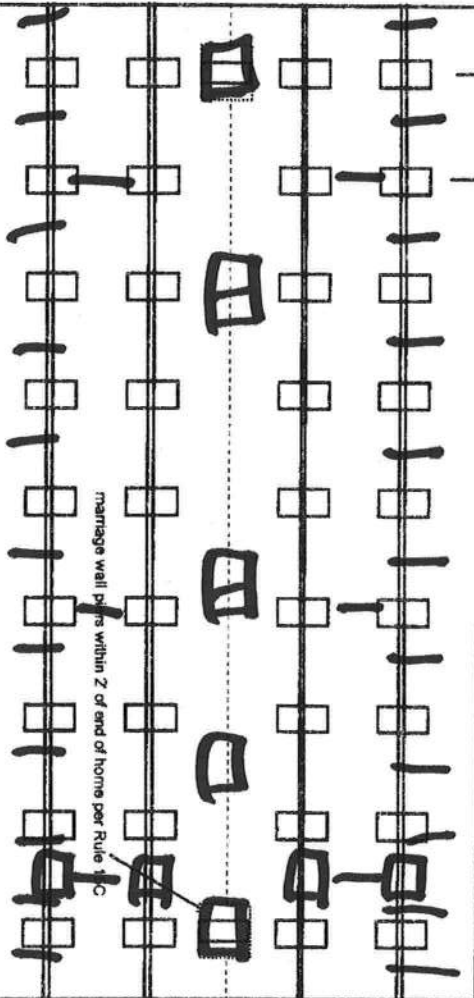
Manufacturer Forton Length x width 60x28

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

DH



28x60 / 1000 Soil 23x31  
Piers - 10 per side 6' o.c.  
Anchor 11 per side 5'14" o.c.  
6-Longitudinal / Systm

New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 278691

Triple/Quad ☐ Serial # \_\_\_\_\_

## PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16' x 16' (256)	18 1/2" x 18 1/2" (342)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	26' x 26' (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

## PIER PAD SIZES

I-beam pier pad size 23x31

Perimeter pier pad size 16x16

Other pier pad sizes (required by the mfg.) \_\_\_\_\_

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening \_\_\_\_\_ Pier pad size \_\_\_\_\_

## POPULAR PAD SIZES

Pad Size	Sq in
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

## ANCHORS

4 ft \_\_\_\_\_ 5 ft \_\_\_\_\_

## FRAME TIES

within 2' of end of home spaced at 5' 4" o.c.

## OTHER TIES

Longitudinal Stabilizing Device (LSD) Manufacturer \_\_\_\_\_

Longitudinal Stabilizing Device w/ Lateral Arms Manufacturer \_\_\_\_\_

Sidewall Longitudinal Marriage wall Shearwall \_\_\_\_\_

Number \_\_\_\_\_

Oliver Tech no ties on final struts

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil without testing.

X \_\_\_\_\_ X \_\_\_\_\_

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

TORQUE PROBE TEST

The results of the torque probe test is \_\_\_\_\_ inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

\_\_\_\_\_  
Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

DATE HOUTER

Date Tested

4-12-07

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 35

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 34

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 34

Site Preparation

Debris and organic material removed ☒ Natural ☒ Swale ☐ Pad ☐ Other

Fastening multi wide units

Floor: Type Fastener: LAG Length: \_\_\_\_\_ Spacing: MAX 24"  
Walls: Type Fastener: SHAP Length: \_\_\_\_\_ Spacing: 12"  
Roof: Type Fastener: LAG Length: \_\_\_\_\_ Spacing: MAX 24"  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials DH

Type gasket foam

Pg. 38

Installed: Between Floors ☒ Between Walls ☒ Bottom of ridgebeam ☒

Weatherproofing

The bottomboard will be repaired and/or taped. ☒ Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. ☒ Yes  
Fireplace chimney installed so as not to allow intrusion of rain water. ☒ Yes

Miscellaneous

Skirting to be installed. Yes ☒ No ☐  
Dryer vent installed outside of skirting. Yes ☒ N/A  
Range downflow vent installed outside of skirting. Yes ☒ N/A  
Drain lines supported at 4 foot intervals. Yes ☒  
Electrical crossovers protected. Yes ☒  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Dee Ann Date 4-12-07

WARRANTY DEED

THIS INDENTURE, made this 19<sup>th</sup> day of December, 2006, between JEANNE M. GOON, who does not reside on property and whose address is 3860 Sherwood Road, Moravia, New York 13118, Grantor, and ROBERT A. MCWILLIAMS and JANICE M. MCWILLIAMS, his wife, whose address is 204 SW Fritz Glen, Lake City, Florida 32024, Grantees,

W I T N E S S E T H:

That Grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS, and other good and valuable considerations to Grantor in hand paid by Grantees, the receipt whereof is hereby acknowledged, have granted, bargained and sold to Grantees, and Grantees' heirs, successors and assigns forever, the following described land, situate and lying in COLUMBIA County, Florida:

Lot 26, Pine Winds Estates, Unit I, a subdivision according to the plat thereof recorded in Plat Book 5, pages 113-113A, public records of Columbia County, Florida.  
(Tax parcel number R00431-126)

SUBJECT TO: Taxes for 2006 and subsequent years; restrictions and easements of record; and easements shown by the plat of the property.

Said Grantor does hereby fully warrant title to said land and will defend the same against lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set her hand and seal the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Todd Clark  
Print Name: TODD CLARK

Laurence M. Cheney  
Print Name: LAURENCE M. CHENEY  
Witnesses as to Grantor

STATE OF NEW YORK  
COUNTY OF CAYUGA

Jeanne M. Goon  
JEANNE M. GOON

This Instrument Prepared By:  
EDDIE M. ANDERSON, P.A.  
P. O. Box 1179  
Lake City, Florida 32056-1179

The foregoing instrument was acknowledged before me this 19<sup>th</sup> day of December, 2006, by JEANNE M. GOON. She is personally known to me or she produced \_\_\_\_\_ as identification.

(Notarial Seal)

Laurence M. Cheney  
Notary Public  
My Commission Expires:

Inst:2006029851 Date:12/20/2006 Time:13:59

Doc Stamp-Deed : 357.00

J. F. DC, P. DeWitt Cason, Columbia County B:1105 P:1128

LAURENCE M. CHENEY  
Notary Public, State of New York  
No. 01CH6030157  
Qualified in Cayuga County  
Commission Expires Sept. 7, 2009

**A & B Construction Inc.****P. O. Box 39****Ft. White, FL, 32038****386-497-2311****To: Columbia County Health Department****11/8/2006**

**Description of well to be installed for Customer:** Robert McWilliams  
**Located at Address:** 1118 SW Siloam St. Lake City FL 32054

**1 hp 20 gpm- 1 1/4" drop over 82 gallon equivalent captive tank with cycle stop and back flow preventer. With SRWM permit.**

Rocky D Ford

**Rocky D Ford****President****A&B Construction, Inc.**

# A & B Construction Inc.

P. O. Box 39

Ft. White, FL, 32038

386-497-2311

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Rocky D Ford

Rocky D. Ford

President

A&B Construction, Inc.

## LETTER OF AUTHORIZATION

Date: \_\_\_\_\_

Columbia County Building Department

P.O. Drawer 1529

Lake City, FL 32056

I Dale Houston, License No. 1H0000640 do hereby

Authorize Robert A. McWilliams to pull and sign permits on my  
behalf.

Sincerely,

Dale Houston

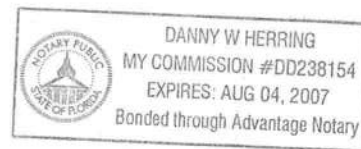
Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 2007

Notary Public: Danny W. Herring

My commission expires: 8/04/07

Personally Known XX

Produced Valid Identification: \_\_\_\_\_

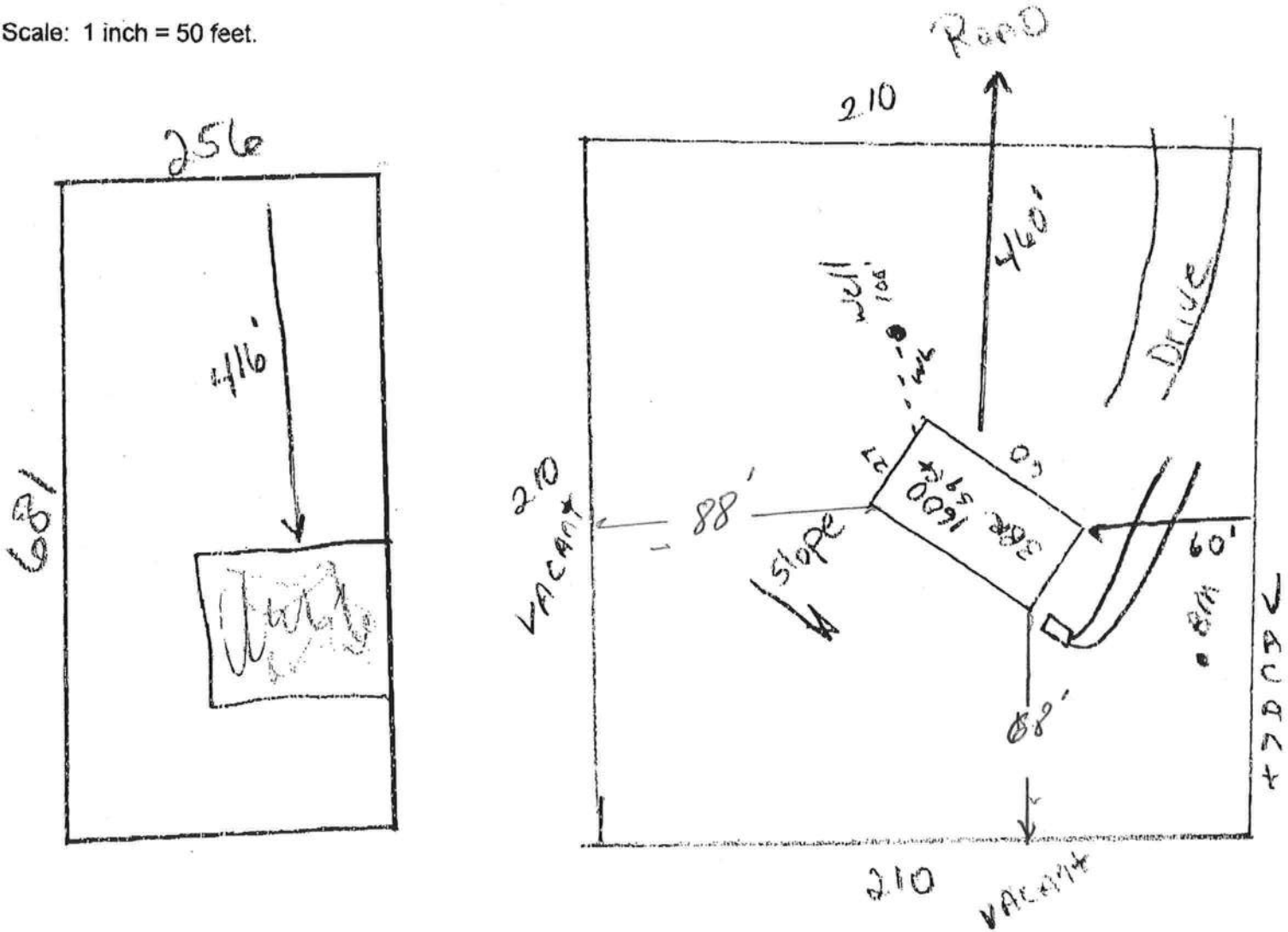


STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number \_\_\_\_\_

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: \_\_\_\_\_

Site Plan submitted by: Rock D. F. O.

Plan Approved \_\_\_\_\_ Not Approved \_\_\_\_\_

By \_\_\_\_\_ County Health Department

MASTER CONTRACTOR

APR 10 2007

Date \_\_\_\_\_

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

**TABLE 2**  
**12 WIDE OR LESS FOOTING SCHEDULE**

Pier Spacing (L)	Soil Bearing Capacity (PSF)	ROOF LIVE LOAD
		20 PSF REQUIRED FOOTING AREA IN SQ. IN.
Piers spaced no more than 4'-0" on center not more than 2'-0" from either end	1000	305
	1500	205
	2000	155
	2500	125
	3000	105
Piers spaced no more than 6'-0" on center not more than 2'-0" from either end	1000	460
	1500	305
	2000	230
	2500	185
	3000	155
Piers spaced no more than 8'-0" on center not more than 2'-0" from either end	1000	610
	1500	410
	2000	305
	2500	245
	3000	205

**TABLE 3**  
**14 WIDE OR LESS FOOTING SCHEDULE**

Pier Spacing (L)	Soil Bearing Capacity (PSF)	ROOF LIVE LOAD
		20 PSF REQUIRED FOOTING AREA IN SQ. IN.
Piers spaced no more than 4'-0" on center not more than 2'-0" from either end	1000	355
	1500	240
	2000	180
	2500	145
	3000	120
Piers spaced no more than 6'-0" on center not more than 2'-0" from either end	1000	540
	1500	355
	2000	265
	2500	215
	3000	178
Piers spaced no more than 8'-0" on center not more than 2'-0" from either end	1000	710
	1500	475
	2000	355
	2500	285
	3000	240

**NOTE:**

1. Width refers to individual unit width and not total width of home.
2. If soil bearing capacity is not determined, use 1000 PSF as a minimum.
3. In the geographical areas subject to severe freezes, the bottom line of foundations must extend below the frost line established by local records.

### SOIL BEARING TEST

To determine the safe bearing capacity of soil, it shall be tested at the site location by loading an area of less than four (4) square feet to not less than twice the maximum bearing capacity desired for use. Such double load shall be sustained by the soil for a period of not less than forty-eight (48) hours with no additional settlement taking place, in order that such desired bearing capacity may be used.

Foundations should be built upon natural solid ground. Where solid ground does not occur at the foundation depth, such foundation shall be extended down to natural solid ground or piles should be used. Foundations built upon mechanically compacted earth or fill material are subject to the approval of local building officials to show evidence that the proposed loads will be adequately supported.

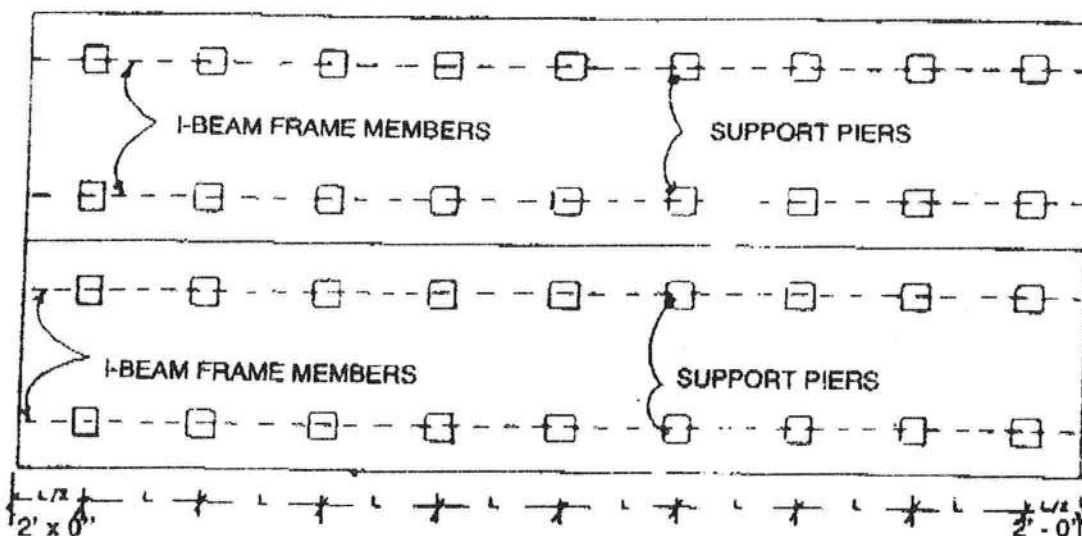
### PIER LOADS

There are several factors that control the numbers of piers required to support a home. The four most important factors are:

- (1) size of the home;
- (2) weight carrying capacity of the pier material;
- (3) soil bearing capacity; and
- (4) spacing between the individual piers.

Refer to tables 2 through 4 to determine the minimum size and location of individual footings and table 1 to determine the minimum strength requirements for individual piers.

**TABLE 1  
MINIMUM PIER CAPACITY TABLE**



Roof Live Load 20 psf	PIER LOAD	Piers at 4' On Center		Piers at 6' On Center		Piers at 8' On Center	
		12-wide (lbs.)	14-wide (lbs.)	12-wide (lbs.)	14-wide (lbs.)	12-wide (lbs.)	14-wide (lbs.)
		2112	2464	3168	3696	4224	4928

All Horton Homes designed for Wind Zone 1 are anchored to the ground to resist wind forces with frame ties only. Horton Homes designed for Wind Zones 2 and 3 use both vertical and diagonal frame ties. Over-the-roof down straps may be used in conjunction with the frame ties if preferred for Zone 1. All shearwall vertical tiedown locations along the sidewall and marriage wall are identified by the manufacturer at the factory.

Zone 2 Wind Zone houses set up in Zone 1 Wind Zone areas need only comply with Zone 1 anchoring requirements.

Park straps or vertical ties may have been installed on this house. If so, it should be noted that park straps are provided to supplement and not replace the engineered anchoring system. Under no circumstances should the diagonal anchoring straps be replaced by vertical park straps.

The following procedure may be used for installing the anchor system.

1. Thread straps through the buckle and around the I-beam at the proper locations (See Illustration A or use locking frame clip as shown in Illustration B). See page 66 for singlewide locations and page 69 for doublewide locations (Wind Zones 2 & 3, page 79 for singlewide and page 82 for doublewide).
2. Install ground anchors per the manufacturer's instructions. Each anchor must be positioned so the final strap angle will be within the limits.
3. Attach the straps to the ground anchor tensioning device as per the anchor manufacturer's instructions. It is recommended that all straps be tightened only enough to remove the slack. Then after all straps are installed in this manner, retighten each strap.
4. The strap tension should be re-checked periodically until pier settlement has stopped. The house must not be leveled without first loosening the tiedown strap. After re-leveling, all straps must be re-tightened.

Frame Tie With Buckle

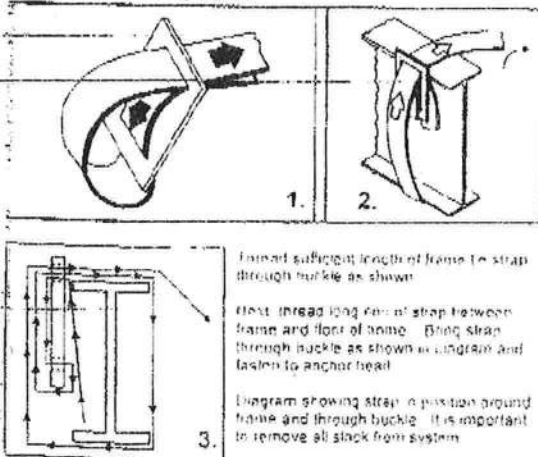


ILLUSTRATION A

**NOTE: PROTECTION SHALL BE PROVIDED AT SHARP CORNERS OF I-BEAM AND BRACKETS WHERE STRAPS MAYBE DAMAGED.**

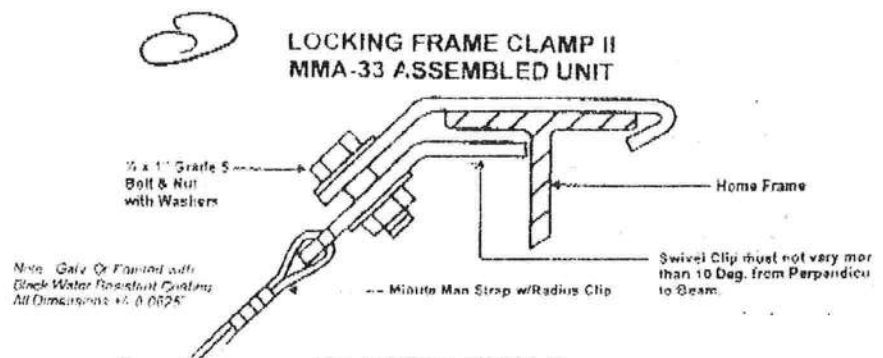


ILLUSTRATION B

**ROYALS HOME SALES, INC.**

4068 W US Hwy 90  
Lake City, FL. 32055  
(386)754-6737 Fax (386)758-7764

**FAX COVER SHEET**

**To:** <sup>754-7088</sup> Columbia County Building Dept Attn: Joe

**From:** Bo Royals

**Date:** 4/20/07

**Number of pages (w/ cover):** 10

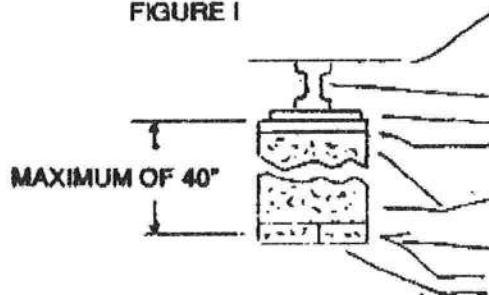
**Message:**

App # 0704-35 Customer: McWilliams

Thank  
Bo

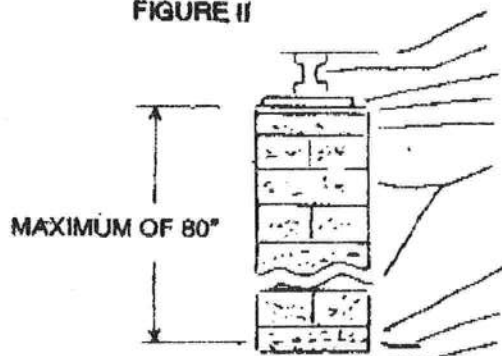
## BLOCKING STANDARDS

FIGURE I



Blocking (single tiered), (All corners must be double tiered and blocks interlocked if more than three blocks high).  
I-Beam frame  
Wood shims  
Cap-pressure treated 2" x 8" x 16" or equivalent  
Solid or celled concrete blocks Footer - Size refer to Table  
Ground level  
Sod or organic material removed

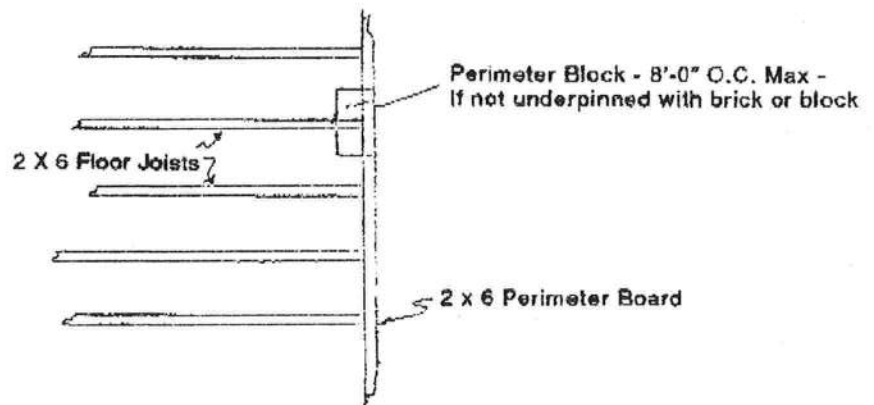
FIGURE II



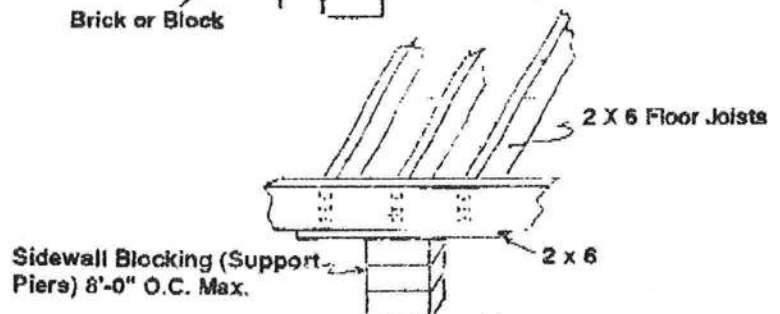
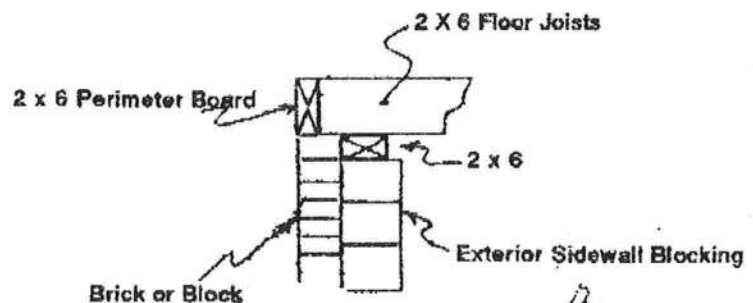
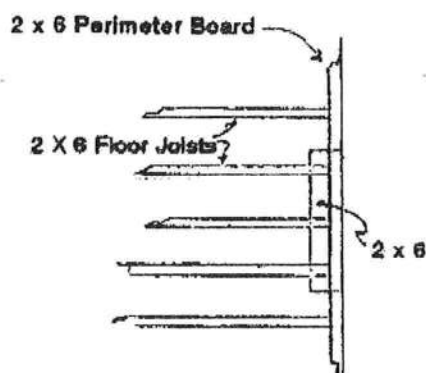
Blocking (double tiered & blocks interlocked)  
I-Beam frame  
Wood Shims  
(Option) pressure treated wood plate  
Cap - 16" x 16" x 4" solid block or equivalent  
Solid or celled concrete block

Footer Size refer to table 1 or 2  
Ground level  
Sod and organic material removed

### EXTERIOR SIDEWALL BLOCKING WITH NO UNDERPINNING



### EXTERIOR SIDEWALL BLOCKING WITH BRICK/BLOCK UNDERPINNING



**MINIMUM BLOCKING STANDARDS**

1. **Pier foundations shall be installed directly under the main frame (or chassis) of the manufactured home.** The piers shall not be further apart than eight (8) feet on centers and the maximum distance in from each end 2'-0".
2. **All grass and organic matter shall be removed and the pier foundation placed in stable soil.** The pier foundation shall be minimum of 24" x 30" x 4" (refer to soil bearing capacity for exact size), solid concrete pad, pre-cast or poured in place, or equivalent. (Min. based on 1000 psf - 8'-0" pier spacing).
3. Piers must be constructed of regular 8" x 8" x 16" concrete blocks, open cells, solid or equivalent (with open cells vertical) placed above the foundation. A 2" x 8" x 16" pressure treated wood plate, or equivalent, shall be placed on top of the pier with shims fitted and driven tight from both sides of the I-Beam. (See Figure 1.)
4. **All piers over forty (40) inches in height shall be double tiered with blocks interlocked and capped with a 4" x 16" x 16" solid concrete block or equivalent, and cushioned with wood shims or pressure treated plate.** (See Figures II and III.)
5. **All corner piers over three (3) blocks high shall be doubled tiered, with blocks interlocked and capped with a 4" x 16" x 16" solid concrete block or equivalent and cushioned with wood shims and pressure treated plate.**
6. **EXTERIOR SIDEWALL/MARRIAGE WALL BLOCKING - In addition to providing piers for supporting the frame, piers also are required to support the special roof loads.** These support piers are required at all marriage wall and sidewall openings greater than 4 ft. in width. These piers should be placed at each side of such openings. Typical sidewall openings - sliding glass door/full bay windows. Typical marriage wall openings - cathedral openings, passageway openings greater than 4'. In addition to these supports, it is optional that support piers may be installed around the perimeter of the house - 8 ft. O.C. Max.

**ADDENDUM TO MINIMUM BLOCKING STANDARDS**

**NOTE:** In some situations forces and materials may interact in such a way as to result in some areas in a slight crowning of floor joists from the I-beam of the frame to the exterior wall. **When this situation does occur, it is required that the dealer exercise the option with respect to exterior sidewall blocking and install support piers around the perimeter of the house. 8 ft. O.C. Max.**

# PIER LOADS

## 16' WIDE WITHOUT OVERHANG (188" FLOOR W/O OVERHANG)

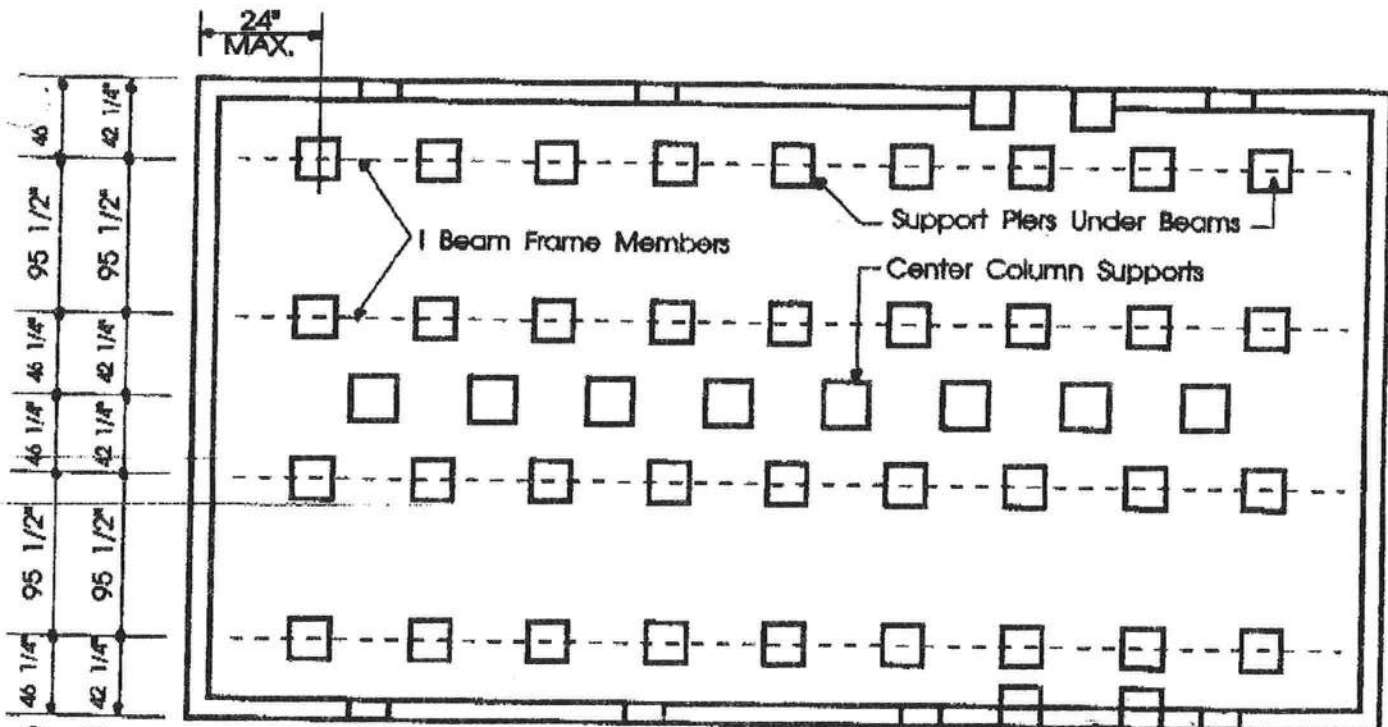
MAX. PIER SPACING	PIER LOADS	Min. Footing Area (Sq. Inches) For Soil Pressure Specified				
4'-0"	2414	1000	1500	2000	2500	3000 PSF
6'-0"	3622	435	280	208	163	135
8'-0"	4829	628	403	297	238	195
		822	528	389	308	255

## 15' WIDE WITH OVERHANG SINGLE WIDE & D.W. (180" FLOOR W/ 12" OVERHANG)

MAX. PIER SPACING	PIER LOADS	Min. Footing Area (Sq. Inches) For Soil Pressure Specified				
4'-0"	2430	1000	1500	2000	2500	3000 PSF
6'-0"	3645	437	281	208	164	136
8'-0"	4860	632	407	299	237	196
		825	531	392	310	257

## SIDEWALL OPENINGS FOOTING AREAS

MAX. OPENING	PIER LOADS	Min. Footing Area (Sq. Inches) For Soil Pressure Specified				
4'-0"	962	1000	1500	2000	2500	3000 PSF
6'-0"	1425	201	128	95	76	63
8'-0"	1904	277	178	131	105	86
10'-0"	2380	353	228	188	133	110
12'-0"	2836	429	276	204	161	134
14'-0"	3332	506	325	239	190	157
16'-0"	3808	582	374	276	218	181
18'-0"	4284	658	423	321	247	204
20'-0"	4760	734	472	348	276	228
		810	521	384	304	252



HORTON HOMES, INC.

95 1/2" I-Beam

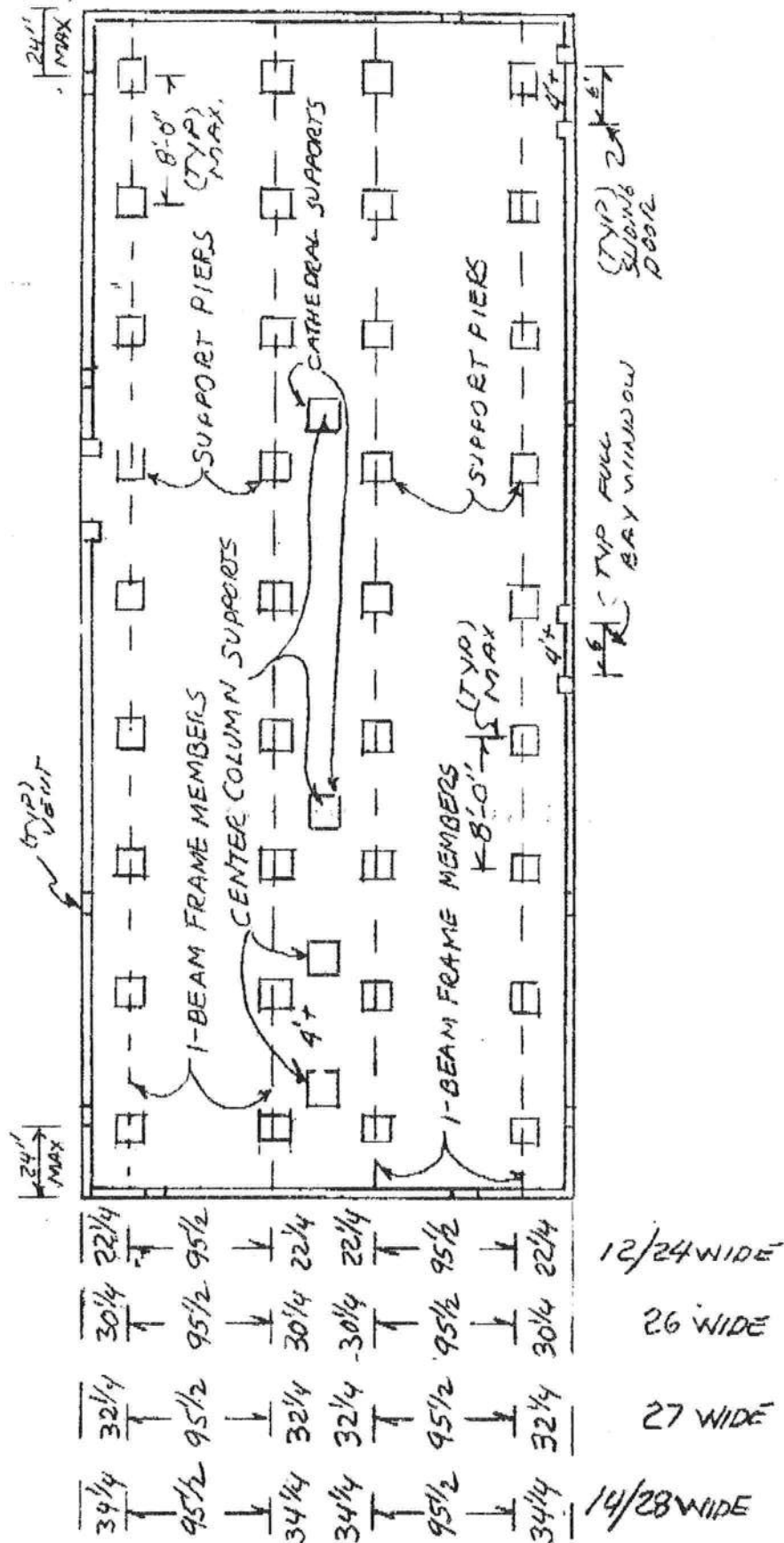
Spread for 16' Wide  
and 15' Wide Floors

TYPICAL PIER PLACEMENT

Sidewall & Center Column  
Supports Installed Each  
Side Of Openings 4' or Larger

**RTON HOMES  
95-1/2" I BEAM SPREAD  
TYPICAL PIER PLACEMENT**

TABLE 4A



### TYPICAL FOOTER SIZES

\* 16" X 16" - 256 Sq. Inches  
 16" X 24" - 384 Sq. Inches  
 24" X 24" - 576 Sq. Inches  
 24" X 30" - 720 Sq. Inches

\* MINIMUM FOOTER  
 TO BE USED

### FOOTER SIZE REQUIREMENTS

Footer Size Equals	Pier Load Soil Bearing Capacity
--------------------	---------------------------------------

Example: 14' Wide 8'-0" Center Piers  
4928 (from table 1)  
 1000 (soil bearing capacity)

4928 Equals 4.9 Sq. Ft. Minimum Footer  
 1000

### PIER LOAD CAPACITY FOR SIDE WALLS

100 X Span in Ft. divided by Soil Capacity

Example:

100 X 6'-0" equals 600 equals .6 sq. ft. min.  
 1000

Minimum Size Footer 8 X16  
 or 128 sq. inches for Sidewalls

### MARRIAGE WALL PIER LOAD CAPACITY

100 X Span in Ft. X 2 equals Pier Load Divided by Soil Capacity

Example:

100 X 20'-0" X 2 Equals 4000 lbs. equals 4 sq. ft. Minimum Footer  
 1000 lbs.

#### NOTE:

1. Multi openings for sidewall or marriage wall, add openings together.
2. Treat each marriage wall in each half of double wide separately. Provide piers at all openings greater than 4'-0" wide.
3. Combine pier loads at locations where each half of the home has a ridge beam column support.

## ANCHORING SYSTEM

All Horton Homes **must** be securely anchored according to wind zone location to resist the uplifting sliding forces created by strong winds. Horton Homes are built to comply with HUD'S Manufactured Home Construction and Safety Standards which establish design requirements for each wind zone area. A wind zone map reflecting the three wind zone areas and the wind zone designation of your home can be found on a Certificate of Compliance sheet posted inside a kitchen cabinet, furnace compartment or some other convenient location. All Horton Homes must be anchored in accordance to the appropriate anchoring instruction found under the applicable wind zone section in this manual. Other methods of anchoring of your home maybe used if designed by a professional engineer for the applicable wind zones.

Note: Wind Zone 2 or 3 houses set up in wind zone 1 area need only comply with wind zone 1 anchoring requirements.

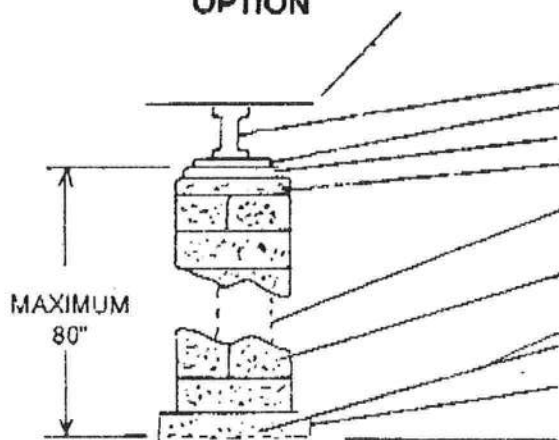
The tiedown straps and ground anchors are not provided by the manufacturer, as differing soil conditions require different anchoring system. Several good systems are available through your dealer or installation contractor.

## STRAP TO FRAME ATTACHMENT

The strap to frame attachment details are shown in Illustration A or B. The required frame tiedown spacing is shown on charts and drawings. The strap to anchor connection and the anchor installation method must be in accordance with the anchor manufacturer's installation instructions.

It is essential that all components of the tiedown system meet the minimum strength requirements specified in this manual for the applicable wind zones.

**FIGURE III  
OPTION**

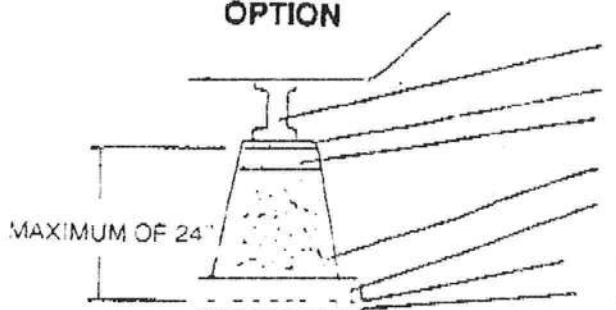


Blocking (double tiered - blocks interlocked concrete filled)  
I-Beam frame  
Wood shims  
(Option) pressure treated wood plate  
Cap - 16" x 16" x 4" solid block or equivalent  
3/8" Steel reinforced rods  
Celled concrete blocks  
All cells filled with 2500 P.S.I. concrete

Footer Size refer to table 1 or 2  
Ground level  
Sod and organic material removed

All pier foundations 2500 P.S.I. concrete with  
No. 5 reinforced rods (4 pcs - 16")

**FIGURE IV  
OPTION**



Blocking (solid pier)  
I-Beam frame  
Wood shims  
(Option) Pressure treated wood plate  
8" x 10" (minimum) pier top  
Pier  
Footer Size refer to table 1 or 2

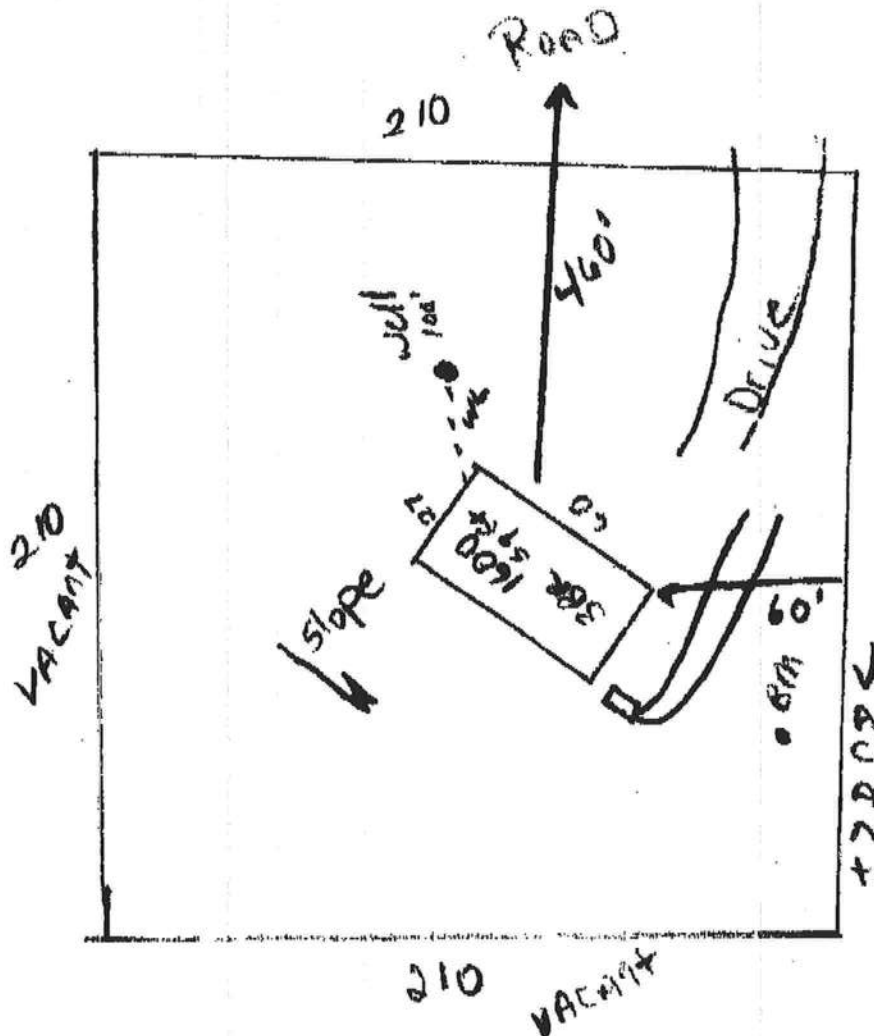
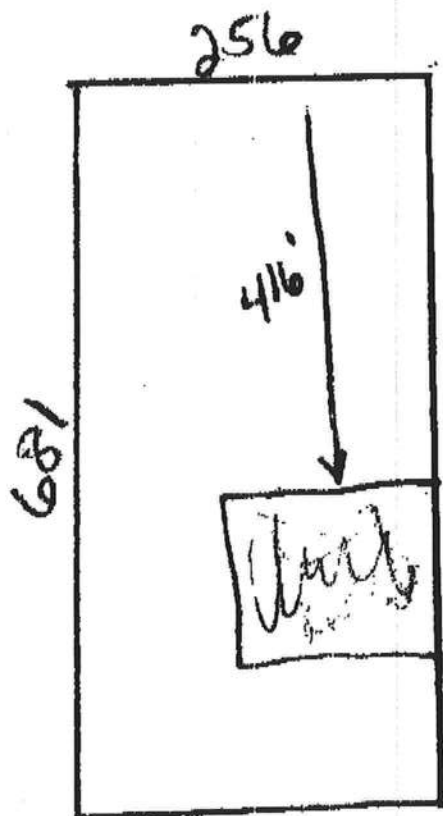
Ground level  
Sod and organic material removed

**STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT**

Permit Application Number 07-312-N

----- PART II - SITEPLAN ----- Robert McWilliams

Scale: 1 inch = 50 feet.



Notes: \_\_\_\_\_

Site Plan submitted by: Robert D. Williams

Plan Approved ☒ Robert D. Williams

Not Approved ☐ \_\_\_\_\_

By Robert D. Williams

Columbia

**MASTER CONTRACTOR**

Date APR 10 2007

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

**COLUMBIA COUNTY**  
**OFFICE**  
**OF**  
**PLANNING AND ZONING**

**M/H OCCUPANCY**

**COLUMBIA COUNTY, FLORIDA**

**Department of Building and Zoning Inspection**

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 11-5S-15-00431-126 Building permit No. 000025749

Permit Holder DALE HOUSTON

Owner of Building ROBERT MCWILLIAMS

Location: 1118 SW SILOAM ST, PINE WINDS EST L-26 U-1

Date: 05/11/2007

*Tony Dicks*

Building Inspector



**POST IN A CONSPICUOUS PLACE**  
*(Business Places Only)*