



Columbia County Property Appraiser

Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 27-6S-17-09784-138 (43597) | MOBILE HOME (0200) | 10.13 AC
LOT 38 & 39 SHADOW WOOD S/D UNIT 2. 756-1532, 768-1737, 888-1446, 979-2495, 991-2950, DC 1308-1020, LE 1305-123, ACM 1437-1628, WD 1507-952, WD 1511-

Owner: SAULS TRACY R SAULS WILLIAM EUGENE JR 432 SE STARDUST PL LAKE CITY, FL 32024		2025 Working Values			
Site:	432 SE STARDUST PL, LAKE CITY	Mkt Lnd	\$63,275	Appraised	\$97,158
		Ag Lnd	\$0	Assessed	\$68,338
		Bldg	\$17,519	Exempt	\$68,338
		XFOB	\$16,364		county:\$0
Sales	3/25/2024	\$100	I (U)	Just	\$97,158
Info	2/2/2024	\$100	I (P)	Total	city:\$0
	11/25/2015	\$100	I (U)	Taxable	other:\$0
					school:\$0

NOTES:

Columbia County, FL



The information presented on this website was derived from data which was compiled by the Columbia County Property Appraiser solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. The GIS Map image is not a survey and shall not be used in a Title Search or any official capacity. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. This website was last updated: 1/16/2025 and may not reflect the data currently on file at our office.

PREPARED BY & RETURN TO:

Name: Tracy & William Sauls
Address: 432 & 324 SE STARDUST PLACE, LAKE CITY,
FL 32024
Parcel No.: 09784-138

Inst: 202412006103 Date: 03/25/2024 Time: 1:26PM
Page 1 of 1 B: 1511 P: 94 James M Swisher Jr, Clerk of Court
Columbia County, Fl: KH
Deputy ClerkDoc Stamp-Deed: 0.70

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This **CORRECTIVE WARRANTY DEED**, made the 25th day of March, 2024, by **TRACY R. SAULS, E/K/A TRACY RAE WISE AND WILLIAM EUGENE SAULS, JR., WIFE AND HUSBAND**, hereinafter called the Grantor, to **TRACY R. SAULS and WILLIAM EUGENE SAULS, JR., WIFE AND HUSBAND**, whose post office address is 432 & 324 SE STARDUST PLACE, LAKE CITY, FL 32024, hereinafter called the Grantees:

WITNESSETH: That the Grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantees all that certain land situate in County of Columbia, State of Florida, viz:

LOTS 38 & 39, SHADOW WOOD S/D, UNIT 2, A SUBDIVISION AS RECORDED IN PLAT BOOK 6, PAGES 24, 24A AND 24B, COLUMBIA COUNTY, FLORIDA. SUBJECT TO RESTRICTIONS RECORDED IN O.R. BOOK 757, PAGES 1720-1721, COLUMBIA COUNTY, FLORIDA, AND SUBJECT TO POWER LINE EASEMENT.

LEGAL PROVIDED BY GRANTOR.

THIS DEED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH OR SURVEY AND MAKES NO WARRANTIES AGAINST THE SAME.

THIS DEED IS BEING GIVEN TO CORRECT THE LEGAL DESCRIPTION IN THAT CERTAIN WARRANTY DEED RECORDED FEBRUARY 2, 2024, IN O.R. BOOK 1507, PAGE 952, AS INSTRUMENT NO. 202412002198.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

SUBJECT TO TAXES FOR THE YEAR 2024 AND SUBSEQUENT YEARS, RESTRICTIONS, RESERVATIONS, COVENANTS AND EASEMENTS OF RECORD, IF ANY.

TO HAVE AND TO HOLD the same in fee simple forever.

And the Grantor hereby covenants with the Grantees that the Grantor is lawfully seized of said land in fee simple, that the Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever. Grantor further warrants that said land is free of all encumbrances, except as noted herein and except taxes accruing subsequent to December 31, 2024.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents, the day and year first above written.
Signed, sealed and delivered in the presence of:

Jenna A. Nettles
Witness Signature
Printed Name: Jenna A. Nettles
Witness Address: 157 W Doyle St
Lake City, FL 32055

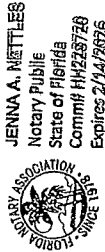
Tracy R. Sauls
Name: TRACY R. SAULS L.S.
Address: 432 AND 324 SE STARDUST PLACE, LAKE CITY, FL
32024

George Panish
Witness Signature
Printed Name: George Panish
Witness Address: 250 DUNN ST
Lake City, FL 32055

William Eugene Sauls Jr
Name: WILLIAM EUGENE SAULS, JR L.S.
Address: 432 AND 324 SE STARDUST PLACE, LAKE CITY, FL
32024

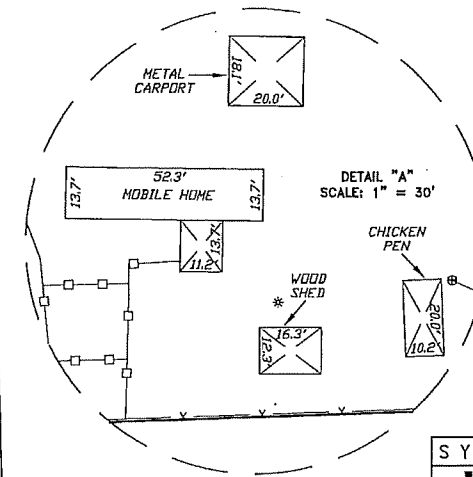
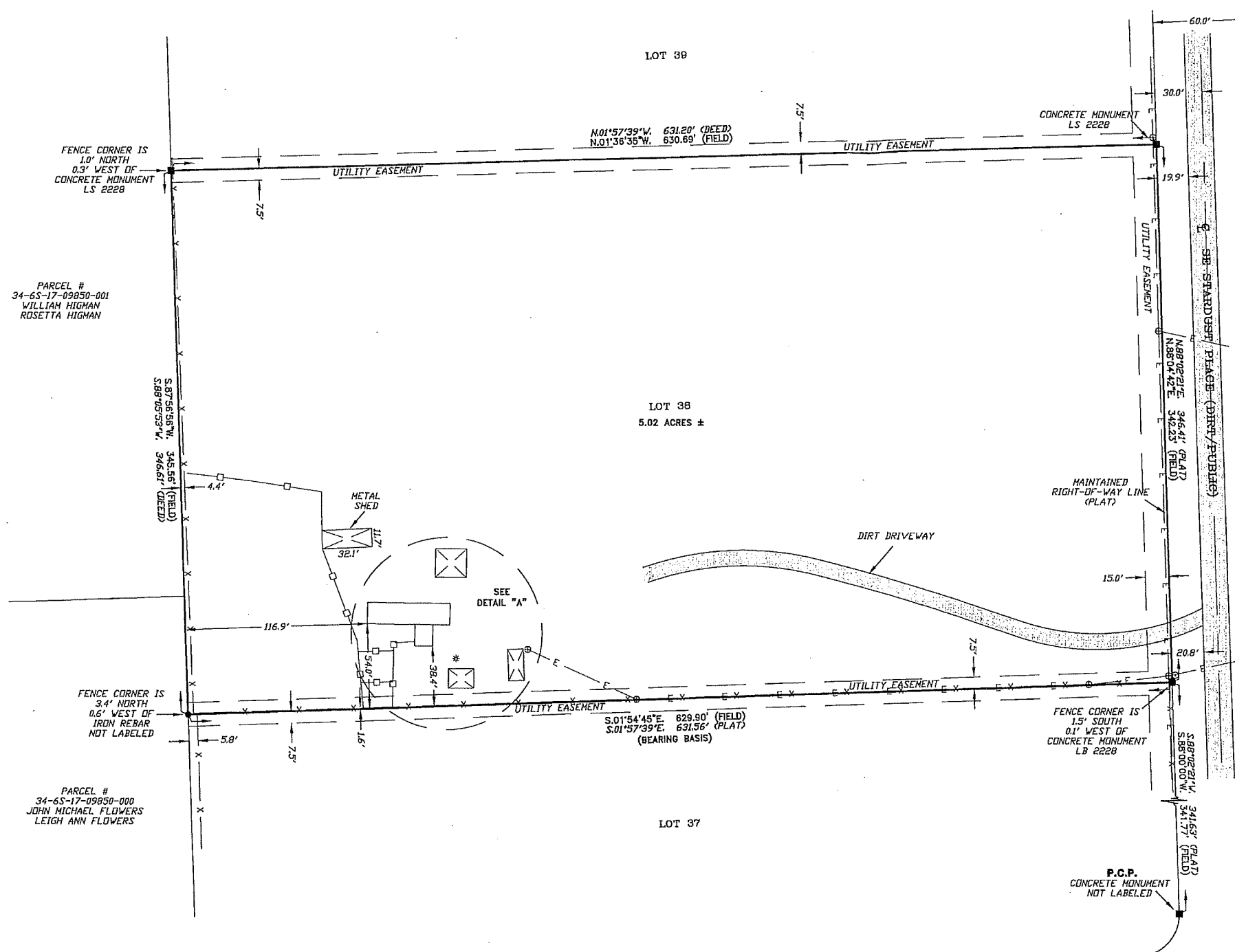
STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 25th day of March, 2024, by TRACY R. SAULS and WILLIAM EUGENE SAULS, JR., who are personally known to me or who has produced Driver's License as identification.

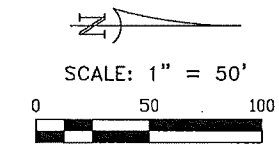


Jenna A. Nettles
Signature of Notary
Printed Name: Jenna A. Nettles
My commission expires: 2-14-26

A BOUNDARY SURVEY IN SECTION 27, TOWNSHIP 6 SOUTH,
RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.



SYMBOL LEGEND:	
■	1/4\" CONCRETE MONUMENT FOUND
□	1/4\" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON REBAR AND CAP SET
×	\"X\" CUT IN PAVEMENT
+	CALCULATED PROPERTY CORNER
⊙	NAIL & DISK
⊕	POWER POLE
+	SIGN POST
▲	WATER METER
⊙	TELEPHONE BOX
*	WELL
⊙	SANITARY MANHOLE
⊕	CENTERLINE
---	SECTION LINE
-E-	ELECTRIC LINES
-X-	WIRE FENCE
-o-	CHAIN LINK FENCE
-□-	WOODEN FENCE
(PLAT)	AS PER A PLAT OF RECORD
(DEED)	AS PER A DEED OF RECORD
(CALC)	AS PER CALCULATIONS
(FIELD)	AS PER FIELD MEASUREMENTS
P.R.M.	PERMANENT REFERENCE MARKER
P.C.P.	PERMANENT CONTROL POINT



DESCRIPTION
LOT 38, SHADOW WOOD UNIT 2, A SUBDIVISION AS RECORDED IN PLAT BOOK 6, PAGE(S) 24, 24A, 24B, COLUMBIA COUNTY, FLORIDA.
SUBJECT TO RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 757, PAGE(S) 1720-1721, COLUMBIA COUNTY, FLORIDA, AND SUBJECT TO POWER LINE EASEMENT.
CONTAINING 5.02 ACRES MORE OR LESS.

- SURVEYOR'S NOTES:**
- BOUNDARY BASED ON MONUMENTATION FOUND.
 - BEARINGS ARE BASED ON THE EAST LINE OF PARCEL SHOWN HEREON WITH A DEEDED BEARING OF S.01°57'39\"E.
 - IT IS APPARENT THAT THIS PARCEL IS IN ZONE \"X\" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 4 FEBRUARY, 2009 FROM PANEL NUMBER 12023C051C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
 - THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 - IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 - THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
 - DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
 - THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
 - THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

CERTIFIED TO:
TRACY R. SAULS
WILLIAM EUGENE SAULS, JR.

SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

12/12/2024	12/19/2024	JY	
FIELD SURVEY DATE	DRAWING DATE	DRAWN BY	L. SCOTT BRITT, P.S.M.
			CERTIFICATION # 5757

NOTE: UNLESS IT BEARS THE ORIGINAL SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

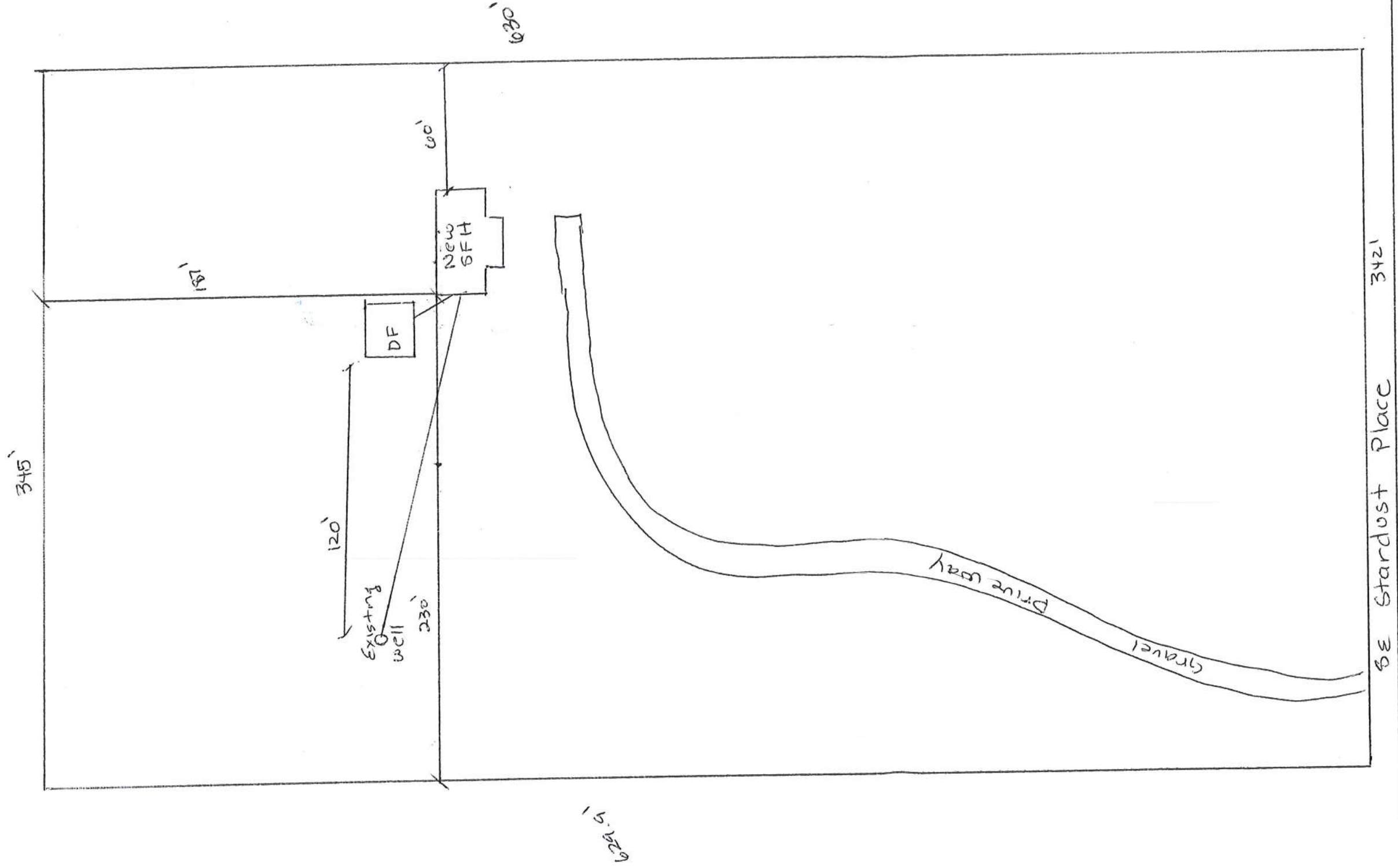


**BRITT SURVEYING
& MAPPING, LLC**

LAND SURVEYORS AND MAPPERS, L.B. # 8016
1438 SW MAIN BLVD,
LAKE CITY, FLORIDA, 32025

www.brittsurvey.com
TELEPHONE: (386) 752-7163 FAX: (386) 752-5573
JOB NUMBER: **L-30963**

FIELD BOOK: SEE PAGE(S): FILE



Sauls Residence
 PID 27-65-17-09784-138

3/16 = 10'
 11x17 Paper

X