

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 7-1-15) Zoning Official _____ Building Official _____
 AP# _____ Date Received _____ By _____ Permit # _____
 Flood Zone _____ Development Permit _____ Zoning _____ Land Use Plan Map Category _____
 Comments _____

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____
 Recorded Deed or Property Appraiser PO Site Plan EH # _____ Well letter OR
 Existing well Land Owner Affidavit Installer Authorization FW Comp. letter App Fee Paid
 DOT Approval Parent Parcel # _____ STUP-MH _____ 911 App
 Ellisville Water Sys Assessment _____ Out County In County Sub VF Form

Property ID # 00-00-00-00951-000 Subdivision THREE RIVERS ESTATES Lot# 28 & 29

- New Mobile Home Used Mobile Home _____ MH Size 52X32 Year 2022
- Applicant JOSE PUIG Phone # (813)424-1013
- Address 5604 CONNELL RD PLANT CITY FL 33567
- Name of Property Owner JOSE PUIG Phone# (813)424-1013
- 911 Address TBD SW CENTRAL TER FT. WHITE FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Duke Energy
- Name of Owner of Mobile Home JOSE PUIG Phone # (813)424-1013
 Address 5604 CONNELL RD PLANT CITY FL 33567
- Relationship to Property Owner SELF
- Current Number of Dwellings on Property 0
- Lot Size _____ Total Acreage 1.836
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Driving Directions to the Property Head west on SW Dortch St toward US-27 N
Turn right onto US-27 N Turn left onto SW Riverside Ave
Turn left onto Utah Pkwy Turn right onto Central Blvd
- Name of Licensed Dealer/Installer Robert Puckett Phone # 352-351-8153
- Installers Address 1748 NW 58TH LANE OCALA FL 34475
- License Number IH1025336 Installation Decal # TBD

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 50337 CONTRACTOR Robert Puckett PHONE 352-351-8153

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<p>ELECTRICAL</p>	<p>Print Name <u>Melvin Lopez</u> License #: <u>EC13005725</u></p>	<p>Signature <u>[Signature]</u> Phone #: <u>352-414-7599</u></p>
<p align="center">Qualifier Form Attached <input type="checkbox"/></p>		
<p>MECHANICAL/ A/C</p>	<p>Print Name <u>Michael Boland</u> License #: <u>CAC1817716</u></p>	<p>Signature <u>[Signature]</u> Phone #: <u>352-274-9326</u></p>
<p align="center">Qualifier Form Attached <input type="checkbox"/></p>		

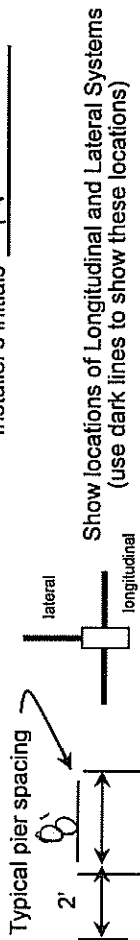
F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Mobile Home Permit Worksheet

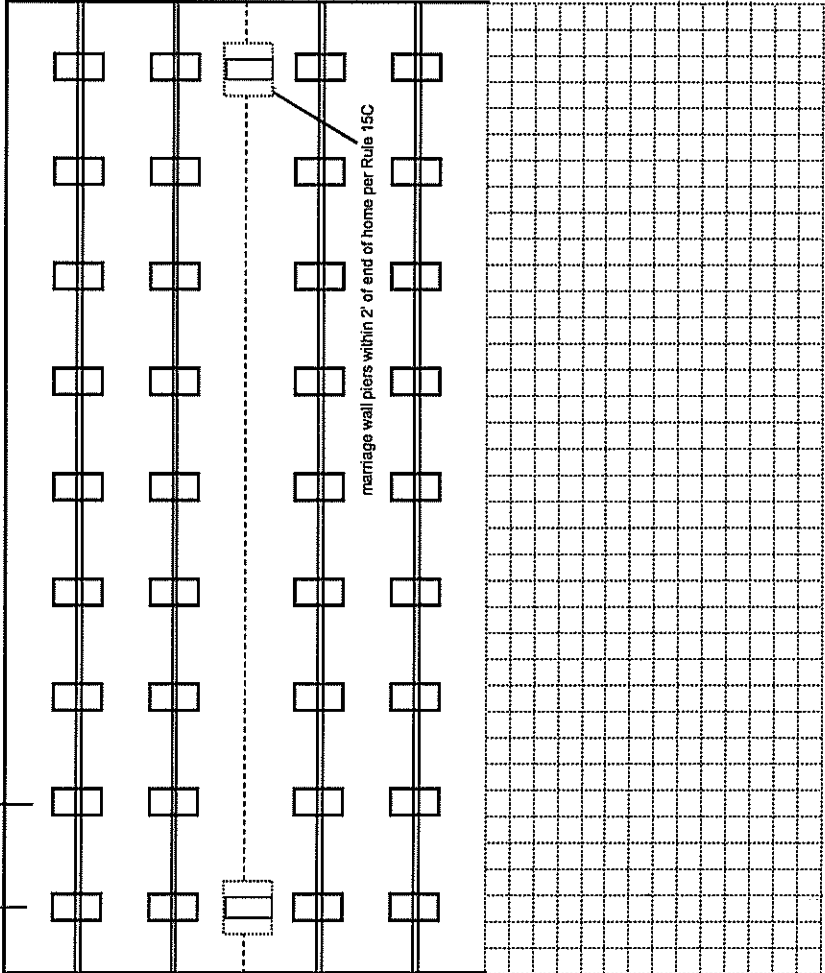
Installer: Robert Puckett License # 1H1025330
 Address of home being installed: IBD SW Central Ter. Ft. White FL 32038
 Manufacturer: Nobility Length x width: 52' x 32'

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials: RP



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



Application Number: _____ Date: _____

New Home Used Home
 Home installed to the Manufacturer's Installation Manual Home is installed in accordance with Rule 15-C
 Single wide Wind Zone II Wind Zone III Wind Zone III
 Double wide Installation Decal # TBD
 Triple/Quad Serial # N1-10200 AB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size: 17" x 25"
 Perimeter pier pad size: 10" x 10"
 Other pier pad sizes (required by the mfg.): _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening: 6'-33" Pier pad size: 17" x 25"

ANCHORS

4 ft 5 ft _____

FRAME TIES

within 2' of end of home spaced at 5' 4" oc N/A

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
 Manufacturer: _____
 Longitudinal Stabilizing Device w/ Lateral Arms
 Manufacturer: OLIVER TECHNOLOGIES

OTHER TIES

Sidewall Longitudinal Marriage wall Shearwall
 Number: 8
4
2

Mobile Home Permit Worksheet

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

x 1500 x 1500 x 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1500 x 1500 x 1500

TORQUE PROBE TEST

The results of the torque probe test is 176 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

RP Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Robert Puckett

Date Tested _____

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. SU-48

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. SU-47

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. SU-48

Application Number: _____

Date: _____

Site Preparation

Debris and organic material removed Y/S
 Water drainage: Natural _____ Swale _____ Pad X Other _____

Fastening multi wide units

Floor: Type Fastener: #10 Length: 4" Spacing: 10"
 Walls: Type Fastener: _____ Length: _____ Spacing: _____
 Roof: Type Fastener: #10 Length: 4" Spacing: 8"
 For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials RP

Type gasket factory installed Installed:
 Pg. SU-19 Between Floors Yes X
 Between Walls Yes X
 Bottom of ridgebeam Yes X

Weatherproofing

The bottomboard will be repaired and/or taped. Yes X Pg. SU-98
 Siding on units is installed to manufacturer's specifications. Yes X
 Fireplace chimney installed so as not to allow intrusion of rain water. Yes _____

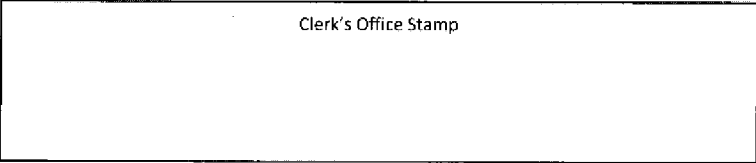
Miscellaneous

Skirting to be installed. Yes X No _____
 Dryer vent installed outside of skirting. Yes X N/A _____
 Range downflow vent installed outside of skirting. Yes _____ N/A X
 Drain lines supported at 4 foot intervals. Yes X
 Electrical crossovers protected. Yes X
 Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Robert Puckett Date 5/18/21

NOTICE OF COMMENCEMENT



Tax Parcel Identification Number:

00-00-00-00951-000

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

- Description of property (*legal description*): LOTS 28 & 29 UNIT 17 THREE RIVERS ESTATES. 766-133, 768- 867, 801-723, WD 1375-87,
a) Street (*job*) Address: TBD SW CENTRAL TER FT. WHITE FL 32038
- General description of improvements: INSTALL NEW MOBILE HOME
- Owner information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: ~~FOR SALE~~ 5604 CONNELL RD PLANT CITY, FL 33567 Florencia + Jose Puig + Teresa Puig
b) Name and address of fee simple titleholder (if other than owner) N/A
c) Interest in property ~~FOR SALE~~ OWNER
- Contractor Information
a) Name and address: ROBERT PUCKETT OF J&H HOMES LLC 1749 NW 58TH LANE OCALA FL 34475
b) Telephone No.: 352-351-8153
- Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address: N/A
b) Amount of Bond: _____
c) Telephone No.: _____
- Lender
a) Name and address: N/A
b) Phone No. _____
- Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address: N/A
b) Telephone No.: _____
- in addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(f)(b), Florida Statutes:
a) Name: N/A OF _____
b) Telephone No.: _____
- Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): N/A

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Teresa Puig
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

Teresa Puig
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, by means of physical presence or online notarization, a Florida Notary, this 27th day of July, 2021, by: Teresa Puig as owner of property
(Name of Person) (Type of Authority)
for SELF who is personally known OR produced identification
(name of party on behalf of whom instrument was executed)

Type ID FLDL

Notary Signature Hannah Murry (Notary Stamp or Seal)



Columbia County Property Appraiser

Jeff Hampton

2021 Working Values

updated: 8/12/2021

Parcel: << **00-00-00-00951-000 (3423)** >>

Owner & Property Info

Result: 1 of 1

Owner	PUIG TERESA PUIG JOSE 5604 CONNELL RD PLANT CITY, FL 33567		
Site			
Description*	LOTS 28 & 29 UNIT 17 THREE RIVERS ESTATES. 766-133, 768-867, 801-723, WD 1375-87,		
Area	1.836 AC	S/T/R	25-6S-15
Use Code**	VACANT (0000)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2020 Certified Values		2021 Working Values	
Mkt Land	\$12,000	Mkt Land	\$20,000
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$12,000	Just	\$20,000
Class	\$0	Class	\$0
Appraised	\$12,000	Appraised	\$20,000
SOH Cap [?]	\$0	SOH Cap [?]	\$6,800
Assessed	\$12,000	Assessed	\$20,000
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$12,000 city:\$12,000 other:\$12,000 school:\$12,000	Total Taxable	county:\$13,200 city:\$0 other:\$0 school:\$20,000

Aerial Viewer Pictometry Google Maps

2019
 2016
 2013
 2010
 2007
 2005
 Sales



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
12/19/2018	\$17,000	1375/0087	WD	V	Q	01
1/23/1995	\$0	0801/0723	QC	V	U	01
11/10/1992	\$8,000	0768/0867	WD	V	U	12
10/9/1992	\$5,000	0768/0866	WD	V	U	12
9/25/1992	\$4,000	0766/0133	WD	V	U	12

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	2.000 LT (1.836 AC)	1.0000/1.0000 1.0000/ /	\$10,000 /LT	\$20,000

PART 1. PURCHASE AGREEMENT

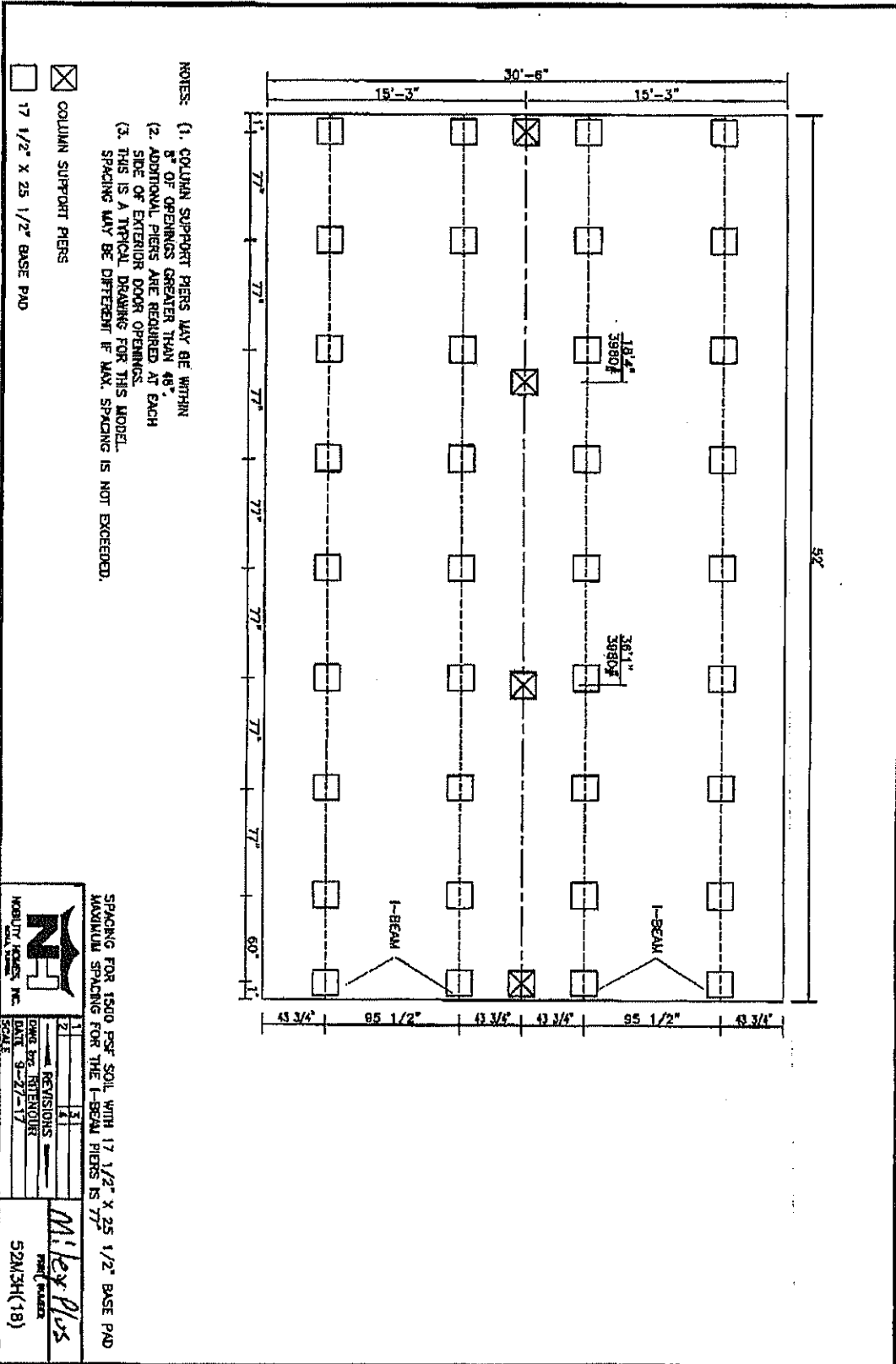
CONSUMER DISPUTE RESOLUTION

The U.S. Department of Housing and Urban Development (HUD) Manufactured Home Dispute Resolution Program is available to resolve disputes among manufacturers, retailers, or installers concerning defects in manufactured homes. Many states also have a consumer assistance or dispute resolution program. For additional information about these programs, see sections titled "Dispute Resolution Process" and "Additional Information-HUD Manufactured Home Dispute Resolution Program" in the Consumer Manual required to be provided to the purchaser. These programs are not warranty programs and do not replace the manufacturer's or any other person's warranty program."

DATE PREPARED: 2/10/2021

A. PARTIES:		1046 W. Hwy 82 Auburndale, FL 33823		Phone: 863 867-3864	800 557-7360
1	Prosign Home Centers, Inc.			Phone: 813-424-1013	Alt Phone: 0
2	Buyer: Jose Puig			Email: jpuig@tampabay.rr.com	
	Buyer: 0			City: Plant City	State: FL Zip: 33567
Buyers Address: 5604 Connell Rd					
B. AGREEMENT TO PURCHASE					
Buyer agrees to purchase from Seller under the terms and conditions specified in this document following the described property					
C. PROPERTY DESCRIPTION: New <input checked="" type="checkbox"/> Used <input type="checkbox"/> Brokered <input type="checkbox"/> Single <input type="checkbox"/> Double Sec. <input checked="" type="checkbox"/> Triple Sec. <input type="checkbox"/>					
Make / Nobility Model Miley Plus		Year 2021		Serial # _____ Floor L x W 52x32	
Display Model _____		Closing Date _____			
Together with the furnishings, accessories and service indicated hereon. Even though the property is identified by Serial No. or as "factory order" the seller may substitute any other property which otherwise meets the description and specifications set forth hereon. See also Part II, Paragraph 2 & 4d.					
D. RECORD OF TRANSACTION			LIST OF ADDITIONS & DELETIONS		
1	Price of home including additions and deletions	\$	114,237.00	Home price excludes tires, wheels, axles, air conditioning, heating, skirting, steps & furniture unless listed here as an addition	
	Processing Fee	\$	287.00	Standard Delivery and Set up	
2	Deliv. To home site & set up subject to Part II Paragraph 8 and Part IV of set up & site Requirements Agreement	\$		Standard Wooden Steps 2 Sets Std	
	SUB TOTAL	\$	114,524.00	A/C and Heat Size: 3.5 Ton w/ 15K heat strip	
3	Sales Tax: 6% (Excludes Gross Trade Value)	\$	6,871.44	Skirting: Vertical White Std	
	Discretionary Sur Tax	\$	50.00		
	Total Improvements: (see adjacent column)	\$			
	TOTAL PRICE OF HOME	\$	121,445.44	Buyers Responsibility	
4	Cash Down Payment	\$	15,000.00	Move on permits and fees, Homeowners insurance, Electrical Hook ups	
	Date CR # _____	\$		Vent dryer to outside of skirting. All lot preparations - Site must be crowned	
	Date CR# _____	\$		Property improvements to be customer's responsibility unless allowances made below. Any amount higher than the allowance stated will be the customer's responsibility.	
	Date CR# _____	\$		ALLOWANCES FOR PROPERTY IMPROVEMENTS:	
5	Trade-in Allowance-Gross (see below)	\$	0.00	Septic	Well
6	Less Payoff Debt (balance owing)	\$	0.00	Electrical	Grading
7	Net Trade-in Allowance (Buyers Equity)	\$	0.00	Culvert	Plumbing
	TOTAL DOWN PAYMENT	\$	15,000.00	Impact fee	Apron
	UNPAID BALANCE OF HOME PRICE	\$	106,445.44	Permits	Cleaning
8	Mobile Home Insurance 12 mo Estimate	\$	1,100.00	Foundation/Site prep	Demolition
9	Title/License/Lion Fee	\$	300.00	Other	
10	Home Care Plus	\$			
11	Mile Tax / Doc. Stamp Fee	\$			
12	Flood Certification	\$			
13	Closing Costs / Points	\$			
14		\$			
	TOTAL UNPAID BALANCE DUE BEFORE DELIVERY. Subject to Part II, 3 & 12	\$	107,845.44	When required standard delivery and set up is based on your soil density of 3000 pounds. Off-road equipment needed to deliver or spot the home shall be at customers expense. Further specifications attached	
Description of Trade-in			E. DELIVERY		
Manufactured Home <input type="checkbox"/> Other <input type="checkbox"/>			1. Proposed Delivery Date _____		
Debt to be paid by: Seller <input type="checkbox"/> Buyer <input type="checkbox"/> Acct. #: ACC# _____			But no later than _____		
Debt owed to: NA Phone# NA			which is the absolute delivery deadline as defined in Part II, Paragraph 3		
Year: Model: # BR & BA:			2. Place of Delivery		
Size: Serial No. or Address:			Address: TBD SW Central Terrace		
Trade-In Appliances <input type="checkbox"/> Skirlings <input type="checkbox"/> Drapes <input type="checkbox"/> Carpets <input type="checkbox"/>			Space No: _____ County: Columbia City: Ft White		
Includes: Furniture <input type="checkbox"/> A/C Heat <input type="checkbox"/> Porches and/or steps <input checked="" type="checkbox"/>			Park: _____ State: FL Zip: 32038		
F. ENTIRE AGREEMENT CONTRACT PARTS: This Agreement includes Part II, Terms and Conditions on the reverse side of this sheet and all other written terms, conditions and understandings accepted by the parties as part of this transaction which are deemed to comprise a single contract document and constitute the entire agreement of the parties. Each paragraph and provision of this contract and all parts hereof is severable; if one portion thereof is invalid the remaining portion shall, nevertheless, remain in full force and effect.			I. TRADE IN: If on receiving possession of the trade-in property by the Seller there has been a material change in its furnishings, accessories or physical condition from initial appraisal, normal wear and tear excepted, then the Seller may make a reappraisal. Said reappraisal then determines the trade-in allowance. THE BUYER WARRANTS SUCH PROPERTY TO BE HIS PROPERTY, FREE AND CLEAR OF ALL LIENS AND LICENSE FEES AND ACCOUNT SHORTAGES, EXCEPT AS OTHERWISE NOTED HERE. AND THE BUYER WARRANTS THE TOTAL AMOUNT THEREOF TO BE NO GREATER THAN STATED IN THIS AGREEMENT. Necessary connections and adjustments concerning changes in net payoff on trade-in shall be made at the time of settlement. The values allowed herein for trade-in may be arbitrary and may differ from actual fair market value by mutual agreement for the purpose of this transaction. Therefore in the event of rescission or cancellation of the sale the parties are not bound by such allowance. If the trade-in consists of real estate, then details of the trade-in transaction and an itemization and calculation of allowances for same are set forth on the attached Real Estate Trade-In Agreement and Closing Statement, which is made a part of this Agreement. The Buyer agrees to deliver the original bill of sale or the title to any property traded in as partial payment along with the delivery of said property and the keys for same to Seller's premises.		
G. PRIOR AGREEMENTS, MODIFICATIONS: This Agreement supersedes all prior negotiations, orders, offers, agreements and representations, either oral or written. In Particular, this Agreement totally supersedes and replaces the similar agreement of the parties dated _____, 20____. This agreement may be modified or partly superseded by later written agreement of the parties attached hereto and incorporated herein.			J. In the event the Buyer has not paid in full by the mutually agreed upon date, the Buyer will pay the Seller interest at the highest legal rate per month on the unpaid Balance until payment is made in full.		
H. FINALITY OF SALE CONDITIONS: The sale agreed upon herein is unconditional, final and binding on the parties according to the terms stated in the various parts hereof, EXCEPT FOR THE FOLLOWING CONDITIONS ONLY: If (1) contemplated financing, if any, is not obtainable by any means at a rate not greater than 18% simple interest, or if (2) the Seller is unable to deliver the property substantially as specified, or if (3) N/A _____, then in such case only, Buyer and Seller may elect to cancel the sale and Buyer shall then be entitled to a refund of payments made and/or the net true value of the trade-in received by the Seller less any direct costs incurred by Seller in processing this order or in applying for financing.			2. Offer to Purchase by Buyer: I/We agree to this sale, having read and understand the terms and conditions on the reverse side hereof and all other parts of this document and acknowledge receipt of a copy thereof.		
K. ASSENT:			Buyer _____ 2/10/2021		
1. Acceptance by Seller			SSN _____		
Salesperson: Victoria Reilly			Buyer _____		
Accepted By: _____			SSN _____		
Title: General Manager			Buyer _____		
Not binding on Seller until signed by an officer or the management of Seller			SSN _____		

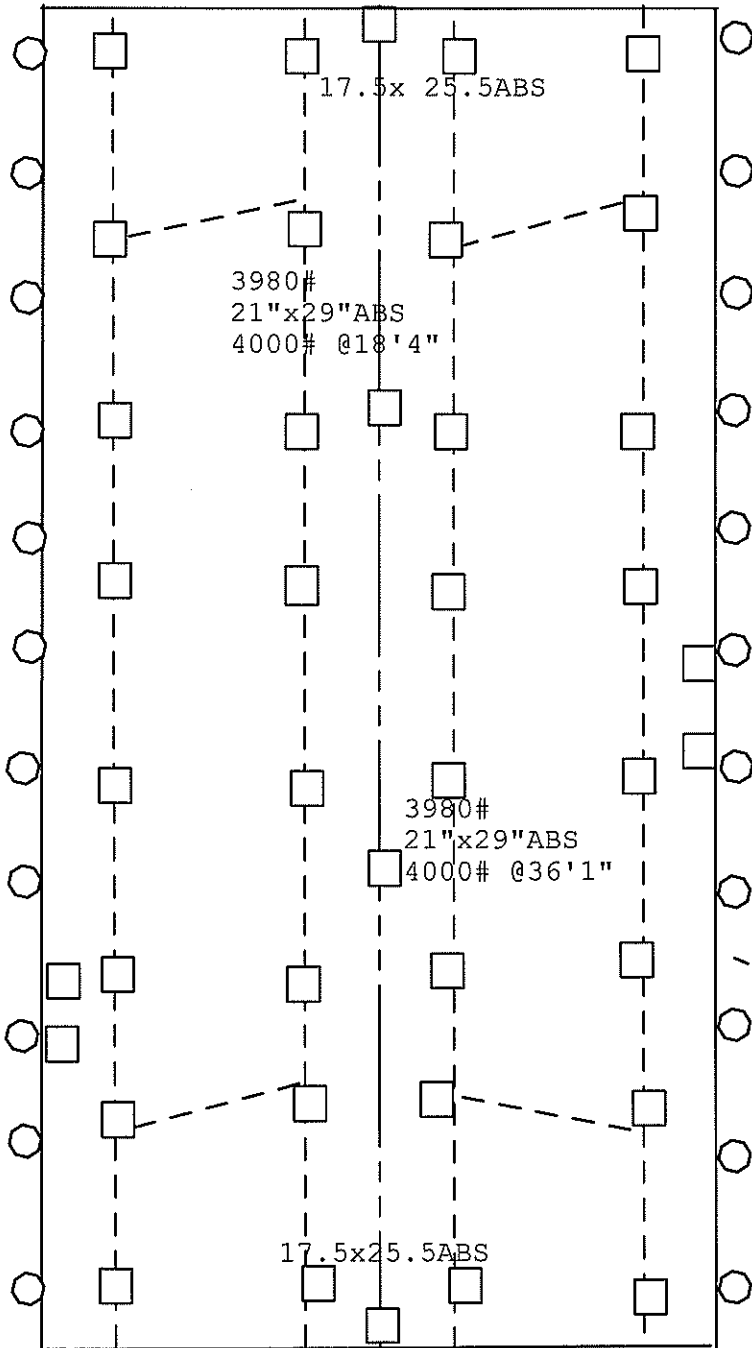
OK



1/8"=1' 32'x52' 52M3H18

Nobility homes

Set-up instruction
Manufactures manual



1500# soil
176 torq

□ =17"x25"ABS pads on 77"
o.c.on main I-beams

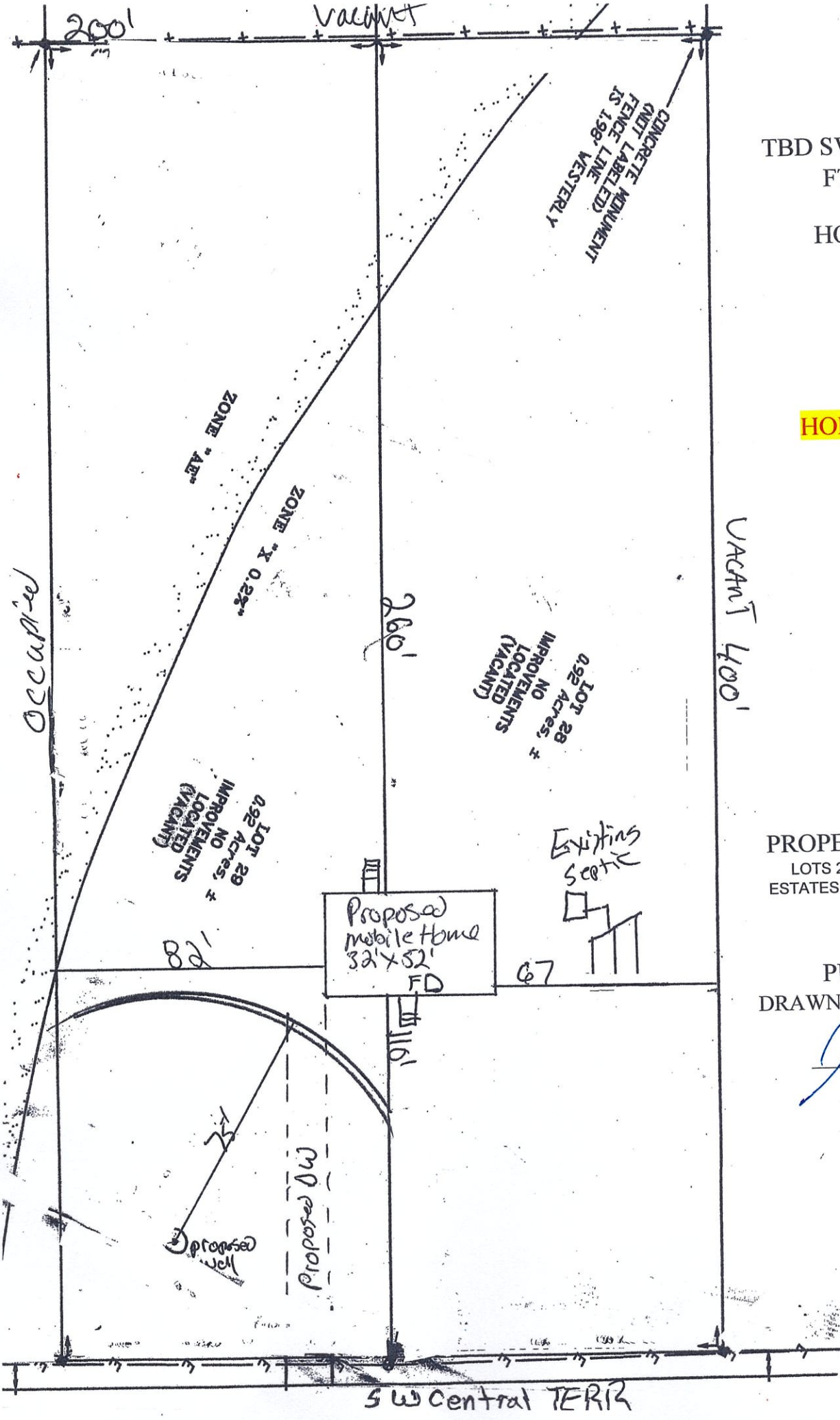


=16"x16"ABS pads for doors
and shearwall piers will
be clearly marked on home



4' anchor on 5'4" oc

□ longitudinal anchors will
be the Oliver Tech.
4 systems total for house



N  1" = 40'

TBD SW CENTRAL TERR
FT. WHITE FL 32038

HOME SIZE 32' X 52'
1586' SQFT
1586' SQFT A/C
0' SQFT NON A/C

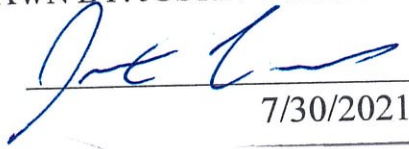
FZ: X/AE
HOME SET IN ZONE X
SETBACKS:
FR:25'
R:25'
S:25'

LOT SIZE
1.836 ACRES
ZONED: VAC

PARCEL ID:
00-00-00-00951-00

PROPERTY DISCRIPTION:
LOTS 28 & 29 UNIT 17 THREE RIVERS
ESTATES. 766-133, 768-867, 801-723, WD
1375-87

PUIG -PROJECT/AUB
DRAWN BY: JUSTIN WINSLOW


7/30/2021

SW Central TERR



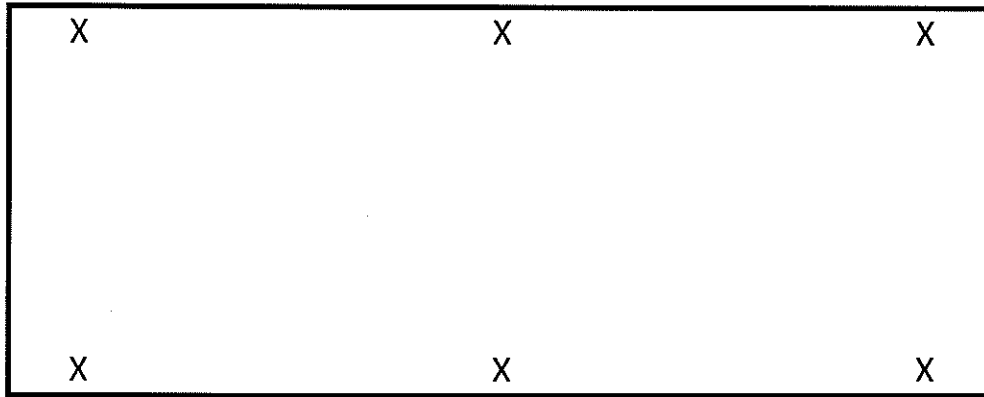
J&H Homes

PENETROMETER & TORQUE TEST

1500LBS
X 176 IN LBS

1500LBS
X 176 IN LBS

1500LBS
X 176 IN LBS



1500LBS
X 176 IN LBS

1500LBS
X 176 IN LBS

1500LBS
X 176 IN LBS

ALL SIDEWALL ANCHORS WILL BE 4' UNLESS MANUFACTURER'S SPECIFICATIONS STATE OTHERWISE
ALL MAELINE AND SHEARWALL ANCHORS WILL BE 5' UNLESS MANUFACTURER'S SPECIFICATIONS STATE OTHERWISE

TEST THE PERIMETER OF THE HOME AT SIX (6) LOCATIONS

TAKE THE READING AT THE DEPTH OF THE FOOTER

USING 500LBS INCREMENT, TAKE THE LOWEST READING AND ROUND DOWN TO THAT INCREMENT

ROBERT PUCKETT

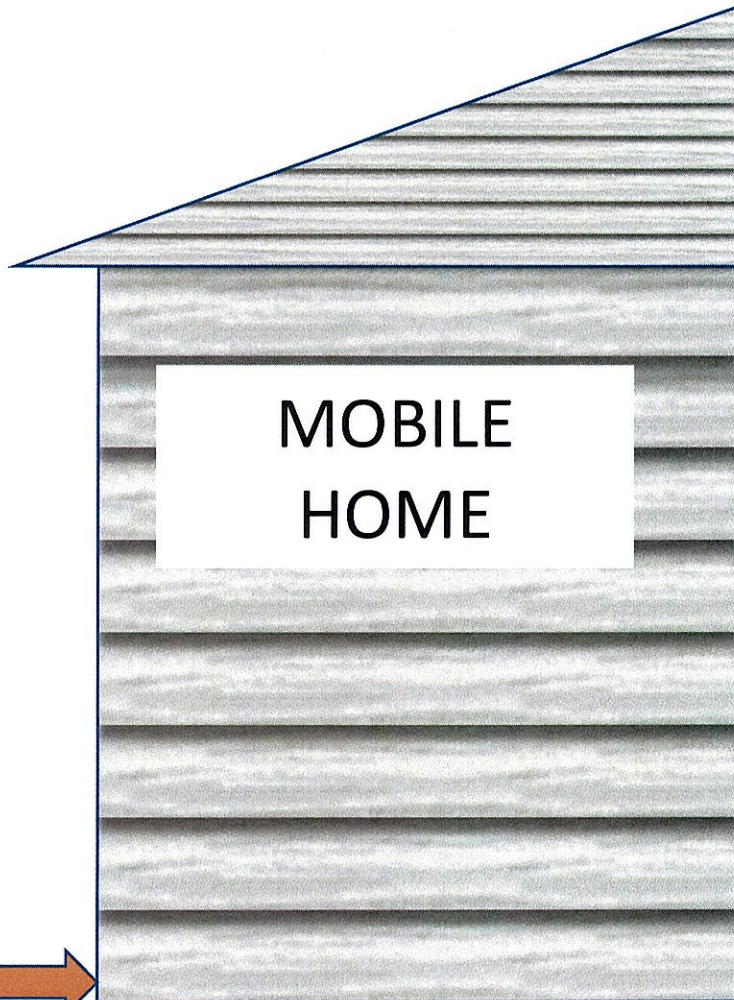
ROBERT PUCKETT

OWNER

IH/1025336



J&H Homes



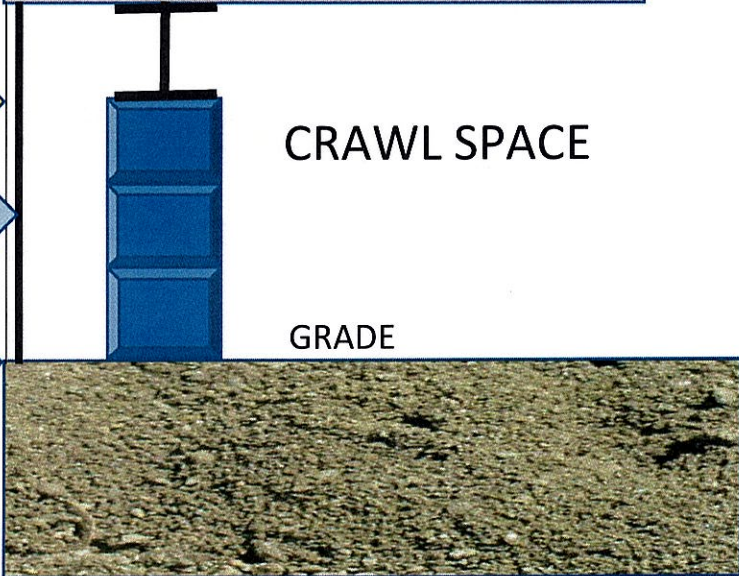
LAP TO GROUND INSTALLATION

FASTEN TOP FRONT RAIL W/ 1" GALV. NAILS OR 3/4" #8 SCREWS 16" OC

GEORGIA-PACIFIC COMPASS 8" X 150" VINYL PANEL

2"X4"(METAL) BRACE SPACED 3'OC

FASTEN BOTTOM RAIL W/ 3/4 " #8 SCREWS 16" OC 7' GAL. NAILS. 16 OC



CRAWL SPACE

GRADE

NOTE: AN ACCESS PANEL 18"X24" MIN WILL BE PROVIDED TO ACCESS CRAWL SPACE. THE ACCESS PANEL WILL BE FASTENED W/ 1" LONG PHILLIPS HEAD SCREWS. ANY HOME WICH IS MORE THAN 36" ABOVE FINISH GRADE WILL HAVE VERTICAL 48" OC WIND STAYS

TYPICAL SECTION

1/2= 1'0

MEMORANDUM

TO: All Steel Telescoping Lateral Arm Manufacturers
FROM: Wayne Jordan, Operations Services Manager, Manufactured Housing Section
Florida Department of High Safety and Motor Vehicles 
DATE: August 6, 2018
SUBJECT: Elimination of Requirement for Supplemental Frame Ties and Stabilizer Plates at All Steel Telescoping Lateral Arm Locations

The Department has reviewed some concerns expressed by several of the steel telescoping lateral arm manufacturers regarding the Department's requirement to install supplemental frame ties and stabilizer plates on the steel telescoping lateral arm systems.

In an abundance of caution, the Department required supplemental frame ties /stabilizer plates at each lateral arm location in June of 2002. After researching data from storm reports, the Department has found no evidence of the need for these supplemental frame ties/stabilizer plates. With this information in mind, the Department will discontinue the requirement for the supplemental frame ties/stabilizer plates at each lateral arm location.

Manufacturers who wish to change their installation instructions to remove this requirement, must resubmit their last engineering report showing the whole house test without the use of supplemental frame ties/stabilizer plates. Upon receipt and review of the engineering report, the Department will remove the requirement for supplemental frame ties/stabilizer plates. Each manufacturer will be notified within two weeks of receipt of the engineering report. These reports must be sent to my attention at **5701 East Hillsborough Ave, Suite 2228, Tampa, Florida 33610**.

If the need arises in the future, the Department may impose additional requirements to the steel telescoping lateral arm systems with a change to Florida Administrative Code Rule 15C-1.



State of Florida
DEPARTMENT OF
HIGHWAY SAFETY AND MOTOR VEHICLES

TALLAHASSEE, FLORIDA 32399-0500

FRED O. DICKINSON, III
Executive Director

March 20, 2002

Mr. Bert A. Moore, Financial Manager
Manufactured Housing Foundation Systems
Oliver Technologies, Inc.
Post Office Box 9 (467 Swan Avenue)
Hohenwald, Tennessee 38462

Dear Mr. Moore:

We wish to acknowledge receipt of your specifications and test results certifying that your Longitudinal Stabilizing and Lateral Bracing System, 1101 V, listed below complies with the specifications and regulations set by the Department of Highway Safety and Motor Vehicles, Rules 15C-1.0105, 15C-1.0107 and 15C-1.0108, Florida Administrative Code.

Installation instructions must be available at the installation site.

MODEL #

DESCRIPTION

1101 V

Longitudinal Stabilizing and Lateral Bracing System

NOTE: This system is for replacement of longitudinal anchors. This system can only be used with sidewall anchor spacing of 5'4". Maximum strut angle 45°.

If you have any questions, please advise at (407) 623-1340.

Sincerely,

Phil Bergelt, Program Manager
Bureau of Mobile Home and
Recreational Vehicle Construction
Division of Motor Vehicles

PRB:srb



State of Florida
DEPARTMENT OF
HIGHWAY SAFETY AND MOTOR VEHICLES

April 26, 2007

ELECTRA THEODORIDES-BUSTLE
Executive Director

Mr. John Lower
Oliver Technologies, Inc.
P. O. Box 9
Hohenwald, Tennessee 38462

Dear Mr. Lower:

We wish to acknowledge receipt of your specifications and test results, certifying your mobile home Transverse and Longitudinal System – Wet Set and Dry Set Concrete Brackets, listed below, complies with the specifications and regulations set by the Department of Highway Safety and Motor Vehicles, Rules 15C-1.0105 and 15C-1.0107, Florida Administrative Code.

Based on the information submitted to this bureau, the following products are listed for sale and use in Florida when instructions are provided at the jobsite.

<u>MODEL #</u>	<u>DESCRIPTION</u>
1101CVW	Concrete full system wet bracket
1101CVD	Concrete full system dry set bracket
1101-W-CPCA	Concrete longitudinal system wet set bracket
1101-D-CPCA	Concrete longitudinal system dry set bracket
1101-W-TACA	Concrete transverse system wet set bracket
1101-D-TACA	Concrete transverse system dry set bracket

If you have any questions, please advise at (407) 445-7408

Sincerely

Phil Bergelt, Program Manager
Bureau of Mobile Home and
Recreational Vehicle Construction
Division of Motor Vehicles

PB/cb

OLIVER

Technologies, Inc.



467 Swan Ave • Hohenwald, TN 38462 • (800) 284-7437 • www.olivertechnologies.com • Fax (931) 796-8811

**OLIVER TECHNOLOGIES, INC.
INSTALLATION INSTRUCTIONS FOR FLORIDA
MODEL 1101 "V" SERIES ALL STEEL FOUNDATION SYSTEM PAN & CONCRETE (revision 5/18)**

PATENT# 6634150 & OTHER PATENT PENDING



**OLIVER TECHNOLOGIES, INC.
FLORIDA INSTALLATION INSTRUCTIONS FOR THE
MODEL 1101 "V" SERIES ALL STEEL FOUNDATION SYSTEM**

**MODEL 1101"V" (Steps 1-14)
LONGITUDINAL ONLY: Follow Steps 1-9
LATERAL ONLY: Follow Steps 1-3 and Steps 10-14
FOR CONCRETE APPLICATIONS: Follow Steps 15-18**

ENGINEERS STAMP

ENGINEERS STAMP

1. SPECIAL CIRCUMSTANCES: If the following conditions occur - **STOP! Contact Oliver Technologies at 1-800-284-7437 :**

- a) Pier height exceeds 48" c) Roof eaves exceed 16" e) Location is within 1500 feet of coast
- b) length of home exceeds 76' d) Sidewall height exceed 96"

INSTALLATION OF GROUND PAN

2. Remove weeds and debris in an approximate two foot square to expose firm soil for each ground pan (C) .
3. Place ground pan (C) directly below chassis I-beam. Press or drive pan firmly into soil until flush or below soil then install pier per manufacturer's instructions or per Florida Regs.

SPECIAL NOTE: The longitudinal "V" brace system may also serve as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-third inch (1/3") before home is lowered completely on to piers, complete steps 4 through 9 below then remove jacks.

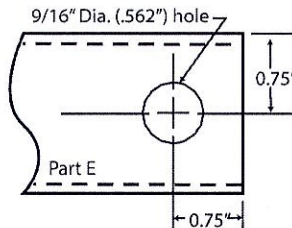
INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM (Model 1101 L "V")

NOTE: WHEN INSTALLING THE LONGITUDINAL SYSTEM ONLY, A MINIMUM OF 2 SYSTEMS PER FLOOR SECTION IS REQUIRED. SOIL TEST PROBE SHOULD BE USED TO DETERMINE CORRECT TYPE OF ANCHOR PER SOIL CLASSIFICATION. IF PROBE TEST READINGS ARE BETWEEN 175 & 275 A 5 FOOT ANCHOR MUST BE USED. IF PROBE TEST READINGS ARE BETWEEN 276 & 350 A 4 FOOT ANCHOR MAY BE USED. USE GROUND ANCHORS WITH DIAGONAL TIES AND STABILIZER PLATES EVERY 5'4" . VERTICAL TIES ARE ALSO REQUIRED ON HOMES SUPPLIED WITH VERTICAL TIE CONNECTION POINTS (PER FLORIDA REG.).

4. Choose one of the approved longitudinal tube installations; either Diagram A or B. Then select the correct square tube (E) length from the diagram for appropriate pier height at support location or cut and drill 1.5" square tube to achieve appropriate length.

PIER HEIGHT (40° Min. - 45° Max.)	1.25" Tube Length	1.50" Tube Length
7 3/4" to 25"	22"	18"
24 3/4" to 32 1/4"	32"	18"
33" to 41"	44"	18"
40" to 48"	54"	18"

Diagram A



PIER HEIGHT (40° Min. - 60° Max.)	1.50" Tube Length
14" to 18"	20"
18" to 25"	28"
24" to 35"	39"
30" to 40"	44"
36" to 48"	54"

Diagram B

5. Install (2) of the 1.50" square tubes (E) into the "U" bracket (J), insert carriage bolt and leave nut loose for final adjustment.
6. Place I-beam connector (F) loosely on the bottom flange of the I-beam.
7. (For Diagram A installation) Slide the selected 1.25" tube (E) into a 1.50" tube (E) and attach to I-beam connectors (F) and fasten loosely with bolt and nut. (For Diagram B installation) Attach the selected 1.5" tubes (E) to the I-beam connectors (F) and fasten loosely with bolts and nuts.
8. Repeat steps 6 through 7 to create the "V" pattern of the square tubes loosely in place.
9. Using standard hand tools tighten all nuts and bolts. (For Diagram A installation only, secure 1.25" and 1 .50" tubes using four(4) 1/4"-14 x 3/4" self-tapping screws in pre-drilled holes.)

INSTALLATION OF LATERAL TELESCOPING TRANSVERSE ARM SYSTEM (Model 1101 T "V")

THE MODEL 1101 "V" (LONGITUDINAL & LATERAL PROTECTION) ELIMINATES THE NEED FOR STABILIZER PLATES & FRAME TIES.

NOTE: THE USE OF THIS SYSTEM REQUIRES VERTICAL TIES SPACED AT 5'4".

FOUR FOOT (4') GROUND ANCHOR MAY BE USED EXCEPT WHERE THE HOME MANUFACTURER SPECIFIES DIFFERENT.

10. Install remaining vertical tie-down straps and 4' ground anchors per home manufacturer's instructions. NOTE: Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor per Florida Code.
11. Select the correct square tube brace (H) length for set-up lateral transverse at support location. The lengths come in either 60" or 72" lengths. (With the 1.50" tube as the bottom tube, and the 1.25" tube as the inserted tube.)
12. Install the 1.50 transverse brace (H) to the ground pan connector (D) with bolt and nut.
13. Slide 1.25" transverse brace into the 1.50" brace and attach to adjacent I-beam connector (I) with bolt and nut.
14. Secure 1.50" transverse arm to 1.25" transverse arm using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled holes.



INSTALLATION USING CONCRETE RUNNER/ FOOTER

15. A concrete runner, footer or slab may be used in place of the steel ground pan.
 - a) The concrete shall be minimum 2500 psi mix
 - b) A concrete runner may be either longitudinal or transverse, and must be a minimum of 8" deep with a minimum width of 16 inches longitudinally or 18 inches transverse to allow proper distance between the concrete bolt and the edge of the concrete (see below).
 - c) Footers must have minimum surface area of 441 sq. in. (i.e. 21" square), and must be a minimum of 8" deep.
 - d) If a full slab is used, the depth must be a 4" minimum. Special inspection of the system bracket installation is not required. Footers must allow for at least 4" from the concrete bolt to the edge of the concrete.

NOTE: The bottom of all footings, pads, slabs and runners must be per local jurisdiction.

LONGITUDINAL: (Model 1101 LC "V")

16. When using Part# 1101-W-CPCA (wetset) simply install the bracket in runner/footer **OR** When installing in cured concrete use Part# 101-D-CPCA (dryset). The 1101 (dryset) CA bracket is attached to the concrete using (2) 5/8"x3" concrete wedge bolts (Simpson part # S162300H 5/8" X 3" or Powers equivalent). Place the CA bracket in desired location. Mark bolt hole locations, then using a 5/8" diameter masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the holes. Place wedge bolts into drilled holes, then place 1101 (dry set) CA bracket onto wedge bolts and start wedge bolt nuts. Take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt). The sleeve of concrete wedge bolt needs to be at or below the top of concrete. Complete by tightening nuts.

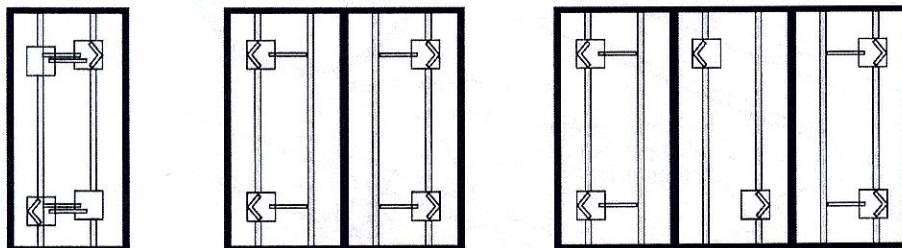
LATERAL: (Model 1101 TC "V")

17. For wet set (part # 1101-W-TACA) installation simply install the anchor bolt into runner/footer. For dry set installation (part # 1101-D-TACA) mark bolt hole locations, then using a 5/8" diam. masonry bit. drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the hole. Place wedge bolts (Simpson part #S162300H 5/8" X 3" or Powers equivalent) into (D) concrete dry transverse connector and into drilled hole. If needed, take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt), then remove the nut. The sleeve of concrete wedge bolt needs to be at or below the top of concrete.
18. When using part# 1101 CVW (wetset) or 1101 CVD (dryset), install per steps 17 & 18.

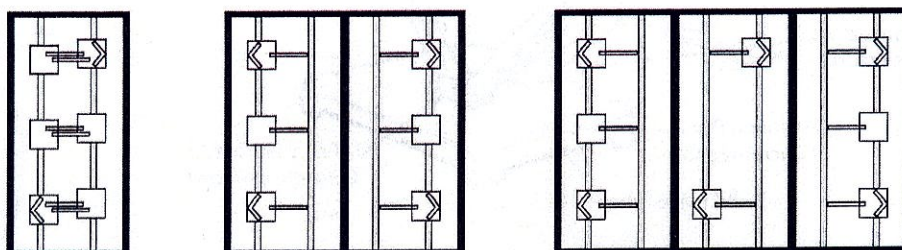
Notes:

1. LENGTH OF HOUSE IS THE ACTUAL BOX SIZE
2. □ = LOCATION OF TRANSVERSE BRACING ONLY
3. ◻ = LOCATION OF LONGITUDINAL BRACING ONLY
4. ◻□ = TRANSVERSE AND LONGITUDINAL LOCATIONS

ALL WIDTHS AND LENGTHS UP TO 52'

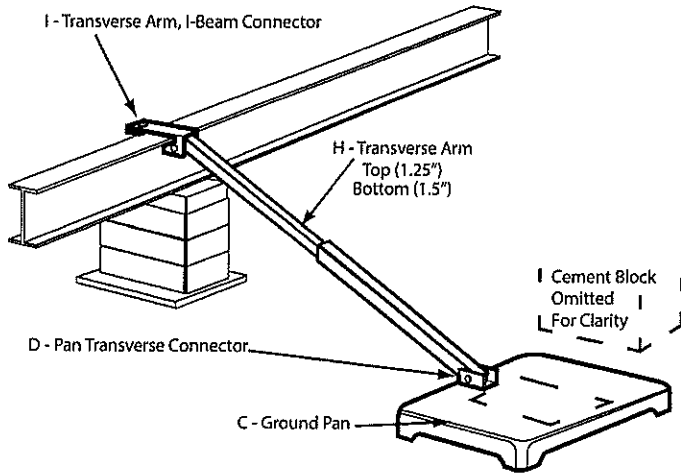


ALL WIDTHS AND LENGTHS OVER 52' TO 80"

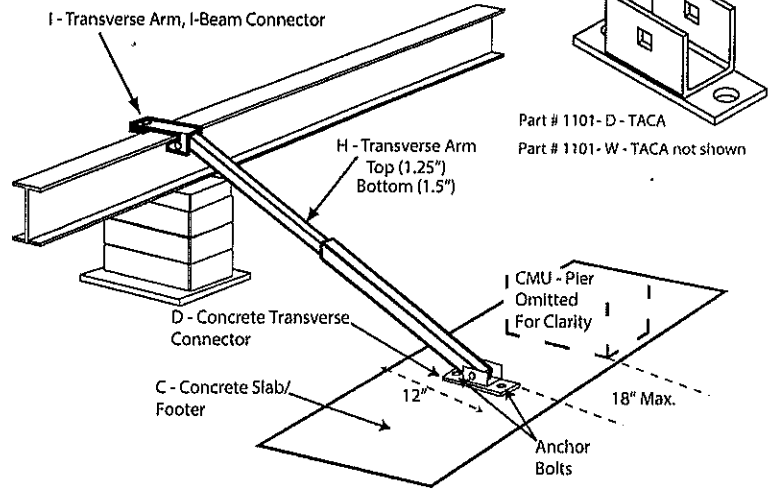


HOMES WITH 5/12 ROOF PITCH REQUIRE: PER FLORIDA REGULATIONS
6 systems for home lengths up to 52' and 8 systems for homes over 52' and up 80'

PATENT# 6634150 & OTHER PATENT PENDING



Model # 1101 T "V"



Model # 1101 TC "V"

Florida approved 4' ground anchors may be used in all locations except where home manufacturers specifications for sidewall straps are in excess of 4,000 lbs. These locations require a 5' anchor. Per Florida code.

C = GROUND PAN / CONCRETE FOOTER OR RUNNER

D = GROUND PAN / CONCRETE U BRACKETS TRANSVERSE CONNECTOR (connects with grade 5 - 1/2" x 2" 1/2" carriage bolt and nut)

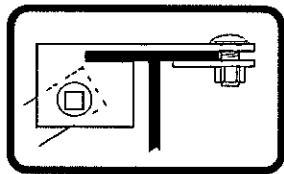
E = TELESCOPING V BRACE TUBE ASSEMBLY (1.5" TUBE BOTTOM AND 1.25" TUBE INSERT) OR 1.5" TUBE

F = "V" BRACE I-BEAM CONNECTOR ASSEMBLY

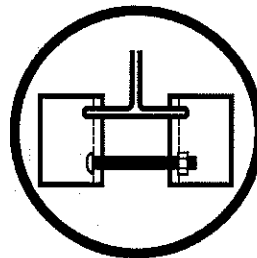
H = TELESCOPING TRANSVERSE ARM ASSEMBLY

I = TRANSVERSE ARM I-BEAM CONNECTOR (connects with grade 5 - 1/2" x 2" 1/2" carriage bolt and nut)

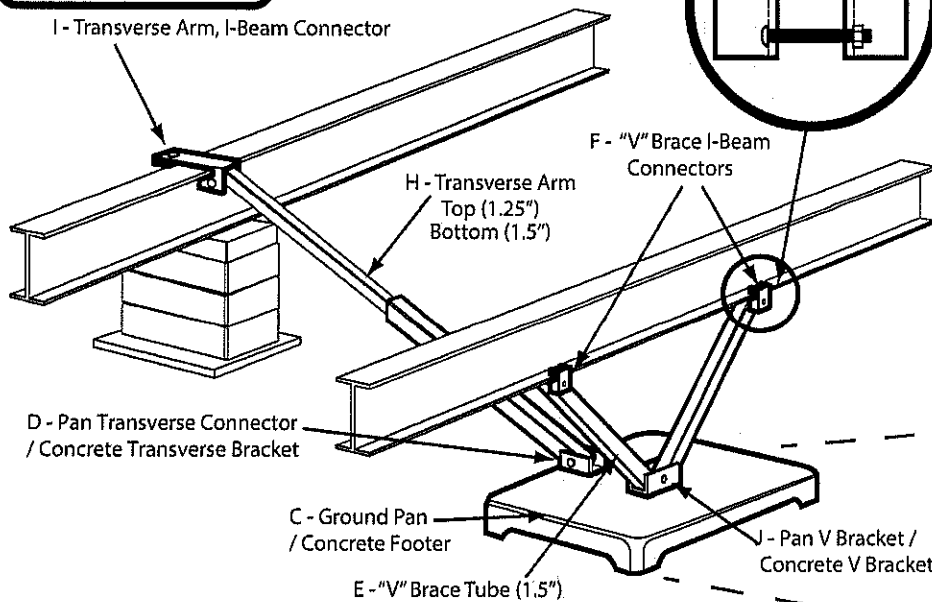
J = V PAN BRACKET (connects with grade 5 - 1/2" x 2" 1/2" carriage bolt and nut)



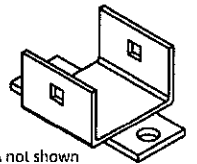
I - Transverse Arm, I-Beam Connector



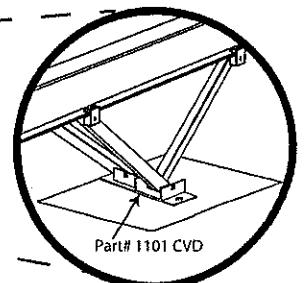
F - "V" Brace I-Beam Connectors



Model # 1101 "V"



Part# 1101 D-CPCA
Part # 1101 W-CPCA not shown



Part# 1101 CVD

Model # 1101 C "V"



Installation Instructions for 1100 "V" Series All Steel Foundation System

SPECIAL CIRCUMSTANCES: *If following conditions occur - STOP!* Contact Oliver Technologies at 1-800-284-7437 for further instructions:

- a) Pier (system) height exceeds 48"
- b) Roof eaves exceed 16"
- c) Roof pitch greater than 7/12
- d) Location is within 1500 feet of coastline
- e) Soil conditions less than 4B
- f) Thick and wide I Beam attachments are available.

INSTALLATION OF GROUND PAN FOR DIRT SET (IV)

- 1) Remove weeds and debris in an approximate three foot square to expose firm, level undisturbed soil or controlled fill for each ground pan. The 1100 V Pan is equivalent to a 21 x 21 footing. Top of ground pan (C) must be installed at ground level or per local jurisdiction.
- 2) Place center ground pan (C) directly below chassis I-beam. Press or drive pan completely into soil until flush with or below soil.

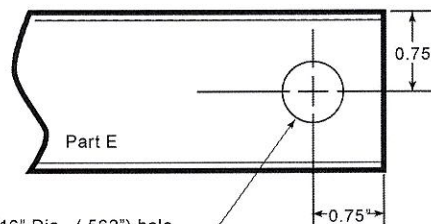
SPECIAL NOTE: The longitudinal "V" brace system serves as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-half inch (1/2") before home is lowered completely onto piers, complete items 3 through 7 below.

INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM

- 3) Select the correct square tube brace (E) length for set-up (pier) height at support location.

PIER HEIGHT (Approx. 40-60 degrees Max.)	1.5" Tube Length
14" to 18"	20"
18" to 25"	28"
24" to 35"	39"
30" to 40"	44"
36" to 48"	54"

PIER HEIGHT = the dimension from the top of the pan to the bottom of the I-Beam



- 4) Install both of the 1.5" square tubes (E) into the "V" bracket (J), insert carriage bolt and leave nut loose for final adjustment.
- 5) Place I-beam connector (F) loosely on the bottom flange of the I-beam.
- 6) Attach the selected 1.5" tubes (E) to the I-beam connectors (F) and fasten loosely with bolts and nuts. NOTE: The ground pan must be level in both directions to ensure the angle markings on the center point connector are correct from the horizontal plane of the pan. The angle is not to exceed 60 degrees and not less than 40 degrees. The "V" bracket (J) is stamped with the angles to verify correct degree. Use proper length tube or cut and drill tube to achieve proper length. (The tube may be cut using any appropriate steel cutting method such as steel saw, cutting torch, etc. New holes must be drilled to the dimension and at the location as shown for part (E).
- 7) Using standard hand tools, tighten all nuts and bolts. When connecting the brace tube to the model 1100-10-P I-beam connector bracket, tighten at least one and a half to two full turns past hand tight.

INSTALLATION OF (LATERAL) TELESCOPING TRANSVERSE ARM SYSTEM (1100 ITV)

- 8) Select the correct transverse arm (H). The 60" sections are standard. The 72" sections are used on frame widths greater than 99.5".
- 9) Install the 1.5" transverse brace (H) to the ground pan connector (D) with the bolt and nut.
- 10) Slide 1.25" transverse brace into the 1.5" brace and attach to adjacent I-beam connector (I) with bolt and nut.
- 11) Secure 1.5" transverse arm to 1.25" transverse arm using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled pilot holes.

INSTALLATION USING CONCRETE (ICV)

The concrete footer, runner or slab may be of any shape, that has a minimum of 2900 cu. in., with a minimum depth of 3.5" (dry set) or 6" (wet set), at each system location. The surface of the footing shall be large enough to support the pier load and allow at least 4" from the concrete bolt to the edge of the concrete (ie. 22"x22"x6" footer). The concrete shall be a minimum of 2500 psi mix (pre-blended sacked concrete mix is acceptable). Special inspection of footing is not required. If the 1100 ITC transverse system, (D (W or D) bracket only) is to be installed without the use of the 1100 ILC (V) longitudinal system (J (W or D) bracket), it MUST be installed within 18" of pier.

NOTE: The bottom of all footings, pads, slabs and runners must be per local jurisdiction.

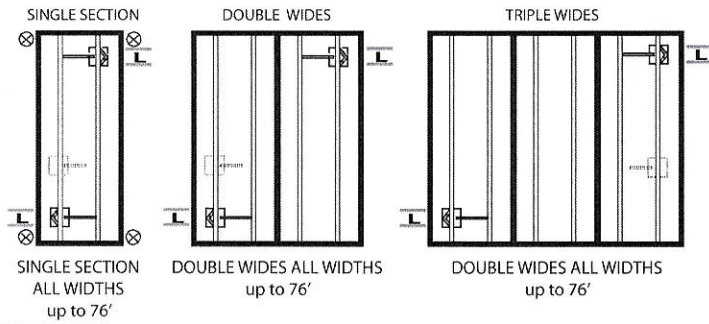
LONGITUDINAL (V)

When using the 1100 wet set J(W) bracket, simply install the bracket in runner/footer OR when installing in cured concrete, use the 1100 dry set J(D) bracket. The 1100 dry set J(D) bracket is attached to the concrete using (2) 1/2" X 3" concrete wedge bolts. Place the bracket in desired location. Mark bolt hole locations, then using a 1/2" masonry bit, drill a hole to a minimum depth of 3". Be sure all dust is blown out of the holes. Place wedge bolts into drilled holes, then place 1100 J(D) bracket onto wedge bolts and start wedge bolt nuts. Take a hammer and lightly drive the wedge bolts down by hitting the nut (Do not hit the top of threads on bolt). Complete by tightening the nuts.

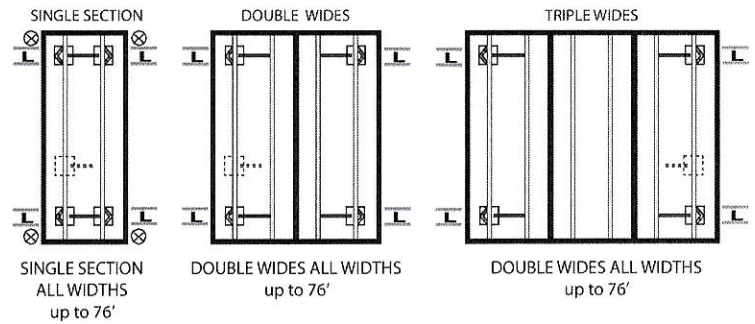
LATERAL (Transverse Arm)

For wet set installation set the transverse connector bracket D(W) into runner/footer at desired location. For dry set installations, the transverse connector bracket D(D) is attached to the concrete using (2) 1/2" X 3" concrete wedge bolts. Mark bolt hole locations, then using a 1/2" masonry bit, drill a hole to a minimum depth of 3". Be sure all dust is blown out of the holes. Place wedge bolts into drilled holes, then place transverse connector bracket J(D) bracket onto wedge bolts and start wedge bolt nuts. Take a hammer and lightly drive the wedge bolts down by hitting the nut (Do not hit the top of threads on bolt.) Complete by tightening the nuts.

**REQUIRED NUMBER AND LOCATION OF MODEL
1100 "V" SERIES BRACES FOR 4/12 & 5/12**



**REQUIRED NUMBER AND LOCATION OF MODEL
1100 "V" SERIES BRACES FOR 6/12 & 7/12**



(Length of house is actual box size)

LEGEND:

1. - L - Approximate location of the system (See note H)
2. - [Symbol] - Location of ASF Model 1100 "V" (Lateral and Longitudinal Bracing) or 1100 T (Lateral only)
3. - [Symbol] - Location of additional ASF Model 1100 T "V" System (Lateral only) for homes exceeding 76' in length or with roof pitch between 4.37/12 (20 degrees) and 5/12, the additional system is to be installed at approximately the midpoint of the house and may be installed at either exterior beam.
4. - ⊗ - Installation of single wide homes require two (2) anchors per side located not more than ten (10) feet from each end (with a minimum of 3150 load rating)
5. - [Symbol] - Location of additional ASF Model 1100 T "V" System (Lateral only) for homes exceeding 76' in length, sidewall height exceeding 96' or with roof pitch between 6/12 & 7/12 the additional system is to be installed at approximately the midpoint of the house and may be installed at either exterior beam.

NOTE:

- a) Installation of the longitudinal system eliminates the need for the longitudinal anchors.
- b) Installation of the transverse system eliminates the need for all anchors, diagonal frame ties and stabilization plates except when noted. (Legend #5 & note C)
- c) All other home manufacturer's instructions for installation of stabilizing devices must be followed, including installation of vertical tie-down anchors, and mating line column, shear wall or center-line tie-down anchors. NOTE WIND ZONE II: ALL VERTICAL ANCHORS (NOT TO EXCEED 8' SPACING) MUST BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS!
- d) If the home manufacturer's installation instructions are not available, the home must be installed in accordance with any state promulgated rules or as required by the authority having jurisdiction.
- e) If bolts, nuts and tech screws are lost, they may be replaced as long as they meet or exceed the specs for OTI ASFS hardware.
- f) When the length of home exceeds 76', sidewall height exceeds 96' or the roof pitch is between 4.37/12 (20 degrees) and 5/12, add 1 transverse system (see location diagrams above) 6/12: a total of 4 Transverse & 3 Longitudinal systems are needed & 7/12: a total of 5 Transverse & 3 Longitudinal systems are needed. (Longitudinal portion only required when longitudinal bracing is required by home manufacturer).
- g) An alternative method using the 1100 CVD anchors (dry set) or 1100 CVW (wet set) may be used on a footing size of 16" diameter X 24" depth. These brackets are designed for lateral and longitudinal protection.
- h) It is recommended that the systems be installed at the 2nd pier in from each end of the house. However, they may be installed at any location at least 2 feet, but not more than 1/4 the house length, in from the ends of the home.

STATE OF MICHIGAN ONLY: As required by Section 1805.2 of the 200 Michigan Building Code, the depth of the footer shall be a minimum depth of 42 inches below grade, except that the authority having jurisdiction may approve a lesser depth based on known prevailing soil and weather conditions, or as provided by the exception under Section 1805.2.1 of the Code.

STATE OF ALABAMA ONLY: Maximum pier height is limited to 32" with pier defined in the Alabama Regulation as "that portion of the support system between the top of the footing and the bottom of the pier cap."

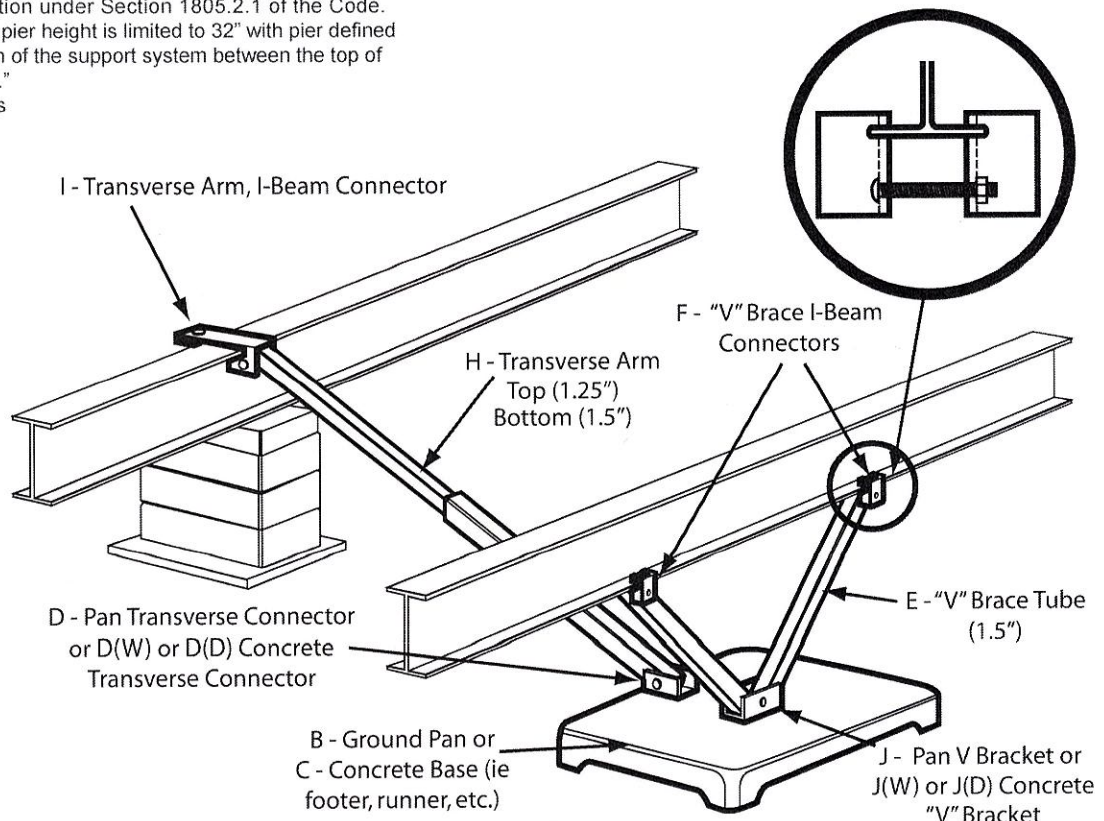
The State of Alabama limits the use of this system to H.U.D labeled homes.

STATE OF NORTH CAROLINA ONLY:

Tubing must be galvanized and, when the manufacturer's installation instructions are not available, vertical wall tie-downs must be installed not to exceed 8-feet on center. (Wind Zone II)

STATE OF IDAHO ONLY:

Concrete must be a minimum of 8" in depth.



**For use on all Mobile and Manufactured Homes, including
HUD approved Homes and Modular Building
Patent #5503500 and other patents pending**

GENERAL INSTRUCTIONS:

1. All pads are to be installed flat side down, ribbed side up.
2. The ground under the pads should be leveled as smooth as possible with all vegetation and debris removed. Pads to be placed on evenly compacted soil, at or below the frost-line or otherwise protected from the effects of frost. Refer to NCSBCS/ANSI A225.1
3. Pier & pad spacing will be determined by the manufactured homes' written set-up instructions or any local or state codes.
4. Center blocks on ABS pad and complete pier.
5. The open cells between the ribbing on the upper side of the pads may be filled with soil or sand after installation to prevent any accumulation of stagnant water in the pads.
6. A pocket penetrometer may be used to determine the unconfined compressive strength of the soil. If no soil testing equipment is available – use an assumed soil value of 1000 lbs. / square foot.

NOTES:

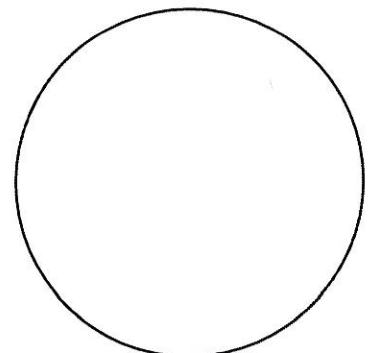
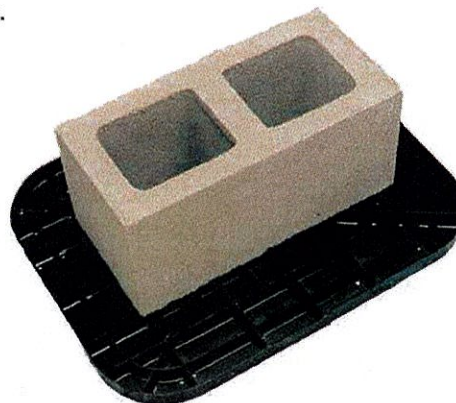
1. All pad sizes shown are nominal dimensions and may vary up to 1/8".
2. The maximum deflection in a single pad is 5/8" measured from the highest point to the lowest point of the top face.
(NOTE: Actual test results were less than 5/8")
3. Pad loads are the same when using single stack or double stack blocks.
4. The maximum load at any intermediate soil value may be interpolated between the next lower and next higher soil values given in the table below.
5. Any ABS pad configuration may be used to replace a home manufacturer's recommended concrete or wood base pad.
6. Steel Piers: All pads are tested with steel piers on 1000 PSF soil density unless otherwise noted. If required, attach with 2" #12 x 1/2" hex tech screws. Minimum Pier Base 7 1/4". Multi-Pad configurations require a minimum 9 1/4" pier base.
7. Available pads tested on 2000 PSF soil capacity using steel piers are: ID #1055-14, 1055-9, 1055-7 and 1055-13.
8. If soil capacities exceed 3000 psf, use the 3000 psf soil values from the table.
9. Any pad may be stacked directly on top of an identical pad. The second pad should also be installed flat side down. Such a configuration provides the same allowable load capacity as the single pad.

PAD SIZE	ID NO.	PAD AREA	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
Oval 16" x 18.5"	1055-23	288 sq. in.	2000 lbs.	3000 lbs.	4000 lbs.	5000 lbs.	6000 lbs.
Oval 17" x 22"	1055-16	360 sq. in.	2500 lbs.	3750 lbs.	5000 lbs.	6250 lbs.	7500 lbs.
Oval 17.5" x 22.5"	1055-21	384 sq. in.	2667 lbs.	4000 lbs.	5334 lbs.	6667 lbs.	8000 lbs. *
Oval 17.5" x 25.5"	1055-17	432 sq. in.	3000 lbs.	4500 lbs.	6000 lbs.	7500 lbs.	9000 lbs. *
Oval 21" x 29"	1055-22	576 sq. in.	4000 lbs.	6000 lbs.	8000 lbs. *	10000 lbs. *	12000 lbs. *
Oval 23.25" x 31.25"	1055-20	675 sq. in.	4688 lbs.	7032 lbs.	9376 lbs. *	11720 lbs. *	14064 lbs. *

PAD SIZE	ID NO.	PAD AREA	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF
Square 16" x 16"	1055-14	256 sq. in.	1778 lbs.	2664 lbs.	3556 lbs.	4445 lbs.	5333 lbs.
Square 18.5" x 18.5"	1055-9	342 sq. in.	2375 lbs.	3550 lbs.	4750 lbs.	5935 lbs.	7100 lbs.
Square 20" x 20"	1055-7	400 sq. in.	2750 lbs.	4125 lbs.	5500 lbs.	6875 lbs.	8250 lbs. *
Square 24" x 24"	1055-13	576 sq. in.	4000 lbs.	6000 lbs.	8000 lbs. *	8000 lbs. *	8000 lbs. *
Square 24" x 24"	1055-26	576 sq. in.	4000 lbs.	6000 lbs.	8000 lbs. *	10000 lbs. *	12000 lbs. *

* Indicates that Piers are required to be double blocked.
EXAMPLE: 16' x 80' section (Alabama only)

PAD SIZE	1000 PSF	2000 PSF
Oval 16" x 18.5"	3'0"	6'0"
Oval 17" x 22"	3'9"	7'6"
Oval 17.5" x 22.5"	4'0"	8'0"
Oval 17.5" x 25.5"	4'5"	8'0"
Oval 21" x 29"	6'0"	8'0"



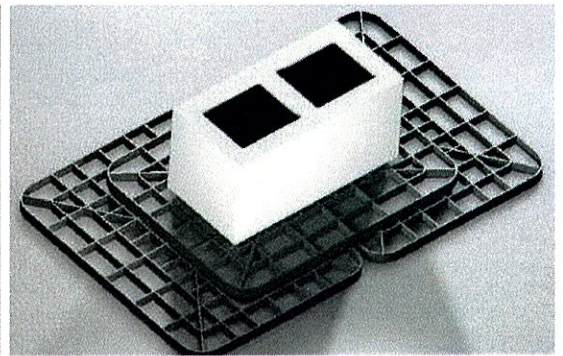
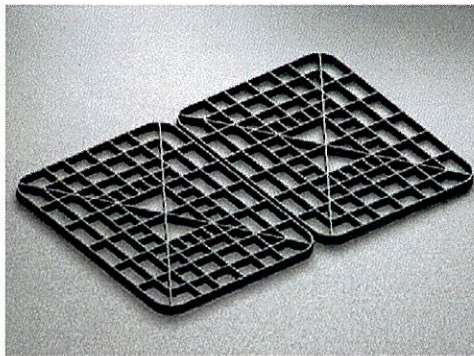
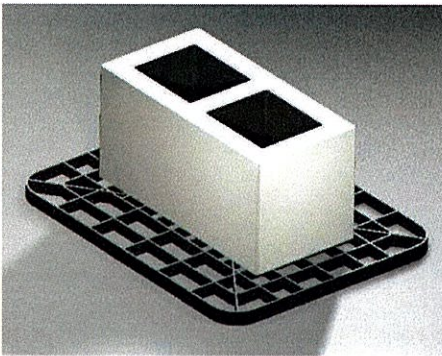
ENGINEER APPROVAL

Multi-Pad Configurations

ABS Pad Types			8" Cell Block	Soil Bearing Value	Maximum Load	
Oval 16" x 18.5" Pad	2.00 Square Feet	ID # 1055-23	32" x 18.5" Pad Configuration	Single Stack	1000 lbs. / sq. ft.	4000 lbs.
Oval 32" x 18.5" Pad Configuration (03)	4.00 Square Feet			Double Stack	2000 lbs. / sq. ft.	8000 lbs. *
Oval 17" x 22" Pad	2.50 Square Feet	ID # 1055-16	34" x 22" Pad Configuration	Single Stack	1000 lbs. / sq. ft.	5000 lbs.
Oval 34" x 22" Pad Configuration (03)	5.00 Square Feet			Double Stack	2000 lbs. / sq. ft.	10000 lbs. *
Oval 17.5" x 25.5" Pad	3.00 Square Feet	ID # 1055-17	35" x 25.5" Pad Configuration	Single Stack	1000 lbs. / sq. ft.	6000 lbs.
Oval 35" x 25.5" Pad Configuration (03)	6.00 Square Feet			Double Stack	2000 lbs. / sq. ft.	12000 lbs. *

*Concrete blocks are only rated at 8000 pounds, 8001 pounds and higher must be double stacked.

PAD ASSEMBLY



STEP 1 - 17" x 22" ABS Pad

**STEP 2 - (2) 17" x 22" ABS PADS
(34" x 22" Configuration)**

**STEP 3 - Complete Assembly
34" x 22" Multi-pad Configuration**

NOTES:

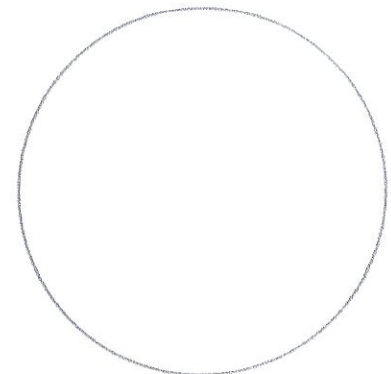
1. General instructions (on reverse) apply to all multi – pad configurations.
2. The 32" x 18.5" pad configuration is formed by using (3) 16" x 18.5" ABS Pads. Place (2) 16" x 18.5" side by side, and place (1) 16" x 18.5" on top, laid in the opposite direction to the bottom pads.
3. The 34" x 22" pad configuration is formed by using (3) 17" x 22" ABS Pads. Place (2) 17" x 22" pads side by side, and (1) 17" x 22" pad on top. The top pad is laid in the opposite direction as the bottom pads.
4. The 35" x 25.5" pad configuration is formed by using (3) 17.5" x 25.5" ABS Pads. Place (2) 17.5" x 25.5" pads side by side, and (1) 17.5" x 25.5" pad on top. The top pad is laid in the opposite direction to the bottom pads.

STATE SPECIFIC NOTES:

TEXAS: 17.5" x 22.5" ID #1055-21 and 23.25" x 31.25" ID #1055-20 may not be installed in the State of Texas. ID#1055-26 may not be used in conjunction with metal piers.

CALIFORNIA: Use an assumed value of 1000 lb/sq. ft. unless engineering and calculations are provided.

ALABAMA : For the State of Alabama all ABS pads shall not have more than 3/8" deflection. See chart on page one for details on correct installation in Alabama. The 23.25" x 31.25" ID#1055-20 may not be installed in the State of Alabama.



ENGINEER APPROVAL

2017

Florida Building Code

Residential Section

R311 and R312

STAIR DETAIL

R311.7.2 Headroom

R311.7.5.1 Riser Height

R311.7.5.2 Tread Depth

R311.7.8 Handrails

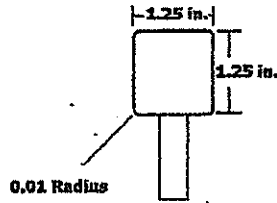
R311.7.8.2 Continuity

R311.7.8.3 Handrail Grip Size

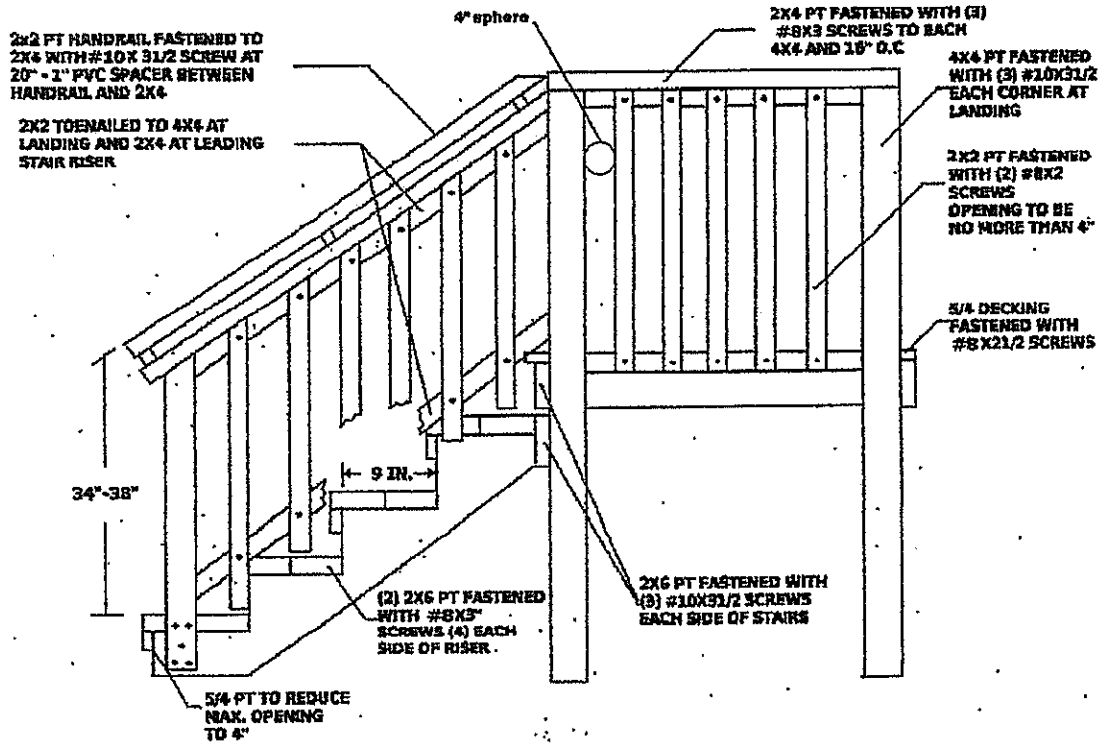
R312.1.2 Guards

R312.1.3 Guard Opening Limits

Noncircular Handrail



Handrail that is not circular must have a perimeter of 4 IN. Min. and 6.25 IN. Max. with a cross section dimension of 2.25 inches



STEP HAS A LANDING MEASUREMENT OF 40" X 40"

RISER HEIGHT IS 7 3/4" max.