

DATE 09/01/2016

**Columbia County Building Permit**  
This Permit Must Be Prominently Posted on Premises During Construction

**PERMIT**  
**000034402**

APPLICANT WENDY GRENNELL PHONE 386-288-2428  
ADDRESS 3104 SW OLD WIRE RD FORT WHITE FL 32038  
OWNER DEWILTON BUD ESPENSHIP PHONE 386-623-2328  
ADDRESS 266 SW PRAIRIE ST LAKE CITY FL 32024  
CONTRACTOR LOREN MCLEOD PHONE 904-225-9775  
LOCATION OF PROPERTY 90 W. L CR-252-B, R PRAIRIE ST, IMMEDIATE LEFT  
ONTO PROPERTY  
TYPE DEVELOPMENT COMM STORAGE UNIT ESTIMATED COST OF CONSTRUCTION 41800.00  
HEATED FLOOR AREA TOTAL AREA 2000.00 HEIGHT 1 STORIES 1  
FOUNDATION CONCRETE WALLS METAL ROOF PITCH 35 FLOOR SLAB  
LAND USE & ZONING CI MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 20.00 REAR 15.00 SIDE 10.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. 000002335

PARCEL ID 10-4S-16-02861-000 SUBDIVISION CGC1520839  
LOT 0 BLOCK 0 PHASE 0 UNIT 0 TOTAL ACRES 2.91

000002335 CGC1520839 X Wendy Grennell  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
WAIVER X16-64 BS TC N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident Time/STUP No.

COMMENTS: SE #0556 APPROVED 8/25/16, Z0546 APPROVED

ACCESSORY USE STRUCTURE

Check # or Cash 14153

**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Insulation date/app. by  
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by  
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by  
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 210.00 CERTIFICATION FEE \$ 10.00 SURCHARGE FEE \$ 10.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ 0.00  
FLOOD DEVELOPMENT FEE \$ 0.00 FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ 0.00 TOTAL FEE 305.00 ✓  
INSPECTORS OFFICE [Signature] CLERKS OFFICE [Signature]

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.  
NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**

**Columbia County Building Department  
Culvert Waiver**



**Culvert Waiver No.  
000002335**

DATE: 09/01/2016 BUILDING PERMIT NO. 34402  
APPLICANT WENDY GRENNELL PHONE 288-2428  
ADDRESS 3104 SW OLD WIRE RD FORT WHITE FL 32038  
OWNER DEWILTON BUD ESPENSHIP PHONE 623-2328  
ADDRESS 266 SW PRAIRIE STREET LAKE CITY FL 32024  
CONTRACTOR LOREN MCLEOD PHONE 904-225-9775  
LOCATION OF PROPERTY 90 W. L CR-252-B. R PRAIRIE ST. IMMEDIATE LEFT ON PROPERTY

SUBDIVISION/LOT/BLOCK/PHASE/UNIT \_\_\_\_\_

PARCEL ID # 10-4S-16-02861-000

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: X Wendy Grennell

A SEPARATE CHECK IS REQUIRED  
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

**PUBLIC WORKS DEPARTMENT USE ONLY**

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE  
CULVERT WAIVER IS:

1 APPROVED \_\_\_\_\_ NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: \_\_\_\_\_

SIGNED: [Signature] DATE: 9-9-16

**ANY QUESTIONS PLEASE CONTACT THE  
PUBLIC WORKS DEPARTMENT AT 386-752-5955**



# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 10/28/2015      DATE ISSUED: 10/21/2015

### ENHANCED 9-1-1 ADDRESS:

266      SW   PRAIRIE      ST

LAKE CITY      FL      32024

### PROPERTY APPRAISER PARCEL NUMBER:

10-4S-16-02861-000

### Remarks:

ADDRESS FOR PROPOSED STRUCTURE ON PARCEL.

Address Issued By: SIGNED:/ RONAL N. CROFT  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**



CR# 14153  
Purch LAB.

SPECIAL EXCEPTION  
PER LN - back 40' zoning  
Columbia County New Building Permit Application

SRP  
2nd pg. Origination - D.3 Espo  
Sewmo 2335/

**For Office Use Only** Application # 1516-62 Date Received 10/28 By JEV Permit # 34402  
Zoning Official BO Date 8-30-16 Flood Zone X Land Use Com Zoning CZ  
FEMA Map # \_\_\_\_\_ Elevation \_\_\_\_\_ MFE 103.20 River \_\_\_\_\_ Plans Examiner T.C. Date 2-26-16  
Comments SE # 0556 approved 8-25-16  
☒ NOC ☒ LEH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Well letter ☒ 911 Sheet ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # SE 0556 ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter  
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☐ App Fee Paid ☒ Sub VF Form

Septic Permit No. X-16-64 OR City Water \_\_\_\_\_ Fax 386-755-1031

Applicant (Who will sign/pickup the permit) Wendy Grennell Phone 386-288-2428  
Address 3104 SW Old Wire Road Fort White FL 32038

Owners Name Dewilton B Espenship Phone 386-623-2328

911 Address 266 SW Prairie St, Lake City, FL 32024

Contractors Name Loren M McLeod Phone 904-225-9775

Address 850390 US Hwy 17 Yulee FL 32097

Contractor Email wendyg226@bellsouth.net (agent) \*\*\*Include to get updates on this job.

Fee Simple Owner Name & Address NA

Bonding Co. Name & Address NA

Architect/Engineer Name & Address Moore + Associates 100 East Ave North Augusta SC 29841

Mortgage Lenders Name & Address NA

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Duke Energy

Property ID Number 10-45-16-02861-000 Estimated Construction Cost \$41,800

Subdivision Name NA Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions from a Major Road US 90 West, TL on CR 252B, TR on Prairie St, immediate (L) into property

Construction of storage building ☒ Commercial OR ☐ Residential

Proposed Use/Occupancy storage units Number of Existing Dwellings on Property 0

Is the Building Fire Sprinkled? No If Yes, blueprints included \_\_\_\_\_ Or Explain \_\_\_\_\_

Circle Proposed - ☐ Culvert Permit or ☒ Culvert Waiver or ☐ D.O.T. Permit or ☐ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 30 Side 200 Side 145 Rear 158

Number of Stories 1 Heated Floor Area NA Total Floor Area 2000 Acreage 2.51

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) Z 0546

Spoke w/ Wendy in person 2-26-16 & the spoke w/ Wendy 8-30-16

Spoke to Wendy 8-30-16 in seal email 8-31-16



**CODE: Florida Building Code 2014 and the 2011 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities; removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

**\*\*Property owners must sign here before any permit will be issued.**

Bud Espenshiep  
Print Owners Name

Bud Espenshiep  
Owners Signature

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature

Contractor's License Number \_\_\_\_\_

Columbia County

Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)



# Columbia County Building Permit Application

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**VOID**  
Joseph Espenshiep  
Print Owners Name

**VOID**  
Owners Signature

Property owners must sign here  
before any permit will be issued.

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**Contractor's Signature**

Contractor's License Number CGC1520839


~~Columbia County~~

Competency Card Number 1336

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 18 day of October 2018.

Personally known \_\_\_\_\_ or Produced Identification FL DC

Shirley W. Bennett  
State of Florida Notary Signature (For the Contractor)

**SEAL:**  **SHIRLEY M. BENNETT**  
Notary Public - State of Florida  
My Comm. Expires Sep 10, 2016  
Commission # EE 833846  
Bonded Through National Notary Assn.



&gt;&gt; Print as PDF &lt;&lt;

BEG NE COR OF SE1/4 OF SW1/4,  
 RUN W 575.07 FT, S 312.81 FT,  
 E 1857.27 FT TO W R/W OF SW  
 CR 252-B, N ALONG R/W 326.75

ESPENSHIP DEWILTON B IV &  
 DARILYN ESPENSHIP  
 438 SW DARILYN GLN  
 LAKE CITY, FL 32025

10-4S-16-02861-000

Columbia County 2016 R  
 CARD 001 of 005  
 BY JEFF

PRINTED 10/19/2015 9:29  
 APPR 9/03/2014 DFRP

BUSE 000100 SINGLE FAM	AE? Y	3418 HTD AREA	122.280 INDEX	10416.02 HORNE'S	FUSE 005000 IMPROVED AG
MOD 1 SFR BATH	3.00	4015 EFF AREA	60.529 E-RATE	100.000 INDX	STR 10- 4S- 16
EXW 19 COMMON BRK FIXT		243,024 RCN		1945 AYB	MKT AREA 06
% 0000000000 BDRM	3	60.00 %GOOD	145,814 B BLDG VAL	1945 EYB	(PUD1
RSTR 03 GABLE/HIP RMS					AC 10.870
RCVR 14 PREFIN MT UNITS					NTCD
% N/A C-W%					APPR CD
INTW 05 DRYWALL HGHT					CNDO
% N/A FMTR					SUBD
FLOR 14 CARPET STYS	1.5				BLK
% N/A ECON					LOT
HTTP 04 AIR DUCTED FUNC					MAP#
A/C 03 CENTRAL SPCD					
QUAL 05 05 DEPR 52					TXDT 003
FNDN N/A UD-1 N/A					
SIZE 04 IRREGULAR UD-2 N/A					
CEIL N/A UD-3 N/A					
ARCH N/A UD-4 N/A					
FRME 01 NONE UD-5 N/A					
KTCH 01 01 UD-6 N/A					
WINDO N/A UD-7 N/A					
CLAS N/A UD-8 N/A					
OCC N/A UD-9 N/A					
COND 03 03 % N/A					
SUB A-AREA % E-AREA SUB VALUE					
BAS93 2818 100 2818 102343					
UOP93 198 20 40 1452					
FOP93 336 30 101 3669					
FCP93 588 25 147 5338					
FGR93 528 55 290 10532					
PTO93 384 5 19 690					
FUS93 600 100 600 21790					
TOTAL 5452 4015 145814					

AE BN CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ UT PR	SPCD	%GOOD	XFOB	VALUE
Y 1 0190	FPLC PF				1	0000	1.00		1.000	UT	1200.000	1200.000		100.00		1,200
Y 1 0190	FPLC PF				1	1978	1.00		1.000	UT	1200.000	1200.000		100.00		1,200
Y 0020	BARN,FR				1	0000	1.00		1.000	UT	240.000	240.000		100.00		240
Y 0020	BARN,FR				1	0000	1.00		1.000	UT	160.000	160.000		100.00		160
Y 0296	SHED METAL	6	14		1	0000	1.00		84.000	UT	2.500	2.500		100.00		210
Y 0070	CARPORT UF	16	26		1	0000	1.00		266.000	UT	2.000	2.000		100.00		532

LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:								
AE CODE	TOPO	UTIL	{UD2	{UD4	BACK	DT		ADJUSTMENTS	UNITS	UT	PRICE	ADJ UT PR	LAND	VALUE		
Y 000100 SFR	A-1	0003						1.00 1.00 1.00 1.00	1.000	AC	5062.040	5062.04		5,062		
N 000100 SFR	00	0003						1.00 1.00 1.00 1.00	2.000	AC	5062.040	5062.04		10,124		
N 005600 TIMBER 3	A-1	0003						1.00 1.00 1.00 1.00	7.870	AC	211.000	211.00		1,660AG		
N 009910 MKT.VAL.AG A-1	0002	0003						1.00 1.00 1.00 1.00	7.870	AC						
N 009947 SEPTIC	00	0002						1.00 1.00 1.00 1.00	2.000	UT	4056.130	4056.13		31,921MK		
	0002	0003									750.000	750.00		1,500		

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Columbia County 2016 R  
 CARD 002 of 005  
 BY JEFF

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BUSE 000100 SINGLE FAM	AE? N	864 HTD AREA	101.920 INDEX	10416.02 HORNE'S	FUSE 005000 IMPROVED AG
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BEG NE COR OF SE1/4 OF SW1/4, RUN W 575.07 FT, S 312.81 FT, E 1857.27 FT TO W R/W OF SW CR 252-B, N ALONG R/W 326.75		ESPENSHIP DEWILTON B IV & DARILYN ESPENSHIP 438 SW DARILYN GLN LAKE CITY, FL 32025		10-4S-16-02861-000		Columbia County 2016 R CARD 003 of 005 BY JEFF	
				PRINTED 10/19/2015 9:29 APPR 9/03/2014 DFRP			
BUSE 000100 SINGLE FAM	AE? N	1092 HTD AREA	111.996 INDEX	10416.02 HORNE'S	PUSE	005000 IMPROVED AG	
MOD 1 SFR	1.00	1221 EFF AREA	55.438 E-RATE	100.000 INDX	STR 10- 4S- 16		
EXW 10 ABOVE AVG. FIXT		67,690 RCN		1982 AYB	MKT AREA 06		231,982 BLDG
20% 19 COMMON BRK	2	67.00 %GOOD	45,352 B BLDG VAL	1982 EYB	(PUD1		38,587 XFOB
RSTR 03 GABLE/HIP					AC	10.870	16,686 LAND
RCVR 03 COMP SHNGL					NTCD		1,660 CLAS
% N/A C-W%					APPR CD		31,921 MKTUSE
INTW 05 DRYWALL					CNDO		319,176 JUST
% N/A PMTR					SUBD		288,915 APPR
FLOR 14 CARPET	1.0				BLK		
% N/A ECON					LOT		0 SOHD
HTTP 04 AIR DUCTED					MAP#		0 ASSD
A/C 03 CENTRAL							0 EXPT



QUAL 05 05	DEPR 52	3 I	I	2	3	TXDT 003	0 COTXBL
FNDN N/A	UD-1 N/A	3 I	I	6	3		
SIZE 03 RECTANGLE	UD-2 N/A	3 2	2	I	3	----- BLDG TRAVERSE -----	
CEIL N/A	UD-3 N/A	3 2	2	I	3	BAS1993=W42 UST1993=W13 S7 E13N7\$S7 FCP199	
ARCH N/A	UD-4 N/A	3 I	I	I	3	3=W13 S22 E13 N22\$S19 FOP1993=S3 E18 N3 W1	
FRME 01 NONE	UD-5 N/A	3 I	+-----18-----+42-----+		3	8\$ E42N26\$.	
KTCH 01 01	UD-6 N/A	3 +-----13---+FOP19938-----+			3		
WINDO N/A	UD-7 N/A	3			3		
CLAS N/A	UD-8 N/A	3			3		
OCC N/A	UD-9 N/A	3			3		
COND 03 03	% N/A	3			3		
SUB A-AREA % E-AREA	SUB VALUE	3			3	PERMITS -----	
BAS93 1092 100 1092	40561	3			3	NUMBER DESC AMT ISSUED	
UST93 91 45 41	1523	3			3		
FCP93 286 25 72	2674	3			3	----- SALE -----	
FOP93 54 30 16	594	3			3	BOOK PAGE DATE PRICE	
		3			3		
		3			3	GRANTOR	
		3			3	GRANTEE	
		3			3		
		3			3	GRANTOR	
		3			3	GRANTEE	

TOTAL 1523	1221	45352																	
-----EXTRA FEATURES----- FIELD CK:																			
AE BN CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	%GOOD	XFOB	VALUE
N 0166	CONC, PAVMT				1		1993	1.00	1360.000	SF	2.000		2.000	AP	50.00		50.00		1,360
N 0041	BARN, MACH 3-	57	30		1		1993	1.00	1710.000	SF	7.000		7.000	AP	50.00		50.00		5,985
N 0252	LEAN-TO W/O	30	45		1		1993	1.00	1350.000	SF	2.000		2.000	AP	50.00		50.00		1,350
N 0252	LEAN-TO W/O	50	10		1		1993	1.00	500.000	SF	2.000		2.000	AP	50.00		50.00		500
N 0294	SHED WOOD/VI	10	12		1		1993	1.00	120.000	SF	7.500		7.500	AP	50.00		50.00		450
N 0294	SHED WOOD/VI	8	10		1		1993	1.00	80.000	SF	7.500		7.500	AP	50.00		50.00		300

LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:										
AE CODE		TOPO	UTIL	{UD2	{UD4	BACK	DT	ADJUSTMENTS		UNITS	UT	PRICE	ADJ	UT	PR		LAND	VALUE

BEG NE COR OF SE1/4 OF SW1/4,		ESPENSHIP DEWILTON B IV &		10-4S-16-02861-000		Columbia County 2016 R	
RUN W 575.07 FT, S 312.81 FT,		DARILYN ESPENSHIP				CARD 004 of 005	
E 1857.27 FT TO W R/W OF SW		438 SW DARILYN GLN		PRINTED 10/19/2015 9:29		BY JEFF	
CR 252-B, N ALONG R/W 326.75		LAKE CITY, FL 32025		APPR 9/03/2014 DFRP			

BUSE 000800 MOBILE HME	AE? N	1214	HTD AREA	111.900	INDEX	10416.02	HORNE'S	PUSE 005000 IMPROVED AG
MOD 2 MOBILE HME	BATH	2.00	1293	EFF AREA	27.416	E-RATE	100.000	INDX STR 10- 4S- 16
EXW 31 VINYL SID	FIXT		35,449	RCN			1993	AYB MKT AREA 06
% N/A	BDRM	2	40.00	%GOOD	14,179	B BLDG VAL	1993	EYB (PUD1
RSTR 03 GABLE/HIP	RMS							AC 10.870
RCVR 12 MODULAR MT	UNTS							NTCD
% N/A	C-W%							APPR CD
INTW 05 DRYWALL	HGHT							CNDO
% N/A	PMTR							SUBD
FLOR 14 CARPET	STYS	1.0						BLK
10% 08 SHT VINYL	ECON							LOT
HTTP 04 AIR DUCTED	FUNC							MAP#
A/C 03 CENTRAL	SPCD							
QUAL 05 05	DEPR 09							TXDT 003
FNDN N/A	UD-1 N/A							
SIZE N/A	UD-2 N/A							----- BLDG TRAVERSE -----
CEIL N/A	UD-3 N/A							BAS1995=W47 S26 E9 UOP1995=S4 E26 N4 W26\$
ARCH N/A	UD-4 N/A							E2 FOP1995=E4 N2 W4 S2\$ N2 E4 S2 E20 FOP1
FRME 01 NONE	UD-5 N/A							995= S12 E12 N12W12\$ E12 N26\$.
KTCH 01 01	UD-6 N/A							
WINDO N/A	UD-7 N/A							
CLAS N/A	UD-8 N/A							
OCC N/A	UD-9 N/A							
COND 03 03	% N/A							----- PERMITS -----

SUB	A-AREA	%	E-AREA	SUB VALUE
BAS95	1214	100	1214	13313
FOP95	152	35	53	581
UOP95	104	25	26	285

+----12----

NUMBER	DESC	AMT	ISSUED

BOOK	PAGE	DATE	PRICE

GRANTOR	GRANTEE

GRANTOR	GRANTEE

TOTAL	1470	1293	14179

-----EXTRA FEATURES-----

FIELD CK:

AE	BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	%GOOD	XFOB	VALUE
N		0080	DECKING	10	16		1		1993	1.00	160.000	SF	5.000			5.000	AP	50.00	50.00		400
N		0040	BARN, POLE	38	12		1		1993	1.00	456.000	SF	2.500			2.500	AP	50.00	50.00		570
N		0294	SHED WOOD/VI	8	10		1		1993	1.00	80.000	SF	5.000			5.000	AP	50.00	50.00		200
Y		0282	POOL ENCL	30	40		1		2007	1.00	1200.000	SF	9.000			9.000			57.00		6,156
Y		0169	FENCE/WOOD				1		2007	1.00	1.000	UT	300.000			300.000			100.00		300
Y		0294	SHED WOOD/VI				1		2012	1.00	1.000	UT	300.000			300.000			100.00		300

LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:
AE	CODE	TOPO	UTIL	{UD2	{UD4	BACK	DT	ADJUSTMENTS

UNITS	UT	PRICE	ADJ	UT	PR	LAND	VALUE

BEG NE COR OF SE1/4 OF SW1/4,  
 RUN W 575.07 FT, S 312.81 FT,  
 E 1857.27 FT TO W R/W OF SW  
 CR 252-B, N ALONG R/W 326.75

ESPENSHIP DEWILTON B IV &  
 DARILYN ESPENSHIP  
 438 SW DARILYN GLN  
 LAKE CITY, FL 32025

10-4S-16-02861-000

Columbia County 2016 R

CARD 005 of 005

PRINTED 10/19/2015 9:29

BY JEFF

APPR 9/03/2014 DFRP

BUSE	AE?	HTD AREA	.000 INDEX	10416.02 HORNE'S	PUSE	005000 IMPROVED AG
MOD	BATH	EFF AREA	27.416 E-RATE	.000 INDX	STR 10- 4S- 16	
EXW	FIXT	RCN		AYB	MKT AREA 06	231,982 BLDG
%	BDRM	%GOOD	BLDG VAL	EYB	(PUD1	38,587 XFOB
RSTR	RMS				AC 10.870	16,686 LAND
RCVR	UNTS				NTCD	1,660 CLAS
%	C-W%				APPR CD	31,921 MKTUSE
INTW	HGHT				CNDO	319,176 JUST
%	PMTR				SUBD	288,915 APPR
FLOR	STYS				BLK	
%	ECON				LOT	0 SOHD
HTTP	FUNC				MAP#	0 ASSD
A/C	SPCD					0 EXPT
QUAL	DEPR				TXDT 003	0 COTXBL
FNDN	UD-1					
SIZE	UD-2					
CEIL	UD-3					
ARCH	UD-4					
FRME	UD-5					
KTCH	UD-6					
WNDO	UD-7					
CLAS	UD-8					
OCC	UD-9					
COND	%					

PERMITS	NUMBER	DESC	AMT	ISSUED

BOOK	PAGE	DATE	PRICE

GRANTOR	GRANTEE

GRANTOR	GRANTEE

TOTAL



-----EXTRA FEATURES-----										FIELD CK:											
AE	BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	%GOOD	XFOB	VALUE
Y		0169	FENCE/WOOD				1		2012	1.00	1.000	UT	50.000			50.000			100.00		50

										FIELD CK:								
AE	LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH		ADJUSTMENTS	UNITS	UT	PRICE	ADJ	UT	PR	LAND	VALUE
	CODE		TOPO	UTIL	{UD2	{UD4	BACK	DT										



# COLUMBIA COUNTY FIRE RESCUE

## Life Safety Services

P.O. BOX 1529 Lake City, Florida 32056  
Office (386) 754-2120 Fax (386) 754-7064

Fire Inspector/PIO  
Lt. Joshua Wehinger

4 November 2015

TO: Troy Crews  
Columbia County Building and Zoning

FROM: Joshua Wehinger  
Florida State Fire Inspector #180649

RE: New Construction for Bud Espenship, Application #1510-68

A plan review was performed on the proposed New Construction of Storage building for Bud Espenship of Lake City, located on County Road 252 B, in Lake City, Florida. This Building was classified under Chapter 42 Storage, of the Florida Fire Prevention Code, Fifth Edition. I recommend Approval of the New Construction with the following conditions;

Pending:

- Light Weight Truss Marking
  - Florida Statute, Section 633.027, (2008) requires the owner of any commercial, industrial or multiunit residential structure of three units or more constructed of light-frame trusses, to install a symbol adopted by rule of the State Fire Marshal's Office. This rule establishes the dimensions, color, and location of the symbol to be applied to every commercial, industrial and multiunit residential structure of three units or more constructed of light-frame trusses.

Sincerely,

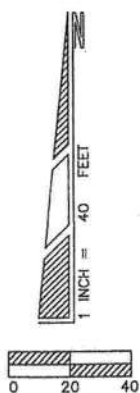
Joshua Wehinger





# TOPOGRAPHY SURVEY

IN SECTION 10  
TOWNSHIP 4 SOUTH, RANGE 16 EAST  
COLUMBIA COUNTY, FLORIDA



## NOTES:

- 1.) Monumentation is as shown and designated on the face of the plat.
- 2.) Bearings projected from West line of Co. Road 252-B and based on the record plat for "Timberlands Phase 1".
- 3.) Date of field survey completion: 9/23/2015
- 4.) Elevations based on NAVD88 datum.

CAD FILE: 6708.DWG

**Donald F. Lee and Associates, Inc.**

SURVEYORS — ENGINEERS

140 Northwest Ridgewood Avenue, Lake City, Florida 32055

Phone: (386) 755-6166

FAX: (386) 755-6167

Certificate of Authorization # LB 7042

**BUD ESPENSHIP**

Scale: 1" = 40'

Field Book: 15-635

Work Order: 15-6708

File: A-56-50

09/23/2015

: TAD/AVG

otions: TAD/AVG

d: DFL/TAD





**Columbia County Property Appraiser**  
J. Doyle Crew s - Lake City, Florida 32055 | 386-758-1083

NOTES:

**PARCEL: 10-4S-16-02861-000 - IMPROVED A (005000)**

BEG NE COR OF SE1/4 OF SW1/4, RUN W 575.07 FT, S 312.81 FT, E 1857.27 FT TO W  
R/W OF SW CR 252-B, N ALONG R/W 326.75 FT, W 1283.69 FT TO POB, EX RD R/

Name: ESPENSHIP DEWILTON B IV &		2015 Certified Values	
Site:	352 SW PRAIRIE ST	Land	\$16,696.00
	DARILYN ESPENSHIP	Bldg	\$233,723.00
Mail:	438 SW DARILYN GLN	Assd	\$286,930.00
	LAKE CITY, FL 32025	Exmpt	\$50,000.00
Sales Info	8/5/2015 \$100.00 I/U	Taxbl	Only: \$236,930 Other: \$236,930   Schl: \$261,930




## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1510-68 CONTRACTOR Loren McLeod PHONE 904-225-9775  
 THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

<b>ELECTRICAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>MECHANICAL/ A/C</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>ROOFING</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
✓ CONCRETE FINISHER	310	Larry Parrish	
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.





# Columbia County

## BUILDING DEPARTMENT

Revised 7/1/15

### COMMERCIAL MINIMUM PLAN CHECKLIST

**MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR THE 2014 FLORIDA BUILDING CODE, FLORIDA PLUMBING CODE, FLORIDA MECHANICAL CODE, FLORIDA FUEL AND GAS CODE 2014 EFFECTIVE 1 JULY 2015 AND 2011 NATIONAL ELECTRICAL**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODES. ALL PLANS OR DRAWING SHALL PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES**

GENERAL REQUIREMENTS:		Items to Include-Each Box shall be Circled as Applicable			
1	All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	N/A
2	If the design professional is an architect or engineer legally registered under the laws of this state regulating the practice of architecture as provided for in Chapter 481, Florida Statutes, Part I, or engineering as provided for in Chapter 471, Florida Statutes, then he or she shall affix his or her official seal to said drawings, specifications and accompanying data, as required by Florida Statute.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	N/A
3	The design professional signature shall be affixed to the plans	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	N/A
4	Two (2) complete sets of plans with the architecture or engineer signature and the date the affix embossed official seal was placed on the plans	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	N/A

Two (2) complete sets of plans containing the following information:

Building Site Plan Requirements		Items to Include-Each Box shall be Circled as Applicable			
4	Parking, including provision Florida Building Code Accessibility Code	Yes	No	N/A	N/A
5	Fire access, showing all drive way which will be accessible for emergency vehicles	Yes	No	N/A	N/A
6	Driving/turning radius of parking lots	Yes	No	N/A	N/A
7	Vehicle loading include truck dock loading or rail site loading	Yes	No	N/A	N/A
8	Nearest or number of onsite Fire hydrant/water supply/post indicator valve (PIV)	Yes	No	N/A	N/A
9	Set back of all existing or proposed structures from each structure and property boundaries, Show all	Yes	No	N/A	N/A



	separation including assumed property lines			
10	Location of specific tanks(above or under ground, water lines and sewer lines and septic tank and drain fields	Yes	No	N/A N/A
11	All structures exterior views include finished floor elevation	Yes	No	N/A N/A
12	Total height of structure(s) from established grade	Yes	No	N/A N/A
Review required by the Columbia County Fire Department Items 13 <sup>th</sup> 43				

Occupancy group use circle all uses:	Group A	Group B	Group E	Group F	Group H	Group I	Group M	Group R	Group S	Group U D	
13	Special occupancy requirements.								Yes	No	N/A
14	Incidental use areas (total square footage for each room of use area)								Yes	No	N/A
15	Mixed occupancies								Yes	No	N/A
16	REQUIRED SEPARATION OF OCCUPANCIES IN HOURS FBC TABLE 707.3.10								Yes	No	N/A
Minimum type of permitted construction by code for occupancy use circle the construction type FBC 602											
17	Type I (FBC:602.2)	Type II (FBC:602.2)	Type III (FBC:602.3)	Type IV (FBC:602.4)	Type V (FBC:602.5)	Type I					

Fire-resistant construction requirements shall be shown, include the following components					
18	Fire-resistant separations	Yes	No	N/A	N/A
19	Fire-resistant protection for type of construction	Yes	No	N/A	N/A
20	Protection of openings and penetrations of rated walls	Yes	No	N/A	N/A
21	Protection of corridors and penetrations of rated walls	Yes	No	N/A	N/A
22	Fire blocking and draftstopping and calculated fire resistance	Yes	No	N/A	N/A
Fire suppression systems shall be shown include:					
23	Early warning smoke evacuation systems Schematic fire sprinklers Standpipes	Yes	No	N/A	N/A
24	Standpipes	Yes	No	N/A	N/A
25	Pre-engineered systems	Yes	No	N/A	N/A
26	Riser diagram	Yes	No	N/A	N/A
Life safety systems shall be shown include the following requirements:					
27	Occupant load and egress capacities	Yes	No	N/A	N/A
28	Early warning	Yes	No	N/A	N/A
29	Smoke control	Yes	No	N/A	N/A
30	Stair pressurization	Yes	No	N/A	N/A
31	Systems schematic	Yes	No	N/A	N/A
Occupancy load/egress requirements shall be shown include:					
32	Occupancy load	Yes	No	N/A	N/A
33	Gross occupancy load	Yes	No	N/A	N/A
34	Net occupancy load	Yes	No	N/A	N/A
35	Means of egress	Yes	No	N/A	N/A
36	Exit access	Yes	No	N/A	N/A
37	Exit discharge	Yes	No	N/A	N/A
38	Stairs construction/geometry and protection	Yes	No	N/A	N/A
39	Doors	Yes	No	N/A	N/A
40	Emergency lighting and exit signs	Yes	No	N/A	N/A
41	Specific occupancy requirements	Yes	No	N/A	N/A
42	Construction requirements	Yes	No	N/A	N/A
43	Horizontal exits/exit passageways	Yes	No	N/A	N/A

Items to Include-  
Each Box shall be  
Circled as  
Applicable

Structural requirements shall be shown include:										
44	Soil conditions/analysis								Yes	No N/A
45	Termite protection								Yes	No N/A
46	Design loads								Yes	No N/A
47	Wind requirements								Yes	No N/A
48	Building envelope								Yes	No N/A



49	Structural calculations (if required)	Yes	No	N/A	N/A
50	Foundation For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	Yes	No	N/A	N/A
51	Wall systems	Yes	No	N/A	N/A
52	Floor systems	Yes	No	N/A	N/A
53	Roof systems	Yes	No	N/A	N/A
54	Threshold inspection plan	Yes	No	N/A	N/A
55	Stair systems	Yes	No	N/A	N/A
<b>Materials shall be shown include the following</b>					
56	Wood	Yes	No	N/A	N/A
57	Steel	Yes	No	N/A	N/A
58	Aluminum	Yes	No	N/A	N/A
59	Concrete	Yes	No	N/A	N/A
60	Plastic	Yes	No	N/A	N/A
61	Glass	Yes	No	N/A	N/A
62	Masonry	Yes	No	N/A	N/A
63	Gypsum board and plaster	Yes	No	N/A	N/A
64	Insulating (mechanical)	Yes	No	N/A	N/A
65	Roofing	Yes	No	N/A	N/A
66	Insulation	Yes	No	N/A	N/A
<b>Accessibility requirements shall be shown include the following</b>					
67	Site requirements	Yes	No	N/A	N/A
68	Accessible route	Yes	No	N/A	N/A
69	Vertical accessibility	Yes	No	N/A	N/A
70	Toilet and bathing facilities	Yes	No	N/A	N/A
71	Drinking fountains	Yes	No	N/A	N/A
72	Equipment	Yes	No	N/A	N/A
73	Special occupancy requirements	Yes	No	N/A	N/A
74	Fair housing requirements	Yes	No	N/A	N/A
<b>Interior requirements shall include the following</b>					
75	Review required by the Columbia County Fire Department Items 75 <sup>th</sup> 80	Yes	No	N/A	N/A
	Interior finishes (flame spread/smoke development)				N/A
76	Light and ventilation	Yes	No	N/A	N/A
77	Sanitation	Yes	No	N/A	N/A
<b>Special systems</b>					
78	Elevators	Yes	No	N/A	N/A
79	Escalators	Yes	No	N/A	N/A
80	Lifts	Yes	No	N/A	N/A
<b>Swimming pools</b>					
81	Barrier requirements	Yes	No	N/A	N/A
82	Spas and Wading pools	Yes	No	N/A	N/A
83	Access required per Florida Building Code 454.1.2.5	Yes	No	N/A	N/A

**Items to Include-Each Box shall be Circled as Applicable**

<b>Electrical</b>					
84	Wiring	Yes	No	N/A	N/A
85	Services For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	Yes	No	N/A	N/A
86	Feeders and branch circuits	Yes	No	N/A	N/A
87	Overcurrent protection	Yes	No	N/A	N/A
88	Grounding	Yes	No	N/A	N/A
89	Wiring methods and materials	Yes	No	N/A	N/A



90	GFCIs	Yes	No	N/A	N/A
91	Equipment	Yes	No	N/A	N/A
92	Special occupancies	Yes	No	N/A	N/A
93	Emergency systems	Yes	No	N/A	N/A
94	Communication systems	Yes	No	N/A	N/A
95	Low voltage	Yes	No	N/A	N/A
96	Load calculations	Yes	No	N/A	N/A
<b>Plumbing</b>					
97	Minimum plumbing facilities	Yes	No	N/A	N/A
98	Fixture requirements	Yes	No	N/A	N/A
99	Water supply piping	Yes	No	N/A	N/A
100	Sanitary drainage	Yes	No	N/A	N/A
101	Water heaters	Yes	No	N/A	N/A
102	Vents	Yes	No	N/A	N/A
103	Roof drainage	Yes	No	N/A	N/A
104	Back flow prevention	Yes	No	N/A	N/A
105	Irrigation	Yes	No	N/A	N/A
106	Location of water supply line	Yes	No	N/A	N/A
107	Grease traps	Yes	No	N/A	N/A
108	Environmental requirements	Yes	No	N/A	N/A
109	Plumbing riser	Yes	No	N/A	N/A
<b>Mechanical</b>					
110	Energy calculations	Yes	No	N/A	N/A
111	<b>Review required by the Columbia County Fire Department Items 111<sup>th</sup> 114</b>	Yes	No	N/A	N/A
	Exhaust systems				
112	Clothes dryer exhaust	Yes	No	N/A	N/A
113	Kitchen equipment exhaust	Yes	No	N/A	N/A
114	Specialty exhaust systems	Yes	No	N/A	N/A
<b>Equipment location</b>					
115	Make-up air	Yes	No	N/A	N/A
116	Roof-mounted equipment	Yes	No	N/A	N/A
117	Duct systems	Yes	No	N/A	N/A
118	Ventilation	Yes	No	N/A	N/A
119	Laboratory	Yes	No	N/A	N/A
120	Combustion air	Yes	No	N/A	N/A
121	Chimneys, fireplaces and vents	Yes	No	N/A	N/A
122	Appliances	Yes	No	N/A	N/A
123	Boilers	Yes	No	N/A	N/A
124	Refrigeration	Yes	No	N/A	N/A
125	Bathroom ventilation	Yes	No	N/A	N/A
<b>Items to Include- Each Box shall be Circled as Applicable</b>					
<b>Gas</b>					
126	<b>Review required by the Columbia County Fire Department Items 126<sup>th</sup> 134</b>	Yes	No	N/A	N/A
	Gas piping				
127	Venting	Yes	No	N/A	N/A
128	Combustion air	Yes	No	N/A	N/A
129	Chimneys and vents	Yes	No	N/A	N/A
130	Appliances	Yes	No	N/A	N/A
131	Type of gas	Yes	No	N/A	N/A
132	Fireplaces	Yes	No	N/A	N/A
133	LP tank location	Yes	No	N/A	N/A
134	Riser diagram/shutoffs	Yes	No	N/A	N/A
<b>Notice of Commencement</b>					
135	A recorded (in the Columbia County Clerk Office) notice of commencement is required to be on file with the building department. <i>Before Any Inspections Will Be Done</i>	Yes	No	N/A	N/A
	<b>Disclosure Statement for Owner Builders</b>	Yes	No	N/A	N/A

Private Potable Water							
136	Horse power of pump motor	Well letter provided by well driller OR City of Lake City Water Connection Letter		Yes	No	N/A	N/A
137	Capacity of pressure tank			Yes	No	N/A	N/A
138	Cycle stop valve if used			Yes	No	N/A	N/A

**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

139	<b>Building Permit Application</b>	A Building Permit Application is to be completed by following the checklist all supporting documents must be submitted. Completed Applications can be mailed with The \$15.00 application fee.	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	N/A
140	<b>Parcel Number</b>	The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also required. (386) 758-1084	<input checked="" type="radio"/> Yes	<input type="radio"/> No	N/A	N/A
141	<b>Environmental Health Permit or Sewer Tap Approval</b>	A copy of an approved Environmental Health (386) 758-1058 waste water disposal permit or an approved City of Lake City(386) 752-2031 sewer tap letter is required before a building permit can be issued.  <b>Toilet facilities shall be provided for construction workers</b>	Yes	No	N/A	N/A
142	<b>Driveway Connection</b>	If the property does not have an existing access to a public road, then an application for a culvert permit must be made (\$25.00). County Public Works Dept. determines the size and length of every culvert before installation and completes a final inspection before permanent power is granted. Culvert installation for commercial, industrial and other uses shall conform to the approved site plan or to the specifications of a registered engineer. Use or joint use of driveways will comply with Florida Department of Transportation specifications. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	Yes	No	N/A	N/A
143	<b>Suwannee River Water Management District Approval</b>	All commercial projects must have an SRWMD permit issued or an exemption letter, before a building permit will be issued.	Yes	No	N/A	N/A
144	<b>Flood Management</b>	All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) <b>has been</b> established shall meet the requirements of section 8.8 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) <b>has not been</b> established shall meet the requirements of section 8.7 of Columbia County Land Development Regulations. A development permit will also be required. <b>The development permit cost is \$50.00</b>	Yes	No	N/A	N/A
145	<b>Flood Management</b>	A CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED OR IT HAS BEEN DETERMINED BY THE PLAT	Yes	No	N/A	N/A
146	<b>911 Address</b>	An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125.	Yes	No	N/A	N/A



Pursuant to Chapter one (administration) section 101.2 of the Florida Building Code: Section 105.3.2 **Time limitation of application.** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Pursuant to Chapter one (administration) section 101.2 of the Florida Building Code: Section 105.4.1 **Permit intent.** A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

**When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department.**

# TUBULAR BUILDING SYSTEMS

## METAL BUILDING - 14' TALL (MAX)

### 12 - 30 FT SPAN

# OPEN AND ENCLOSED DESIGN

PROJECT #:		1511-019	
DWG. NO.		1511-019-T-001	
TITLE SHEET		TITLE	
TUBULAR BUILDING SYSTEMS		12 - 30 FT SPAN STEEL BUILDINGS	
DESCRIPTION		REV	
RELEASED FOR CONSTRUCTION		0	
APPROD		GG	
DATE		3/15	
CHK'D		GG	
DATE		3/15	
REV.		0	
SHT.		1	
REV.		0	

GILL ENGINEERING SERVICES, INC.  
AUTH # 30824  
GARY GILL, P.E. 51942  
426 SW COMMERCE DR 130-M  
LAKE CITY, FL 32025  
386-590-1242

*Gill*  
Engineering Services, Inc.



### DRAWING LIST

1511-019-T-001	TITLE SHEET
1511-019-A-001	ELEVATIONS - OPEN
1511-019-A-002	ELEVATIONS - ENCLOSED
1511-019-S-001	STRUCTURAL PLAN
1511-019-S-002	FOUNDATION PLAN
1511-019-S-003	ROOF FRAMING PLAN
1511-019-S-004	STRUCTURAL DETAILS
1511-019-S-005	STRUCTURAL DETAILS
1511-019-S-006	ENCLOSED STRUCTURE
1511-019-S-007	GENERAL NOTES

LEGEND	
SYMBOL	DESCRIPTION
	ELEVATION MARK
	SECTION MARK
	DETAIL CALLOUT
	ELEVATION INDICATOR
	DOOR TAG
	WINDOW TAG
	ROOM TAG
	REVISION CLOUD W/ TAG

APPLICABLE CODES  
2014 FLORIDA BUILDING CODE

WIND DESIGN INFORMATION  
WIND SPEED: 140 MPH (Vult)  
108 MPH (Vasd)

CATEGORY: 1  
EXPOSURE: C  
INTERNAL PRESSURE: 0.18+/- (ENCLOSED)

CLADDING COMPONENTS  
ZONE 1: 10 S.F. 14.96/-23.77 PSF  
ZONE 2: 10 S.F. 14.96/-41.37 PSF  
ZONE 3: 10 S.F. 14.96/-61.18 PSF  
ZONE 4: 10 S.F. 29.97/-28.17 PSF  
ZONE 5: 10 S.F. 25.97/-34.77 PSF


FLORIDA BUILDING PRODUCT APPROVAL LISTING  
DOORS: ROLL UP DOOR - JANUS INTERNATIONAL CORPORATION  
MODEL 3652 - FL 14425.1  
MODEL 750 - FL12785.7  
WALK DOORS - ELIXIR INDUSTRIES-FL 1722-R4  
WALL AND ROOF SIDING: WALL - FL6702-R4 CAROLINA CARPORTS  
ROOF - FL6596-R4 CAROLINA CARPORTS  
POCAHONTAS ALUMINUM COMPANY, INC  
FL 12940-R1

WINDOWS:





PROJECT #: 1511-019		DWG. NO. 1511-019-A-002		SHT. 3		REV. 0	
TITLE							
ELEVATIONS - ENCLOSED							
TUBULAR BUILDING SYSTEMS							
12 - - 30 FT SPAN STEEL BUILDINGS							
REV							
	RELEASED FOR CONSTRUCTION						
	DESCRIPTION						
	GG	3/15	GG	3/15	GG	3/15	DATE
							CHK'D
							DATE

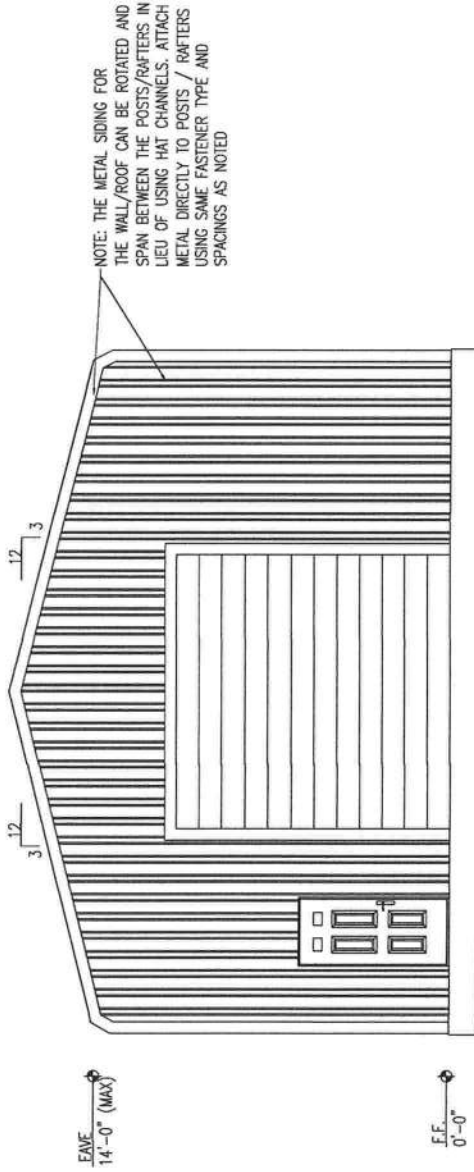


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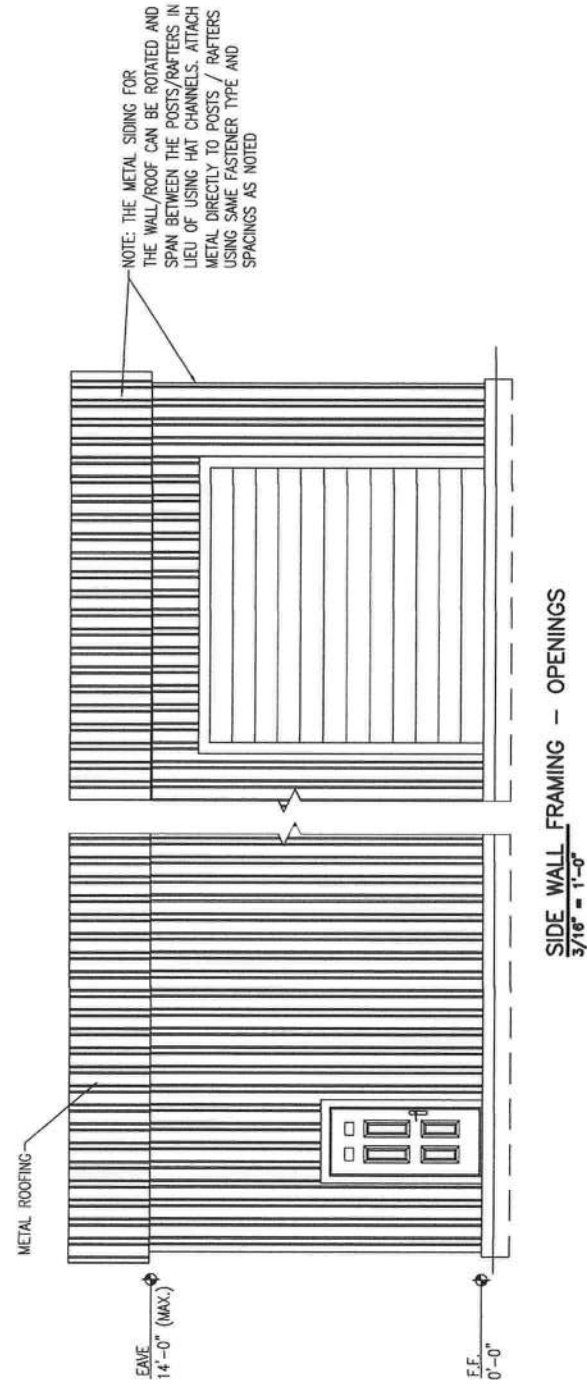
1511-019-A-002

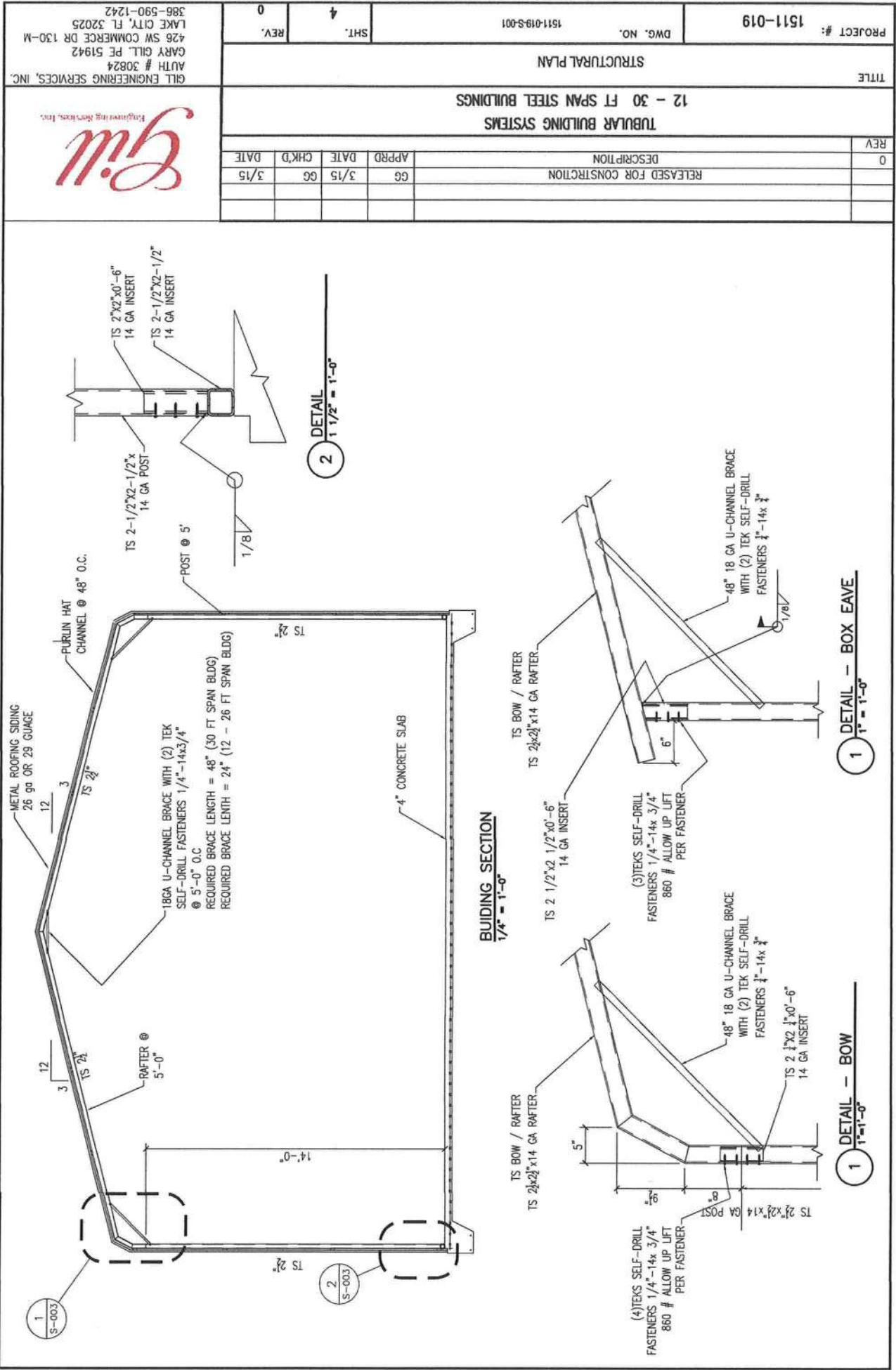
SHT. 3

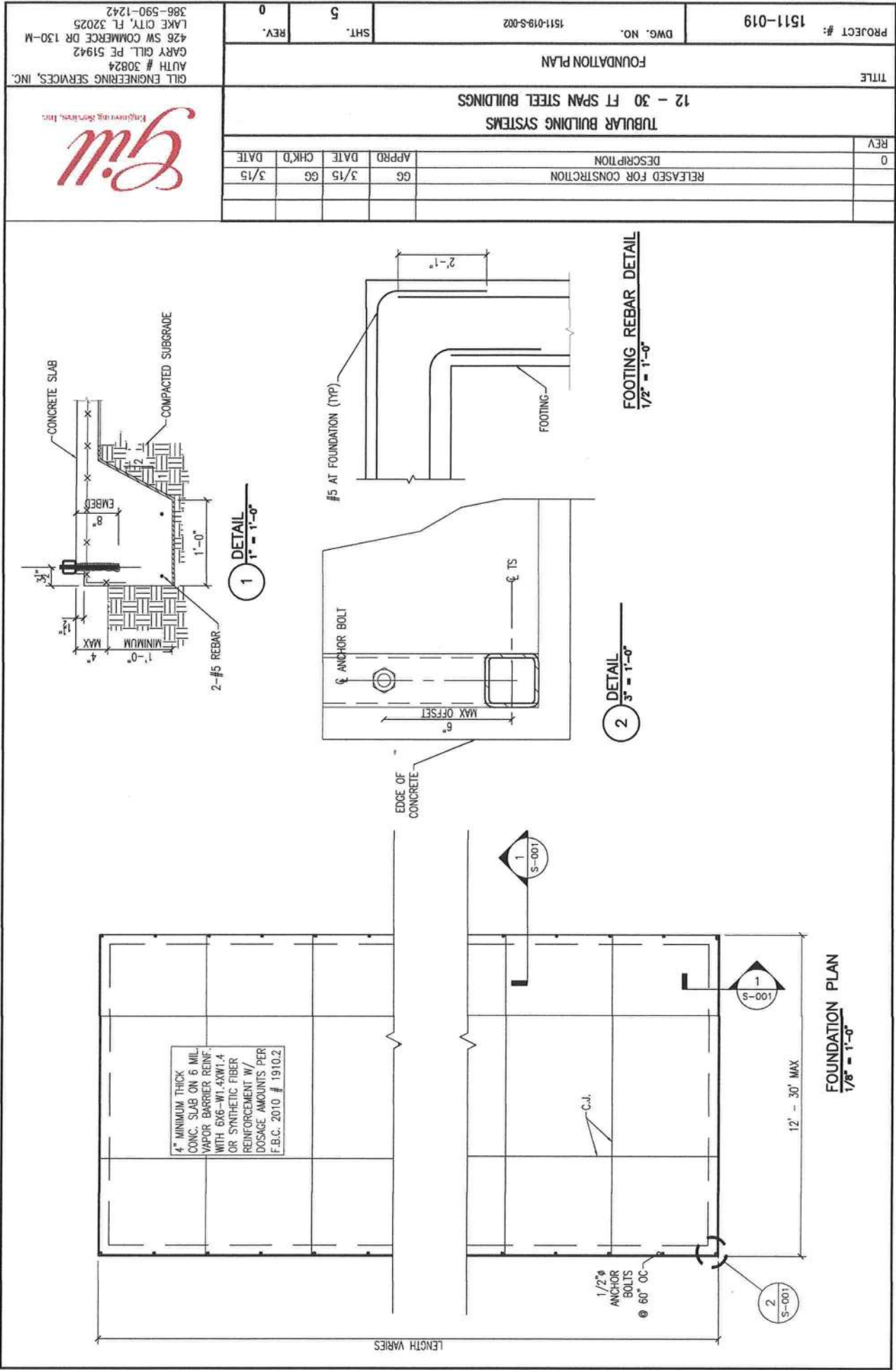
REV. 0



ENCLOSED ENDWALL  
3/16" = 1'-0"





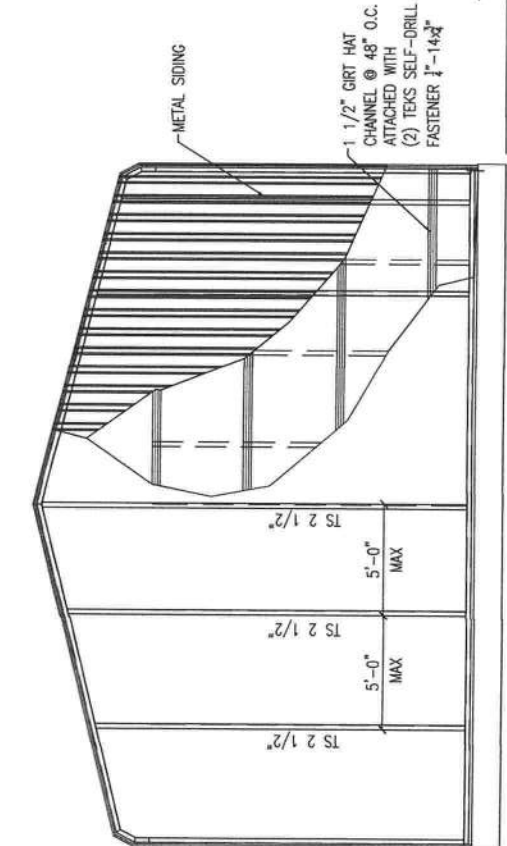
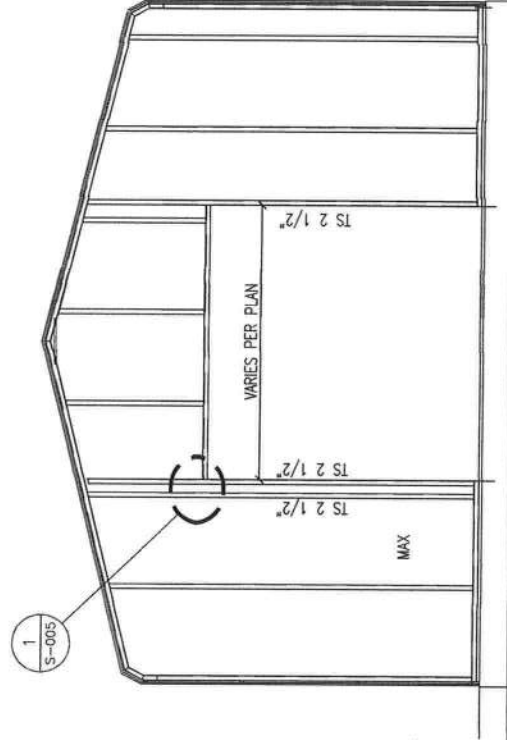






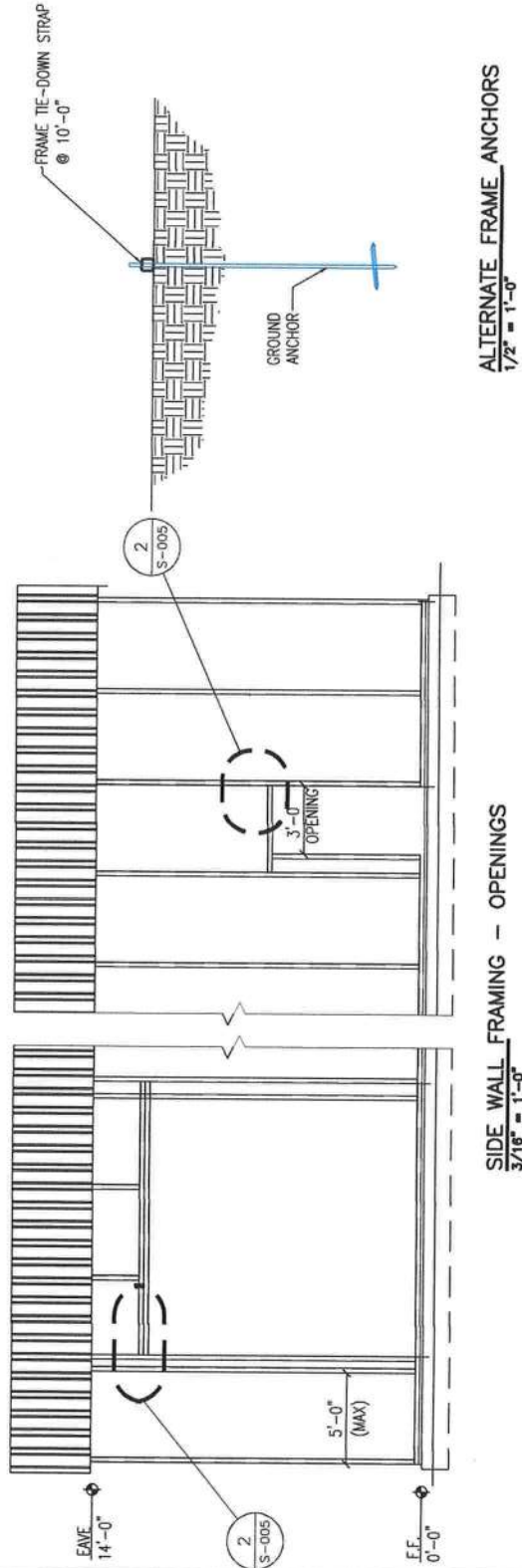
PROJECT #: 1511-019		DWG. NO. 1511-019-S-004	SHT. 7	REV. 0
STRUCTURAL DETAILS				
TITLE				
TUBULAR BUILDING SYSTEMS				
12 - 30 FT SPAN STEEL BUILDINGS				
REV	0	RELEASED FOR CONSTRUCTION	GG	3/15
DESCRIPTION		GG	3/15	GG
DATE		GG	3/15	GG
CHK'D		GG	3/15	GG
DATE		GG	3/15	GG

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END WALL FRAMING - OPENING  
 3/16" = 1'-0"

END WALL FRAMING  
 3/16" = 1'-0"



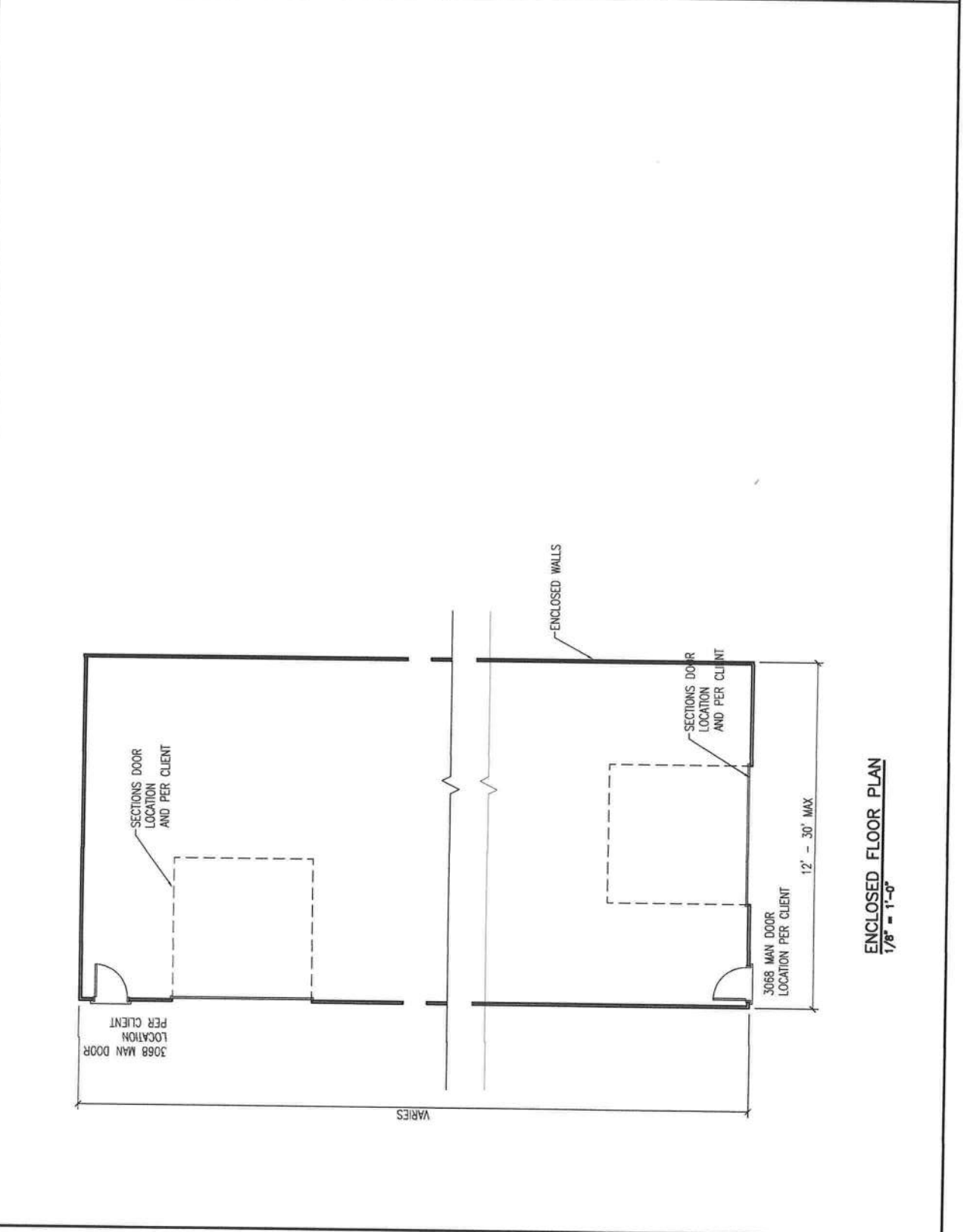
ALTERNATE FRAME ANCHORS  
 1/2" = 1'-0"

SIDE WALL FRAMING - OPENINGS  
 3/16" = 1'-0"





PROJECT #:		1511-019	
DWG. NO.		1511-019-S-006	
SHT.	9	REV.	0
ENCLOSED STRUCTURE			
TITLE			
TUBULAR BUILDING SYSTEMS			
12 - 30 FT SPAN STEEL BUILDINGS			
REV	0	RELEASED FOR CONSTRUCTION	
DESCRIPTION	GG	DATE	3/15
CHK'D	GG	DATE	3/15
DATE	GG	DATE	3/15



GILL ENGINEERING SERVICES, INC.  
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 LAKE CITY, FL 32025  
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DESIGN PER 2014 FLORIDA BUILDING CODE WITH 2009 UPDATES UNLESS OTHERWISE NOTED.

LIVE LOADS:

1. FLOOR LIVE LOAD = 40 PSF
2. MAXIMUM DEFLECTION =  $L / 240$

## CONCRETE

1. ALL CONCRETE DESIGNED PER CURRENT EDITION OF ACI 318
2. ALL CONCRETE SHALL BE CONTROLLED CONCRETE.
3. CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
  - A. FOUNDATION WALLS, PIERS AND FOOTINGS.....3000 PSI
  - B. SLABS ON GRADE.....3000 PSI
  - C. ALL OTHER CONCRETE.....3000 PSI
4. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH A NOMINAL AIR DRY DENSITY OF 145 PCF.
5. MINIMUM ELAPSED TIME BETWEEN ADJACENT CONCRETE PLACEMENTS SHALL BE 48 HRS.
6. CONCRETE MIX DESIGN FOR EACH TYPE AND STRENGTH OF CONCRETE SPECIFIED SHALL BE SUBMITTED FOR ARCHITECT /ENGINEER REVIEW 30 DAYS PRIOR TO PLACEMENT OF CONCRETE.
7. ALL REINFORCING STEEL ASTM A615 GRADE 60. ALL WELDED WIRE FABRIC ASTM A185

## STRUCTURAL STEEL

- |    |   |                               |
|----|---|-------------------------------|
| 1. | MATERIALS SHALL BE AS FOLLOWS:  |                               |
|    | W-SHAPES.....   | ASTM 992, Fy=50 KSI           |
|    | OTHER SHAPES & PLATES.....  | ASTM A36, Fy=36 KSI           |
|    | HSS SQUARE & RECTANGULAR SHAPES.....  | ASTM A500 GRADE B, Fy= 46 KSI |
|    | HSS ROUND SHAPES.....   | ASTM A553 GRADE B, Fy= 42 KSI |
|    | STEEL PIPES.....  | ASTM A53 GRADE B, Fy= 35 KSI  |
|    | WELDING ELECTRODES.....   | AWS A5.1 OR A5.5 SERIES E70   |
|    | HIGH-STRENGTH BOLTS.....  | 1/2" ASTM A325                |
|    | ANCHOR RODS.....  | GRADE 36 ASTM F1554           |
|    | WELDED STUDS.....   | ASTM A108                     |
|    | DEFORMED BARS.....  | ASTM A496                     |
|    | PAINT & PROTECTION.....   | SSPC PAINT 25                 |
| 2. | DESIGN PER MOST CURRENT EDITION OF THE AISC "MANUAL OF STEEL CONSTRUCTION DESIGN" UNLESS OTHERWISE NOTED.   |                               |
| 3. | PROVIDE STRUCTURAL STEEL HAVING A MINIMUM YIELD STRENGTH OF 36 KSI THAT MEETS ASTM A36 STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL.  |                               |
| 4. | SUBMIT SHOP DRAWINGS TO THE ARCHITECT SHOWING ERECTION PLANS, FABRICATED ASSEMBLIES AND ACCESSORIES. SHOW MEMBER DESIGNATIONS, SIZES AND CONNECTIONS.   |                               |
| 5. | MAKE CONNECTIONS WITH HIGH STRENGTH A325 BOLTS OR WELDS USING E70 ELECTRODES. DETAIL BOLTED SHEAR CONNECTIONS FOR MAXIMUM END REACTIONS OF MEMBER SUPPORTED AND WELDED JOINTS FOR FULL STRENGTH OF MEMBERS CONNECTED. |                               |
| 6. | PROVIDE TEMPORARY BRACING TO HOLD STRUCTURAL STEEL SECURELY IN POSITION DURING ERECTION. DO NOT REMOVE BRACING UNTIL PERMANENT BRACING IS INSTALLED.  |                               |
|    | CODES AND STANDARDS:  |                               |
| 1. | WELDS SHALL CONFORM TO THE AMERICAN WELDING SOCIETY, AWS D1.1 USING E70 ELECTRODES  |                               |
| 2. | BOLTS AND BOLTED CONNECTIONS SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLT" USE BEARING TYPE BOLTS WITH THREADS ACROSS THE SHEAR PLANE.   |                               |
| 3. | NO SPLICES SHALL BE ALLOWED IN ANY STRUCTURAL STEEL MEMBER UNLESS SHOWN ON APPROVED SHOP DRAWINGS.  |                               |
| 4. | ALL MEMBERS EXCEPT THOSE TO BE FIELD WELDED SHALL RECEIVE ONE COAT OF SHOP PRIMER PAINT.  |                               |
| 5. | NO OPENINGS SHALL BE ALLOWED IN STEEL MEMBERS UNLESS SHOWN ON THE DRAWINGS.   |                               |
| 6. | OPENINGS, COPIES AND OTHER STEEL CUTTING SHALL HAVE A 1/4" MINIMUM RADIUS.  |                               |
| 7. | ALL BEAMS SHALL BE FABRICATED AND ERECTED WITH THE NATURAL CAMBER UP.   |                               |
| 8. | WELDS NOT DESIGNED SHALL BE A FILLET WELD EQUAL TO 1/8" LESS THAN THE LEAST THICK MEMBER.   |                               |
| 9. | ALL WELDS SHALL BE CLEANED AND PAINTED.   |                               |

## REINFORCING

1. ALL BAR REINFORCEMENT SHALL CONFORM TO ASTM 615 GRADE 60
  2. WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO ASTM A185.
  3. CLEARANCE OF MAIN REINFORCEMENT FROM ADJACENT SURFACES SHALL CONFORM TO THE FOLLOWING (UNLESS OTHERWISE SHOWN IN DETAIL)

A. UNFORMED SURFACES IN CONTACT WITH GROUND(FOOTING OR WALL BOTTOM) .....	3"
B. SLABS ON GRADE .....	2 1/2"
C. FORMED SURFACE IN CONTACT WITH GROUND OR EXPOSED TO WEATHER .....	3"
D. IN ALL CASES, CLEARANCE NOT LESS THAN DIAMETER OF BARS.	


NOTE: MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE + 1/4" FOR SECTIONS 10" OR LESS AND + 1/2" FOR SECTIONS OVER 10" THICK.
  4. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON DRAWINGS.
  5. WHERE REINFORCEMENT IS NOT SHOWN ON DRAWINGS, PROVIDE REINFORCEMENT IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS OR SIMILAR TO THAT SHOWN FOR MOST NEARLY SIMILAR SITUATIONS, AS DETERMINED BY THE ARCHITECT/ENGINEER, IN NO CASE SHALL REINFORCEMENT BE LESS THAN MINIMUM PERMITTED BY APPLICABLE CODES.
  6. ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI-315)
  7. WHERE CONTINUOUS BARS ARE CALLED FOR THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT DISCONTINUOUS ENDS.
  8. WELDED WIRE FABRIC SHALL BE LAPPED ONE FULL MESH PANEL OR 6" MINIMUM.
  9. ALL REINFORCING SURFACES SHALL CONFORM TO THE TABLE(S) PROVIDED IN THE GENERAL NOTES FOR STRENGTH OF CONCRETE BUT IN NO CASE LESS THAN THE REQUIREMENTS OF THE LATEST EDITION OF ACI-318.
  10. BAR SUPPORTS SHALL BE GALVANIZED OR STAINLESS STEEL. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE GALVANIZED AND PLASTIC TIPPED.
- NOTES:**
1. ALL FINISHED EXCAVATIONS AND BEARING GRADES SHALL BE INSPECTED AND APPROVED BY THE OWNERS SOIL TESTING AGENCY BEFORE ANY CONCRETE IS PLACED.
  2. ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATION OF BACKFILLING AND COMPACTION RACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS ARE EFFECTIVE. BACKFILL NO FOUNDATION WALLS UNTIL PERMANENT LATERAL STRUCTURAL SUPPORT SYSTEM IS IN PLACE AND OF ADEQUATE STRENGTH TO WITHSTAND THE APPLIED LATERAL PRESSURES.
  3. ALL FOOTING SUBGRADES, AS REQUIRED, AND ALL SLAB SUBGRADES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557.
  4. COMBINED AND INDIVIDUAL FOOTINGS ARE DESIGNED TO BEAR ON UNIFORM SOIL CAPABLE OF SUPPORTING 2,000 PSF. CONTINUOUS FOOTINGS ARE DESIGNED TO BEAR ON SOIL CAPABLE OF SUPPORTING 2,000 PSF.

## FOUNDATIONS

1. ALL FINISHED EXCAVATIONS AND BEARING GRADES SHALL BE INSPECTED AND APPROVED BY THE OWNERS SOIL TESTING AGENCY BEFORE ANY CONCRETE IS PLACED.
2. ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATION OF BACKFILLING AND COMPACTION RACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS ARE EFFECTIVE. BACKFILL NO FOUNDATION WALLS UNTIL PERMANENT LATERAL STRUCTURAL SUPPORT SYSTEM IS IN PLACE AND OF ADEQUATE STRENGTH TO WITHSTAND THE APPLIED LATERAL PRESSURES.
3. ALL FOOTING SUBGRADES, AS REQUIRED, AND ALL SLAB SUBGRADES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557.
4. COMBINED AND INDIVIDUAL FOOTINGS ARE DESIGNED TO BEAR ON UNIFORM SOIL CAPABLE OF SUPPORTING 2,000 PSF. CONTINUOUS FOOTINGS ARE DESIGNED TO BEAR ON SOIL CAPABLE OF SUPPORTING 2,000 PSF.

## FASTENERS SELF-DRILLING TAPPING SCREWS

1. ALL FASTENERS SHALL BE ITW BULDEX TEK'S SELF-DRILLING FASTENER 1/4"-14x 3/4"HW
2. INSTALLATION OF THE FASTENERS MUST BE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTION.
3. THE SCREWS MUST BE INSTALLED PERPENDICULAR TO THE WORK SURFACE USING A SCREW DRIVING TOOL.
4. THE SCREWS MUST BE PENETRATE THROUGH THE SUPPORTING STEEL WITH A MINIMUM OF THREE THREADS PROTRUDING PAST THE BACK SIDE OF THE SUPPORTING MEMBER.
5. ALLOWABLE CONNECTION STRENGTH FOR USE IN ALLOWABLE STRENGTH DESIGN (ASD) FOR PULL-OUT, PULLOVER, SHEAR (BEARING) CAPACITY FOR COMMON SHEET STEEL THICKNESS ARE PROVIDED BY MANUFACTURER.
6. MINIMUM SPACING BETWEEN THE CENTER OF FASTENERS OF 3 TIMES THE DIAMETER OF THE SCREWS, AND A MINIMUM DISTANCE FROM THE CENTER OF A FASTENER TO THE EDGE OF ANY CONNECTED PART OF 1.5 TIMES THE DIAMETER OF THE SCREW.

						PROJECT #:		1511-019	
						DWG. NO.		1511-019-S-007	
						SHT.		10	
						REV.		0	
TITLE									
TUBULAR BUILDING SYSTEMS 12 - 30 FT SPAN STEEL BUILDINGS									
<div style="float: right;">REV</div> <div style="float: left; width: 80%;"> <p>0</p> <p>RELEASED FOR CONSTRUCTION</p> <p>DESCRIPTION</p> <p>APPRO</p> <p>DATE</p> <p>CHK'D</p> <p>DATE</p> </div>									
									
GILL ENGINEERING SERVICES, INC. AUTH # 30824 GARY GILL, PE S1942 426 SW COMMERCE DR 130-M LAKE CITY, FL 32025 386-590-1242									

# TUBULAR BUILDING SYSTEMS

## METAL BUILDING - 14' TALL (MAX)

### 12 - 30 FT SPAN

# OPEN AND ENCLOSED DESIGN



APPLICABLE CODES  
2014 FLORIDA BUILDING CODE

WIND DESIGN INFORMATION  
WIND SPEED: 140 MPH (Vult)  
108 MPH (Vasd)  
CATEGORY: C  
EXPOSURE: 1  
INTERNAL PRESSURE: 0.18+/- (ENCLOSED)


CLADDING COMPONENTS  
ZONE 1: 10 SF 14.96/-23.77 PSF  
ZONE 2: 10 SF 14.96/-41.37 PSF  
ZONE 3: 10 SF 14.96/-61.18 PSF  
ZONE 4: 10 SF 29.97/-28.17 PSF  
ZONE 5: 10 SF 25.97/-34.77 PSF

FLORIDA BUILDING PRODUCT APPROVAL LISTING  
DOORS: ROLL UP DOOR - JANUS INTERNATIONAL CORPORATION  
MODEL 3652 - FL 14425.1  
MODEL 750 - FL12765.7  
WALK DOORS - ELIXIR INDUSTRIES-FL 1722-R4  
WALL AND ROOF SIDING: WALL - FL6702-R4 CAROLINA CARPORTS  
ROOF - FL6596-R4 CAROLINA CARPORTS  
WINDOWS: POCAHONTAS ALUMINIUM COMPANY, INC  
FL 12940-R1

LEGEND	
SYMBOL	DESCRIPTION
	ELEVATION MARK
	SECTION MARK
	DETAIL CALLOUT
	ELEVATION INDICATOR
	DOOR TAG
	WINDOW TAG
	ROOM TAG
	REVISION CLOUD V/ TAG

DRAWING LIST	
1511-019-T-001	TITLE SHEET
1511-019-A-001	ELEVATIONS - OPEN
1511-019-A-002	ELEVATIONS - ENCLOSED
1511-019-S-001	STRUCTURAL PLAN
1511-019-S-002	FOUNDATION PLAN
1511-019-S-003	ROOF FRAMING PLAN
1511-019-S-004	STRUCTURAL DETAILS
1511-019-S-005	STRUCTURAL DETAILS
1511-019-S-006	ENCLOSED STRUCTURE
1511-019-S-007	GENERAL NOTES

PROJECT #: 1511-019		DWG. NO. 1511-019-T-001	SHT. 1	REV. 0
TITLE SHEET				
TUBULAR BUILDING SYSTEMS				
12 - 30 FT SPAN STEEL BUILDINGS				
REV	DESCRIPTION	APPROD	DATE	CHK'D
0	RELEASED FOR CONSTRUCTION	GG	3/15	GG
			3/15	



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LAKE CITY, FL 32025  
386-590-1242



PROJECT #: 1511-019

DWG. NO. 1511-019-A-001

SH. 2

REV. 0

TITLE ELEVATIONS - OPEN

TUBULAR BUILDING SYSTEMS

12 - 30 FT SPAN STEEL BUILDINGS

REV. 0

RELEASED FOR CONSTRUCTION

DESCRIPTION

APPRD DATE 3/15 GG

CHK'D DATE 3/15 GG

DATE 3/15

GILL ENGINEERING SERVICES, INC.

AUTH # 30824

GARY GILL, PE 51942

426 SW COMMERCE DR 130-M

LAKE CITY, FL 32025

386-590-1242

3/16" = 1'-0"

FRONT AND BACK ELEVATIONS - OPEN

3/16" = 1'-0"

1 1/2" = 1'-0"

DETAIL - HOLDOWN

1/2"  $\phi$  A.B. FOR HOLDOWN

TS 2 $\frac{1}{2}$ "

NOTE: THE METAL SIDING FOR THE WALL/ROOF CAN BE ROTATED AND SPAN BETWEEN THE POSTS/RAFTERS IN LIEU OF USING HAT CHANNELS. ATTACH METAL DIRECTLY TO POSTS / RAFTERS USING SAME FASTENER TYPE AND SPACINGS AS NOTED

26 GA OR 29 GUAGE

EAVE 14'-0" (MAX)

E.F. 0'-0"

5'-0" (TYP)

26 GA OR 29 GUAGE

EAVE 14'-0" MAX

E.F. 0'-0"

1

3/16" = 1'-0"

SIDE ELEVATION - OPEN

3/16" = 1'-0"

1

The image contains two architectural drawings of a building's side wall framing, oriented vertically.

**ENCLOSED END WALL**  
 This drawing shows a side elevation of a building with a gabled roof. The roof pitch is indicated as 12/12. The eave height is 14'-0" (MAX). The base of the wall is 0'-0". A door is shown at the base of the wall. A note points to the metal siding: "NOTE: THE METAL SIDING FOR THE WALL/ROOF CAN BE ROTATED AND SPAN BETWEEN THE POSTS/RAFTERS IN LIEU OF USING HAT CHANNELS. ATTACH METAL DIRECTLY TO POSTS / RAFTERS USING SAME FASTENER TYPE AND SPACINGS AS NOTED".

**SIDE WALL FRAMING -- OPENINGS**  
 This drawing shows a side elevation of a building with a flat roof. The eave height is 14'-0" (MAX). The base of the wall is 0'-0". A door is shown at the base of the wall. A note points to the metal siding: "NOTE: THE METAL SIDING FOR THE WALL/ROOF CAN BE ROTATED AND SPAN BETWEEN THE POSTS/RAFTERS IN LIEU OF USING HAT CHANNELS. ATTACH METAL DIRECTLY TO POSTS / RAFTERS USING SAME FASTENER TYPE AND SPACINGS AS NOTED".

[illegible]



3

**PROJECT #:** 1511-019  
**DWG. NO.** 1511-019-S-003  
**SHT.** 6  
**REV.** 0

**TITLE** ROOF FRAMING PLAN

**TUBULAR BUILDING SYSTEMS**  
**12 - 30 FT SPAN STEEL BUILDINGS**

REV	DESCRIPTION	DATE	CHK'D	APP'D
0	RELEASED FOR CONSTRUCTION	3/15	GG	GG

GILL ENGINEERING SERVICES, INC.  
 AUTH # 30824  
 GARY GILL, PE 51942  
 426 SW COMMERCE DR 130-M  
 LAKE CITY, FL 32025  
 386-590-1242

**1 FURRING DETAIL**  
 $3'-1''-0''$

METAL ROOFING DESIGNED BY OTHERS

(2) TEXS SELF-DRILL FASTENERS  $\frac{1}{2}''-14 \times \frac{1}{2}''$  382# ALLOW. UPLIFT PER FASTENER

TS 2-1/2"

1 1/2" FURRING HAT CHANNELS @ 48" O.C.

METAL ROOF ATTACHED TO HAT CHANNELS WITH 1" TEK SCREWS SPACED PER MANUFACTURER RECOMMENDATION

**2 BOW - ROOF DETAIL**  
 $1'-1''-0''$

METAL ROOF ATTACHED TO HAT CHANNELS WITH 1" TEK SCREWS PER MANUFACTURER RECOMMENDATION

**BOX EAVE - ROOF DETAIL**  
 $1'-1''-0''$

**ROOF FRAMING**  
 $1/8'' = 1'-0''$

RIDGE LINE

TS 2 1/2 x 2 1/2"

PURLIN @ 48" OC

METAL ROOFING

WALL BRACED ENDS AS NOTED PER E.O.R.

TS 2 1/2 x 2 1/2"

TS 2 1/2 x 2 1/2"

TS 2 1/2 x 2 1/2"

TS 2 1/2 x 2 1/2"

TS 2 1/2 x 2 1/2"

TS 2 1/2 x 2 1/2"

TS 2 1/2 x 2 1/2"

30'-0"

6"

6"

(MAX)

5'-0"

(MAX)

5'-0"

The image contains two sets of architectural drawings. The top set, titled 'END WALL FRAMING', shows a cross-section of a wall with a gabled roof. It includes dimensions for the roof pitch (TS 2 1/2"), the wall height (5'-0" MAX), and the roof overhang (14'-0"). A detail callout '1 S-005' points to a section of the roof. The bottom set, titled 'SIDE WALL FRAMING - OPENINGS', shows a cross-section of a wall with a flat roof. It includes dimensions for the wall height (5'-0" MAX), the roof overhang (14'-0"), and the location of an opening (3'-0" OPENING). A detail callout '2 S-005' points to a section of the wall. A third detail callout '3 S-005' points to a section of the wall. The drawings are labeled with 'EAVE' and 'F.F.' (Finish Floor) at the bottom. The title 'END WALL FRAMING' is repeated on the right side of the drawing.



1 / WALL 14'-0"

E.F. 0'-0"

METAL WALL SIDING  
26 GA OR 29 GA

1 1/2" GIRT HAT  
CHANNEL @ 48" O.C.  
ATTACHED WITH  
(2) TEK SELF-DRILL  
FASTENER 1/4"-14x3/4"

ENCLOSED WALL FRAMING  
3/16" = 1'-0"

1 NON-STRUCTURAL HEADER  
1 1/2" = 1'-0"

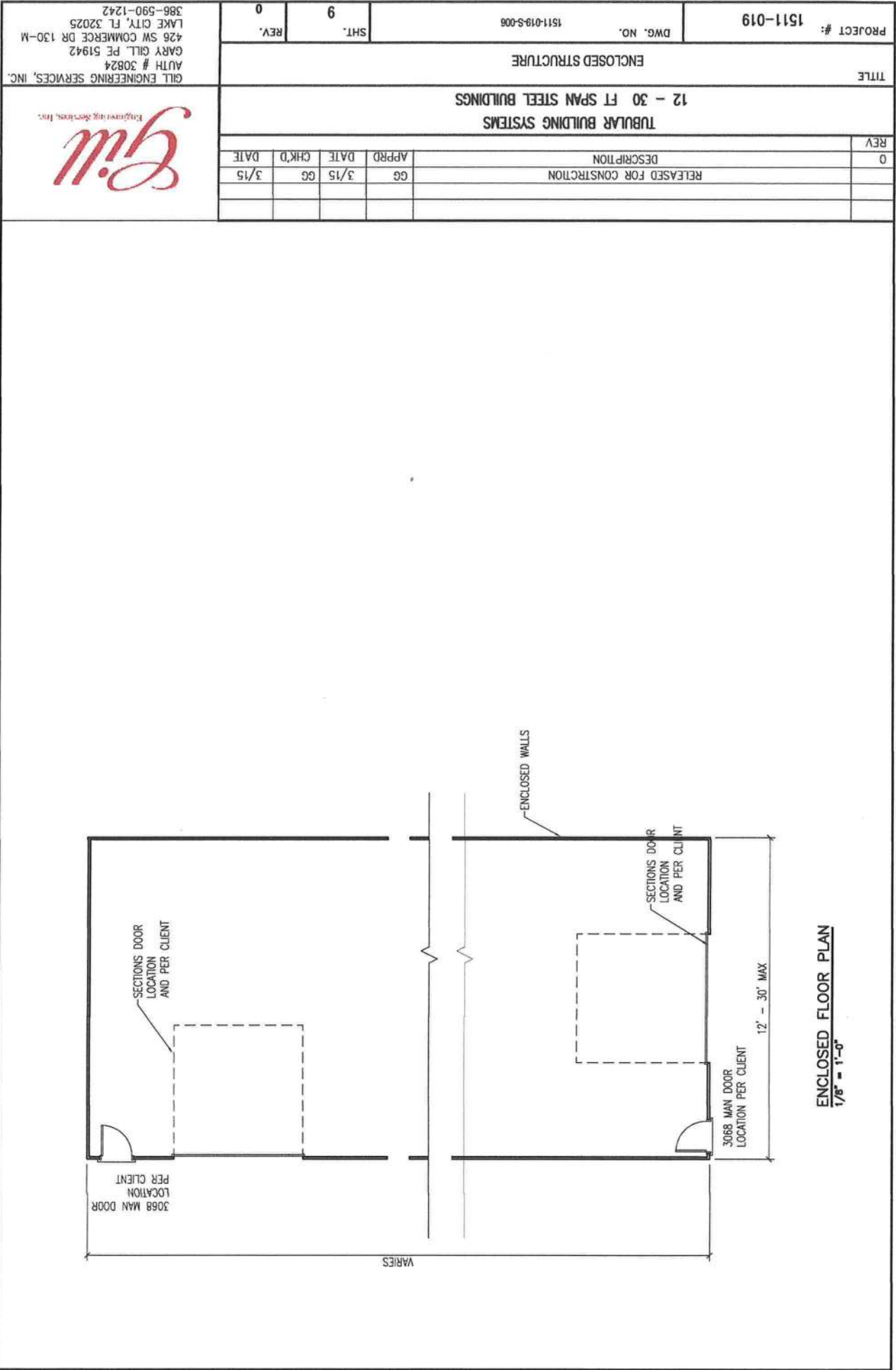
2 STRUCTURAL HEADER  
1 1/2" = 1'-0"

TS 2 1/2" POST

TS 2 1/4" x 2 1/4" x 6" x 14 GA  
NIPPLE WITH (2) 1/2" TEK SCREWS

(2) TS 2 1/2"

L2'x2'x16 GA  
ANGLE CLIP ATTACHED TO  
TUBE STRUCTURE WITH  
TEK SELF-DRILL FASTENER  
1/4"-14x3/4" EACH LEG







Corporate Office  
615 Industrial Avenue SW  
Live Oak, Florida 32064  
Email: tubularbuildingsystems@gmail.com  
Website: www.tubularbuildingsystems.com

# Tubular Building Systems

## Florida Sales

Local:  
386-364-3616  
386-330-6247 FAX  
Mailing address:  
615 Industrial Avenue SW  
Live Oak, Florida 32064

DEALER NAME: Prohitt, Steel - Craps DEALER PHONE #: 386-754-1818 DATE: \_\_\_\_\_  
CUSTOMER NAME: Rud Espenship COUNTY: Columbia TAX % (Where Delivered): \_\_\_\_\_  
ADDRESS: 352 SW Marie St CITY: Lake City STATE: FL ZIP: 33024  
PHONE: WORK (\_\_\_\_) \_\_\_\_\_ HOME (\_\_\_\_) \_\_\_\_\_ CELL: (386) 397-5815

UNIT SIZE	W. <u>20</u>	L. <u>101</u>	Ht. <u>9</u>	Ga. <u>14</u>	<u>12</u>	All Orders C.O.D.
<u>1</u>	<u>20x100 VERT. ROOF</u>				<u>7590.00</u>	<u>\$46,925.00</u>
COLOR	TOP	SIDES	TRIM			Total Price
<u>✓</u>	<u>Bldg. on 4' Centers</u>				<u>2800.00</u>	<u>\$2865.50</u>
<u>1</u>	<u>Center Wall 100'</u>				<u>5000.00</u>	
<u>✓</u>	<u>9' less</u>				<u>720.00</u>	Tax
<u>✓</u>	<u>Close both sides @ 9'</u>				<u>2220.00</u>	<u>\$49,790.50</u>
<u>11</u>	<u>Ends @ 9'</u>				<u>8910.00</u>	
<u>✓</u>	<u>Double Sided Guttering Walls</u>				<u>11,940.00</u>	Subtotal
<u>20</u>	<u>8x8 Cor. Roll-ups</u>				<u>10,000.00</u>	
<u>✓</u>	<u>Roof Insulation only</u>				<u>2200.00</u>	<u>\$4692.50 paid</u>
<u>*</u>	<u>Discount from TBS &amp; Prohitt</u>				<u>4455.00</u>	10% Down Payment Before Tax <u>2 checks 10/15</u>
<b>THINGS YOU SHOULD KNOW</b> We will not be responsible for any damages. Customers are responsible for permits or any restrictions. Lot MUST be "level" or unit will be installed "AS IS" on lot. There will be an extra charge if installers have to dig out or cut frame to level. Any alterations to unit will void warranty. Balance to be paid in full at time of installation. No refunds on special order items or down payments. If payment is not received in full within 30 days of install, Tubular Building Systems, LLC reserves the right to repo product. Customer Service will Contact you One to Two Days before Delivery. We accept most Major Credit Cards.						<u>\$45,098</u> Total
NOTE: FRAME 1 FT. SHORTER THAN ROOF LENGTH						<u>φ</u> Additional Labor Charge
Roof Style    Regular <input type="checkbox"/> Boxed Eave <input type="checkbox"/> Vertical <input checked="" type="checkbox"/> Installation Type    Cement <input checked="" type="checkbox"/> Ground <input type="checkbox"/> Asphalt <input type="checkbox"/> Other <input type="checkbox"/> Power Available    Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Uncertified <input type="checkbox"/> Certified <input checked="" type="checkbox"/>						<u>\$45,098</u> Balance Due at Installation

This purchase agreement (the "Agreement") is made by and between Tubular Building Systems, LLC a Florida Corporation, and Rud Espenship (the "Buyer").  
Buyer has read and understands the terms of this Agreement, including the terms and conditions contained on the reverse side of this document, which terms are expressly incorporated herein by reference, as well as any and all relevant warranty information, and agrees to be bound by same.

Customer: Rud Espenship  
Email: \_\_\_\_\_

TBS: \_\_\_\_\_  
By: John Harrison  
Authorized Dealer

**RESOLUTION NO. PZ/LPA Z 0546**

**A RESOLUTION OF THE PLANNING AND ZONING BOARD OF COLUMBIA COUNTY, FLORIDA, SERVING ALSO AS THE LOCAL PLANNING AGENCY OF COLUMBIA COUNTY, FLORIDA, RECOMMENDING TO THE BOARD OF COUNTY COMMISSIONERS OF COLUMBIA COUNTY, FLORIDA, APPROVAL OF THE REZONING OF LESS THAN TEN CONTIGUOUS ACRES OF LAND TO THE OFFICIAL ZONING ATLAS OF THE COLUMBIA COUNTY LAND DEVELOPMENT REGULATIONS, AS AMENDED, PURSUANT TO AN APPLICATION BY THE PROPERTY OWNERS OF SAID ACREAGE; PROVIDING FOR REZONING FROM RESIDENTIAL, SINGLE FAMILY-2 ("RSF-2") TO COMMERCIAL, INTENSIVE ("CI") OF CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; REPEALING ALL RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the Columbia County Land Development Regulations, as amended, hereinafter referred to as the Land Development Regulations, empowers the Planning and Zoning Board of Columbia County, Florida, hereinafter referred to as the Planning and Zoning Board, to recommend to the Board of County Commissioners of Columbia County, Florida, hereinafter referred to as the Board of County Commissioners, approval or denial of amendments to the Land Development Regulations, in accordance with said regulations;

WHEREAS, Sections 163.3161 through 163.3248, Florida Statutes, as amended, the Community Planning Act, empower the Local Planning Agency of Columbia County, Florida, hereinafter referred to as the Local Planning Agency, to recommend to the Board of County Commissioners, approval or denial of amendments to the Land Development Regulations, in accordance with said statute;

WHEREAS, an application for an amendment, as described below, has been filed with the County;

WHEREAS, the Planning and Zoning Board has been designated as the Local Planning Agency;

WHEREAS, pursuant to the Land Development Regulations and Section 163.3174, Florida Statutes, as amended, the Planning and Zoning Board, serving also as the Local Planning Agency, held the required public hearing, with public notice having been provided, on said application for an amendment, as described below, and considered all comments received during said public hearing and the Concurrency Management Assessment concerning said application for an amendment, as described below;

WHEREAS, the Planning and Zoning Board, serving also as the Local Planning Agency, has determined and found that approval of said application for an amendment, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare; and

WHEREAS, the Planning and Zoning Board, serving also as the Local Planning Agency, has studied and considered the items enumerated in Section 16.2.2 of the Land Development Regulations and based upon said study and consideration has determined and found that:

- a. The proposed change will be in conformance with the Comprehensive Plan and would not have an adverse effect on the Comprehensive Plan;
- b. The proposed change is compatible with the existing land use pattern in the area;
- c. The proposed change will not create an isolated district unrelated to adjacent and nearby districts;
- d. The proposed change will not result in a population density pattern and increase or overtaxing of the load on public facilities such as schools, utilities and streets;

- e. The proposed district boundaries are not illogically drawn in relation to existing conditions on the property proposed for change;
- f. The proposed change will not adversely influence living conditions in the neighborhood;
- g. The proposed change will not create or excessively increase traffic congestion or otherwise affect public safety;
- h. The proposed change will not create a drainage problem;
- i. The proposed change will not seriously reduce light and air to adjacent areas;
- j. The proposed change will not adversely affect property values in the adjacent area;
- k. The proposed change will not be a deterrent to the improvement or development of adjacent property in accord with existing regulations;
- l. The proposed change will not constitute a grant of special privilege to an individual owner as contrasted with the public welfare; and
- m. The proposed change is not out of scale with the needs of the neighborhood or the County.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING BOARD OF COLUMBIA COUNTY, FLORIDA, SERVING ALSO AS THE LOCAL PLANNING AGENCY OF COLUMBIA COUNTY, FLORIDA, THAT:**

Section 1. Pursuant to an application, Z 0546, by Joseph Espenship, agent for D.B. Espenship, III, owner, to amend the Official Zoning Atlas of the Land Development Regulations by changing the zoning district of certain lands, the Planning and Zoning Board, serving also as the Local Planning Agency, recommends to the Board of County Commissioners that the zoning district be changed from RESIDENTIAL, SINGLE FAMILY-2 ("RSF-2") to COMMERCIAL, INTENSIVE ("CI") for the property described, as follows:

A parcel of land lying within Section 10, Township 4 South, Range 16 East, Columbia County, Florida. Being more particularly described, as follows: Commence at the Northeast corner of the Southwest 1/4 of the Southeast 1/4 of said Section 10; thence North 89°44'06" West, along the North line of said Southwest 1/4 of the Southeast 1/4, a distance of 39.95 feet to the Westerly right-of-way line of Southwest County Road 252-B; thence South 00°56'59" West, along said Westerly right-of-way line, 33.49 feet to its intersection with the Southerly maintained right-of-way line of Southwest Prairie Street and the Point of Beginning; thence continue South 00°56'59" West, along the Westerly right-of-way line of said Southwest County Road 252-B, a distance of 293.26 feet to the Northeast corner of Lot 1 of Timberlands Phase 1, a subdivision recorded in the Public Records of Columbia County, Florida; thence North 89°18'20" West, along the North line of said Timberlands Phase 1, a distance of 373.18 feet; thence North 01°54'02" East 295.91 feet to a point on the Southerly right-of-way line of Southwest Prairie Street; thence South 88°54'14" East, along said Southwest Prairie Street; thence South 88°54'14" East, along the Southerly right-of-way line of Southwest Prairie Street, 368.27 feet to the Point of Beginning.

Containing 2.51 acres, more or less.



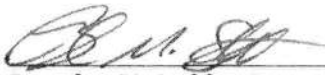
Section 2. All resolutions or portions of resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

Section 3. This resolution shall become effective upon adoption.

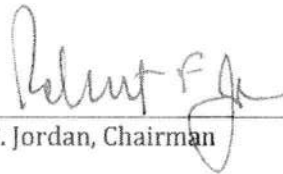
**PASSED AND DULY ADOPTED**, in special session with a quorum present and voting, by the Planning and Zoning Board, serving also as the Local Planning Agency, this 19<sup>th</sup> day of August 2015.

PLANNING AND ZONING BOARD OF  
COLUMBIA COUNTY, FLORIDA,  
SERVING ALSO AS THE  
LOCAL PLANNING AGENCY OF  
COLUMBIA COUNTY, FLORIDA

Attest:



Brandon M. Stubbs, Secretary to the  
Planning and Zoning Board



Robert F. Jordan, Chairman

**Mission:**

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



Vision: To be the Healthiest State in the Nation

**Rick Scott**  
Governor

**John H. Armstrong, MD, FACS**  
State Surgeon General & Secretary

## APPROVAL FOR NON-RESIDENTIAL ELECTRICAL SERVICE

DATE: 10-3-15

PERMIT# \_\_\_\_\_

OWNER: Dewilton B. Espenship

ADDRESS: 438 SW Darwin Gl Lake City, FL

DIRECTIONS TO PROPERTY: US 90 West IL on CR 252B  
TR on Prairie St (immediate) L on property

LEGAL DESCRIPTION: SEE ATTACHED

LEGAL DOCUMENT SHOWING OWNERSHIP OF PROPERTY MUST BE ATTACHED

ELECTRICAL SERVICE NEEDED FOR Commercial storage building ~~NO OFFICE~~

(Please provide a sketch of the property, indicating proposed power location and proposed structures)

I understand that any use of this property, for whatever reason, including mobile homes, houses, campers or tents, that would require sanitary facilities as set forth in Florida Statutes and Florida Administrative Code, is in violation of said rules and regulations until such approved facilities are provided. All violations will be handled in accordance with Florida Law. I further understand the seriousness of my sworn statement as outlined in the following statutes:

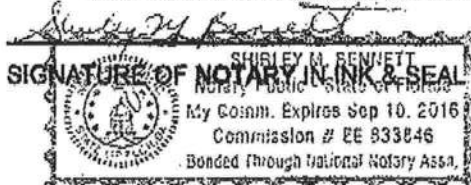
- A. Chapter 92.525 F.S. (3) – A person who knowingly makes a false declaration under subsection (2) is guilty of the crime of perjury by false written declaration, a felony of the third degree, punishable as provided in s.775.082, s.775.083, s.775.085.**
- B. Chapter 837.06 F.S. – False Official Statements. Whoever knowingly makes a false declaration under subsection (2) is guilty of the crime of perjury by false written declaration, a felony of the third degree, punishable as provided in s.775.082, s.775.083 s.775.085.**

In addition, I understand that the Health Department maintains the right of entry to inspect the proposed usage as set forth in Chapter 381.0065(5) (a), F.S.

SIGNATURE OF OWNER

PHONE # 386-1-23-2328

Sworn and ascribed before me on this 3 day of Oct in the year 2015.



COMMISSION EXPIRATION 7-10-16 DATE 10-3-15

*Sallie Ford*

**SALLIE FORD, ENVIRONMENTAL MANAGER (CCHD)**

**Florida Department of Health**  
Columbia County Health Department  
217 NE Franklin St., Lake City, FL 32055  
PHONE: 386 758-1088 • FAX 386 758-3900

**Environmental Health**  
135 NE Hernando St., Lake City FL  
Phone: 386-758-1058  
FAX: 386-758-2187

**www.FloridasHealth.com**  
TWITTER: HealthyFLA  
FACEBOOK: FLDepartmentofHealth  
YOUTUBE: fhdoh





## ENGINEERING & TESTING LABORATORY

P.O. Box 1625, Lake City, FL 32056-1625  
450 SR. 13 N. • Suite 206-308 • Jacksonville, FL 32259

Fax • (904) 381-8902

**JOB NO.:**

DATE TESTED: 9-27-16

## REPORT OF IN-PLACE DENSITY TEST

**ASTM METHOD:**                      (D-2922) Nuclear                      (D-2937) Drive Cylinder                      Other                     

PROJECT:

ESPENSHIP MINI STORAGE

#34402

CLIENT:

# ADS CONCRETE

GENERAL CONTRACTOR: SAME AS CLIENT

EARTHWORK CONTRACTOR: SAME AS CLIENT

SOIL USE (SEE NOTE):

SPECIFICATION REQUIREMENTS: 95%

TECHNICIAN: Thomas H.

MODIFIED (ASTM D-1557):

STANDARD (ASTM D-698):

REMARKS:

PROCTOR  
NO.

## SOIL DESCRIPTION

PROCTOR VALUE

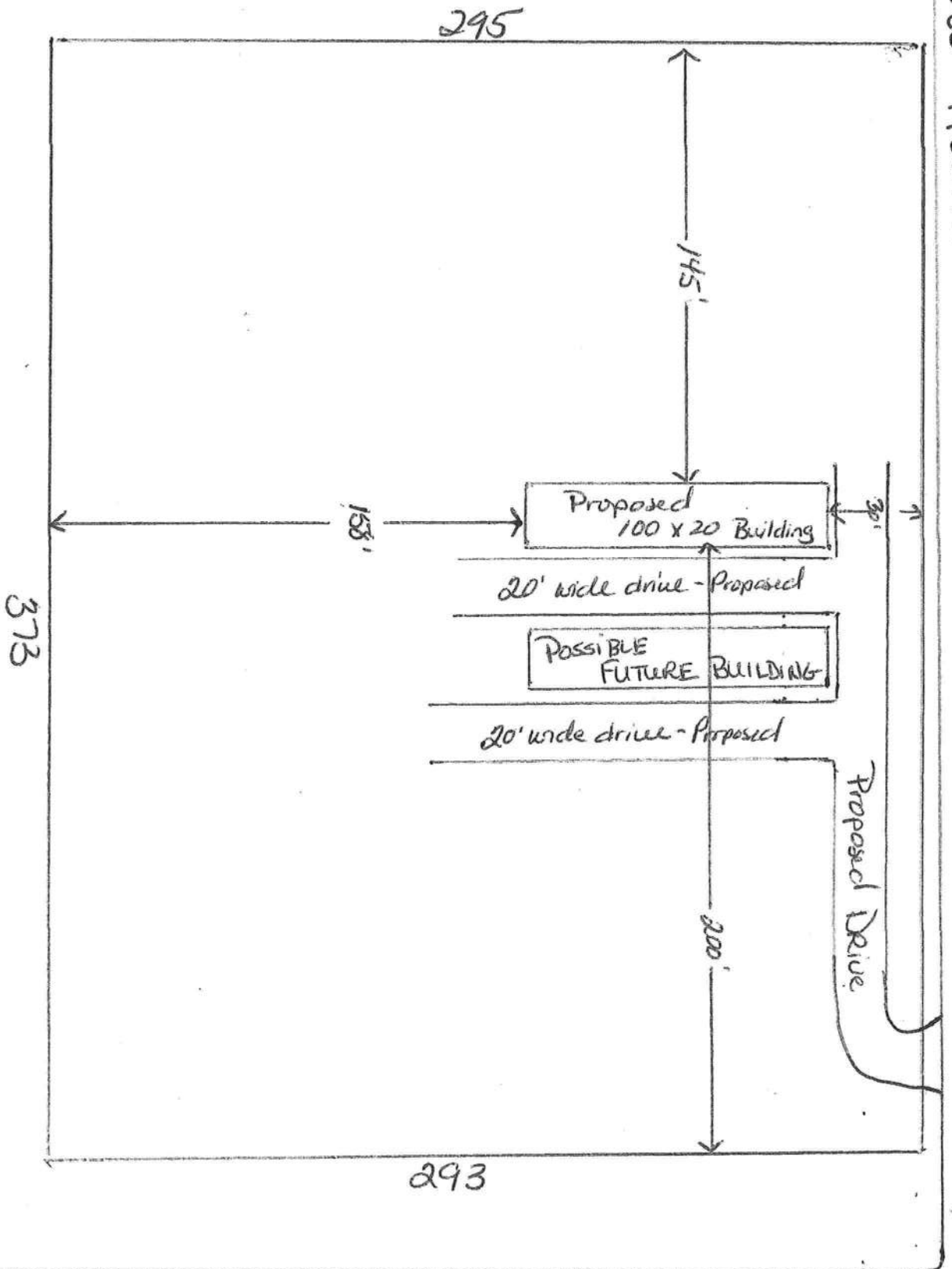
OPT. MOIST.

NOTE: 1. Building Fill 2. Trench Backfill 3. Base Course 4. Subbase/Stabilized Subgrade 5. Embankment 6. Subgrade/Natural Soil 7. Other  
The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test location and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.



SW Prairie St

DB Espenship



Scale 1"=50'

CR 252B

→ N

34402

# Columbia County Building Department Culvert Permit

## Culvert Permit No. 000002335

DATE 11/28/2016 PARCEL ID # 10-4S-16-02861-000

APPLICANT WENDY GRENNELL PHONE 288-2428

ADDRESS 3104 SW OLD WIRE RD FORT WHITE FL 32038

OWNER DEWILTON BUD TRSHIP PHONE 623-2328

ADDRESS SW CR 252-B LAKE CITY FL 32024

CONTRACTOR LOREN MCLEOD PHONE 904-225-9775

LOCATION OF PROPERTY 90 W. L. CR-252-B, JUST PAST PRAIRIE AND MAKE AN IMMEDIATE R  
ON PROPERTY.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT \_\_\_\_\_

### INSTALLATION INFORMATION

SIGNATURE



- (A) A culvert shall be required to be installed as part of any newly constructed private driveway or road, or public road, which connects to a county road in Columbia County. Culvert installation for residential use shall require a permit issued by the Building and Zoning Department. Prior to any culvert permit being issued, an inspection by the Public Works Department shall be required to determine the proper size, length, and location for installation. Culvert installation for commercial, industrial, and other uses shall conform to the approved site plan or to the specifications of a registered engineer. Joint use culverts will comply with Florida Department of Transportation specifications.
- (B) The culvert shall comply and be installed in accordance with Columbia County Land Development Regulation, Access Control: Section 4.2.3 standards. Proper installation of the culvert shall be verified by a final inspection performed by the Public Works Department.
- (C) All culverts required by this policy shall be installed prior to the Building Department granting permission to connect permanent electrical service to the facility or facilities being serviced by newly constructed private driveway or road. In cases where no electrical service exists, installation shall be completed prior to final inspection approval.
- (D) Mitered-end culverts shall be used in the following applications:  
(1) When the culvert is to be placed giving access to a paved street; (2) When the road is contained within a subdivision (recorded or unrecorded) that has not reached a "build out" of fifty percent (50%) or more; (3) In all new subdivisions for residential use. New subdivisions shall be required as part of the final plat to specify culvert diameter and length; (4) When the predominant use already established by the use of mitered-end culverts period.



Culvert installation shall conform to the approved site plan standards.



Department of Transportation Permit installation approved standards.



Shall conform to Public Works Determinations as Stated Below:

INSTALL MIN 32" X 18" ARCHED CORR METAL CULVERT W/ CONCRETE MITRED  
ENDS W/ 6X6 W/ PDS WIDE, REBAR OR CULVERT BOLTS CONTOURED TO DITCH PAVING.

P W Inspectors Name: David M. McCormick Date: 11/29/2016

Final Inspection Date:

2/10/2017

P W Inspectors Name:

DAVID M. MCCORMICK

Signature:

David McCormick

### CONTACT FOR REQUIREMENTS AND INSPECTIONS:

PUBLIC WORKS DEPARTMENT

Phone: 386-758-1019

Amount Paid 25.00Check No. 14693

All Proper Safety Requirements Should Be Followed During The Installation Of The Culvert



Columbia County Building Department  
Culvert Waiver



Culvert Waiver No.  
000002335

DATE: 09/01/2016 BUILDING PERMIT NO. 34417  
APPLICANT WENDY GREENLIE PHONE 288-2428  
ADDRESS 3104 SW OLD WIRE RD FORT WHITE FL 32038  
OWNER DI WILTON BUD SPENSHIP PHONE 623-2328  
ADDRESS 266 SW PRAIRIE STREET FORT CITY FL 32024  
CONTRACTOR FORENACI FOD PHONE 904-225-9775  
LOCATION OF PROPERTY 90 W. FUR-252-B, R PRAIRIE ST. JAWH DEATH LIT LON PROPERTY

SUBDIVISION LOT BLOCK PHASE/UNIT \_\_\_\_\_

PARCEL ID # 10-4S-16-02861-000

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION

SIGNATURE: Wendy Greenlie

A SEPARATE CHECK IS REQUIRED  
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE  
CULVERT WAIVER IS:

\_\_\_\_\_  
APPROVED NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: \_\_\_\_\_

SIGNED: [Signature] DATE: 9/9/16

ANY QUESTIONS PLEASE CONTACT THE  
PUBLIC WORKS DEPARTMENT AT 386-752-5955

PURCHASED

CULVERT

11.28.16

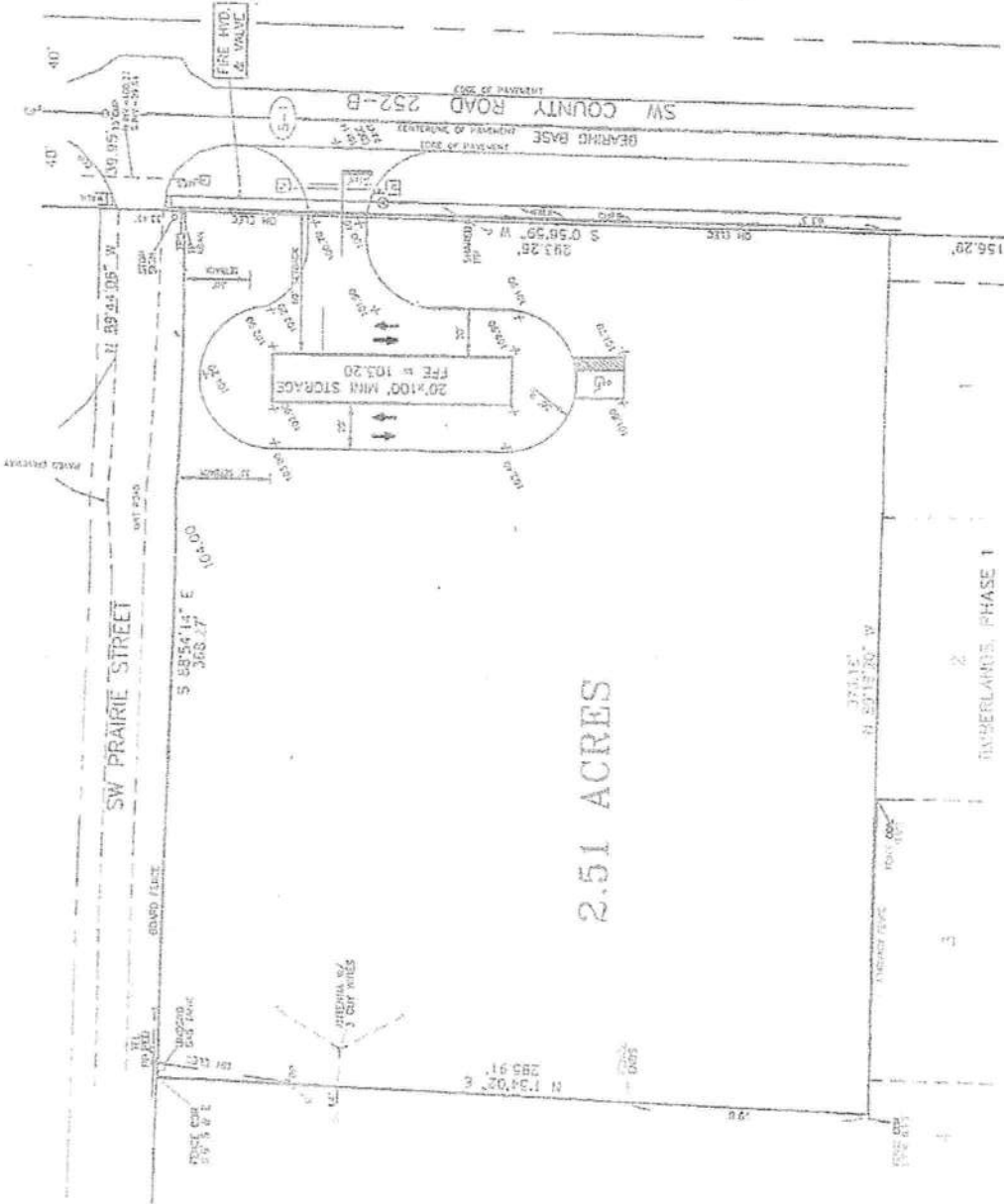
DAVONN ACCESS CHARGES





# ESPENSHIP MINI STORAGE SITE PLAN

SCALE NOTED  
PLAN VIEW 1" = 50'



2.51 ACRES

- ① 20'x100' 2" W.C. + 10'x10' W.C.
- ② 10'x10' 2" W.C. + 10'x10' W.C.
- ③ 10'x10' 2" W.C. + 10'x10' W.C.
- ④ 10'x10' 2" W.C. + 10'x10' W.C.
- ⑤ 10'x10' 2" W.C. + 10'x10' W.C.
- ⑥ 10'x10' 2" W.C. + 10'x10' W.C.
- ⑦ 10'x10' 2" W.C. + 10'x10' W.C.
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## CONSTRUCTION SPECIFICATIONS

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA BUILDING CODE.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA ELECTRICAL CODE.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA MECHANICAL CODE.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA PLUMBING CODE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA FIRE CODE.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA ENVIRONMENTAL CODE.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA LAND DEVELOPMENT CODE.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA ZONING CODE.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA HEALTH CODE.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA OCCUPANCY CODE.
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA SAFETY CODE.
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA WELFARE CODE.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA EDUCATION CODE.
14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA ARTS AND CULTURE CODE.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA RECREATION CODE.
16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA RELIGION CODE.
17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA COMMUNITY DEVELOPMENT CODE.
18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA ECONOMIC DEVELOPMENT CODE.
19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA INFRASTRUCTURE CODE.
20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA TRANSPORTATION CODE.
21. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA UTILITIES CODE.
22. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA ENVIRONMENTAL PROTECTION CODE.
23. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA HISTORIC PRESERVATION CODE.
24. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA ARCHITECTURAL CODE.
25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA LANDSCAPE ARCHITECTURE CODE.
26. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA INTERIOR DESIGN CODE.
27. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA FASHION DESIGN CODE.
28. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA JEWELRY DESIGN CODE.
29. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA HAIR DESIGN CODE.
30. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA MAKEUP DESIGN CODE.
31. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA TATTOO DESIGN CODE.
32. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA PIERCING DESIGN CODE.
33. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA SCENT DESIGN CODE.
34. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA SKIN CARE DESIGN CODE.
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50. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2013 FLORIDA HAIR CARE DESIGN CODE.

OWNER: DEWILTON B. ESPENSHIP JR.  
LOCATION: 352 SW PRAIRIE STREET  
LAKE CITY, FLORIDA

ESPENSHIP MINI STORAGE  
LAKE CITY, FLORIDA

KEEN ENGINEERING  
& SURVEYING, INC.

9263 OR 417  
LAKE OAK, FLORIDA 32009  
336 362-4787  
EJC ES 2/21

District No. 1 - Ronald Williams  
District No. 2 - Rusty DePratter  
District No. 3 - Bucky Nash  
District No. 4 - Everett Phillips  
District No. 5 - Scarlet Parnell Frisina



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

August 26, 2016

VIA ELECTRONIC MAIL

DeWilton B. Espenship, III  
352 SW Prairie St  
Lake City, FL 32024

Re: Special Exception 0556 – Espenship (Mini-Storage)  
Board of Adjustment Determination Letter

Dear Mr. Espenship,

At the August 25, 2016 Board of Adjustment ("Board") hearing, the Board approved your application for a Special Exception for a Mini-Storage use as permitted in Section 4.14.5(1) of the County's Land Development Regulations ("LDRs") in accordance with Section 12.2 of the County's LDRs. Per Section 12.1.1 of the County's LDRs, there is a thirty (30) day appeal period for all Special Exceptions. If no appeal is filed within thirty (30) days, the decision of the Board shall become final. No permits shall be issued until the thirty (30) day appeal period has expired.

Attached for your records is a copy of Resolution BA SE 0556.

If you have any questions, please do not hesitate to contact me at [bstubbs@columbiacountyfla.com](mailto:bstubbs@columbiacountyfla.com) or (386) 754-7119.

Sincerely,

A handwritten signature in black ink, which appears to read "B. M. Stubbs", is written over a horizontal line.

Brandon M. Stubbs  
County Planner/LDR Admin.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.  
AND THIRD THURSDAY AT 5:30 P.M.

**RESOLUTION NO. BA SE 0556**

**A RESOLUTION OF THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, GRANTING A SPECIAL EXCEPTION WITH APPROPRIATE CONDITIONS AND SAFEGUARDS AS AUTHORIZED UNDER SECTION 4.14.5(1) OF THE LAND DEVELOPMENT REGULATIONS TO ALLOW FOR A STORAGE IN A COMPLETELY ENCLOSED BUILDING (MINI-STORAGE) USE WITHIN THE COMMERCIAL, INTENSIVE ("CI") ZONE DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; PROVIDING FOR REVOCATION OF THE SPECIAL EXCEPTION; REPEALING ALL RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Board of Adjustment of Columbia County, Florida, hereinafter referred to as the Board of Adjustment, to grant, to grant with appropriate conditions and safeguards or to deny special exceptions as authorized under Section 3.2 of the Land Development Regulations;

WHEREAS, a petition for a special exception, as described below, has been filed with the County;

WHEREAS, pursuant to the Land Development Regulations, the Board of Adjustment held the required public hearing, with public notice having been provided, on said petition for a special exception, as described below, and considered all comments received during said public hearing and the Concurrence Management Assessment concerning said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has found that they are empowered under Section 3.2 of the Land Development Regulations to grant, to grant with appropriate conditions and safeguards or to deny said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has determined and found that the granting with appropriate conditions and safeguards of said petition for special exception, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;

WHEREAS, the Board of Adjustment has determined and found that the special exception is generally compatible with adjacent properties, other property in the district and natural resources; and

WHEREAS, the Board of Adjustment has determined and found that:

- (a) The proposed use would be in conformance with the Comprehensive Plan and would not have an undue adverse effect on the Comprehensive Plan;
- (b) The proposed use is compatible with the established land use pattern;
- (c) The proposed use will not materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets;
- (d) The proposed use will not have an undue adverse influence on living conditions in the neighborhood;
- (e) The proposed use will not create or excessively increase traffic congestion or otherwise affect public safety;
- (f) The proposed use will not create a drainage problem;
- (g) The proposed use will not seriously reduce light and air to adjacent areas;
- (h) The proposed use will not adversely affect property values in the adjacent areas;



- (i) The proposed use will not be a deterrent to the improvement or development of adjacent property in accord with existing regulations; and
- (j) The proposed use is not out of scale with the needs of the neighborhood or the community.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. Pursuant to a petition SE 0556, a petition by Dewilton B. Espenship, III, owner, to request a special exception be granted as provided for in Section 4.14.5(1) of the Land Development Regulations to allow for a Storage in a completely enclosed building (Mini-Storage) use within the Commercial, Intensive ("CI") Zone District. The special exception has been filed in accordance with a site plan dated July 18, 2016 and submitted as part of a petition dated June 27, 2016, to be located on property described, as follows:

Commence at the Northeast corner of the Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 10, Township 4 South, Range 16 East, Columbia County, Florida and run North  $89^{\circ} 44' 06''$  West along the North line of said Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  a distance of 39.95 feet to a point on the Westerly Right-of-Way line of SW County Road 252-B; thence South  $00^{\circ} 56' 59''$  West along said Westerly Right-of-Way line 33.49 feet to its intersection with the Southerly maintained Right-of-Way line of Southwest Prairie Street and the POINT OF BEGINNING; thence continue South  $00^{\circ} 56' 59''$  West still along said Westerly Right-of-Way line of SW County Road 252-B a distance of 293.26 feet to the Northeast corner of lot 1 of "Timberlands Phase 1", a subdivision recorded in Plat Book 9, Pages 26 & 27 of the Public Records of Columbia County, Florida; thence North  $89^{\circ} 18' 20''$  West along the North line of said "Timberlands Phase 1" a distance of 373.18 feet; thence North  $01^{\circ} 54' 02''$  East 295.91 feet to a point on the Southerly maintained Right-of-Way line of SW Prairie Street; thence South  $88^{\circ} 54' 14''$  East along said Southerly maintained Right-of-Way line 368.27 feet to the POINT OF BEGINNING.

Containing 2.51 acres, more or less.

A portion of Tax Parcel 02861-000

Section 2. A site plan, as described above, is herewith incorporated into this resolution by reference, shall govern the development and use of the above described property. Any deviation from the site plan shall be deemed a violation of the Land Development Regulations.

Section 3. The use of land approved by this special exception shall be in place, or a valid permit shall be in force for the construction of such land use within twelve (12) months of the effective date of this resolution. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within twelve (12) months of the effective date of this resolution, this resolution granting with appropriate conditions and safeguards such special exception is thereby revoked and of no force and effect.

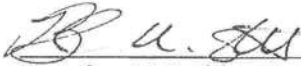
Section 4. If the use of land approved by this special exception ceases for any reason for a period of more than six (6) consecutive months, this resolution shall be thereby revoked and of no force and effect.

Section 5. All resolutions or portions of resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

Section 6. This resolution shall become effective upon adoption.

PASSED AND DULY ADOPTED, in special session with a quorum present and voting, by the Board of Adjustment this 25<sup>th</sup> day of August 2016.

Attest:



Brandon M. Stubbs, Secretary to the  
Board of Adjustment

BOARD OF ADJUSTMENT OF  
COLUMBIA COUNTY, FLORIDA



Robert F. Jordan, Chairman



# Columbia County Gateway to Florida

FOR PLANNING USE ONLY

Application # SE 0556

Application Fee \$750.00

Receipt No. 4633

Filing Date 7-18-16

Completeness Date \_\_\_\_\_

## Special Exception Application



### A. PROJECT INFORMATION

1. Project Name: ESPENSHIP MINI STORAGE
2. Address of Subject Property: 352 SW PRAIRIE STREET
3. Parcel ID Number(s): 10-45-16-02861-000
4. Future Land Use Map Designation: COMMERCIAL
5. Zoning Designation: COMMERCIAL INTENSIVE
6. Acreage: 2.51 ACRES
7. Existing Use of Property: IMPROVED GRASSLAND
8. Proposed use of Property: MINI STORAGE UNITS
9. Section of the Land Development Regulations ("LDRs") for which a Special Exception is requested (Provide a Detailed Description): SECTION 4.14.5(1)  
WHOLESALE, WAREHOUSE, OR STORAGE IN A  
COMPLETELY ENCLOSED BUILDING.

### B. APPLICANT INFORMATION

1. Applicant Status ☒ Owner (title holder) ☐ Agent
2. Name of Applicant(s): DEWILTON B. ESPENSHIP III Title: OWNER  
Company name (if applicable): \_\_\_\_\_  
Mailing Address: 352 SW PRAIRIE STREET  
City: LAKE CITY State: FL Zip: 32024  
Telephone: (386) 755-3649 Fax: ( ) Email: \_\_\_\_\_

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner\*.  
Property Owner Name (title holder): \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: ( ) Fax: ( ) Email: \_\_\_\_\_

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

\*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.



**C. ADDITIONAL INFORMATION**

1. Is there any additional contract for the sale of, or options to purchase, the subject property?  
If yes, list the names of all parties involved: N/O  
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property:  
Future Land Use Map Amendment: ☐ Yes ☒ No  
Future Land Use Map Amendment Application No. CPA \_\_\_\_\_  
Rezoning Amendment: ☐ Yes ☒ No  
Rezoning Amendment Application No. Z \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes ☒ No  
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. Z \_\_\_\_\_  
Variance: ☐ Yes ☒ No  
Variance Application No. V \_\_\_\_\_  
Special Exception: ☐ Yes ☒ No  
Special Exception Application No. SE \_\_\_\_\_

**D. ATTACHMENT/SUBMITTAL REQUIREMENTS**

1. Analysis of Section 12.2.1.(3)(h) of the Land Development Regulations ("LDRs"):
  - ✓a. Whether the proposed use would be in conformance with the county's comprehensive plan and would have an adverse effect on the comprehensive plan.
  - ✓b. Whether the proposed use is compatible with the established land use pattern.
  - ✓c. Whether the proposed use would materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets.
  - ✓d. Whether changed or changing conditions find the proposed use to be advantageous to the community and the neighborhood.
  - ✓e. Whether the proposed use will adversely influence living conditions in the neighborhood.
  - ✓f. Whether the proposed use will create or excessively increase traffic congestion or otherwise affect public safety.
  - ✓g. Whether the proposed use will create a drainage problem.
  - ✓h. Whether the proposed use will seriously reduce light and air to adjacent areas.
  - ✓i. Whether the proposed use will adversely affect property values in the adjacent area.
  - ✓j. Whether the proposed use will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
  - ✓k. Whether the proposed use is out of scale with the needs of the neighborhood or the community

- ✓ 2. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
3. Site Plan – Including, but not limited to the following:
  - ✓ a. Name, location, owner, and designer of the proposed development.
  - ✓ b. Present zoning for subject site.
  - ✓ c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
  - ✓ d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
  - ✓ e. Area and dimensions of site (Survey).
  - ✓ f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
  - ✓ g. Access to utilities and points of utility hook-up.
  - ✓ h. Location and dimensions of all existing and proposed parking areas and loading areas.
  - ✓ i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
  - ✓ j. Location and size of any lakes, ponds, canals, or other waters and waterways.
  - ✓ k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
  - ✓ l. Location of trash receptacles.
4. Stormwater Management Plan—Including the following:
  - ✓ a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
  - ✓ b. Proposed finished elevation of each building site and first floor level.
  - ✓ c. Existing and proposed stormwater management facilities with size and grades.
  - ✓ d. Proposed orderly disposal of surface water runoff.
  - ✓ e. Centerline elevations along adjacent streets.
  - ✓ f. Water management district surface water management permit.
- ✓ 5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
6. ✓ Proof of Ownership (i.e. deed).
7. ✓ Agent Authorization Form (signed and notarized).
8. ✓ Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
9. ✓ Fee. The application fee for a Special Exception Application is \$750. No application shall be accepted or processed until the required application fee has been paid.



## NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Board of Adjustment.

A total of fourteen (14) copies of proposed Special Exception Application and support material and a PDF copy on a CD are required at the time of submittal.

Before any Special Exception shall be granted, the Board of Adjustment shall make a specific finding that it is empowered under Article 4 of the Land Development Regulations to grant the Special Exception described in the petition, and that the granting of the Special Exception will not adversely affect the public interest. Before any Special Exception shall be granted, the Board of Adjustment shall further make a determination that the specific rules governing the individual Special Exception, if any, have been met by the petitioner and that, further, satisfactory provision and arrangement has been made.

In granting any Special Exception to the provisions of Article 4 of the Land Development Regulations, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with such regulations, including but not limited to, reasonable time limits within which the action for which the Special Exception requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the Special Exception is granted, shall be deemed a violation of the Land Development Regulations.

The Board of Adjustment requires that the applicant or representative be present at the public hearing to address and answer any questions the Board may have during the public hearing. The application may be continued to future dates if the applicant or representative is not present at the hearing.

The Columbia County Land Development Regulations require that a sign must be posted on the property ten (10) days prior to the Board to Adjustment hearing date. Once a sign has been posted, it is the property owner's responsibility to notify the Planning and Zoning Department if the sign has been moved, removed from the property, torn down, defaced or otherwise disturbed so the property can be reposted. If the property is not properly posted until all public hearings before the Board of Adjustment are completed, the Board reserves the right to continue such public hearing until such time as the property can be property posted for the required period of time.

There is a thirty (30) day appeal period after the date of the decision. No additional permitting will be issued until that thirty (30) day period has expired.



I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR REPRESENTATIVE MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE BOARD OF ADJUSTMENT, OTHERWISE THE REQUEST MAYBE CONTINUED TO A FUTURE HEARING DATE.

Bud Espenship

Applicant/Agent Name (Type or Print)

BUD ESPENSHIP

Applicant/Agent Signature

7/11/16

Date

ESPENSHIP MINI STORAGE  
Dewilton B. Espenship III, Owner

Section 12.2.1.(3)(h)  
LAND DEVELOPMENT REGULATIONS

- a. The proposed use of the property will conform to the County's comprehensive plan with NO adverse impacts occurring.
- b. The land use pattern does not change as a result of this special exception; therefore, the use is compatible with the established land use pattern.
- c. No population impacts are created by this request. There are no impacts to population densities or public resources and infrastructure.
- d. The project will result in community and neighborhood advantages by providing storage space for individual and business products and personal belongings. Some of the items in the new storage will no longer be in view in outside yards. This project will also enhance the Columbia County tax base.
- e. The proposed project will not adversely affect living conditions in the neighborhood. No additional light or noise will be created.
- f. There will be NO increase in traffic congestion or will a public safety issue be created. Access to the site is from a major collector ( CR 252B ).
- g. The project will not create a drainage problem. The total impervious area is 11,220 s.f. which drains to a swale ditch on property and then to the County ditch on 252B. This is sufficient for the proposed construction.
- h. No light or air impacts will occur. The project is located on a 2.51 acre open sight with open space.
- i. No adverse impacts will occur to surrounding property values. Property values in the immediate adjacent neighborhood have historically increased in value.
- j. The proposed special exception is in line with the existing regulations and will NOT be a deterrent to future development.
- k. The proposed mini storage units is in line with the needs of the neighborhood. Several large subdivisions are near by and will meet needs of the people buying and selling homes and needing storage.

*Curtis Keen*  
7/14/16  
PE#23836



## Florida Department of Environmental Protection

Bob Martinez Center  
2600 Blair Stone Road  
Tallahassee, Florida 32399-2400

Rick Scott  
Governor

Carlos Lopez-Cantera  
Lt. Governor

Jonathan P. Steverson  
Secretary

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### SELF CERTIFICATION FOR A STORMWATER MANAGEMENT SYSTEM IN UPLANDS SERVING LESS THAN 10 ACRES OF TOTAL PROJECT AREA AND LESS THAN 2 ACRES OF IMPERVIOUS SURFACES

Owner(s)/Permittee(s):	Dewilton Espenship III
File No:	0345491001EG
File Name:	ESPENSHIP MINI STORAGE
Site Address:	352 SW Prairie St Lake City FL - 32024 0721
County:	Columbia
Latitude:	30° 9' 3.2206"
Longitude:	-82° 41' 52.8095"
Total Project Area:	2.51
Total Impervious Surface Area:	0.15
Approximate Date of Commencement of Construction:	07/25/2016
Registered Florida Professional:	Curtis Keen
License No.:	23836
Company:	Keen Engineering & Surveying, Inc.

**Date:** July 03, 2016

**Curtis Keen** certified through the Department's Enterprise Self-Service Application portal that the project described above was designed by the above-named Florida registered professional to meet the following requirements:

1. The total project area involves less than 10 acres and less than 2 acres of impervious surface;
2. No activities will impact wetlands or other surface waters;
3. No activities are conducted in, on, or over wetlands or other surface waters;
4. Drainage facilities will not include pipes having diameters greater than 24 inches, or the hydraulic equivalent, and will not use pumps in any manner;
5. The project is not part of a larger common plan, development, or sale; and
6. The project does not:
  1. Cause adverse water quantity or flooding impacts to receiving water and adjacent lands;



2. Cause adverse impacts to existing surface water storage and conveyance capabilities;
3. Cause a violation of state water quality standards; or
4. Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to s. 373.042 or a work of the district established pursuant to s. 373.086, F.S.

This certification was submitted within approximately 30 days after initiation of construction of the above project. As such, construction, alteration, and maintenance of the stormwater management system serving this project is authorized in accordance with s. 403.814(12), F.S., and that there is a rebuttable presumption that the discharge from such system will comply with state water quality standards when the stormwater management system for this project is designed, operated, and maintained in accordance with applicable rules adopted pursuant to part IV of chapter 373, F.S.

Applicants are advised to contact the applicable water management district for requirements that must be followed to properly abandon any existing water wells that need to be removed because they are located where construction is occurring.

In accordance with s. 373.416(2), F.S., if ownership of the property or the stormwater management system is sold or transferred to another party, continued operation of the system is authorized only if notice is provided to the Department within 30 days of the sale or transfer.

This notice can be submitted to:  
FDEP Northeast District  
8800 Baymeadows Way West Jacksonville 32256

This certification was submitted along with the following electronic documents:

If you have submitted this certification as a Florida Registered Professional, you may wish to sign and seal this certification, and return a copy to the Department, in accordance with your professional practice act requirements under Florida Statutes.

I, Curtis Keen, License No. 23836, do hereby certify that the above information is true and accurate, based upon my knowledge, information and belief. In the space below, affix signature, date, seal, company name, address and certificate of authorization (if applicable).

KEEN ENGINEERING & SURVEYING, INC.  
9263 COUNTY ROAD 417  
LIVE OAK, FL 32060  
C.A.# 3761

*Curtis E. Keen* JULY 2, 2016

This sealed certification may be submitted to the Department, either electronically (as an attachment in Adobe PDF or other secure, digital format) at [Erp.selfcerts@dep.state.fl.us](mailto:Erp.selfcerts@dep.state.fl.us), or as a hardcopy, at the postal address below:

Florida Department of Environmental Protection  
Office of Submerged Lands and Environmental Resources  
2600 Blair Stone Road MS 2500  
Tallahassee FL 32399-2400

# ESPENSHIP MINI STORAGE ISO Fire Flow Worksheet

Page 1/3

<b>Needed Fire Flow Work Sheet (ISO formulas)</b>				$NFF = (Ci)(Oi)(Xi+Pi)$ $C=18F(Ai)^{0.5}$																											
Address:	352 SW PRAIRIE STREET																														
Project Name:	ESPENSHIP MINI STORAGE			Occupancy Type:	C-3																										
Construction Type:	PRE ENGINEERED STEEL BUILDING			Number of Stories:	1																										
<b>STEP 1</b>																															
Take the area, which is 100% sq. ft. of the first floor plus the following percentage of the total area of the other floors.																															
<p><b>First Floor</b> <span style="float: right;">2000 Sq. Ft. @ 100%</span></p> <p>Buildings classified as construction classes I-IV: 25% of all other floors</p> <p>Buildings classified as construction classes V-VI: 50% of all other floors</p>																															
<b>Total other floors</b>				0																											
<b>Total Area All</b>				2000																											
<b>STEP 2</b>																															
Take the Square Root of the Area <span style="float: right;">45</span>																															
Now multiply by "F", which is the coefficient for the construction type:																															
F = Coefficient related to the class of construction as determined by using the construction type found in SBCCI																															
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Construction Type</th> <th>Class</th> <th>F Value</th> </tr> </thead> <tbody> <tr> <td>Frame</td> <td>VI</td> <td>1.5</td> </tr> <tr> <td>Joist Masonry</td> <td>VI</td> <td>1</td> </tr> <tr> <td>Non-combustible</td> <td>IV</td> <td>0.8</td> </tr> <tr> <td>Heavy Timber</td> <td>III</td> <td>0.8</td> </tr> <tr> <td>Modified fire resistance</td> <td>II</td> <td>0.6</td> </tr> <tr> <td>Fire resistive</td> <td>I</td> <td>0.6</td> </tr> </tbody> </table>						Construction Type	Class	F Value	Frame	VI	1.5	Joist Masonry	VI	1	Non-combustible	IV	0.8	Heavy Timber	III	0.8	Modified fire resistance	II	0.6	Fire resistive	I	0.6					
Construction Type	Class	F Value																													
Frame	VI	1.5																													
Joist Masonry	VI	1																													
Non-combustible	IV	0.8																													
Heavy Timber	III	0.8																													
Modified fire resistance	II	0.6																													
Fire resistive	I	0.6																													
<b>F Value Selected</b>				0.6																											
<b>Square Root of the Area x F</b>				27																											
<b>Square Root of the Area x F x 18</b>				483 = C Value																											
<b>STEP 3</b>																															
Round off the C value to the nearest 250 GPM (round up or down)																															
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>C values ranging from</th> <th>Use</th> </tr> </thead> <tbody> <tr><td>500 to 625</td><td>500</td></tr> <tr><td>626 to 875</td><td>750</td></tr> <tr><td>876 to 1125</td><td>1000</td></tr> <tr><td>1126 to 1375</td><td>1250</td></tr> <tr><td>1376 to 1625</td><td>1500</td></tr> <tr><td>1626 to 1875</td><td>1750</td></tr> <tr><td>1876 to 2125</td><td>2000</td></tr> <tr><td>2126 to 2375</td><td>2250</td></tr> <tr><td>2376 to 2625</td><td>2500</td></tr> <tr><td>2626 to 2875</td><td>2750</td></tr> <tr><td>2876 to 3125</td><td>3000</td></tr> <tr><td>3126 to 3375</td><td>3250</td></tr> </tbody> </table>						C values ranging from	Use	500 to 625	500	626 to 875	750	876 to 1125	1000	1126 to 1375	1250	1376 to 1625	1500	1626 to 1875	1750	1876 to 2125	2000	2126 to 2375	2250	2376 to 2625	2500	2626 to 2875	2750	2876 to 3125	3000	3126 to 3375	3250
C values ranging from	Use																														
500 to 625	500																														
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2376 to 2625	2500																														
2626 to 2875	2750																														
2876 to 3125	3000																														
3126 to 3375	3250																														
<b>Rounded to the nearest 250 GPM</b>				500																											

**ESPENSHIP MINI STORAGE  
ISO Fire Flow Worksheet**

Page 2/3

<b>STEP 4</b>	Multiply result of rounded off GPM by the Occupancy Factor (Oi)	<b>Occupancy Factor</b>
	<b>Noncombustible (C-1)</b> = No active fuel loads such as storage of asbestos, clay, glass, marble, stone, or metal products.	<b>0.75</b>
	<b>Limited - Combustible (C-2)</b> = Limited fuel loads such as airports, apartments, art studios, auto repair, auto showroom, aviaries, banks, barber shops, beauty shops, churches, clubs, cold storage warehouses, day care center, educational occupancies, gas stations, green houses, health clubs, hospitals, jails, libraries, medical labs, motels, museums, nursing homes, offices, radio stations, recreation centers, and rooming houses.	<b>0.85</b>
	<b>Combustible (C-3)</b> = Moderate fuel loads such as auto part stores, auto repair training center, bakery, bookstores, bowling centers, casinos, commercial laundries, contractor equipment storage, dry cleaners with no flammable fluids, leather processing, municipal storage buildings, nursery sales stores, pavilions, pet shops, photographic supplies, printers, restaurants, shoe repair, supermarkets, theaters, vacant buildings, and most wholesale & retail sales occupancies.	<b>1.0</b>
	<b>Free-Burning (C-4)</b> = Active fuel loads such as aircraft hangers, cabinet making, combustible metals, dry cleaners using flammable fluids, feed stores, furniture stores, kennels, lumber, packaging and crating, paper products manufacturing, petroleum bulk distribution centers, tire manufacturers, tire recapping or retreading, wax products, and wood working shops.	<b>1.15</b>
	<b>Rapid-Burning (C-5)</b> = Contents that burn with great intensity, spontaneously ignite, have flammable or explosive vapors, or large quantities of dust such as ammunition, feed mills, fireworks, flammable compressed gases, flammable liquids, flour mills, highly flammable solids, matches, mattress factories, nitrocellulose-based products, rag storage, upholstery shops, & waste paper storage.	<b>1.25</b>
	<b>Occupancy Factor Selected</b>	1
	<b>Rounded GPM x Oi</b>	500



**ESPENSHIP MINI STORAGE  
ISO Fire Flow Worksheet**

Page 3/3

<b>STEP 5</b>	Now consider the exposure factor (Xi) - (Separation between buildings)																
	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Distance (feet to the exposed building)</th> <th style="text-align: center;">Xi</th> <th style="text-align: center;">&gt;3 stories</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">0-10</td> <td style="text-align: center;">0.22</td> <td style="text-align: center;">0.47</td> </tr> <tr> <td style="text-align: center;">11-30</td> <td style="text-align: center;">0.18</td> <td style="text-align: center;">0.43</td> </tr> <tr> <td style="text-align: center;">31-60</td> <td style="text-align: center;">0.13</td> <td style="text-align: center;">0.38</td> </tr> <tr> <td style="text-align: center;">61-100</td> <td style="text-align: center;">0.09</td> <td style="text-align: center;">0.34</td> </tr> </tbody> </table>	Distance (feet to the exposed building)	Xi	>3 stories	0-10	0.22	0.47	11-30	0.18	0.43	31-60	0.13	0.38	61-100	0.09	0.34	
Distance (feet to the exposed building)	Xi	>3 stories															
0-10	0.22	0.47															
11-30	0.18	0.43															
31-60	0.13	0.38															
61-100	0.09	0.34															
	Distance Selected	<div style="border: 1px solid black; padding: 2px;">100</div>															
	Xi (from table)	<div style="border: 1px solid black; padding: 2px;">0.09</div>															
	Multiply GPM from step 4 by (1+Xi) 1000 x 1.13																
	Fire flow required	<div style="border: 1px solid black; padding: 2px;">545</div>															
<b>STEP 6</b>	Approved Fire Sprinkler System Credit																
		<div style="border: 1px solid black; padding: 2px;">25%</div>															
	Take fire flow from step 5 and multiply by sprinkler credit of 0.25																
	no sprinkler credit	<div style="border: 1px solid black; padding: 2px;">136</div>															
	Now subtract sprinkler credit from fire flow in step 5 3,673 - 918																
	Fire Flow Required	<div style="border: 1px solid black; padding: 2px;">409</div>															
<b>STEP 7</b>	Take value from step 6 and Round to nearest 250 gpm under 2,500 gpm Round to nearest 500 gpm over 2,500 gpm																
	Needed Fire Flow	<div style="border: 1px solid black; padding: 2px;">500</div>															
Notice: Fire hydrant distribution requirements are based on distance from fire hydrant to the structure. The following restrictions for fire flow apply:																	
	<b>Distance from hydrant to structure</b>	<b>Max Flow Credit (gpm per hydrant)</b>															
	Within 300 feet	1,000															
	301 to 600 feet	670															
	601 to 1,000 feet	250															
per LDC 6.4.4 Fire hydrant & flow requirements: Central water systems shall be designed and constructed for an economic service life of not less than 20 years and in accordance with the fire protection requirements of the Insurance Services Office.																	

PAGES 1, 2, 3  
 Curtis Keen  
 7/14/16  
 PE # 23836

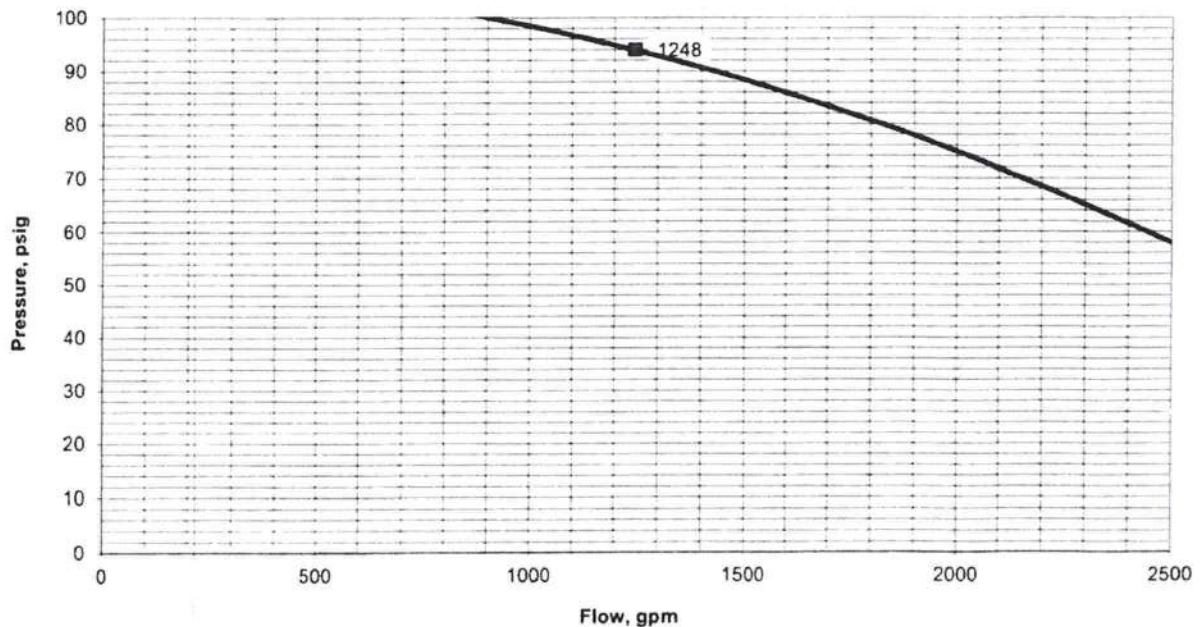
# City of Lake City

## Water flow report

HYDRANT # & LOCATION: **C/O SW CR 252B & SW Prairie Street** DATE: **6/21/2016**  
TEST BY: **Al Sloan/Aubrey Parrisi** Day: **Tuesday** Time: **13:30** Minutes: **4**  
WATER SUPPLIED BY: **Municipal**  
PURPOSE OF TEST: **request**

### DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	<b>2.5</b>	<b>2.5</b>	<b>2.5</b>
COEFFICIENT:	<b>0.8</b>		
PITOT READING:	<b>70</b>		
GPM:	<b>1248</b>	<b>0</b>	<b>0</b>
TOTAL FLOW DURING TEST:	<b>1248</b> GPM		
STATIC READING:	<b>108</b> PSI	RESIDUAL:	<b>94</b> PSI
RESULTS: AT 20 PSI RESIDUAL	<b>3367</b> GPM	AT 0 PSI	<b>3761</b> GPM
ESTIMATED CONSUMPTION:	<b>4992</b> GAL.		
REMARKS:			



DEWILTON B. ESPENSHIP III LEGAL DESCRIPTION AND PARCEL NUMBER

ESPENSHIP MINI STORAGE

DESCRIPTION: Commence at the Northeast corner of the Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 10, Township 4 South, Range 16 East, Columbia County, Florida and run North  $89^{\circ} 44' 06''$  West along the North line of said Southwest  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  a distance of 39.95 feet to a point on the Westerly Right-of-Way line of SW County Road 252-B; thence South  $00^{\circ} 56' 59''$  West along said Westerly Right-of-Way line 33.49 feet to its intersection with the Southerly maintained Right-of-Way line of Southwest Prairie Street and the POINT OF BEGINNING; thence continue South  $00^{\circ} 56' 59''$  West still along said Westerly Right-of-Way line of SW County Road 252-B a distance of 293.26 feet to the Northeast corner of lot 1 of "Timberlands Phase 1", a subdivision recorded in Plat Book 9, Pages 26 & 27 of the Public Records of Columbia County, Florida; thence North  $89^{\circ} 18' 20''$  West along the North line of said "Timberlands Phase 1" a distance of 373.18 feet; thence North  $01^{\circ} 54' 02''$  East 295.91 feet to a point on the Southerly maintained Right-of-Way line of SW Prairie Street; thence South  $88^{\circ} 54' 14''$  East along said Southerly maintained Right-of-Way line 368.27 feet to the POINT OF BEGINNING. Containing 2.51 acres, more or less.

PARCEL NUMBER: 10-4S-16-02861-000



Prepared as to form only  
Description provided by grantor  
No title search  
PREPARED BY/RETURN TO:  
John J. Joyce  
ROBINSON, KENNON & KENDRON, P.A.  
P. O. Box 1178  
Lake City, FL 32056-1178

201612000763 Date: 1/15/2016 Time: 1:36 PM  
Doc Stamp-Deed 0.70  
DC, P.DeWitt Cason, Columbia County Page 1 of 2 B:1307 P:2198

**SPECIAL WARRANTY DEED**

THIS INDENTURE, made this 8 day of January, 2016, between Dewilton B. Espenship IV, a married man, having a mailing address of 1453 SW Dekle Road, Lake City, Florida 32024, and Darilyn Espenship, a married woman, having a mailing address of 438 SW Darilyn Glen, Lake City, Florida 32025, hereinafter referred to as "Grantor," and Dewilton B. Espenship III, having a mailing address of 352 SW Prairie Street, Lake City, Florida, hereinafter referred to as "Grantee".

WITNESSETH THAT: Grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, in hand paid at and before the sealing and delivery of this Deed, the receipt of which is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs, successors and assigns forever the following described land, lying, situate and being in Columbia County, Florida, to-wit:

**PARCEL ID NUMBER 10-4S-16-02861-000**

**Located at 352 SW Prairie Street**

**BEG NE COR OF SE ¼ OF SW ¼, RUN W 575.07 FT, S 312.81 FT, E 1857.27 FT TO W R/W OF SW CR 252-B, N ALONG R/W 326.75 FT, W 1283.69 FT TO POB EX RD R/W & EX .85 AC MOL DESC IN ORB 1135-104. (NON-MARITAL ASSET)**

NB: The property described herein does not constitute the homestead property of the Grantor named herein nor is it contiguous thereto.

NB: Although the grantors have the same last name and are married persons, they are not married to each other.

and said Grantor covenants with Grantee that he/she specially warrants the property conveyed here, and that Grantor and his/her heirs and personal representatives will forever warrant and defend this property for Grantee and their heirs and personal representatives and assigns, from and against the claims and demands of Grantor and all persons claiming by, through, or under Grantor, but not against the claims of any others.

IN WITNESS WHEREOF, the Grantor has signed and sealed this Deed on the date written above.

Signed and sealed in the presence of:

Mara Driggers  
Print Witness Name: Mara Driggers

Dewilton B. Espenship IV  
Dewilton B. Espenship IV, Grantor

Regina Williams  
Print Witness Name: Regina Williams

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 5 day of January, 2016, by Dewilton B. Espenship IV, who is personally known to me or who has produced E215-162-51-309-0 as identification.



Mara Driggers  
Signature of Notary

Mara Driggers  
Printed Name of Notary

Signed and sealed in the presence of:

John J. Joyce  
Print Witness Name: John J. Joyce  
Mara Driggers  
Print Witness Name: Mara Driggers

Darilyn Espenship  
Darilyn Espenship, Grantor

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 8 day of January, 2016, by Darilyn Espenship, who is personally known to me or who has produced E215-166-52-828-0 as identification.

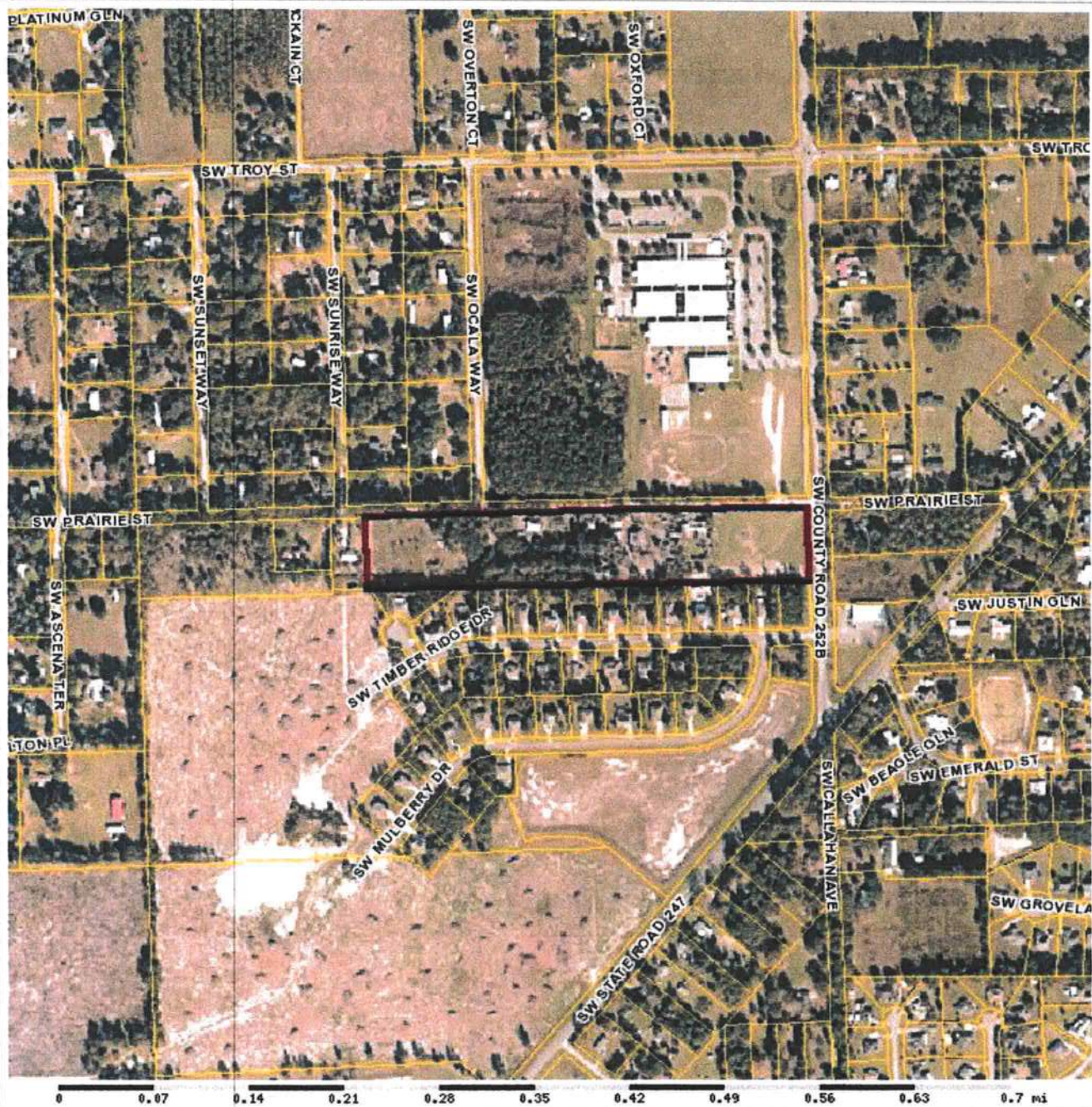


Mara Driggers  
Signature of Notary

Mara Driggers  
Printed Name of Notary

The preparer of this instrument was neither furnished with, nor requested to review, an abstract on the described property and therefore expresses no opinion as to condition of title.





## Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

**PARCEL: 10-4S-16-02861-000 - IMPROVED A (005000)**

BEG NE COR OF SE1/4 OF SW1/4, RUN W 575.07 FT, S 312.81 FT, E 1857.27 FT TO WRW OF SW CR 252-B, N ALONG R/W 326.75 FT, W 1283.69 FT TO POB, EX RD R/

**Name:** ESPENSHIP DEVILTON B II **2015 Certified Values**

<b>Site:</b>	352 SW PRAIRIE ST	<b>Land</b>	\$16,686.00
<b>Mail:</b>	352 SW PRAIRIE ST	<b>Bldg</b>	\$233,723.00
	LAKE CITY, FL 32024	<b>Assd</b>	\$286,930.00
<b>Sales</b>	1/8/2016 \$100.00 I / U	<b>Exmpt</b>	\$50,000.00
<b>Info</b>	8/5/2015 \$100.00 I / U	<b>Taxbl</b>	Crty: \$236,930
			Other: \$236,930   Schl: \$261,930

NOTES





Ronnie Brannon, Tax Collector  
 Proudly Serving The People Of Columbia County  
 135 NE Hernando Ave, Suite 125  
 Lake City, Florida 32055-4006  
 www.columbiataxcollector.com

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS  
 2015 REAL ESTATE

Skip The Trip! [www.columbiataxcollector.com](http://www.columbiataxcollector.com)  
 • eCheck (Electronic payment from your checking account with no fee)  
 • Credit Card (Fee added by payment processor - see website for fees)  
 Print Your Receipt Instantly Online

Account #: R02861-000 003

our Home

ESPENSHIP D B III  
 352 SW PRAIRIE ST  
 LAKE CITY FL 32024

10-4S-16 5000/5000 10.87 acres  
 BEG NE COR OF SE1/4 OF SW1/4,  
 RUN W 575.07 FT, S 312.81 FT,  
 E 1857.27 FT TO W R/W OF SW  
 CR 252-B, N ALONG R/W 326.75  
 See Tax Roll for extra legal.

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION	TAXABLE VALUE	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS	8.0150	286,930	50,000	236,930	1,898.99
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	286,930	25,000	261,930	195.93
LOCAL	4.8510	286,930	25,000	261,930	1,270.62
CAPITAL OUTLAY	1.5000	286,930	25,000	261,930	392.89
SUWANNEE RIVER WATER MGT DIST	0.4104	286,930	50,000	236,930	97.24
LAKE SHORE HOSPITAL AUTHORITY	0.9620	286,930	50,000	236,930	227.93

EXEMPTIONS APPLIED: H3 HX

TOTAL MILLAGE 16.4864 TOTAL TAXES \$4,083.60

eBill

Scan to view your bill or sign up to receive future bills by email.



columbiataxcollector.com  
 Click "Register for eBilling"

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	RATE	AMOUNT
FFIR FIRE ASSESSMENTS	Per Parcel	970.34
GGAR SOLID WASTE - ANNUAL	Per Parcel	965.00

TOTAL ASSESSMENTS \$1,935.34

COMBINED TAXES AND ASSESSMENTS \$6,018.94

IF POSTMARKED BY: PLEASE PAY ONLY ONE AMOUNT	NOV 30 2015	DEC 31 2015	JAN 31 2016	FEB 29 2016	MAR 31 2016
	\$5,778.18	\$5,838.37	\$5,898.56	\$5,958.75	\$6,018.94

Ronnie Brannon, Tax Collector  
 Proudly Serving The People Of Columbia County  
 135 NE Hernando Ave, Suite 125  
 Lake City, Florida 32055-4006

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS  
 2015 REAL ESTATE

Pay online at [www.columbiataxcollector.com](http://www.columbiataxcollector.com)

AMOUNT DUE

I am paying the following amount (check only one box) based on the date paid online, in the office or postmarked:

- ☐ NOV 30, 2015 (4% discount) \$5,778.18  
☐ DEC 31, 2015 (3% discount) \$5,838.37  
☐ JAN 31, 2016 (2% discount) \$5,898.56  
☐ FEB 29, 2016 (1% discount) \$5,958.75  
☐ MAR 31, 2016 (no discount) \$6,018.94

Please Pay in U.S. Funds to Ronnie Brannon, Tax Collector  
 135 NE Hernando Ave., Suite 125, Lake City, FL 32055

Account #: R02861-000 003

13074.0000

R

10-4S-16 5000/5000 10.87 acres  
 BEG NE COR OF SE1/4 OF SW1/4,  
 RUN W 575.07 FT, S 312.81 FT,  
 E 1857.27 FT TO W R/W OF SW  
 CR 252-B, N ALONG R/W 326.75  
 See Tax Roll for extra legal.

ESPENSHIP D B III  
 352 SW PRAIRIE ST  
 LAKE CITY FL 32024

0000000000 0000601894 0000000130740000 0001 1

# Columbia County Tax Collector

generated on 1/19/2016 2:25:33 PM EST

## Payment Receipt

Your payment has been processed successfully.

**IMPORTANT!** For future reference, please print this page to document the payment information on this screen.

### Columbia County Tax Collector

**Receipt Number:** 9012000119201614252115

**Time Stamp:** 1/19/2016 2:25:21 PM EST

**Payment Type:** Electronic Check

#### Tax Record

Description	Amount
2015 Taxes for R02777-109	\$708.74
2015 Taxes for R02777-043	\$731.76
2015 Taxes for R02678-102	\$1,500.44
2015 Taxes for R02585-001	\$6,705.35
2015 Taxes for R05922-000	\$1,233.86
2015 Taxes for R02374-081	\$515.27
2015 Taxes for R03059-020	\$1,121.75
2015 Taxes for R02160-022	\$68.83
2015 Taxes for R02990-001	\$230.89
2015 Taxes for R02861-000	\$5,898.56
2015 Taxes for R02856-000	\$169.60

<b>Sub Total</b>	<b>\$18,885.05</b>
------------------	--------------------

<b>Convenience Fee</b>	<b>\$0.00</b>
------------------------	---------------

<b>Total Payment</b>	<b>\$18,885.05</b>
----------------------	--------------------



# CONCURRENCY WORKSHEET

## Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Total Floor Area*	Total ADT	Total PM Peak
151	MINI WAREHOUSE	2.50	0.29	2.00	5.00	0.58

\*Per thousand square feet (i.e. 3,560 sq ft / 1,000 = 3.56)

## Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
MINI WAREHOUSE	0.00	0.00	0.00

\* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

## Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
MINI WAREHOUSE	0.00	0.00	0.00

\* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

## Solid Waste Analysis

Use	Pounds Per Thousand Sq Ft	Total Floor Area*	Total (Lbs Per Day)
MINI WAREHOUSE	5.50	2.00	11.00

\*Per thousand square feet (i.e. 3,560 sq ft / 1,000 = 3.56)

ESPENSHIP MINI STORAGE  
CR 252B SW PRAIRIE STREET

*Quinta Kern*  
7/14/16  
PE# 23836



ESPENSHIP MINI STORAGE  
INTERSECTION OF CR 252B & SW PRAIRIE STREET  
LAKE CITY, FLORIDA  
COVER SHEET

SCALE NOTE:  
PLAN VIEW: 1" = 50'



By: Board of  
Adjustment on  
8-25-16

INDEX:

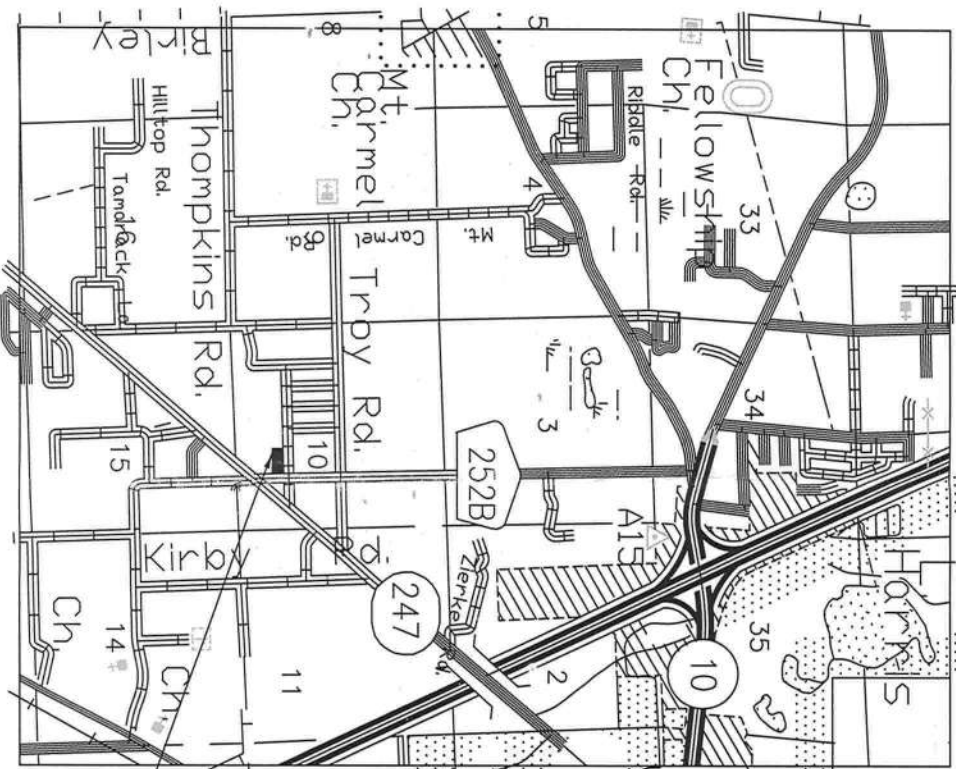
- C-0 COVER SHEET WITH VICINITY MAP  
C-1 SITE PLAN WITH TOPOGRAPHICAL SURVEY  
C-2 SITE STORMWATER PLAN  
C-3 FIRE DEPARTMENT ACCESS/WATER SUPPLY PLAN  
C-4 LANDSCAPE PLAN  
C-5 UTILITY PLAN

OWNER: DEWILTON B. ESPENSHIP III  
LOCATION: 352 SW PRAIRIE STREET  
LAKE CITY, FLORIDA

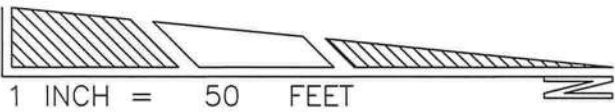
INSTRUCTIONS TO BIDDERS:

EACH CONTRACTOR BY MAKING HIS BID REPRESENTS THAT HE HAS READ AND UNDERSTANDS ALL DOCUMENTS AND THAT HE HAS VISITED THE SITE AND FAMILIARIZED HIMSELF WITH ALL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THERE ARE PORTIONS OF THE WORK WHICH WILL REQUIRE THE CONTRACTOR TO PROPOSE AND UTILIZE HIS BEST JUDGEMENT AND EXPERIENCE IN ORDER TO ACCOMPLISH THE INTENT OF THE PLANS AND COMPLIANCE WITH CODES.

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SITE LOCATION  
INTERSECTION SW PRAIRIE STREET/CR 252B



DEVELOPMENT DATA	
EXISTING CONDITION ANALYSIS	
TAX PARCEL NUMBER	10-4S-16-02861-000
TOTAL SQ.FT./ACREAGE OF LOT	109,335 S.F./2.51 ACRES
TOTAL IMPERVIOUS AREA (BUILDING)	NONE
TOTAL AREA COVERED BY GRAVEL/PAVEMENT	NONE
TOTAL FLOOR AREA	NONE
FUTURE LAND USE DESIGNATION	CI
ZONING DESIGNATION	CI

PROPOSED CONDITION ANALYSIS	
TOTAL IMPERVIOUS AREA PROPOSED	11,220 S.F.
TOTAL IMPERVIOUS AREA EXISTING	NONE
TOTAL FLOOR AREA PROPOSED	2,000 SF
TOTAL FLOOR AREA EXISTING	NONE
TOTAL AREA COVERED BY PAVEMENT/GRAVEL NEW	9,220 SF
TOTAL AREA COVERED BY PAVEMENT/GRAVEL EXISTING	NONE
TOTAL LANDSCAPED AREA PROPOSED CONSTRUCTION	1,823 SF PROPOSED
TOTAL LANDSCAPED AREA PROPOSED CONSTRUCTION	922 SF REQUIRED
PERCENT OF PROPERTY COVERED BY STRUCTURES	1.83 %

PROJECT No.  
ESPENSHIP MINI STORAGE  
SHEET No.  
C-0.0

DATE  
06/27/16

SITE PLAN COVER SHEET  
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Curtis E. Keen, PE #23836  
Certification of Authorization #3761  
DATE: 7/17/16

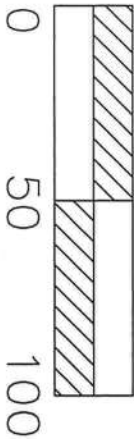
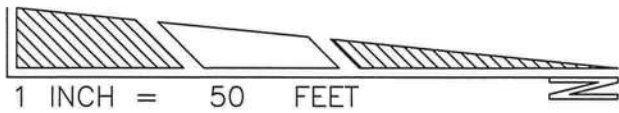
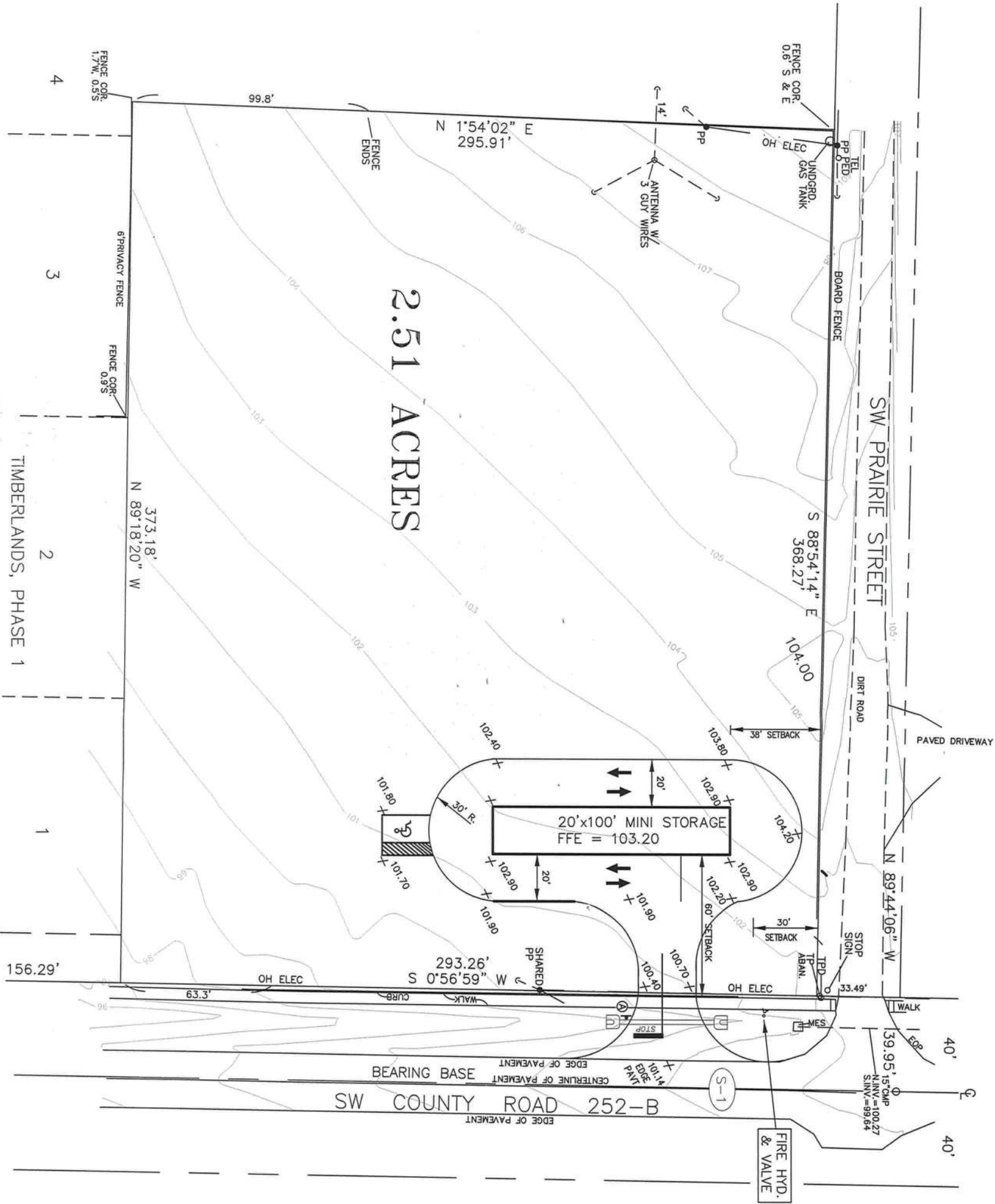
ESPENSHIP MINI STORAGE  
LAKE CITY, FLORIDA

KEEN ENGINEERING & SURVEYING, INC.  
9263 CR 417  
LIVE OAK, FLORIDA 32060  
386-362-4787  
ENG. LIC. EB 3761



ESPENSHIP MINI STORAGE SITE PLAN

SCALE NOTE:  
PLAN VIEW: 1" = 50'



- Ⓐ STOP BAR 24" WIDE x DRIVE WIDTH  
SET 48" BEHIND THE BACK OF SIDEWALK  
WITH A 30" x 30" STOP SIGN
- Ⓑ 6" DOUBLE YELLOW PAINTED LANE SEPARATION STRIPING
- Ⓒ REQUIRED 1.5" THICK SP 9.5 ASPHALT, 6" LIMEROCK BASE  
LBR 100, 8" SUBGRADE LBR 40 ON ALL PAVED AREAS
- Ⓓ 48 L.F. OF 18" CORRUGATED METAL PIPE (14 GA.)  
WITH MITERED END SECTION PER FOOT INDEX 272  
FLOW LINE ELEV. NORTH=99.00/FLOW LINE ELEV. SOUTH=98.60

GOVERNING SPECIFICATIONS:

1. ASPHALT: SECTION 300 OF THE 2013 FLORIDA DOT SPECIFICATIONS
2. LIMEROCK: SECTION 200 OF THE 2013 FLORIDA DOT SPECIFICATIONS
3. SODDING: SECTION 570 OF THE 2013 FLORIDA DOT SPECIFICATIONS
4. STRIPES & MARKINGS: SECTION 710 OF THE 2013 DOT SPECIFICATIONS  
WITH THE EXCEPTION OF NOTES FOR PAY ITEMS - NOTE 102-1.
5. STABILIZATION: SECTION 160 OF THE 2013 FLORIDA DOT SPECIFICATIONS
6. EMBANKMENT: SECTION 120 OF THE 2013 FLORIDA DOT SPECIFICATIONS

OWNER: DEWILTON B. ESPENSHIP III  
LOCATION: 352 SW PRAIRIE STREET  
LAKE CITY, FLORIDA

PROJECT No.  
ESPENSHIP MINI STORAGE  
SHEET No.  
C-1.0

DATE  
06/27/16

SITE DEVELOPMENT PLAN VIEW  
MISC. NOTES, REFERENCES & INSTRUCTIONS

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DATE: 7/14/16

ESPENSHIP MINI STORAGE  
LAKE CITY, FLORIDA

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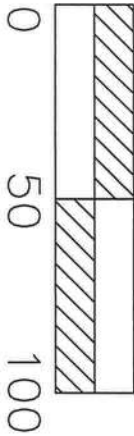


ESPENSHIP MINI STORAGE STORMWATER PLAN

SCALE NOTE:  
PLAN VIEW: 1" = 50'



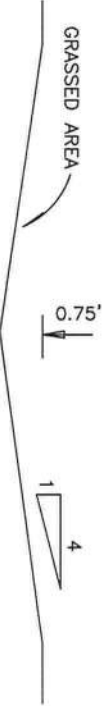
1 INCH = 50 FEET



NOTES

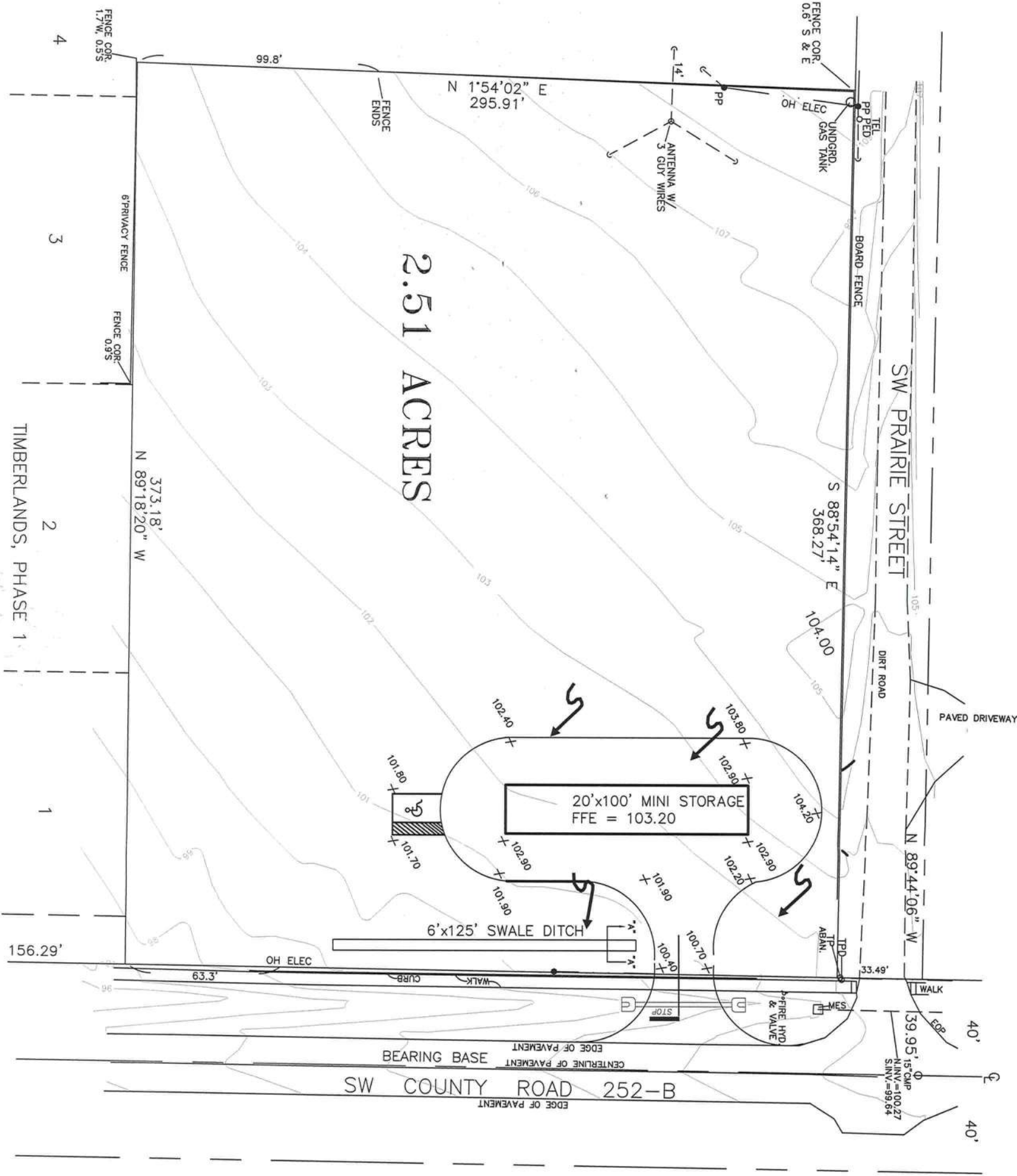
1. ALL SLOPES STEEPER THAN 4 : 1 TO BE SODDED
2. ALL SLOPES STEEPER THAN 3 : 1 TO BE STAPLED (SGD)
3. ALL DISTURBED AREAS TO BE SEEDED AS FOLLOWS  
SEPTEMBER - MARCH ( PERMANENT GRASS SEED AND RYE GRASS )  
APRIL - AUGUST ( PERMANENT GRASS SEED AND MILLET )
4. PROVIDE TEMPORARY EROSION CONTROL MEASURES PER ENGINEER

SECTION A-A = 3.00' SECTION A-A = 3.00'



SWALE DITCH SECTION A-A  
FOR STORMWATER QUALITY

OWNER: DEWILTON B. ESPENSHIP III  
LOCATION: 352 SW PRAIRIE STREET  
LAKE CITY, FLORIDA



2.51 ACRES

PROJECT No.  
ESPENSHIP MINI STORAGE  
SHEET No.  
C-2.0

DATE  
06/27/16  
STORMWATER PLAN  
MISC. NOTES, REFERENCES & INSTRUCTIONS  
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Certification of Authorization #3761  
DATE: 7/19/16

ESPENSHIP MINI STORAGE  
LAKE CITY, FLORIDA

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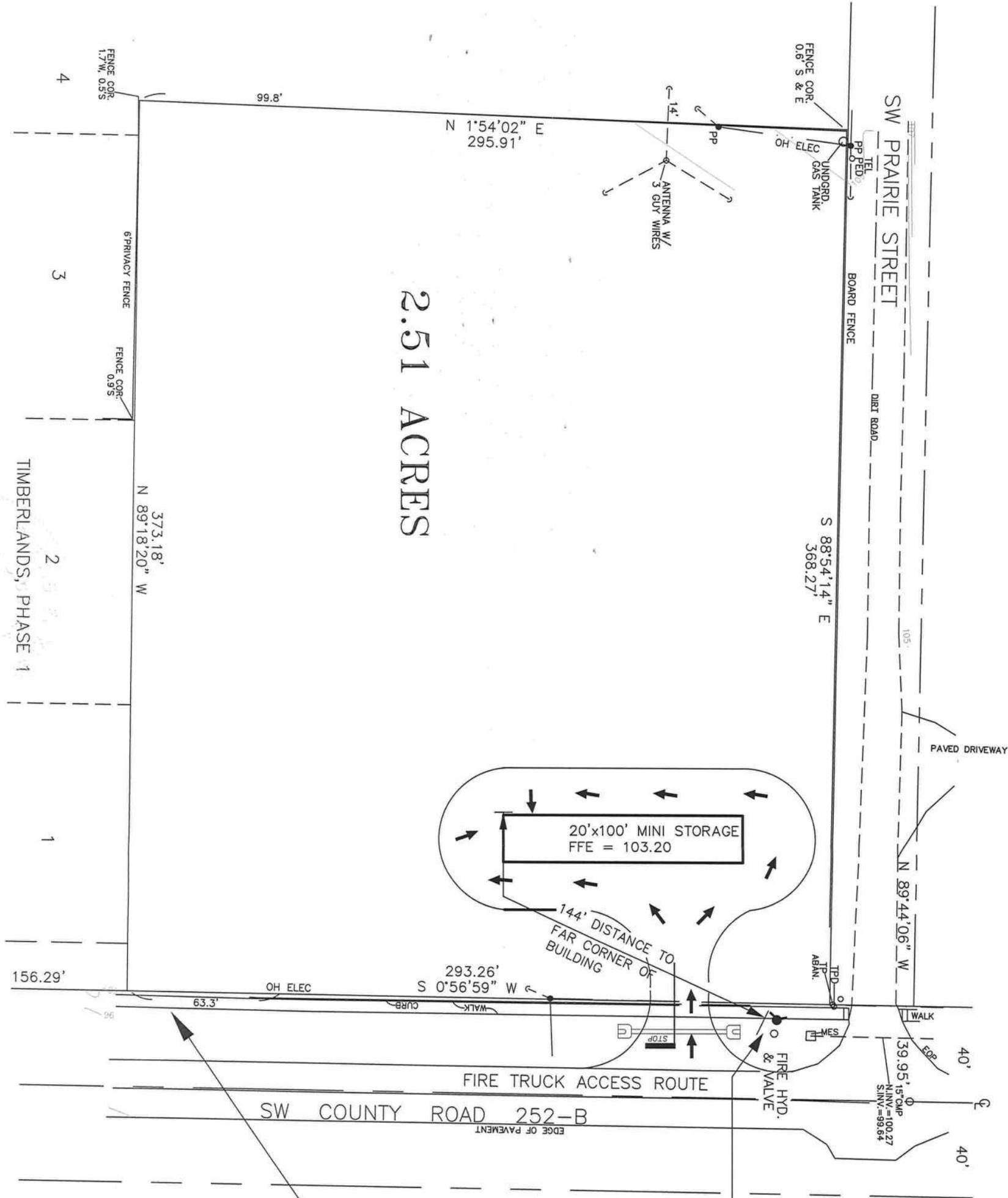
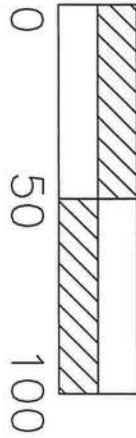


ESPENSHIP MINI STORAGE FIRE DEPT. ACCESS/WATER SUPPLY PLAN

SCALE NOTE:  
PLAN VIEW: 1" = 50'



1 INCH = 50 FEET



2.51 ACRES

CITY OF LAKE CITY  
8" WATER MAIN

OWNER: DEWILTON B. ESPENSHIP III  
LOCATION: 352 SW PRAIRIE STREET  
LAKE CITY, FLORIDA

PROJECT No.  
ESPENSHIP MINI STORAGE  
SHEET No.  
C-3.0

DATE  
06/27/16

FIRE DEPARTMENT ACCESS/WATER SUPPLY  
MISC. NOTES, REFERENCES & INSTRUCTIONS

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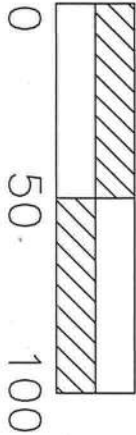
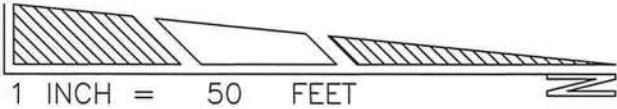
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ESPENSHIP MINI STORAGE LANDSCAPE PLAN

SCALE NOTE:  
PLAN VIEW: 1" = 50'



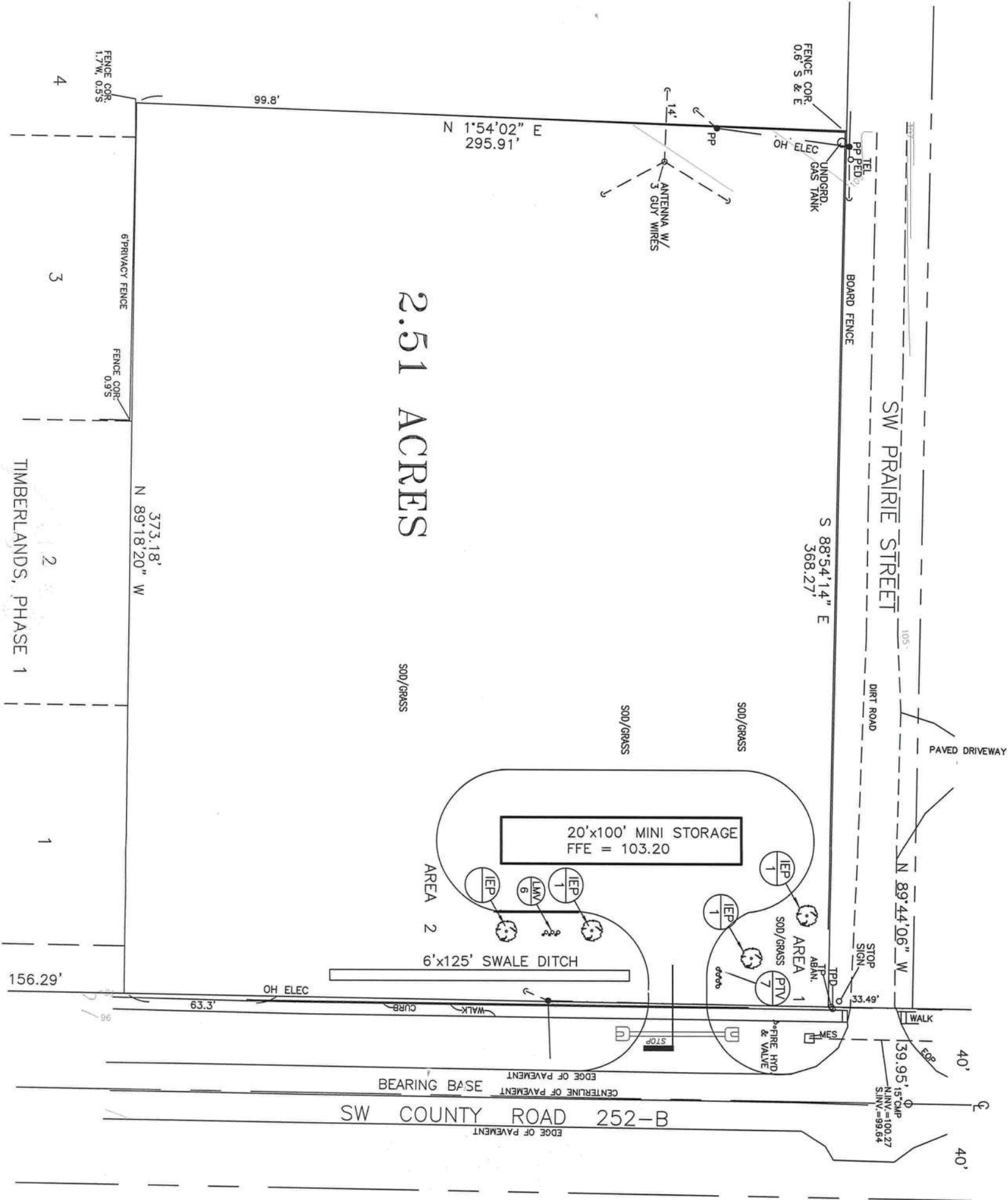
MINI STORAGE BUILDING  
GRAVEL/ASPHALT DRIVES 9,220 S.F.  
REQUIRED LANDSCAPE AREA 922 S.F.  
ACTUAL LANDSCAPE AREA 922 S.F.

- AREA 1,080 S.F.
- AREA 743 S.F.

TOTAL LANDSCAPE AREA 1,823 S.F.

PLANT KEY & LEGEND				
KEY	SCIENTIFIC NAME	COMMON NAME	HEIGHT x SPREAD	COMMENTS
IEP	ILEX OPACA "Ep"	E. PALATKA HOLLY	4" 4'	1/2 CLR TRUNK, UNIFORM
PTV	PITT. TOBIRA VAR.	VAREGATED PITT	18" 18"	FULL, DENSE, BUSHY
LMV	LIROPE MUS. VAR.	AZTEC GRASS	10" 10"	FULL, GALLONS
SOD	STENOGRAPHUM SECUNDATUM	FLORATAM ST. AUGUSTINE	RECTANGULAR, FRESH CUT SOD STRIPS	

OWNER: DEVILTON B. ESPENSHIP III  
LOCATION: 352 SW PRAIRIE STREET  
LAKE CITY, FLORIDA



2.51 ACRES

PROJECT No.  
ESPENSHIP MINI STORAGE  
SHEET No.  
C-4.0

DATE  
06/27/16

SITE LANDSCAPE PLAN  
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ESPENSHIP MINI STORAGE  
LAKE CITY, FLORIDA

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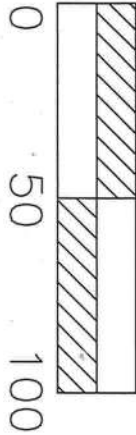


ESPENSHIP MINI STORAGE UTILITY PLAN

SCALE NOTE:  
PLAN VIEW: 1" = 50'



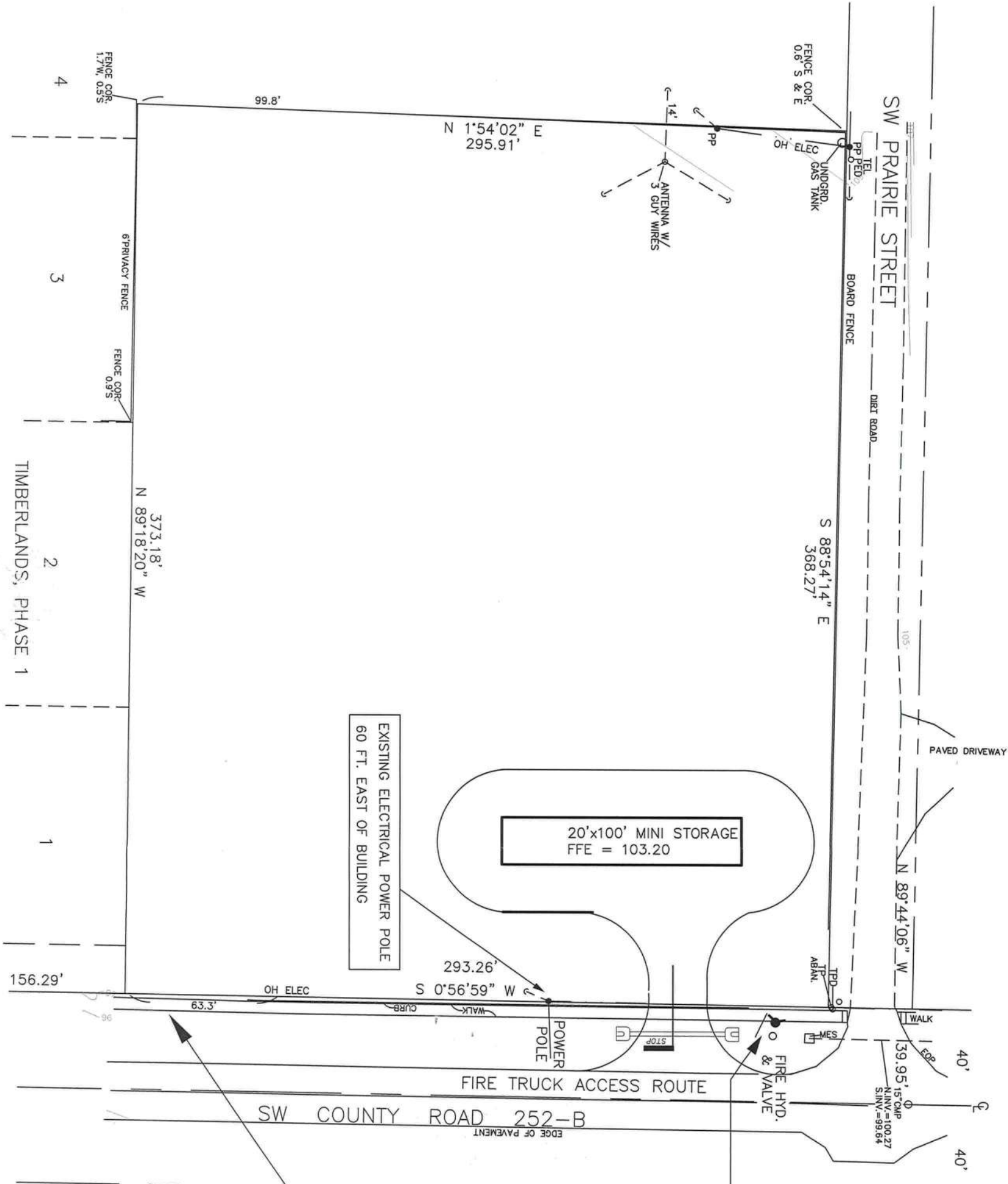
1 INCH = 50 FEET



- NOTES:
1. NO WATER LINES TO BUILDINGS.
  2. NO SEWER LINES TO BUILDINGS.
  3. MINI STORAGE UNITS ONLY. NO OFFICE OR BATHROOM FACILITIES.

CITY OF LAKE CITY  
8" WATER MAIN

OWNER: DEMILTON B. ESPENSHIP III  
LOCATION: 352 SW PRAIRIE STREET  
LAKE CITY, FLORIDA



PROJECT No.  
ESPENSHIP MINI STORAGE  
SHEET No.  
C-5.0

DATE  
06/27/16

UTILITY PLAN  
MISC. NOTES, REFERENCES & INSTRUCTIONS

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ESPENSHIP MINI STORAGE  
LAKE CITY, FLORIDA

KEEN ENGINEERING & SURVEYING, INC.

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