DATE 25/13/2008	Columbia County B This Permit Must Be Prominently Poster	PERMIT 000027001		
APPLICANT ROGER C	ULPEPPER	PHONE	288-4349	
ADDRESS 291	SW POWELL GLEN	FT. WHITE		FL 32038
OWNER ROGER C	ULPEPPER	PHONE	288-4349	
ADDRESS 291	SW POWELL GLEN	FT. WHITE		FL 32038
CONTRACTOR ROC	GER CULPEPPER	PHONE	288-4349	
LOCATION OF PROPER	TY 47S, TR ON WATSON, TL ON	DREW FEAGLE, TL ON F	POWELL GLEN,	
	3RD DRIVE ON LEFT			
TYPE DEVELOPMENT	REMODEL BUILDING ES	STIMATED COST OF CO	NSTRUCTION	21000.00
HEATED FLOOR AREA	TOTAL AR	EA	HEIGHT	STORIES
FOUNDATION	WALLS	ROOF PITCH	FL.	OOR
LAND USE & ZONING	A-3	MAX	HEIGHT _	
Minimum Set Back Requir			25.00	SIDE 25.00
NO. EX.D.U. 0	FLOOD ZONE X	DEVELOPMENT PERM	MIT NO.	
PARCEL ID 29-5S-16-	03737-126 SUBDIVISIO	ON		
LOT BLOCK	PHASE UNIT	TOTA	L ACRES	
		Pares (white	
Culvert Permit No.	Culvert Waiver Contractor's License Nu	mber Hogel	Applicant/Owner/	Contractor
EXISTING	07-1007 BK	JI	•	Y
Driveway Connection	Septic Tank Number LU & Zon	ing checked by App	roved for Issuanc	e New Resident
Driveway Connection COMMENTS: 100		ing checked by App	roved for Issuanc	e New Resident
.1		ing checked by App		
.1		ing checked by App	Check # or Ca	
.1			Check # or Ca	
.1	on life	NG DEPARTMENT	Check # or Ca	ash 1666
COMMENTS: 10C	FOR BUILDING & ZONI	NG DEPARTMENT	Check # or Ca	ash 1666
COMMENTS: 10C	FOR BUILDING & ZONI Foundation date/app. by Slab	NG DEPARTMENT date/app. by	Check # or Ca	(footer/Slab) date/app. by Nailing
Temporary Power Under slab rough-in plumb	FOR BUILDING & ZONI Foundation date/app. by ing date/app. by	NG DEPARTMENT date/app. by date/app. by	Check # or Ca ONLY Monolithic Sheathing/	ash 1666 (footer/Slab) date/app. by
Temporary Power Under slab rough-in plumb	FOR BUILDING & ZONI Foundation date/app. by ing date/app. by Rough-in plumbing a	NG DEPARTMENT date/app. by	Check # or Ca ONLY Monolithic Sheathing/	date/app. by date/app. by date/app. by
Temporary Power Under slab rough-in plumb	FOR BUILDING & ZONI Foundation date/app. by ing date/app. by Rough-in plumbing a p. by Heat & Air Duct	date/app. by date/app. by above slab and below wood	Check # or Ca ONLY Monolithic Sheathing/	date/app. by date/app. by date/app. by date/app. by
Temporary Power Under slab rough-in plumb Framing	FOR BUILDING & ZONI Foundation date/app. by ing Slab date/app. by Rough-in plumbing a	date/app. by date/app. by above slab and below wood	Check # or Ca ONLY Monolithic Sheathing/	date/app. by date/app. by date/app. by date/app. by
Temporary Power Under slab rough-in plumb Framing	FOR BUILDING & ZONI Foundation date/app. by ing date/app. by Rough-in plumbing a p. by Heat & Air Duct date/app. by C.O. Final	date/app. by date/app. by date/app. by date/app. by date/app. by	Check # or Ca ONLY Monolithic Sheathing/	date/app. by date/app. by date/app. by date/app. by date/app. by
Temporary Power Under slab rough-in plumb Framing	FOR BUILDING & ZONI Foundation date/app. by ing date/app. by Rough-in plumbing a p. by Heat & Air Duct date/app. by C.O. Final te/app. by	date/app. by date/app. by date/app. by date/app. by date/app. by	Check # or Ca ONLY Monolithic Sheathing/ floor Peri. beam (Linte	date/app. by date/app. by date/app. by date/app. by
Temporary Power Under slab rough-in plumb Framing date/ap Electrical rough-in Permanent power da M/H tie downs, blocking, electrical solutions.	FOR BUILDING & ZONI Foundation date/app. by ing Slab date/app. by Rough-in plumbing a p. by Heat & Air Duct date/app. by C.O. Final te/app. by ectricity and plumbing	date/app. by date/app. by date/app. by date/app. by date/app. by date/app. by	Check # or Ca ONLY Monolithic Sheathing/ floor Peri. beam (Linte Culvert Pool	date/app. by date/app. by date/app. by date/app. by date/app. by
Temporary Power Under slab rough-in plumb Framing date/ap Electrical rough-in Permanent power da M/H tie downs, blocking, el Reconnection	FOR BUILDING & ZONI Foundation date/app. by ing date/app. by Rough-in plumbing a p. by Heat & Air Duct date/app. by C.O. Final te/app. by ectricity and plumbing Pump pole late/app. by date/app. by	date/app. by date/app. by date/app. by date/app. by date/app. by	Check # or Ca ONLY Monolithic Sheathing/ floor Peri. beam (Linte Culvert Pool	date/app. by
Temporary Power Under slab rough-in plumb Framing	FOR BUILDING & ZONI Foundation date/app. by ing Slab date/app. by Rough-in plumbing a p. by Heat & Air Duct date/app. by C.O. Final te/app. by ectricity and plumbing Pump pole late/app. by Travel Trailer	date/app. by date/app. by date/app. by date/app. by date/app. by date/app. by Utility Pole/app. by	Check # or Ca ONLY Monolithic Sheathing/ floor Peri. beam (Linte Culvert Pool e	date/app. by
Temporary Power Under slab rough-in plumb Framing	FOR BUILDING & ZONI Foundation date/app. by ing date/app. by Rough-in plumbing a p. by Heat & Air Duct date/app. by C.O. Final te/app. by ectricity and plumbing Pump pole late/app. by Travel Trailer	date/app. by date/app. by date/app. by date/app. by date/app. by date/app. by Utility Pole/app. by date/app. by	Check # or Ca ONLY Monolithic Sheathing/I floor Peri. beam (Linte Culvert Pool e	date/app. by date/app. by
Temporary Power Under slab rough-in plumb Framing date/ap Electrical rough-in Permanent power da M/H tie downs, blocking, ele Reconnection M/H Pole	FOR BUILDING & ZONI Foundation date/app. by ing date/app. by Rough-in plumbing a p. by Heat & Air Duct date/app. by C.O. Final te/app. by ectricity and plumbing date/app Pump pole late/app. by Travel Trailer	date/app. by date/app. by date/app. by date/app. by date/app. by date/app. by Utility Pole/app. by date/app. by EE\$ 0.00	Check # or Ca ONLY Monolithic Sheathing/I floor Peri. beam (Linte Culvert Pool date/app. by Re-roof SURCHARGE	date/app. by date/app. by

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

FLOOD ZONE FEE \$ 25.00

FLOOD DEVELOPMENT FEE \$

INSPECTORS OFFICE

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

CULVERT FEE \$

CLERKS OFFICE

180.00

TOTAL FEE

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0801 54 Date Received 1-30-08 By LH Permit # 27001
Zoning Official 3 N Date 67.02.08 Flood Zone FEMA Map # N/A Zoning A-3
Land Use A-3 Elevation NA MFE River NA Plans Examiner KTH Date 2-4-08
Comments
Dev Permit # □ In Floodway □ Letter of Authorization from Contractor
□ Unincorporated area □ Incorporated area □ Town of Fort White □ Town of Fort White Compliance letter
Septic Permit No Fax
Name Authorized Person Signing Permit Roger Culpepper Phone 386 288.4349
Address 291 S.W. Powell GLN, FORT WHITE, FLA. 32638
Owners Name BARBARA SUSAN TURNINCASA Phone
911 Address Same as above
Contractors Name OWNER Phone
Address
Fee Simple Owner Name & Address
Bonding Co. Name & Address N/A
Architect/Engineer Name & Address FREEMAN 161 NW Madison ST.
Mortgage Lenders Name & Address り (A
Circle the correct power company – FL Power & Light – Clay Elec. – Suwannee Valley Elec. – Progress Energy
Property ID Number 29-55-16-03131-126 Estimated Cost of Construction 21,000. 50
Subdivision Name TURKEY HAVEN LOT# 11B Lot Block Unit Phase
Driving Directions 475 to Watson right, to Left Drew feagle, Left on
Powell GLD., 3rd Drive on Left
Number of Existing Dwellings on Property METAL BIDG.
Construction of REMODLE BUILDING Total Acreage 5.10 Lot Size 5.10
Do you need a - <u>Culvert Permit</u> or <u>Culvert Waiver</u> or <u>Have an Existing Drive</u> Total Building Height
Actual Distance of Structure from Property Lines - Front 285 Side 270 Side 50 Rear 1000
Number of Stories Heated Floor Area 1242 Total Floor Area 1242 Roof Pitch 4 12
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards

Page 1 of 2 (Both Pages must be submitted together.)

of all laws regulating construction in this jurisdiction.

<u>WARNING TO OWNER:</u> YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

<u>YOU ARE HEREBY NOTIFIED</u> as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

CONTRACTORS AFFIDAVIT: By my signature I under written statement to the owner of all the above writtens building Permit.	rstand and agree that I have informed and provi itten responsibilities in Columbia County for obt	ded this aining
Contractor's Signature (Permitee)	Contractor's License Number Columbia County Competency Card Number	
Affirmed under penalty of perjury to by the <u>Contractor</u> ar Personally known or Produced Identification <i>C</i> ^L	nd subscribed before me this 30 day of Jan	20 _ <u>(</u>) 8.
La He	SFAI:	

State of Florida Notary Signature (For the Contractor)

LAURIE HODSON
MY COMMISSION # DD 333503
EXPIRES: June 28, 2008
Bonded Thru Notary Public Underwriters

Jan' 30 2008 2:16PM TIRE MART

13867520180

STATE OF FLORIDA COUNTY OF COLUMBIA

AFFIDAVIT

and the same of th
This is to certify that I, (We), Burbing Clusar Toxning , as the
seller, by an Agreement for Deed, of the below described property:
Tax Parcel No. 29-55-16-03737-126
Subdivision (Name, lot, Block, Phase) LOT IIB TURKEY HAVE AL
Give my permission for BRodger Culpepper to place a (Mobile Home Travel Trailer Single Family Home)
I (We) understand that this could result in an assessment for solid waste and fire
protection services levied on this property.
Serbera Jusen Johnnesse (2) Seller Signature
Sworn to and subscribed before me this 30 day of Junuary, 2008. This
(These) person (s) are personally known to me or produced ID DL# T655-0776-0827 (Type)
Amparo Mendoza Notary Public Signature Notary Printed Name My commission expires: 05/19/2011 Amparo Mendoza Notary Printed Name Amparo Mendoza Notary Printed Name My commission expires: 05/19/2011

O GATCHANT TO LOS

COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave.. Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

NOTARIZED DISCLOSURE STATEMENT

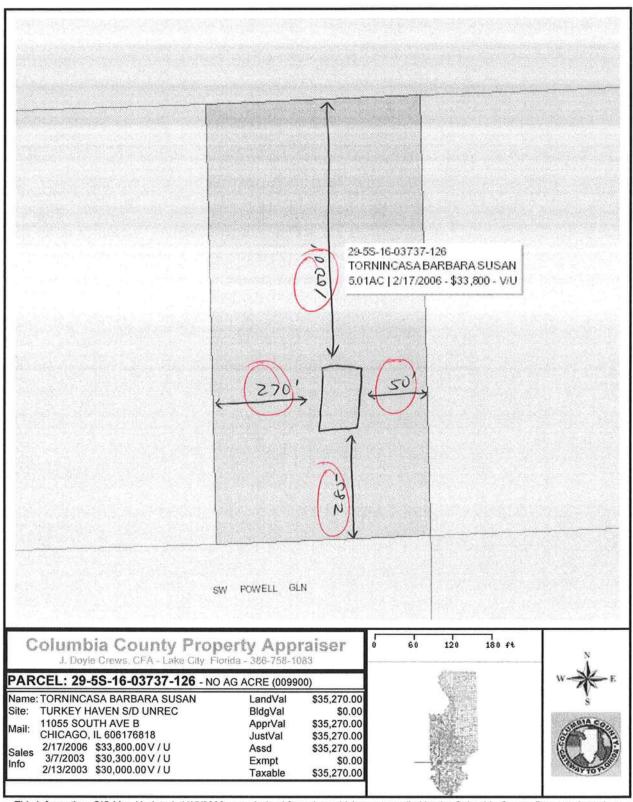
FOR OWNER/BUILDER WHEN ACTING AS THER OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$75,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved for yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that if I am not physically doing the work or physically supervising free labor from friends or relatives, that I must hire licensed contractors, i.e. electrician, plumber, mechanical (heating & air conditioning), etc. I further understand that the violation of not physically doing the work, and the use of unlicensed contractors at the construction site, will cause the project to be shut down by the inspection staff of the Columbia County Building Department. Additionally, state statutes allows for additional penalties. I also understand that if this violation does occur, that in order for the job to proceed, I will have a licensed contractor come in and obtain a new permit as taking the job over. I understand that if I hire subcontractors under a contract price, that they must be licensed to work in Columbia County, i.e. masonry, drywall, carpentry. Contractors licensed by the Columbia County Contractor Licensing Section or the State of Florida are required to have worker's compensation and liability coverage.

TYPE OF CONSTRUCTION

	TYPE OF CONSTRUCTION		
() Single Family Dwelling	() Two-Family Residence	() Farm Outbui	ilding
WOther Remodel	() Addition, Alteration, Modifica	tion or other Improve	ment
	, have been advised of the a		
	er/builder. I agree to comply with all requir		n Florida Statutes
ss.489.103(7) allowing this exceptio	n for the construction permitted by Columb	oia County Building	
Permit Number	* Rogge	ulpeggen	1-30-08
	Owner Builder S	Signature	Date
FLORIDA NOTARY	V		
The above signer is personally know	n to me or produced identification <u>C41</u>	1-724-67-20	17-0
Notary Signature	Date 1-20-08	LAURIE I MY COMMISSIO	ON # DD 333503
FOR BUILDING DEPARTMENT USE O	DNLY	EXPIRES: Ju Bonded Thru Notary	Jne 28, 2008 Public Underwriters
I hereby certify that the above listed	d owner/builder has been notified of the dis	sclosure statement in	Florida Statutes
ss 489.103(7). Date 1-20-06	Building Official/Representative	2. Il	



This information, GIS Map Updated: 1/15/2008, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

QUIT CLAIM DEED

THIS QUIT-CLAIM DEED, Executed this \(\ldot\) day of February, 2006, by Roger Culpepper and his wife. Pandora Culpepper, first party, to Barbara Susan Tornincasa, second party, whose post office address is 11055 South Avenue B, Chicago, IL 60617-6818.

WITNESSETH, That the said first party, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Columbia, State of Florida, to wit:

See Exhibit "A" attached hereto and by this reference made a part thereof.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence

WITNESS NICOLE STORE

Roger Culpepper

WITNESS Traci LANDRY

Pandora Culpepper

STATE OF FLORIDA COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared Roger Culpepper and his wife, Pandora Culpepper, to me known to be the person(s) described in and who executed the foregoing instrument and he/she/they acknowledged before me that he/she/they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 16 day of February, 2006.

(SEAL)

NICOLE COLETTE STORER
MY COMMISSION # DD 496892
EXPIRES: December 6, 2009
Bonded Thru Notery Public Underwriters

NOTARY PUBLIC

My Commission Expires:

Inst:2006004227 Date:02/21/2006 Time:15:13 Doc Stamp-Deed: 0.70

DC,P.DeWitt Cason,Columbia County B: 1074 P:2192

ATS #15582

"Exhibit A"

Lot # 11B Turkey Haven, an unrecorded subdivision in Section 29 & 32, Township 5 South, Range 16 East, Columbia County, Florida.

The East ½ of Lot 11; Being more particularly described as follows; Commence at the Northeast corner of the SW ¼ Section 29, Township 5 South, Range 16 East, Columbia County, Florida and run thence S 00°15′41" E, along the East line of said SW ¼, 1335.65 feet; thence S 89 01'09" W 1305.72 feet to the Point of Beginning; thence continue S 89°01'09" W 652.86 feet; thence S 00°15'41" E, 668.61 feet; thence N 89°01'09" E, 652.86 feet; thence N 00°15'41" W, 668.61 feet to the Point of Beginning. The South 30 feet of said lands being subject to an easement for ingress and egress.

Inst:2006004227 Date:02/21/2006 Time:15:13 Doc Stamp-Deed: 0.70

DC,P.DeWitt Cason,Columbia County B:1074 P:2193

P.C.

161 N.W. Madison St. Suite 102 Lake City, Florida 32055

Tel: 386-758-4209 Fax: 386-758-4290

February 4, 2008

Columbia County Building Dept. Lake City, FL. 32055

RE: Culpepper Residence Permit # 0801-154

To Whom It May Concern:

The existing structure has been inspected and has numerous deficiencies according to the Florida Building Code. Engineered drawings have been provided indicating the necessary repairs to bring the structure up to code. I will perform the final inspection on the repairs to verify compliance with the plans. Once the repairs have been completed, I will notify you by certified letter. If you have any questions, please call me at (386) 758-4209.

Sincerely,

William H. Freeman, P.E.

Willia H. Freeme

President

Certificate of Authorization # 00008701

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Builder: TBA Permitting Office: Columbia County Permit Number: 2700 / Jurisdiction Number: 221000
Cooling systems a. Central Unit Cap: 24.0 kBtu/hr SEER: 13.00 N/A Heating systems Electric Heat Pump/Split N/A N/A Hot water systems Electric Resistance Cap: 30.0 gallons EF: 0.93 N/A Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump) HVAC credits (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)
13880 15792 PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: (A)

DATE: ___________

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: ______
DATE:

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL:	O WE I
DATE:	

SUMMER CALCULATIONS

ADDRESS: ,,,	DEDMIT
7.DD11.E00. , , ,	PERMIT #:

BASE		AS-	BUILT			
GLASS TYPES .18 X Conditioned X BSPM = Points Floor Area	C Type/SC Orr	verhang nt Len	Hgt Area	X SPM X	SOF	= Points
.18 1242.0 18.59 4156.0	1.Double, Clear	N 1.0	0.0 30.	0 19.20	0.59	341.0
	2.Double, Clear	N 1.0			0.59	91.0
	3.Double, Clear	N 1.0	0.0 8.	0 19.20	0.59	91.0
	4.Double, Clear	N 1.0	0.0 2.3	3 19.20	0.59	25.0
	5.Double, Clear	E 1.0	0.0 45.0	0 42.06	0.36	675.0
	6.Double, Clear	S 1.0	0.0 30.0	35.87	0.43	464.0
	7.Double, Clear	S 1.0	0.0	35.87	0.43	123.0
	8.Double, Clear	S 1.0	0.0 10.0	35.87	0.43	154.0
	9.Double, Clear	S 1.0	0.0 7.	싫다 그런 경기 경기 없다.	0.43	110.0
	10.Double, Clear	W 1.0	0.0	38.52	0.37	115.0
	As-Built Total:		156.4			2189.0
WALL TYPES Area X BSPM = Points	Туре	R-	Value Are	a X SPN	Л =	Points
Adjacent 0.0 0.00 0.0 Exterior 1413.0 1.70 2402.1	1. Frame, Wood, Exterior		13.0 1413.0	1.50		2119.5
Exterior 1413.0 1.70 2402.1						
Base Total: 1413.0 2402.1	As-Built Total:	-	1413.0			2119.5
DOOR TYPES Area X BSPM = Points	Туре		Are	a X SPN	Λ =	Points
Adjacent 0.0 0.00 0.0	1.Exterior Insulated		40.0	4.10		164.0
Exterior 120.0 6.10 732.0	2.Exterior Insulated		80.0	4.10		328.0
Base Total: 120.0 732.0	As-Built Total:		120.0			492.0
CEILING TYPES Area X BSPM = Points	Туре	R-Valu	e Area X	SPM X SC	CM =	Points
Under Attic 1242.0 1.73 2148.7	1. Under Attic	1	19.0 1242.0	2.34 X 1.00		2906.3
Base Total: 1242.0 2148.7	As-Built Total:		1242.0			2906.3
FLOOR TYPES Area X BSPM = Points	Туре	R-N	√alue Area	a X SPM	1 =	Points
Slab 176.0(p) -37.0 -6512.0 Raised 0.0 0.00 0.00	Slab-On-Grade Edge Insulation		0.0 176.0(p	-41.20		-7251.2
Base Total: -6512.0	As-Built Total:		176.0			-7251.2
INFILTRATION Area X BSPM = Points			Area	X SPM	=	Points
1242.0 10.21 12680.8			1242.	0 10.21		12680.8

SUMMER CALCULATIONS

ADDRESS: , , ,	PERMIT #:	

BASE Summer Base Points: 15607.6			AS-BUILT			
		15607.6	Summer As-Built Points:	13136.4		
Total Summer Points	X System Multiplier	= Cooling Points	Total X Cap X Duct X System X Credit Component Ratio Multiplier Multiplier Multiplier Multiplier (System - Points) (DM x DSM x AHU)			
15607.6	0.3250	5072.5	(sys 1: Central Unit 24000btuh ,SEER/EFF(13.0) Ducts:Unc(S),Unc(R),Int(AH),R6.0(II 13136 1.00 (1.09 x 1.147 x 0.86) 0.260 1.000 13136.4 1.00 1.081 0.260 1.000	3691.5 3691.5		

WINTER CALCULATIONS

TO M SET MINE AND INDIVIDUAL SET MAY	
ADDRESS: ,,,	DEDMT 4
ADDITIOO.,,,	PERMIT#:

BASE		AS	-BUILT	Γ			
GLASS TYPES .18 X Conditioned X BWPM = Points Floor Area		Overhang nt Len	l Hgt Are	ea X	WPM X	wo	F = Points
.18 1242.0 20.17 4509.0	1.Double, Clear	N 1.0		30.0	24.58	1.03	757.0
	2.Double, Clear	N 1.0		8.0	24.58	1.03	201.0
	3.Double, Clear	N 1.0	0.0	8.0	24.58	1.03	201.0
	4.Double, Clear	N 1.0	0.0	2.3	24.58	1.03	56.0
	5.Double, Clear	E 1.0	0.0	45.0	18.79	1.51	1274.0
	6.Double, Clear	S 1.0	0.0	30.0	13.30	3.66	1460.0
	7.Double, Clear	S 1.0	0.0	8.0	13.30	3.66	389.0
	8.Double, Clear	S 1.0	0.0	10.0	13.30	3.66	486.0
	9.Double, Clear	S 1.0		7.1	13.30	3.66	346.0
	10.Double, Clear	W 1.0	0.0	8.0	20.73	1.24	205.0
	As-Built Total:		15	6.4			5375.0
WALL TYPES Area X BWPM = Points	Туре	R-	Value	Area	X WPM	1 =	Points
Adjacent 0.0 0.00 0.0	1. Frame, Wood, Exterior	1	13.0 141	3.0	3.40		4804.2
Exterior 1413.0 3.70 5228.1	alliana and a state of the stat			0.0	0.10		4004.2
Base Total: 1413.0 5228.1	As-Built Total:		141	3.0			4804.2
DOOR TYPES Area X BWPM = Points	Туре		A	Area .	X WPM	=	Points
Adjacent 0.0 0.00 0.0	1.Exterior Insulated		40	0.0	8.40		336.0
Exterior 120.0 12.30 1476.0	2.Exterior Insulated		80	0.0	8.40		672.0
Base Total: 120.0 1476.0	As-Built Total:		120	0.0			1008.0
CEILING TYPES Area X BWPM = Points	Туре	R-Value	Area 2	X WP	M X WC	M =	Points
Under Attic 1242.0 2.05 2546.1	1. Under Attic	B	19.0 1242	2.0 2.7	70 X 1.00		3353.4
Base Total: 1242.0 2546.1	As-Built Total:		1242	2.0			3353.4
FLOOR TYPES Area X BWPM = Points	Туре	R-Y	Value /	Area 2	X WPM	=	Points
Slab 176.0(p) 8.9 1566.4 Raised 0.0 0.00 0.0	Slab-On-Grade Edge Insulation	i	0.0 176.0)(p	18.80		3308.8
Base Total: 1566.4	As-Built Total:		176	5.0			3308.8
INFILTRATION Area X BWPM = Points			А	rea X	WPM	=	Points
1242.0 -0.59 -732.8			1	1242.0	-0.59		-732.8

WINTER CALCULATIONS

ADDRESS: ,,,	PERMIT #:

BASE			AS-BUILT							
Winter Base	Points:	14592.8	Winter As-Built Points: 17116.6							
Total Winter X Points	System = Multiplier	Heating Points	Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points (System - Points) (DM x DSM x AHU)							
14592.8	0.5540	8084.4	(sys 1: Electric Heat Pump 24000 btuh ,EFF(8.5) Ducts:Unc(S),Unc(R),Int(AH),R6.0 17116.6 1.000 (1.069 x 1.169 x 0.88) 0.401 1.000 7581.4 17116.6 1.00 1.104 0.401 1.000 7581.4							

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: , , , PERMIT #:

	BASE				AS-BUILT								
WATER HEA Number of Bedrooms	X	Multiplier	=	Total	Tank Volume	EF	Number of Bedrooms	х	Tank X Ratio	Multiplier	X Credit Multiplier		
1		2635.00		2635.0	30.0	0.93	1		1.00	2606.67	1.00	2606.7	
					As-Built To	otal:						2606.7	

				CODE	C	OMPLI	ANCE	S	TATUS	3			
BASE				AS-BUILT									
Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	=	Total Points
5072		8084		2635		15792	3692		7581		2607		13880

PASS



Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: ,,,	PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum:.3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked cir breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 86.6

The higher the score, the more efficient the home.

Roger	Cul	pep	per		

1.	New construction or existing	New		12	Cooling systems		
2.	Single family or multi-family	Single family	-		Central Unit	Co 24 0 1 Dr. //	620
3.	Number of units, if multi-family	Single failing	_	a.	Central Onit	Cap: 24.0 kBtu/h	
4.	Number of Bedrooms	1	-	h	N/A	SEER: 13.00	_
5.	Is this a worst case?	Yes	_	U.	IVA		-
6.	Conditioned floor area (ft²)	1242 ft²	_	C	N/A		-
7.	Glass type ¹ and area: (Label reqd. by 13		-	U.	NA .		_
		Description Area		13	Heating systems		-
1,575%	(or Single or Double DEFAULT) 7a. (Dble Default) 156 4 ft2			Electric Heat Pump/Split	Cap: 24.0 kBtu/hi	_
b.	SHGC:	Dole Delauit) 150.4 It	_		Electric Fleat Famp/Spin	HSPF: 8.50	
	(or Clear or Tint DEFAULT) 7b.	(Clear) 156.4 ft ²		b	N/A	H3FF. 6.30	_
8.	Floor types	(Cicar) 150.4 It		0.	*****		_
	Slab-On-Grade Edge Insulation	R=0.0, 176.0(p) ft		c.	N/A		_
	N/A		_				-
c.	N/A		_	14.	Hot water systems		_
9.	Wall types		_		Electric Resistance	Cap: 30.0 gallons	
a.	Frame, Wood, Exterior	R=13.0, 1413.0 ft ²				EF: 0.93	_
b.	N/A		ST - 74	b.	N/A	231.0.75	_
c.	N/A		-				_
d.	N/A		_	c.	Conservation credits		_
e.	N/A		10000		(HR-Heat recovery, Solar		_
10.	Ceiling types				DHP-Dedicated heat pump)		
a.	Under Attic	R=19.0, 1242.0 ft ²		15.	HVAC credits		
b.	N/A				(CF-Ceiling fan, CV-Cross ventilation,		_
c.	N/A				HF-Whole house fan,		
11.	Ducts				PT-Programmable Thermostat,		
a.	Sup: Unc. Ret: Unc. AH(Sealed):Interio	or Sup. R=6.0, 50.0 ft	_		MZ-C-Multizone cooling,		
b.	N/A		_		MZ-H-Multizone heating)		
I cer	tify that this home has complied wi	th the Florida Energy	Effici	iencv	Code For Building		
Cons	struction through the above energy	saving features which	will h	e ins	talled (or exceeded)	OF THE STATE	à.
	is home before final inspection. Oth					3/100	B
	d on installed Code compliant featu		. opiuj	Curt	a oe completed	Z V	SI
Buil	der Signature:		Date:			E E	D _A
Addı	ress of New Home:	-	City/F	FL Zij	p:	COD WE TRUS	
Silvano Usinino						COMMITTEE OF	

*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is <u>not</u> a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.

1 Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4. EnergyGauge® (Version: FLRCPB v4.5.2)

BUILDING INPUT SUMMARY REPORT

FLOORS PROJECT	Title: Pole Barn Renovation Family Ty Owner: Roger Culpepper New/Exist # of Units: 1 Bedrooms Builder Name: TBA Condition Climate: North Total Stor Permit Office: Columbia County Worst Cas Jurisdiction #: (blank) Rotate An # Floor Type R-Val Area/Perimeter Units 1 Slab-On-Grade Edge Insulation 0.0 176.0(p) ft 1	ng: New Lot #: N/A 1 Subdivision: N/A 2d Area: 1242 Platbook: N/A es: 1 Street: (blank) e: Yes County: (blank)
CEILINGS	# Ceiling Type R-Val Area Base Area Un 1 Under Attic 19.0 1242.0 ft² 1242.0 ft² 1 Credit Multipliers: None # Wall Type Location R-Val Area Uni	1 Central Unit SEER: 13.00 24.0 kBtu/hr Credit Multipliers: None # System Type Efficiency Capacity
WALLS	1 Frame - Wood Exterior 13.0 1413.0 ft ² 1	1 Electric Heat Pump/Split HSPF: 8.50 24.0 kBtu/hr Credit Multipliers: None # Supply Return Air Handler Supply Supply
	# Panes Tint Ornt Area OH Length OH Hight U 1 Double Clear N 15.0 ft² 1.0 ft 0.0 ft 2 Double Clear N 2.0 ft² 1.0 ft 0.0 ft 3 Double Clear N 8.0 ft² 1.0 ft 0.0 ft 4 Double Clear N 2.3 ft² 1.0 ft 0.0 ft 5 Double Clear E 15.0 ft² 1.0 ft 0.0 ft 6 Double Clear S 30.0 ft² 1.0 ft 0.0 ft 7 Double Clear S 2.0 ft² 1.0 ft 0.0 ft 8 Double Clear S 10.0 ft² 1.0 ft 0.0 ft 9 Double Clear S 7.1 ft² 1.0 ft 0.0 ft 10 Double Clear W 8.0 ft² 1.0 ft 0.0 ft	# Supply Return Air Handler Supply Length 1 Uncond. Uncond. Interior 6.0 50.0 ft Credit Multipliers: AHU sealed # System Type EF Cap. Conservation Type Con. EF 1 Electric Resistance 0.93 30.0 None 0.00
WINDOWS		# Use Default? Annual Operating Cost Electric Rate 1 Yes N/A N/A
MISC	NOTE: Not all Rating info shown HRV/ERV Syste	connects: N/A Dryer Type: Electric System Proposed: No Stove Type: Electric

EnergyGauge® (Version: FLRCPB v4.5.2)

Residential System Sizing Calculation

Summary Project Title:

Roger Culpepper

Project Title: Pole Barn Renovation

Code Only Professional Version

Climate: North

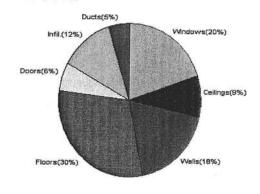
1/17/2008

				1/1/1/200	0
Location for weather data: Gaine	sville - Def	aults: Latiti	ude(29) Altitude(152 ft.) Temp Ran	nge(M)	
Humidity data: Interior RH (50%) Outdoor	wet bulb (7	7F) Humidity difference(54gr.)	0 , 7	
Winter design temperature	33		Summer design temperature	92	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	37	F	Summer temperature difference	17	F
Total heating load calculation	25440	Btuh	Total cooling load calculation	20646	Btuh
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	94.3	24000	Sensible (SHR = 0.75)		18000
Heat Pump + Auxiliary(0.0kW)	94.3	24000	Latent	229.1	
			Total (Electric Heat Pump)	116.2	24000

WINTER CALCULATIONS

Winter Heating Load (for 1242 sqft)

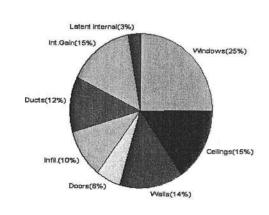
oad component			Load	
Window total	156	sqft	5033	Btuh
Wall total	1413	sqft	4640	Btuh
Door total	120	sqft	1554	Btuh
Ceiling total	1242	sqft	2253	Btuh
Floor total	176	sqft	7684	Btuh
Infiltration	75	cfm	3019	Btuh
Duct loss			1257	Btuh
Subtotal			25440	Btuh
Ventilation	0	cfm	0	Btuh
TOTAL HEAT LOSS			25440	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 1242 sqft)

Load component	74		Load		
Window total	156	sqft	5134	Btuh	
Wall total	1413	sqft	2947	Btuh	
Door total	120	sqft	1176	Btuh	
Ceiling total	1242	sqft	3166	Btuh	
Floor total			0	Btuh	
Infiltration	38	cfm	709	Btuh	
Internal gain		-5500050	3090	Btuh	
Duct gain			1806	Btuh	
Sens. Ventilation	0	cfm	0	Btuh	
Total sensible gain		. 400	18028	Btuh	
Latent gain(ducts)			626	Btuh	
Latent gain(infiltration)			1392	Btuh	
Latent gain(ventilation)	0	Btuh			
Latent gain(internal/occ	600	Btuh			
Total latent gain	: [[[[[[]]]]] [[[]] [[[]] [[]] [[] [[]				
TOTAL HEAT GAIN			20646	Btuh	



Version 8
For Florida residences only

EnergyGauge®	System Sizing/
PREPARED BY	
DATE:	1/17/08
	1/11/20

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Roger Culpepper

Project Title: Pole Barn Renovation

Code Only Professional Version

Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F This calculation is for Worst Case. The house has been rotated 225 degrees.

1/17/2008

Component Loads for Whole House

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft) X	HTM=	Load
1	2, Clear, Metal, 0.87	SW	30.0	32.2	966 Btuh
2	2, Clear, Metal, 0.87	SW	8.0	32.2	258 Btuh
3	2, Clear, Metal, 0.87	SW	8.0	32.2	258 Btuh
4	2, Clear, Metal, 0.87	SW	2.3	32.2	72 Btuh
5	2, Clear, Metal, 0.87	NW	45.0	32.2	1449 Btuh
6	2, Clear, Metal, 0.87	NE	30.0	32.2	966 Btuh
7	2, Clear, Metal, 0.87	NE	8.0	32.2	258 Btuh
8	2, Clear, Metal, 0.87	NE	10.0	32.2	322 Btuh
9	2, Clear, Metal, 0.87	NE	7.1	32.2	229 Btuh
10	2, Clear, Metal, 0.87	SE	8.0	32.2	258 Btuh
	Window Total		156(sqft)	1800000000	5033 Btuh
Walls	Туре	R-Value	Area X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	1413	3.3	4640 Btuh
	Wall Total		1413		4640 Btuh
Doors	Туре		Area X	HTM=	Load
1	Insulated - Exterior		40	12.9	518 Btuh
2	Insulated - Exterior		80	12.9	1036 Btuh
	Door Total		120		1554Btuh
Ceilings	Type/Color/Surface	R-Value	Area X	HTM=	Load
1	Vented Attic/D/Shin	19.0	1242	1.8	2253 Btuh
	Ceiling Total	10.00-79.18	1242		2253Btuh
Floors	Туре	R-Value	Size X	HTM=	Load
1	Slab On Grade	0	176.0 ft(p)	43.7	7684 Btuh
	Floor Total		176		7684 Btuh
			Envelope Su	ıbtotal:	21164 Btuh
Infiltration	Туре	ACH X Volu	ume(cuft) walls(sqff	t) CFM=	
	Natural	0.45	9936 1413	74.5	3019 Btuh
Ductload			(D	LM of 0.052)	1257 Btuh
All Zones		25440 Btuh			

Manual J Winter Calculations

Residential Load - Component Details (continued)
Project Title:

Roger Culpepper

Pole Barn Renovation

Code Only Professional Version Climate: North

1/17/2008

WHOLE HOUSE TOTAL		
	Subtotal Sensible Ventilation Sensible Total Btuh Loss	25440 Btuh 0 Btuh 25440 Btuh

-		-	-	2 man
EQ			_	V 60 10
	u	1 V		3 L

1. Electric Heat Pump/Split #(Outside) #(Inside) 24000 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint) (Frame types - metal, wood or insulated metal) (U - Window U-Factor or 'DEF' for default) (HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



Version 8 For Florida residences only

System Sizing Calculations - Winter

Residential Load - Room by Room Component Details
Project Title: Code C

Roger Culpepper

Pole Barn Renovation

Code Only Professional Version

Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F This calculation is for Worst Case. The house has been rotated 225 degrees.

1/17/2008

Component Loads for Zone #1: Main

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft) X	HTM=	Load
1	2, Clear, Metal, 0.87	SW	30.0	32.2	966 Btu
2	2, Clear, Metal, 0.87	SW	8.0	32.2	258 Btu
3	2, Clear, Metal, 0.87	SW	8.0	32.2	258 Btu
4	2, Clear, Metal, 0.87	SW	2.3	32.2	72 Btu
5	2, Clear, Metal, 0.87	NW	45.0	32.2	1449 Btu
6	2, Clear, Metal, 0.87	NE	30.0	32.2	966 Btu
7	2, Clear, Metal, 0.87	NE	8.0	32.2	258 Btu
8	2, Clear, Metal, 0.87	NE	10.0	32.2	322 Btu
9	2, Clear, Metal, 0.87	NE	7.1	32.2	229 Btul
10	2, Clear, Metal, 0.87	SE	8.0	32.2	258 Btul
	Window Total		156(sqft)		5033 Btul
Walls	Туре	R-Value	Area X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	1413	3.3	4640 Btul
134	Wall Total		1413		4640 Btul
Doors	Туре		Area X	HTM=	Load
1	Insulated - Exterior		40	12.9	518 Btu
2	Insulated - Exterior		80	12.9	1036 Btul
	Door Total		120	10.000	1554Btul
Ceilings	Type/Color/Surface	R-Value	Area X	HTM=	Load
1	Vented Attic/D/Shin	19.0	1242	1.8	2253 Btul
	Ceiling Total		1242		2253Btul
Floors	Туре	R-Value	Size X	HTM=	Load
1	Slab On Grade	0	176.0 ft(p)	43.7	7684 Btul
	Floor Total		176	100000	7684 Btul
		Z	one Envelope Su	btotal:	21164 Btul
Infiltration	Туре	ACH X Volu	me(cuft) walls(sqft) CFM=	
	Natural	0.45	9936 1413	74.5	3019 Btuh
Ductload	Average sealed, Supply(R6.	LM of 0.052)	1257 Btul		
Zone #1		tal	25440 Btul		

Manual J Winter Calculations

Residential Load - Component Details (continued)
Project Title: Cod

Roger Culpepper

Pole Barn Renovation

Code Only Professional Version Climate: North

1/17/2008

WHOLE HOUSE TOT	ALS	
	Subtotal Sensible Ventilation Sensible	25440 Btuh 0 Btuh
	Total Btuh Loss	25440 Btuh

EQUIPMENT		

1. Electric Heat Pump/Split #(Outside) #(Inside) 24000 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint) (Frame types - metal, wood or insulated metal) (U - Window U-Factor or 'DEF' for default) (HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



Version 8 For Florida residences only

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Roger Culpepper

Project Title: Pole Barn Renovation Code Only Professional Version

Climate: North

Reference City: Gainesville (Defaults)

Summer Temperature Difference: 17.0 F

This calculation is for Worst Case. The house has been rotated 225 degrees.

1/17/2008

Component Loads for Whole House

	Type*		Over	hang	Window Area(sqft)		H	HTM	Load		
Window	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2, Clear, 0.87, B-D, N,F	SW	1ft.	Oft.	30.0	30.0	0.0	19	43	560	Btuh
2	2, Clear, 0.87, B-D, N,F	SW	1ft.	Oft.	8.0	8.0	0.0	19	43	149	
3	2, Clear, 0.87, B-D, N,F	SW	1ft.	Oft.	8.0	8.0	0.0	19	43	149	Btuh
4	2, Clear, 0.87, B-D, N,F	SW	1ft.	Oft.	2.3	2.3	0.0	19	43	42	
5	2, Clear, 0.87, B-D, N,F	NW	1ft.	Oft.	45.0	0.0	45.0	19	41	1836	Btuh
6	2, Clear, 0.87, B-D, N,F	NE	1ft.	Oft.	30.0	0.0	30.0	19	41	1224	Btuh
7	2, Clear, 0.87, B-D, N,F	NE	1ft.	Oft.	8.0	0.0	8.0	19	41	326	Btuh
8	2, Clear, 0.87, B-D, N,F	NE	1ft.	Oft.	10.0	0.0	10.0	19	41	408	Btuh
9	2, Clear, 0.87, B-D, N,F	NE	1ft.	Oft.	7.1	0.0	7.1	19	41	290	Btuh
10	2, Clear, 0.87, B-D, N,F	SE	1ft.	Oft.	8.0	8.0	0.0	19	43	149	Btuh
	Window Total				156 (sqft)			1,4450	5134	Btuh
Walls	Туре		R-Va	alue/U	-Value	Area((sqft)		HTM	Load	
1	Frame - Wood - Ext			13.0/	0.09	141	3.0		2.1	2947	Btuh
	Wall Total					141	3 (sqft)		10.000.000	2947	
Doors	Туре					Area			HTM	Load	Cara Managari
1	Insulated - Exterior					40	.0		9.8	392	Btuh
2	Insulated - Exterior					80.0		9.8		Btuh	
	Door Total					120 (sqft)				1176	
Ceilings	Type/Color/Surface		R-Va	alue		Area(sqft)			HTM	Load	Dian
1	Vented Attic/DarkShingle			19.0		1242.0			2.5	3166	Btuh
	Ceiling Total					1242 (sqft)				3166	
Floors	Туре		R-Va	alue		Siz			НТМ	Load	
1	Slab On Grade			0.0		17	6 (ft(p))		0.0	0	Btuh
	Floor Total						0 (sqft)		0.0		Btuh
						170.	0 (0411)				Dian
						Er	velope S	Subtotal	:	12423	Btuh
nfiltration	Type		A	СН	Volum	e(cuft) v	vall area	(saft)	CFM=	Load	
WHEEL WEST CONTROL OF SERVICES	SensibleNatural			0.23		9936	1413	(-4.4)	74.5	709	Btuh
Internal		(Occup			Btuh/oc		Λ	ppliance	Load	Dian
gain		,	Jour	3		X 230		,	2400		Divis
yanı				3						3090	Btuh
						Se	ensible E	nvelope	Load:	16222	Btuh
Duct load							(DGN	/l of 0.1	11)	1806	Btuh
						Sen	sible Lo	ad All 2	Zones	18028 E	3tuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Roger Culpepper

Project Title: Pole Barn Renovation

Code Only Professional Version Climate: North

1/17/2008

WHOLE HOUSE TOTALS

	Sensible Envelope Load All Zones	16222	Btuh
	Sensible Duct Load	1806	Btuh
	Total Sensible Zone Loads	18028	Btuh
	Sensible ventilation	0	Btuh
	Blower	0	Btuh
Whole House	Total sensible gain	18028	Btuh
Totals for Cooling	Latent infiltration gain (for 54 gr. humidity difference)	1392	Btuh
	Latent ventilation gain	0	Btuh
	Latent duct gain	626	Btuh
	Latent occupant gain (3 people @ 200 Btuh per person)	600	Btuh
	Latent other gain	0	Btuh
	Latent total gain	2618	Btuh
	TOTAL GAIN	20646	Btuh

E	ÐΙ	н	ы	M	F	N	Т
all to	BOOK!	000	183		22.	å.	53.5

1. Central Unit	#	24000 Btuh

*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(U - Window U-Factor or 'DEF' for default)

(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))

(ExSh - Exterior shading device: none(N) or numerical value)

(BS - Insect screen: none(N), Full(F) or Half(H))

(Ornt - compass orientation)



Version 8 For Florida residences only

System Sizing Calculations - Summer

Residential Load - Room by Room Component Details

Roger Culpepper

Project Title: Pole Barn Renovation

Code Only Professional Version

Climate: North

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F This calculation is for Worst Case. The house has been rotated 225 degrees.

1/17/2008

Component Loads for Zone #1: Main

	Type*		Overhang		Window Area(sqft)			НТМ		Load	
Window	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2, Clear, 0.87, B-D, N,F	SW	1ft.	Oft.	30.0	30.0	0.0	19	43	560	Btuh
2	2, Clear, 0.87, B-D, N,F	SW	1ft.	Oft.	8.0	8.0	0.0	19	43	149	200000000000000000000000000000000000000
3	2, Clear, 0.87, B-D, N,F	SW	1ft.	Oft.	8.0	8.0	0.0	19	43	149	
4	2, Clear, 0.87, B-D, N,F	SW	1ft.	Oft.	2.3	2.3	0.0	19	43	42	Btul
5	2, Clear, 0.87, B-D, N,F	NW	1ft.	Oft.	45.0	0.0	45.0	19	41	1836	Btul
6	2, Clear, 0.87, B-D, N,F	NE	1ft.	Oft.	30.0	0.0	30.0	19	41	1224	Btul
7	2, Clear, 0.87, B-D, N,F	NE	1ft.	Oft.	8.0	0.0	8.0	19	41	326	Btul
8	2, Clear, 0.87, B-D, N,F	NE	1ft.	Oft.	10.0	0.0	10.0	19	41	408	Btul
9	2, Clear, 0.87, B-D, N,F	NE	1ft.	Oft.	7.1	0.0	7.1	19	41	290	Btuh
10	2, Clear, 0.87, B-D, N,F	SE	1ft.	Oft.	8.0	8.0	0.0	19	43	149	Btuh
	Window Total				156 (sqft)				5134	Btuh
Walls	Type		R-Va	alue/U	l-Value	Area	(sqft)		HTM	Load	
1	Frame - Wood - Ext		13.0/0.09 1413.0			2.1	2947	Btuh			
	Wall Total				1413 (sqft)		2947				
Doors	Type		-			Area			HTM	Load	Dia
1	Insulated - Exterior					40			9.8		Btuh
2	Insulated - Exterior					80	0.750		9.8		Btuh
	Door Total						0 (sqft)		5.6	1176	
Ceilings	Type/Color/Surface		R-Va	عبرا					нтм		Dlui
1	Vented Attic/DarkShingle	19.0			Area(sqft) 1242.0				Load		
	Ceiling Total			19.0					2.5	3166	
Floors	Type		R-Va	duo			2 (sqft)		LITAA	3166	Btun
	7.3		17-46			Siz			HTM	Load	
1	Slab On Grade			0.0		17	6 (ft(p))		0.0		Btuh
	Floor Total					176.	0 (sqft)			0	Btuh
						Zo	ne Enve	lope Su	ibtotal:	12423	Btuh
nfiltration	Туре		А	СН	Volum	e(cuft) v	vall area	(saft)	CFM=	Load	
	SensibleNatural		5.03	0.23	· Oldill	9936	1413	(Sqit)	38.1	709	Btuh
Internal		(Occup			Btuh/oc		Δ	ppliance	Load	Dian
gain				3		X 230		•	2400	3090	Btuł
g			-							3090	Dlui
						Se	nsible E	nvelope	Load:	16222	Btuh
Ouct load	Average sealed, Supply	(R6.0-A	Attic),	Retur	n(R6.0-	Attic)		(DGM o	f 0.111)	1806	Btuł
							Sensibl	e Zone	Load	18028 E	3tuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Roger Culpepper

Project Title: Pole Barn Renovation

Code Only Professional Version Climate: North

1/17/2008

WHOLE HOUSE TOTALS

	Sensible Envelope Load All Zones	(00000000000000000000000000000000000000	Btuh
	Sensible Duct Load	1806	Btuh
	Total Sensible Zone Loads	18028	Btuh
	Sensible ventilation	0	Btuh
	Blower	0	Btuh
Whole House	Total sensible gain	18028	Btuh
Totals for Cooling	Latent infiltration gain (for 54 gr. humidity difference)	1392	Btuh
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A	Latent duct gain	626	Btuh
t _i	Latent occupant gain (3 people @ 200 Btuh per person)	600	Btuh
9	Latent other gain	0	Btuh
	Latent total gain	2618	Btuh
	TOTAL GAIN	20646	Btuh

EQUIPMENT		
1. Central Unit	#	24000 Btuh

*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(U - Window U-Factor or 'DEF' for default)
(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))
(ExSh - Exterior shading device: none(N) or numerical value)
(BS - Insect screen: none(N), Full(F) or Half(H))
(Ornt - compass orientation)



Version 8 For Florida residences only

Residential Window Diversity

MidSummer

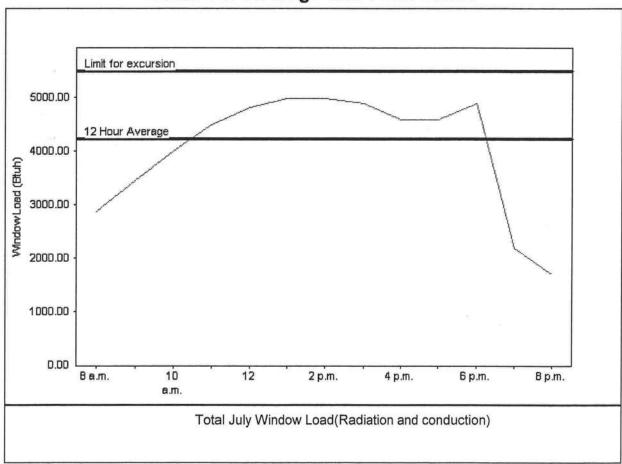
Roger Culpepper

Project Title: Pole Barn Renovation Code Only Professional Version Climate: North

1/17/2008

Weather data for: Gainesville - Defaults					
Summer design temperature	92 F	Average window load for July	4226 Btuh		
Summer setpoint	75 F	Peak window load for July	4985 Btuh		
Summer temperature difference	17 F	Excusion limit(130% of Ave.)	5493 Btuh		
Latitude	29 North	Window excursion (July)	None		

WINDOW Average and Peak Loads



The midsummer window load for this house does not exceed the window load excursion limit. This house has adequate midsummer window diversity.

EnergyGauge® System Sizing for Florida residences only
PREPARED BY: _____
DATE: ____



Customer! Parcel # : Scale 1"=100' 326' occupied SW Powell Gln

67-1607-E

Sete Plan submitted by Wendy Stender Byent By Spuley Bennett 12/26/07 Columbia CHD

The preparer of this instrument has preformed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, names, addresses, tax identification number and legal description furnished by parties.

This instrument prepared by: Strickland Law Firm, P.L. Branden L. Strickland, Esq. 10680 83rd Place Live Oak, Fl 32060

Inst:200812004307 Date:3/3/2008 Time:12:12 PM
Doc Stamp-Deed:539.00 Doc Stamp-Mort:269.50 Int Tax:154.00

9 DC,P.DeWitt Cason,Columbia County Page 1 of 6

AGREEMENT FOR DEED

THIS AGREEMENT, made and entered into this 28 day of February, 2008, by and between Barbara Susan Tornincasa, whose post office address is 2627 SW State Road 247, Lake City, FL 32024, hereinafter referred to as SELLER; and Roger Culpepper and his wife, Pandora Marie Towers, whose post office address is 291 SE Powell Glen, Ft. White, FL 32038, hereinafter referred to as PURCHASER;

WITNESSETH:

That the Seller hereby reserves for the Purchaser that certain piece, parcel or tract of land located in Columbia County, Florida, more particularly described as follows:

See Exhibit "A" Attached Hereto And By This Reference Made A Part Hereof.

If the said purchaser shall first make all of the payments and perform all of the conditions hereinafter mentioned, the Seller covenants and agrees that they will then convey the above described property to the purchaser by a good and sufficient Warranty Deed, subject to zoning or other governmental regulations and subject to certain covenants, restrictions and easements of record, free and clear of all other encumbrances.

The total purchase of the property is \$77,000.00 payable in the following manner: One Hundred Ninety Two (192) consecutive monthly installments in the amount of \$736.57, at a interest rate of Eight (8.000%) with the first such monthly installment beginning on the 1st day of September, 2008, and subsequent installments shall be due and payable on the 1st day of each and every calendar month thereafter until all payments are made in full.

In the event of late payment, the Purchaser agrees to pay late charges of Five Percent (5%) of the amount of any payment(s) more than 15 days in arrears. If the purchaser fails to pay any monthly installment or perform any other obligation hereunder within (30) days after its due date, Seller shall have the right, at sellers option to foreclose or terminate this contract.

- 1. All payments as required shall be deposited directly into Seller's bank account located at Capital City Bank in Branford, Florida.
- 2. The Purchaser shall have the right to make full pre-payment of this contract at any time, without penalty. After the Purchaser has paid all principal and interest, and applicable taxes and assessments hereunder, the Seller shall deliver a Warranty Deed to the Purchaser, conveying said property free and clear of any defects or encumbrances, and transfer of mobile home titles. In the event, at the appropriate time, the Seller is for any reason unable to deliver good and sufficient title by Warranty Deed to the Purchaser, the Seller shall return to the Purchaser all monies paid pursuant to this Agreement, and thereupon the Seller shall be released from its obligations hereunder.
- 3. The Purchaser states that they have inspected the property prior to purchase and agree to accept the premises in its current condition, and shall make no claim in defense of their obligations under this agreement or the promissory note attached hereto based upon defects in the premises, whether blatant or obvious, nor upon any representation by the Sellers or the Sellers representatives or agents in this transaction.
- 4. The Purchaser is given possession of the above described property as of the date of this agreement, and purchaser agrees to pay all taxes, levies and assessments on said property after the date of this agreement, which shall include pro-rata amount of taxes due for the current year. The Seller may, at his option, pay any delinquent amounts, including the costs associated with the closing of this transaction or which may accrue after the date of this contract, and add this amount to the principal balance due hereunder, plus interest thereon at the annual percentage rate of that which is stated in the note.
- 5. The Purchaser will not permit, commit or suffer waste and will maintain the improvements at all times in a state of good repair and condition, and will not do or permit to be done anything to the premises that will in any way impair or weaken the security of the Seller's retained title.
- 6. Risk of loss by fire and other casualty is on the Purchaser, and Purchaser agrees to keep the building(s), if any, on the premises payable to the parties respectively as their interest may appear, in a sum not less than the unpaid balance due under this contract during the term of this agreement. Purchasers shall furnish evidence that said buildings are insured by furnishing copies of insurance policies or equivalent

certificates of insurance to Sellers at closing and periodically not less than thirty days prior to the expiration of each such policy. Each such policy shall name the Sellers as mortgagees and contain an express provision that said policy may not be canceled for any reason including non-payment of premium except upon fifteen days prior written note to the Sellers.

- 7. Purchasers shall keep the premises and every part thereon free and clear of any and all mechanics, materialmens and other liens arising out of or in connection with services performed to or upon all materials or goods delivered to the premises or any obligations of any kind incurred by Purchasers, and at all times promptly and fully pay and discharge any and all claims which lien may or could be based. Purchasers hereby indemnify Sellers against such liens and claims or liens and suits or other proceedings pursuant thereto.
- 8. The Purchasers shall not and will not transfer or assign this agreement or any of their interest therein without the prior written consent of the Sellers, which consent shall not be unreasonably withheld, including but not limited to, the right of first refusal to repurchase by Seller at a price and on terms not less favorable than those offered by the bona fide Purchaser to whom the Purchaser desires to transfer his interest. In the event that Seller chooses to execute his right to repurchase, this repurchase must be consummated within thirty (30) days after the date on which the Purchaser first communicates to the Seller his request for the written consent of the Seller to the proposed transfer.
- 9. In event of termination of this agreement by default of the Purchaser, the Purchaser shall and will execute a good and sufficient Quit claim Deed and deliver same to the Seller. If the Purchaser fails to execute and deliver said Quit Claim Deed, the Purchaser shall and will pay to the Seller all expenses including court costs, and all attorney's fees, incurred by him in any proceeding to remove this agreement from record as a cloud on his title to the property.
- 10. In case of the failure of the Purchaser to make any of the payments, or any part thereof, or perform any of the covenants forfeited and determined, and the Purchaser shall forfeited all payments made under this Agreement, and such payments shall be retained by the Seller in full satisfaction as liquidated damages by them sustained, and in such event the Seller shall have the right to re-enter and take possession of the premises aforesaid.
- 11. The Purchaser shall and will pay to the Seller all reasonable costs and expenses, including attorney's fees, incurred by the Seller in enforcing any of the covenants and provisions of this Agreement, brought by the Seller against the Purchaser because of his breach or default.
- 12. In the event of termination of this Agreement by default of the Purchaser, all improvements on the premises aforesaid, which may be put thereon by the Purchaser,

shall become the property of the Seller without liability or obligation on his part to account to the Purchaser therefore or for any part thereof.

- 13. All covenants and agreements herein contained shall extend to and be obligatory upon the successors, heirs, executors, administrators and assigns of the respective parties.
- 14. The words "Seller" and "Purchaser" herein employed shall be construed to include the plural as well as the singular, and the masculine shall include the feminine and neuter where the content so admits or requires.
- 15. The agreement and note embodies the entire agreement and understanding of the parties to the agreement and may not be changed, altered or modified except by an instrument in writing signed by the part against whom the enforcement of any change, alteration or modification is sought.
- 16. It is mutually agreed by and between the Parties that the time of payment shall be of the essence of this contract.

IN WITNESS WHEREOF, the parties hereto have hereunder set their hands and seals the day and year first above written.

Signed, Sealed and Delivered in

the presence of:

WITNESS Cheryl Bed

WITNESS DOIS on Drake

STATE OF Flambia

I HEREBY CERTIFY THAT ON THIS DATE, BEFORE ME, AN OFFICER DULY AUTHORIZED IN THE STATE AND COUNTY AFORESAID TO TAKE ACKNOWLEDGEMENTS, BARBARA SUSAN TORNINCASA, PERSONALLY APPEARED, KNOWN TO ME, OR WHO PROVIDED DRIVER'S LICENSE, AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT AND WHO ACKNOWLEDGED BEFORE ME THAT THEY EXECUTED THE SAME.

WITNESS MY HAND AND SEAL IN THE COUNTY AND STATE LAST AFORESAID THIS 28 DAY OF February, 2008.

MY COMMISSION EXPIRES:

NOTARY PUBLIC

DORIS M DRAKE
MY COMMISSION # DD537517
EXPIRES: Apr. 5, 2010
1153 Florida Notary Service.com

ER: Barbara Susan Tornincasa

WITNESS Dars on Drahe

BUYER: ROGER CULPEPPER

BUYER: PANDORA MARIE TOWERS

COUNTY OF Columbia

I HEREBY CERTIFY THAT ON THIS DATE, BEFORE ME, AND OFFICER DULY AUTHORIZED IN THE STATE AND COUNTY AFORESAID TO TAKE ACKNOWLEDGEMENTS, PERSONALLY APPEARED ROGER CULPEPPER AND HIS WIFE, PANDORA MARIE TOWERS, PERSONALLY KNOWN TO ME OR WHO PROVIDED DRIVER'S LICENSE. AS IDENTIFICATION, AND WHO EXECUTED THE FOREGOING INSTRUMENT AND WHO ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME.

WITNESS MY HAND AND SEAL IN THE COUNTY AND STATE, LAST AFORESAID THIS 28 OF February, 2008.

MY COMMISSION EXPIRES:

NOTADV STAMD/SEA

NOTARY STAMP/SEAL

"Exhibit A"

Lot # 11B Turkey Haven, an unrecorded subdivision in Section 29 & 32, Township 5 South, Range 16 East, Columbia County, Florida.

The East ½ of Lot 11; Being more particularly described as follows; Commence at the Northeast corner of the SW ¼ Section 29, Township 5 South, Range 16 East, Columbia County, Florida and run thence S 00°15'41" E, along the East line of said SW ¼, 1335.65 feet; thence S 89 01'09" W 1305.72 feet to the Point of Beginning; thence continue S 89°01'09" W 652.86 feet; thence S 00°15'41" E, 668.61 feet; thence N 89°01'09" E, 652.86 feet; thence N 00°15'41" W, 668.61 feet to the Point of Beginning. The South 30 feet of said lands being subject to an easement for ingress and egress.

Personal Property: A 4 inch well, 42 gallon tank, ½ horsepower pump and 900 gallon septic tank and power pole and including a structure with no county building permit.



MIAMI-DADE COUNTY, FLORIDA METRO-DADE FLAGLER BUILDING 140 WEST FLAGLER STREET, SUITE 1603 MIAMI, FLORIDA 33130-1563 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Therma-Tru Corporation 108 Mutzfeld Rd. Butler, IN 46721

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Premium Series 6'8 Opaque Steel Door w & wo sidelites (OS)

APPROVAL DOCUMENT: Drawing No. S-2149, titled "Premium Series" 6-8 Single & Double Out-swing Steel Door", sheets 1 through 8, prepared by RW Building Consultants, Inc., dated 3/28/02, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact and Non-Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

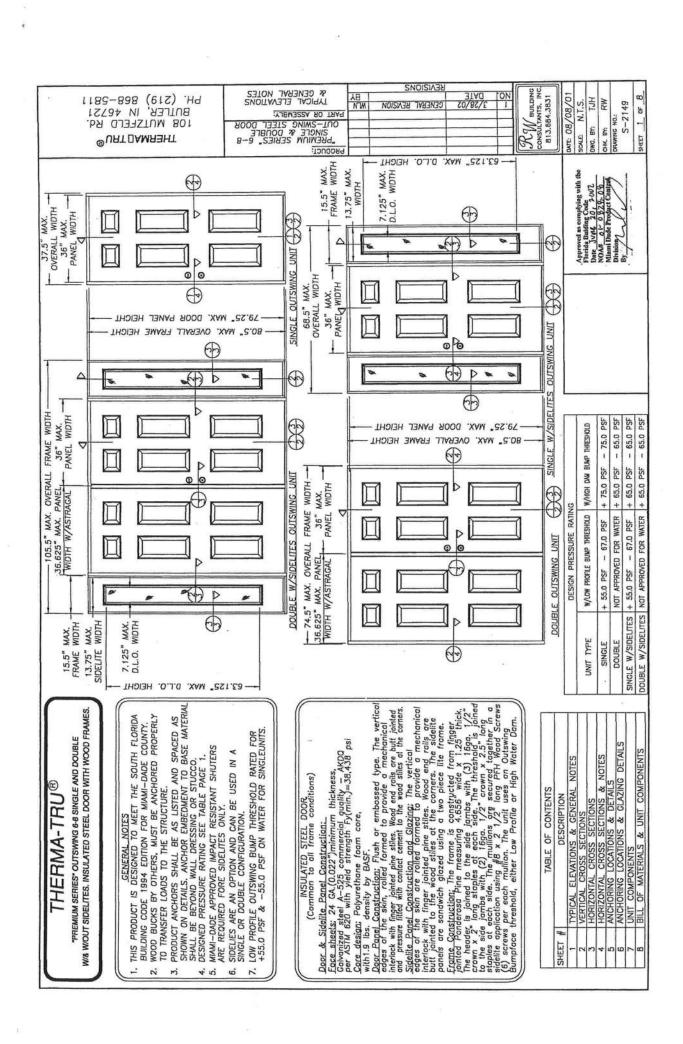
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

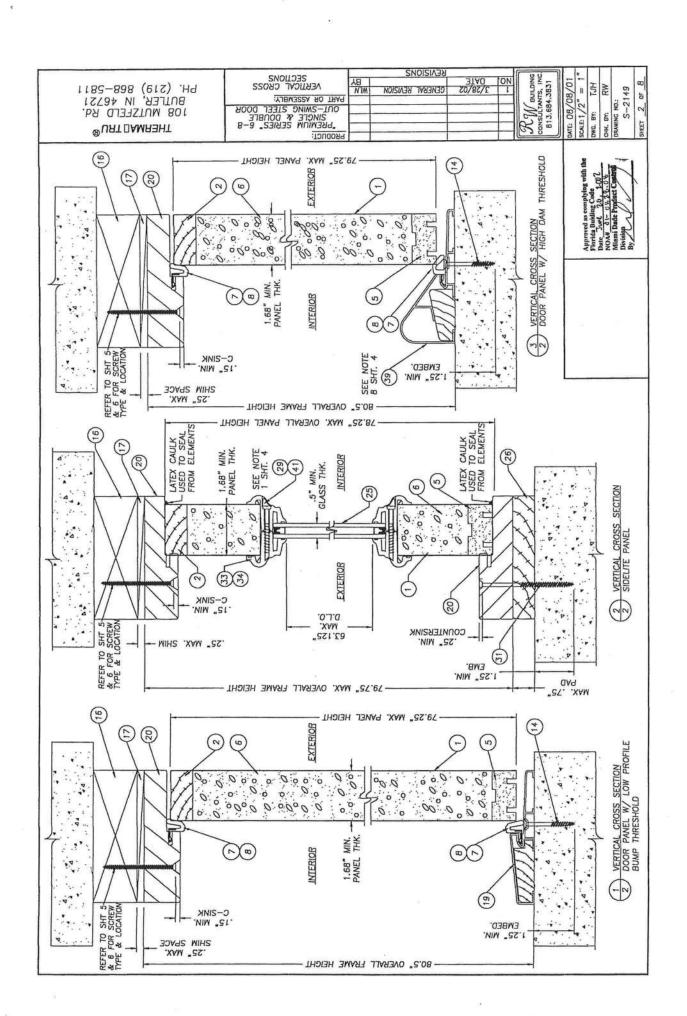
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

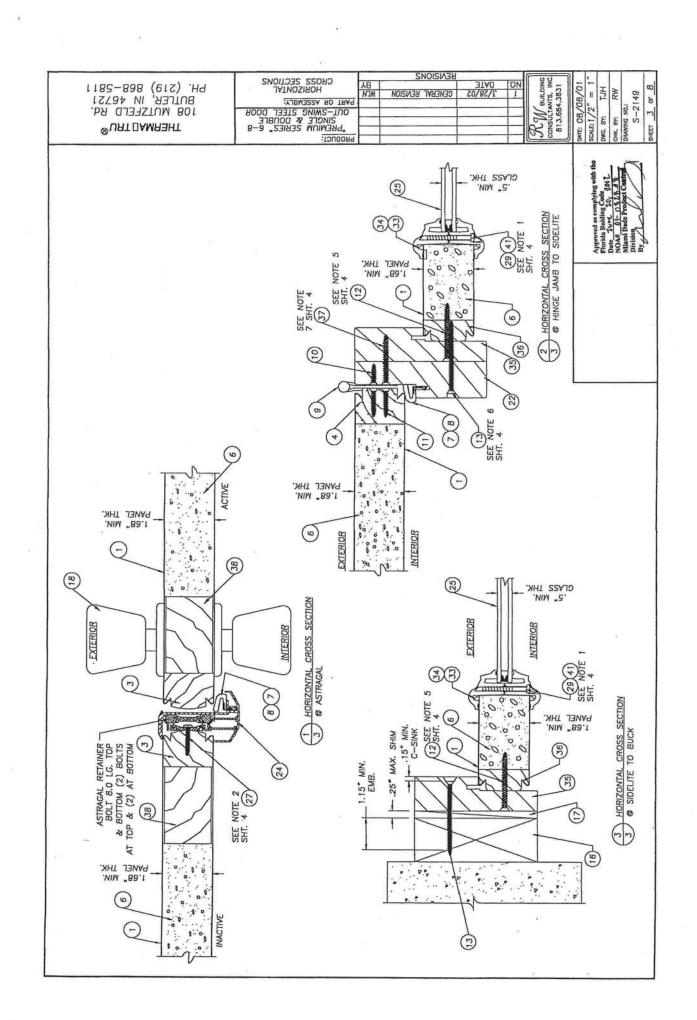
The submitted documentation was reviewed by Raul Rodriguez

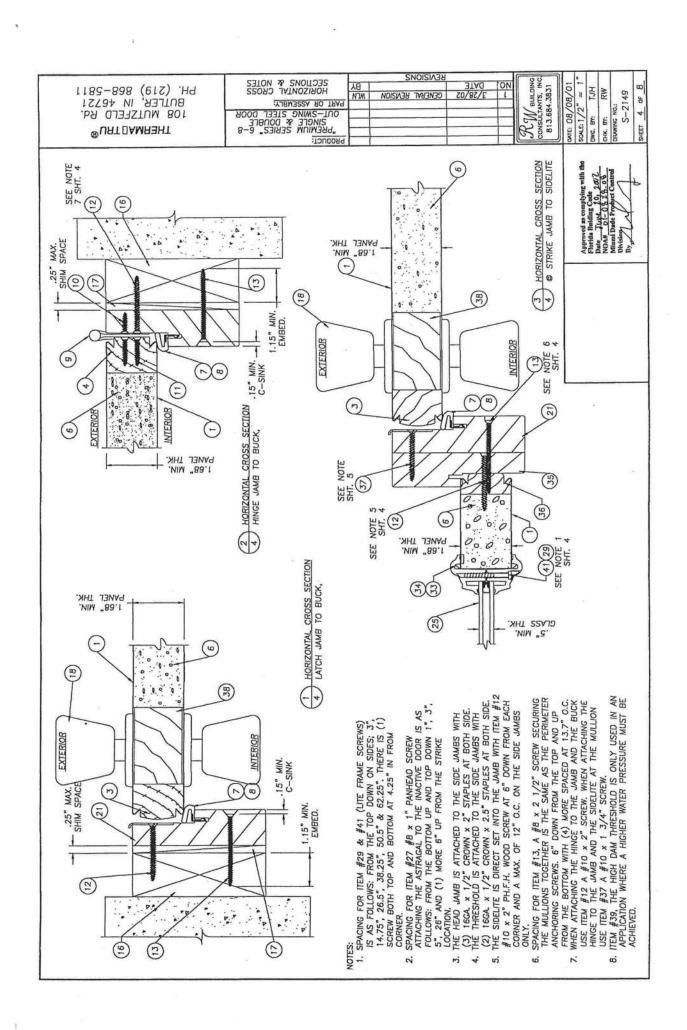


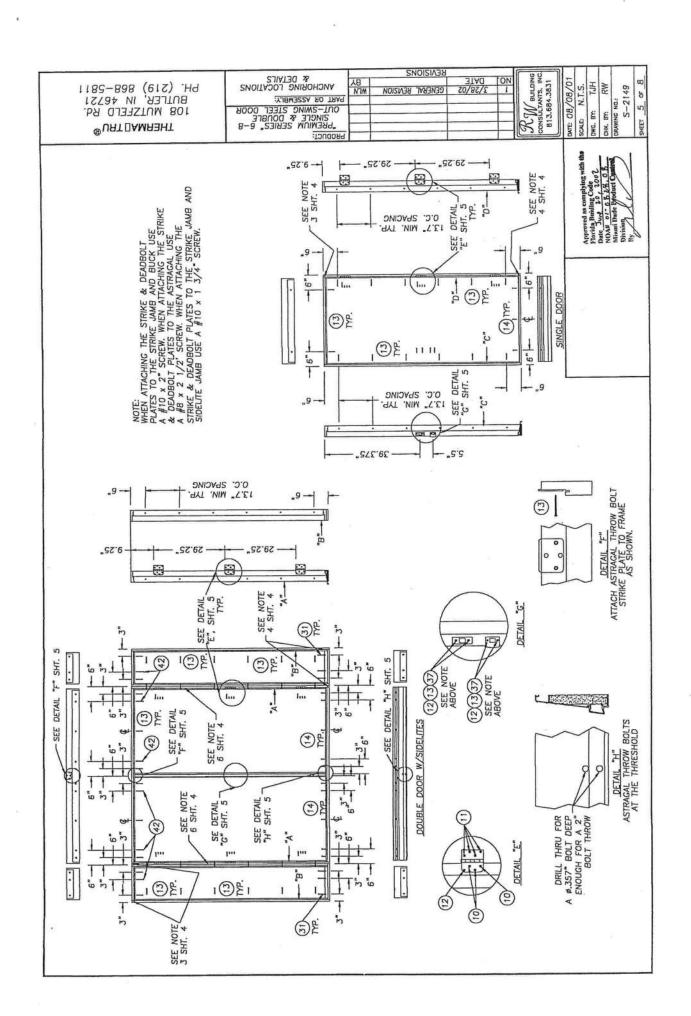
NOA No 01-0828.08 Expiration Date: June 20, 2007 Approval Date: June 20, 2002 Page 1

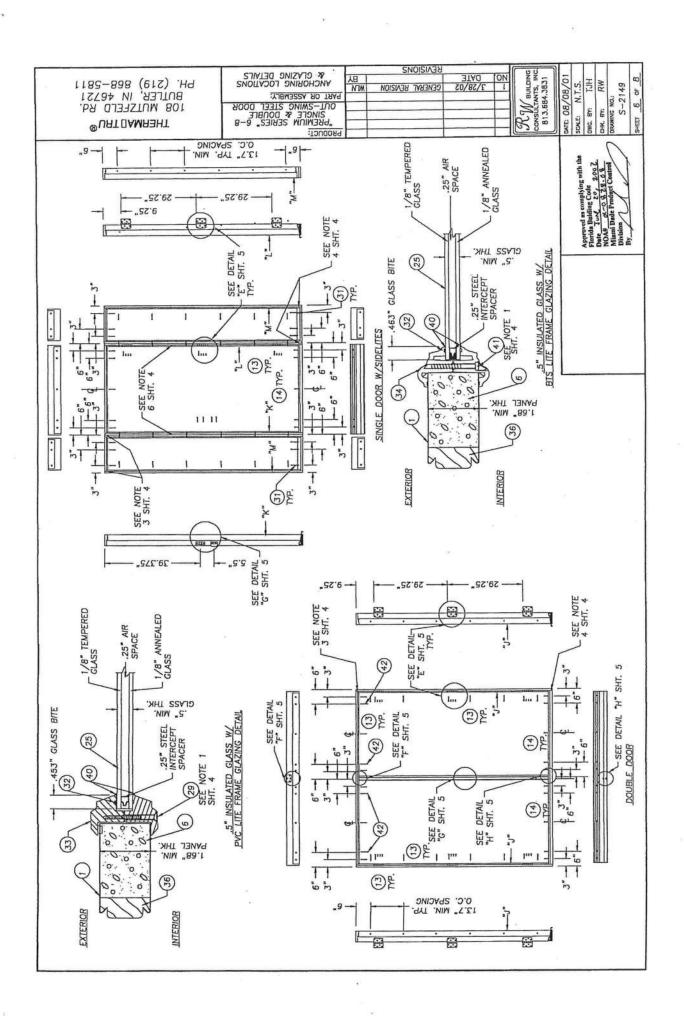


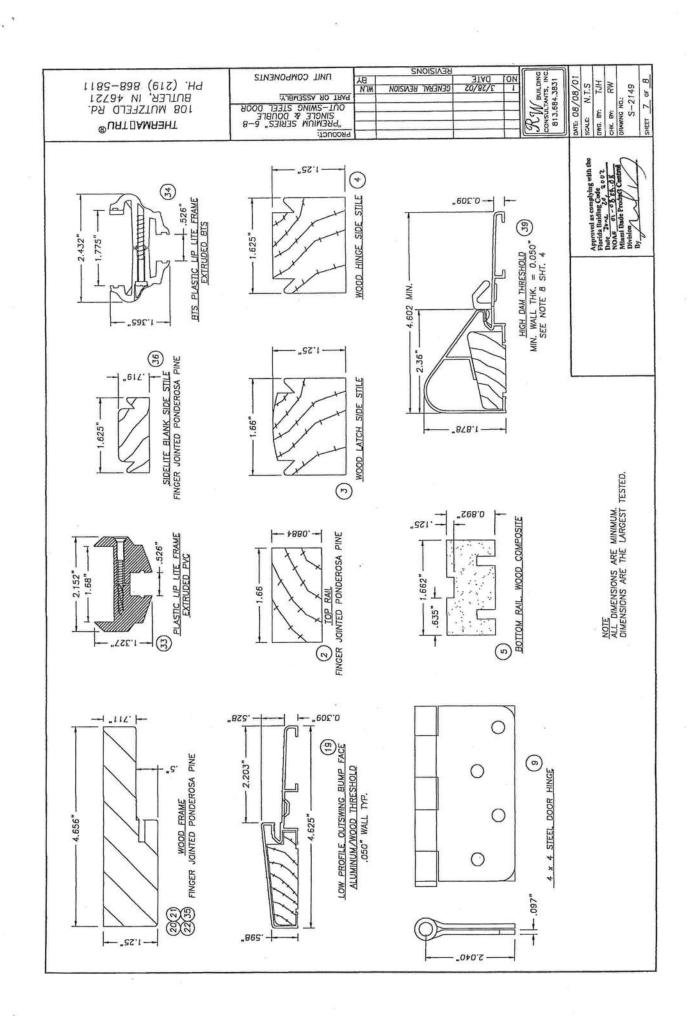


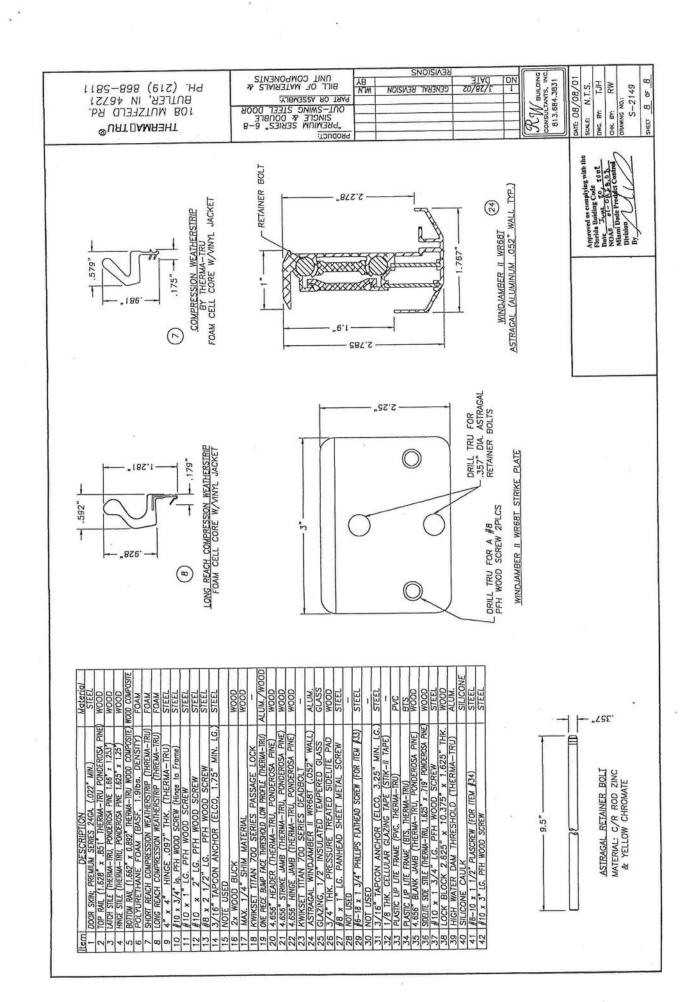












MIAMI-DADE COUNTY, FLORIDA METRO-DADE FLAGLER BUILDING 140 WEST FLAGLER STREET, SUITE 1603 MIAMI, FLORIDA 33130-1563 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

MI Home Products, Inc. 650 West Market Street Gratz, PA 17030

Scope:

1

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: Series "BetterBilt D185SH/D3185SH" Aluminum Single Hung Window

APPROVAL DOCUMENT: Drawing No. S-2422, titled "Non-Impact Single Hung Window Rectangle Circle Top & Oriel", sheets 1 through 5 of 5, prepared by RW Building Consultants, inc, dated 10/27/03 with revision "2", dated 02/10/04, signed and sealed by Wendell Haney, P.E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

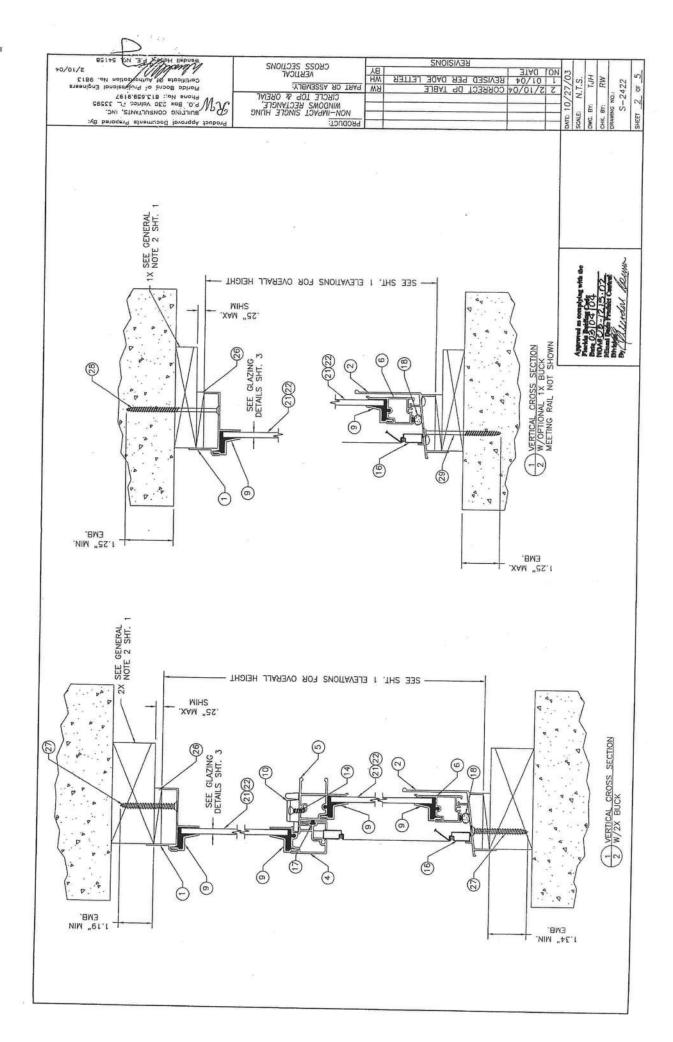
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

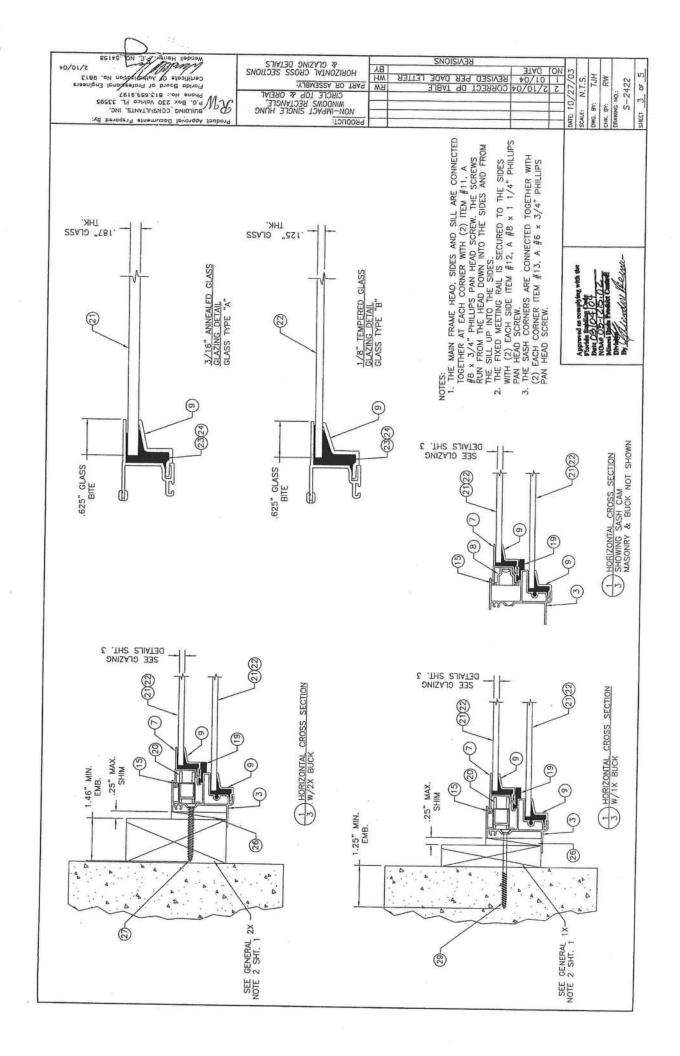
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

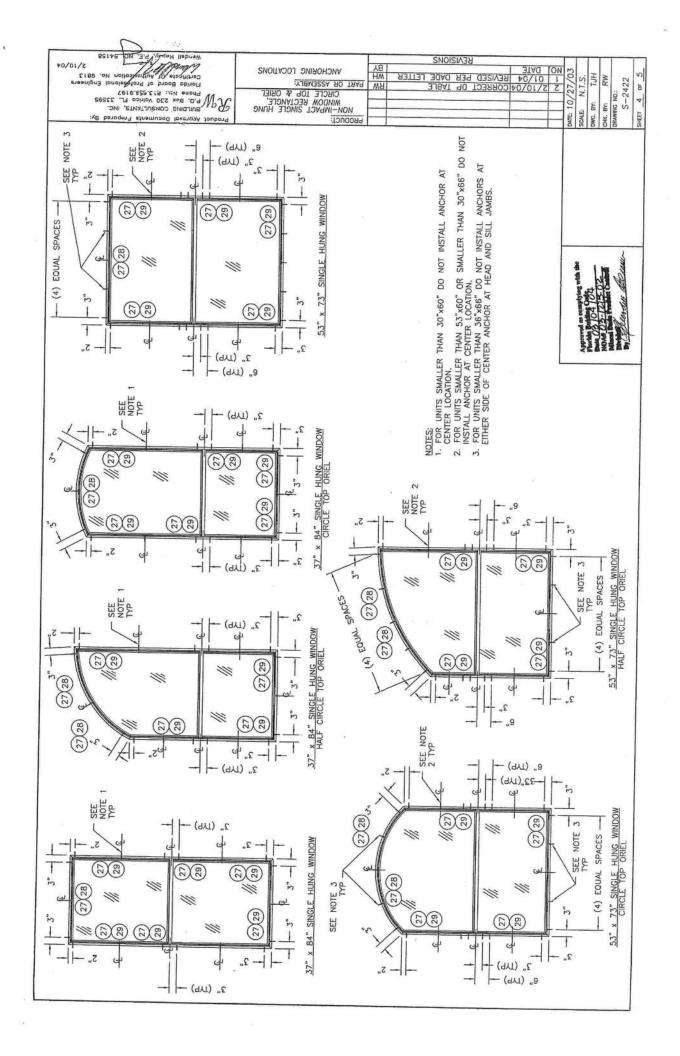
This NOA consists of this page 1 and evidence page E-1, as well as approval document mentioned above. The submitted documentation was reviewed by **Theodore Berman**, **P.E.**

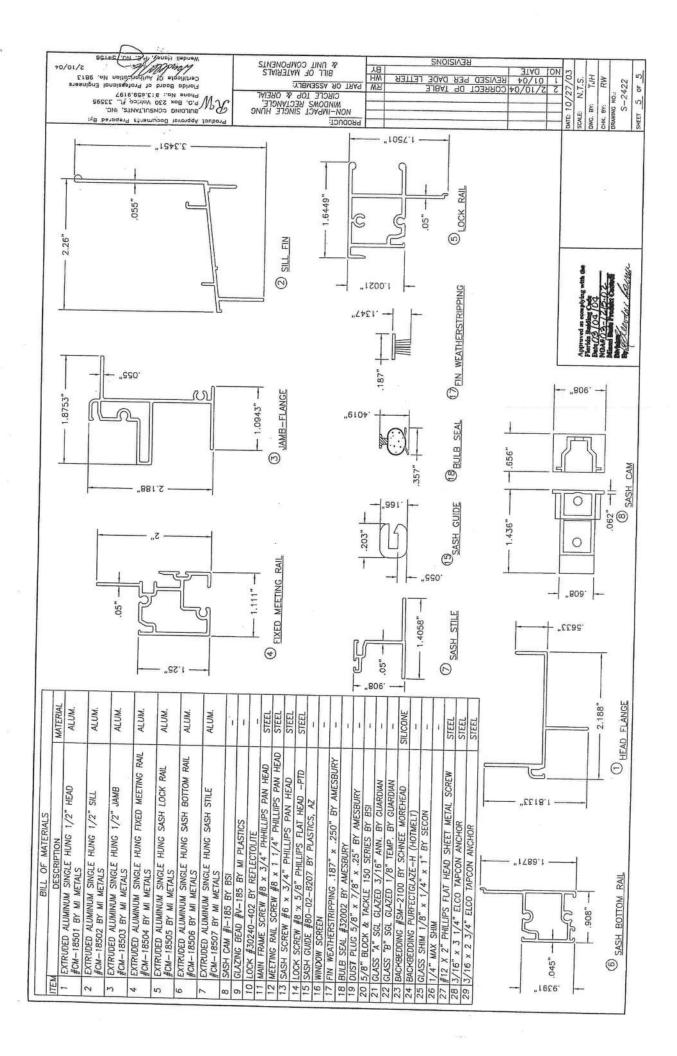
NOA No 03-1215.02 Expiration Date: March 04, 2009 Approval Date: March 04, 2004 Page 1











MI Home Products, Inc.

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

Manufacturer's die drawings and sections.

Drawing No. S-2422, titled "Non-Impact Single Hung Window Rectangle Circle Top & Oriel", sheets 1 through 5 of 5, prepared by RW Building Consultants, inc, dated 10/27/03 with revision "2", dated 02/10/04, signed and sealed by Wendell Haney, P.E.

B. TESTS

Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94

2) Uniform Static Air Pressure Test, Loading per FBC, TAS 202-94

3) Water Resistance Test, per FBC, TAS 202-94

4) Forced Entry Test, per FBC 2411.3.2.1 and TAS 202-94

along with marked-up drawings and installation diagram of an aluminum single hung window, prepared by Architectural Testing, Inc., Test Report No. ATI 03056, dated 11/11/03, signed by Joseph A. Reed, P.E.

C. CALCULATIONS

- Anchor Calculations, ASTM-E1300-98, and structural analysis, prepared by R.W. Building Consultants, Inc., dated 12/11/03, signed and sealed by Lyndon F. Schmidt, P.E.
- 2. Revised Anchor Calculations, and structural analysis, prepared by R.W. Building Consultants, Inc., dated 02/10/04, signed and sealed by Lyndon F. Schmidt, P.E.

D. QUALITY ASSURANCE

1. Miami Dade Building Code Compliance Office (BCCO).

E. MATERIAL CERTIFICATIONS

None.

F. STATEMENTS

 Statement letter of conformance and no financial interest, dated December 09, 2003, signed and sealed by Lyndon F. Schmidt, P.E.

2. Statement letter of no financial interest with the laboratory that performed the Test Report No. **ATI 03056**, dated November 08, 2003, signed by Stu White, Design Engineering Manager.

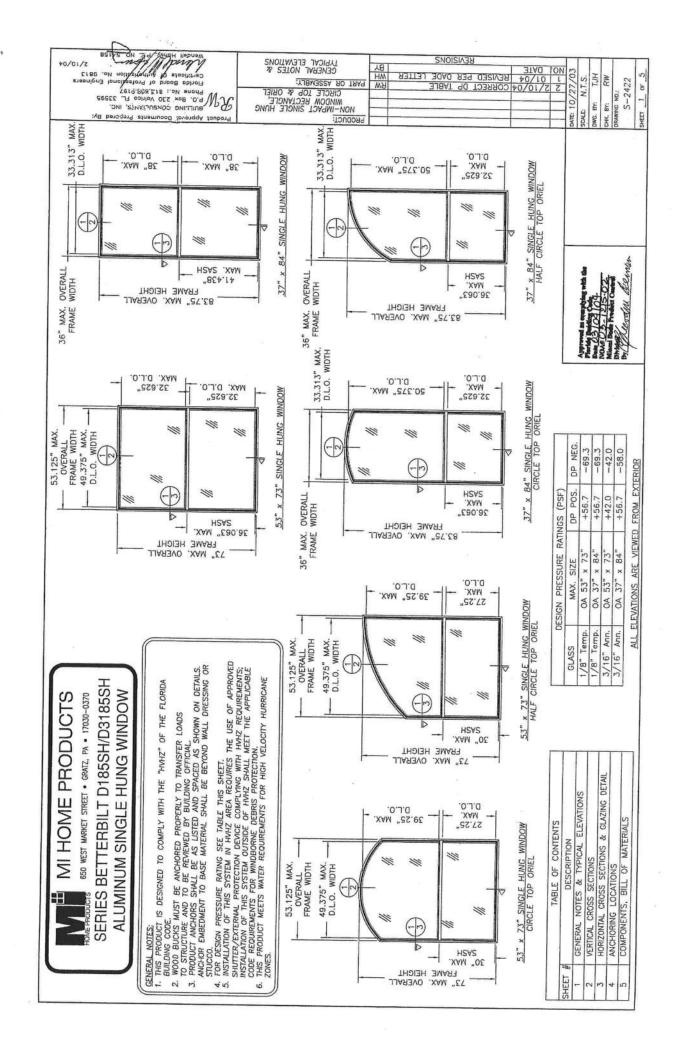
G. OTHER

 Letter from the consultant stating that the product is in compliance with the Florida Building Code (FBC).

> Theodore Berman, P.E. Deputy Director, Product Control Division

NOA No 03-1215.02

Expiration Date: March 04, 2009 Approval Date: March 04, 2004





BUILDING CODE COMPLIANCE OFFICE (BCCO) PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Wheeling Corrugating Company 1134 Market Street Wheeling, WV 26003

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The BCCO (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BCCO reserves the right to revoke this acceptance, if it is determined by BCCO that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County or Florida Building Code.

DESCRIPTION: "R" Panel Steel Roofing

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 7.

The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No.: 00-0501.14 Expiration Date: 02/21/07 Approval Date: 02/21/02

Page 1 of 7

ROOFING SYSTEM APPROVAL:

Roofing

Category: Sub-Category:

Metal, Panels

Material:

Steel

Deck Type:

Wood

Maximum Design Pressure:

-87.5 psf.

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

Product	Dimensions	Test Specifications	Product Description
Wheeling Corrugating	Length: varies Width: 37"	PA 110	G-90 Galvanized, AZ55, Wheeling Paint System, Fluropan, Kylar or Hylar over
Company "R" Roof Panel	Height: 1-¼" Thickness 02.17"		G60 Galvanized Steel.

TRADE NAMES OF PR	ODUCTS MANUFACTUR	RED BY OTHERS:	
Product	<u>Dimensions</u>	Product Description	Manufacturer
#30 Felt	N/A	Saturated organic felt to be used as a nailed underlayment.	Generic (With current NOA)
#43 Coated Base Sheet	N/A	Saturated and coated organic base sheet for single or double ply underlayment.	Generic (With current NOA)
Fire Barrier Board ("Dens Deck")	Min. ¼" thick	Fire barrier for Class 'A' fire rating.	Georgia-Pacific (With current NOA)
Fire Barrier ("Roctex")	Min. 450 grams/m ²	Fire barrier for Class 'A' fire rating.	Partek Insulations, Inc. (With current NOA)
Fasteners (Panel)	Min. 0.178 inch diameter by 1-1/2 long	Corrosion resistant, sharp point hex-head screws with neoprene	Generic (With current NOA)

sealing washer.



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APPROVED SYSTEMS:

SYSTEM:

Wheeling Corrugating Company "R" Roof Panel

Deck Type:

Wood, Non-insulated

Deck Description:

New Construction or Re-roof

¹⁵/₃₂" or greater plywood or wood plank.

Slope Range:

Pressure:

2": 12" or greater

Maximum Uplift

Th

The maximum allowable design pressure -52.5 psf

Deck Attachment:

In accordance with applicable building code, but in no case shall it be less than ¹⁵/₃₂" plywood fastened with #8 x 2 inch wood screws spaced 6" o.c. to wood structural supports spaced at a maximum of 24 inches o.c.

Underlayment:

Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 15" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 ¼" annular ring-shank nails, spaced 6" o.c. at all laps and one staggered rows 12" o.c. in the field of the 17" exposure.

Valleys:

Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Wheeling Corrugating Company "R" Roof Panel' current published installation instructions.

Fire Barrier Board:

For class A or B fire rating, install minimum ¼" thick Georgia Pacific "Dens Deck" or one layer of "Roctex" or 5/8" water resistant type X gypsum sheathing with treated core and facer, in compliance with Roofing Application Standard RAS 133.

Metal Panels and Accessories: Install the "Wheeling Corrugating Company "R" Roof Panel" and accessories in compliance with Wheeling Corrugating Company' current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

"R" Roofing Panels shall be fastened with a minimum of #9-15 sharp point screws with a hex-washer head and neoprene sealing washer of sufficient length to penetrate through the deck spaced at ³/₁₆" at a maximum spacing of 12 inches o.c. in all directions as follows:

- Side laps shall be fastened with a minimum of two screws spaced at a maximum of 12 inches along the entire length of the roof (parallel to the roof slope) see details herein.
- Panel width shall be fastened with fasteners at a maximum spacing of 12 inches
 o.c. perpendicular to the slope of the roof in accordance with the detail herein.
 Fastener rows shall continue up the entire length of the roof (parallel to the roof
 slope) at a maximum spacing of 12 inches o.c.



NOA No.: 00-0501.14 Expiration Date: 02/21/07 Approval Date: 02/21/02 Page 3 of 7 SYSTEM:

Wheeling Corrugating Company "R" Roof Panel

Deck Type:

Wood, Non-insulated

Deck Description:

New Construction or Re-roof

¹⁵/₃₂" or greater plywood or wood plank.

Slope Range:

2": 12" or greater

Maximum Uplift

Pressure:

The maximum allowable design pressure -87.5 psf

Deck Attachment:

In accordance with applicable building code, but in no case shall it be less than $^{15}/_{32}$ " plywood fastened with #8 x 1-7/8 inch wood screws spaced 6" o.c. to wood structural supports spaced at a maximum of 12 inches o.c.

Underlayment:

Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 15" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 ¼" annular ring-shank nails, spaced 6" o.c. at all laps and one staggered rows 12" o.c. in the field of the 17" exposure.

Valleys:

Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Wheeling Corrugating Company "R" Roof Panel' current published installation instructions.

Fire Barrier Board:

For class A or B fire rating, install minimum ½" thick Georgia Pacific "Dens Deck" or one layer of "Roctex" or 5/8" water resistant type X gypsum sheathing with treated core and facer, in compliance with Roofing Application Standard RAS 133.

Metal Panels and Accessories:

Install the "Wheeling Corrugating Company "R" Roof Panel" and accessories in compliance with Wheeling Corrugating Company' current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

"R" Roofing Panels shall be fastened with a minimum of # 0.178" diameter sharp point screw with a hex-washer head and neoprene sealing washer of sufficient length to penetrate through the deck spaced at ³/₁₆" at a maximum spacing of 12 inches o.c. in all directions as follows:

- Side laps shall be fastened with a minimum of two screws spaced at a maximum of 12 inches along the entire length of the roof (parallel to the roof slope) see details herein.
- 2. Panel width shall be fastened with fasteners at a maximum spacing of 12 inches o.c. perpendicular to the slope of the roof in accordance with the detail herein. Fastener rows shall continue up the entire length of the roof (parallel to the roof slope) at a maximum spacing of 12 inches o.c.



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SYSTEM LIMITATIONS:

- Increased design pressures at perimeter and corner areas, in compliance with applicable building
 code may be met through rational analysis by increasing the number of attachment points in
 these areas. The maximum fastener spacing noted in the "Systems Description" section of this
 approval shall not be exceeded. All rational analysis computation shall be prepared, signed and
 sealed by a Florida registered Professional Engineer, Registered Architect, or Registered Roof
 Consultant.
- 2. Panels shall be rolls formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Roofing Application Standard RAS 133.
- 3. All panels shall be permanently labeled with the manufacturer's name or logo, and the following statement: "Miami-Dade County Product Control Approved.

EVIDENCE SUBMITTED:

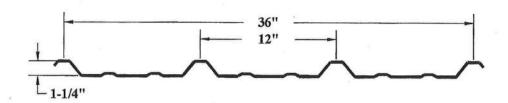
Test Agency	Test Identifier	Test Name/Report	<u>Date</u>
Architectural Testing	01-35689.01	PA 125	11/17/99
Inc.	53	PA 100	
Architectural Testing	01-35687.03	ASTM B-117	12/22/99
Inc.		ASTM G-23	
		ASTM D-714	
		ASTM D-772	
Architectural Testing	01-35688.02	ASTM B-117	12/22/99
Inc.	*:	ASTM G-23	
		ASTM D-714	
		ASTM D-772	
Architectural Testing	01-35689.02	ASTM B-117	12/22/99
Inc.		ASTM G-23	
		ASTM D-714	
		ASTM D-772	
Architectural Testing	01-35690.02	ASTM B-117	12/22/99
Inc.		ASTM G-23	
		ASTM D-714	
	2 8	ASTM D-772	
Underwriters Laboratory	00NB/R20684	UL 580	09/14/01



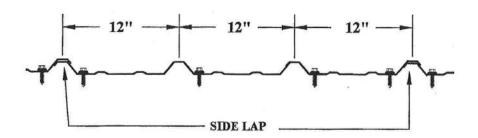
NOA No.: 00-0501.14 Expiration Date: 02/21/07 Approval Date: 02/21/02

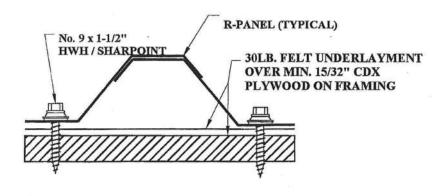
Page 5 of 7

WHEELING CORRUGATING COMPANY "R" ROOF PANEL



FASTENER LOCATION

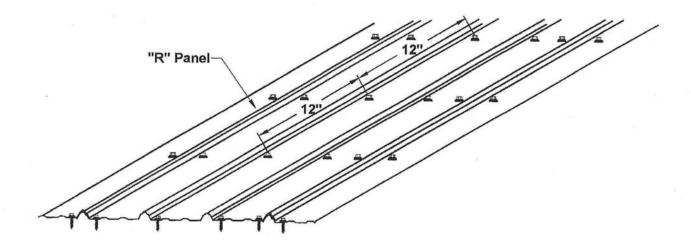






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END OF THIS ACCEPTANCE



NOA No.: 00-0501.14 Expiration Date: 02/21/07 Approval Date: 02/21/02 Page 7 of 7



BUILDING CODE COMPLIANCE OFFICE (BCCO) PRODUCT CONTROL DIVISION MIAMI-DADE COUNTY, FLORIDA METRO-DADE FLAGLER BUILDING 140 WEST FLAGLER STREET, SUITE 1603 MIAMI, FLORIDA 33130-1563 (305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Tamko Roofing Products, Inc. P.O. Box 1404 Joplin, MO 64802

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: TAMKO Heritage Declaration & Heritage XL Roof Shingles

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This consists of pages 1 through 4.

The submitted documentation was reviewed by Frank Zuloaga, RRC



NOA No.: 03-0620.01 Expiration Date: 09/04/08 Approval Date: 09/04/03 Page 1 of 4

ROOFING ASSEMBLY APPROVAL

Category:

Roofing

Sub-Category:

07310 Composition Shingles

Materials

Dimensional

Deck Type:

Wood

1. Scope:

This approves **Tamko Heritage Declaration and Heritage XL** Asphalt Shingles, manufactured by **Tamko Roofing Products**, **Inc.** as described in this Notice of Acceptance.

2. PRODUCT DESCRIPTION

Product	Dimensions	<u>Test</u> Specifications	Product Description
Heritage Declaration & Heritage XL	12" x 36"	TAS 110	A heavy weight dimensional asphalt shingle.

3. EVIDENCE SUBMITTED:

Test Agency	Test Identifier	Test Name/Report	Date
PRI Asphalt Technologies, Inc.	TAS 100	TAP-066-02-01 TAP-073-02-01	01/09/03 05/20/03
Underwriters Laboratories, Inc. Underwriters Laboratories, Inc.	ASTM D 3462 TAS 107	R2919 03CA08442	06/12/03 06/12/03

4. LIMITATIONS

- **4.1** Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
- 4.2 Shall not be installed on roof mean heights in excess of 33 ft.
- **4.3** All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9B-72 of the Florida Administrative Code.

5. INSTALLATION

- 5.1 Shingles shall be installed in accordance with Roofing Application Standard RAS 115.
- 5.2 The manufacturer shall provide clearly written application instructions.
- 5.3 Exposure and course layout shall be in compliance with Detail 'A', attached.
- 5.4 Nailing shall be in compliance with Detail 'B', attached.

6. LABELING

5.1 Shingles shall be labeled with the Miami-Dade Logo or the wording "Miami-Dade County-Product Control Approved".

7. BUILDING PERMIT REQUIREMENTS

- 7.1 Application for building permit shall be accompanied by copies of the following:
 - 7.1.1 This Notice of Acceptance.
 - 7.1.2 Any other documents required by the Building Official or the applicable Building Code in order to properly evaluate the installation of this system.

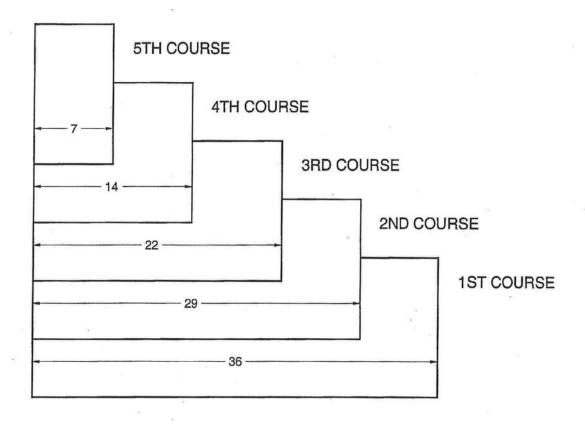


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DETAIL A

HERITAGE DECLARATION & XL

All dimensions are in inches.





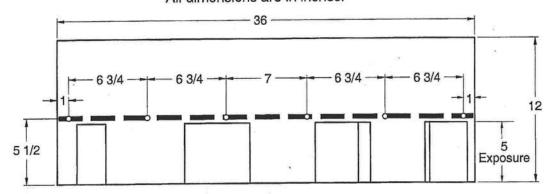
NOA No.: 03-0620.01 Expiration Date: 09/04/08 Approval Date: 09/04/03

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DETAIL B

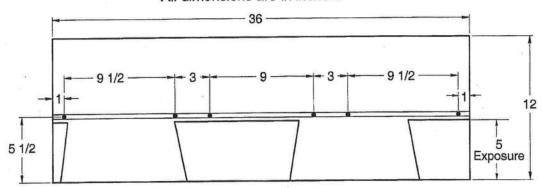
HERITAGE DECLARATION

12" x 36" LAMINATED SHINGLE All dimensions are in inches.



HERITAGE XL

12" x 36" LAMINATED SHINGLE All dimensions are in inches.



END OF THIS ACCEPTANCE



NOA No.: 03-0620.01 Expiration Date: 09/04/08 Approval Date: 09/04/03

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COLUMBIA COUNTY BUILDING DEPARTMENT RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR THE FLORIDA RESIDENTIAL BUILDING CODE 2004 with 2005 & 2006 Supplements and One (1) and Two (2) Family Dwellings

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current FLORIDA BUILDING CODES and the Current FLORIDA RESIDENTIAL CODE. ALL PLANS OR DRAWING SHALL PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the Residential Code (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

- 1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ------ 100 MPH
- 2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ------110 MPH
- 3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS;

Walle B

- Two (2) complete sets of plans containing the following:
- All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void
 - Condition space (Sq. Ft.) and total (Sq. Ft.) under roof shall be shown on the plans.
- Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents per FBC 106.1.

Site Plan information including:

- Dimensions of lot or parcel of land
- Dimensions of all building set backs
- Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.
- Provide a full legal description of property.

Wind-load Engineering Summary, calculations and any details required:

- Plans or specifications must meet state compliance with FRC Chapter 3
- The following information must be shown as per section FRC
 - Basic wind speed (3-second gust), miles per hour
 - Wind importance factor and nature of occupancy
- Wind exposure if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
- The applicable internal pressure coefficient, Components and Cladding The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component and cladding materials not specifally designed by the registered design professional.

Elevations Drawing including:

- All side views of the structure
- Roof pitch
- Overhang dimensions and detail with attic ventilation
- Location, size and height above roof of chimneys
 - Location and size of skylights with Florida Product Approval
- Number of stories
- e) Building height from the established grade to the roofs highest peak

WOOD WALL FRAMING CONSTRUCTION FRC CHAPTER 6

- Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls.
- Fastener schedule for structural members per table R602.3 (1) are to be shown.
- Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing
- Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems.
- Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FRC Table R502.5 (1)
- Indicate where pressure treated wood will be placed.
- Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas
- A detail showing gable truss bracing, wall balloon framing details or and wall hinge bracing detail

ROOF SYSTEMS:

- Truss design drawing shall meet section FRC R802.10 Wood trusses. Include a layout and truss details and be signed and sealed by Fl. Pro. Eng.
- Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters
- Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details
- Provide dead load rating of trusses

Conventional Roof Framing Layout Per FRC 802:

- Rafter and ridge beams sizes, span, species and spacing
- Connectors to wall assemblies' include assemblies' resistance to uplift rating.
- Valley framing and support details
- Provide dead load rating of rafter system.

ROOF SHEATHING FRC Table R602,3(2) FRC 803

Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing on the edges & intermediate areas

ROOF ASSEMBLIES FRC Chapter 9

Include all materials which will make up the roof assembles covering; with Florida Product Approval numbers for each component of the roof assembles covering.

FCB Chapter 13 Florida Energy Efficiency Code for Building Construction

- Residential construction shall comply with this code by using the following compliance methods in the FBC Subchapter 13-6, Residential buildings compliance methods. Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area
- Show the insulation R value for the following areas of the structure: Attic space, Exterior wall cavity and Crawl space (if applicable)

HVAC information shown

- Manual J sizing equipment or equivalent computation
- Exhaust fans locations in bathrooms

Plumbing Fixture layout shown

All fixtures waste water lines shall be shown on the foundation plan

Electrical layout shown including:

- Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- Ceiling fans
- Smoke detectors
- Service panel, sub-panel, location(s) and total ampere ratings

Location:		Project Name:	ar 1 - 5 - 5		
product approval number(s) which you are applying for supplier should you not know	Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the val number(s) on the building components listed below if they will be utilized on the construction project for applying for a building permit on or after April 1, 2004. We recommend you contact your local product you not know the product approval number for any of the applicable listed products. More information a product approval can be obtained at				
Category/Subcategory	Manufacturer	Product Description	Approval Number(s		
A. EXTERIOR DOORS		ni			
Swinging					
2. Sliding					
Sectional					
4. Roll up					
5. Automatic					
6. Other					
B. WINDOWS					
Single hung					
Horizontal Slider					
3. Casement					
4. Double Hung					
5. Fixed					
6. Awning					
7. Pass -through					
8. Projected					
9. Mullion					
10. Wind Breaker					
11 Dual Action					
12. Other					
PANEL WALL					
1. Siding					
2. Soffits	-		N		
3. EIFS					
4. Storefronts					
5. Curtain walls					
6. Wall louver					
7. Glass block					
8. Membrane					
9. Greenhouse					
10. Other					
. ROOFING PRODUCTS			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		
Asphalt Shingles					
Underlayments					
Roofing Fasteners					
4. Non-structural Metal R	f				
5. Built-Up Roofing					
6. Modified Bitumen					
7. Single Ply Roofing Sys					
8. Roofing Tiles					

02/02/04 - 1 of 2

Roofing Insulation
 Waterproofing

12 Roofing Slate

11. Wood shingles /shakes

Floor Plan including:

Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck,

balconies and raised floor surfaces located more than 30 inches above the floor or grade

All exterior and interior shear walls indicated

Shear wall opening shown (Windows, Doors and Garage doors

Emergency escape and rescue opening in each bedroom (net clear opening shown)

Safety glazing of glass where needed

Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FRC)

Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FRC

/ 311)

0

Plans must show and identify accessibility of bathroom (see FRC 322)

All materials placed within opening or onto/into exterior shear walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

Foundation Plans Per FRC 403:

- a) Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling.
- o d) Assumed load-bearing valve of soil (psf)
- e) Location of horizontal and vertical steel, for foundation or walls (include # size and type)

CONCRETE SLAB ON GRADE Per FRC R506

- Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
- Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports

PROTECTION AGAINST TERMITES Per FRC 320:

Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides

Masonry Walls and Stem walls (load bearing & shear Walls) FRC Section R606

- Show all materials making up walls, wall height, and Block size, mortar type
- Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

- Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer
- Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or priers
- Girder type, size and spacing to load bearing walls, stem wall and/or priers
- Attachment of joist to girder
- Wind load requirements where applicable
- Show required under-floor crawl space
- Show required amount of ventilation opening for under-floor spaces
- Show required covering of ventilation opening.
- Show the required access opening to access to under-floor spaces
- Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing
- Show Draft stopping, Fire caulking and Fire blocking
- Show fireproofing requirements for garages attached to living spaces, per FRC section R309
- Provide live and dead load rating of floor framing systems (psf).

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- On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.
- Appliances and HVAC equipment and disconnects
- Arc Fault Circuits (AFCI) in bedrooms
- Notarized Disclosure Statement for Owner Builders
- Notice of Commencement Recorded (in the Columbia County Clerk Office) <u>Notice</u>
 <u>Of Commencement is required to be filed with the building department Before Any</u>
 Inspections Will Be Done.

Private Potable Water

- Size of pump motor
- Size of pressure tank
- Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

- Building Permit Application: A current Building Permit Application form is to be completed and submitted for all residential projects.
- Parcel Number: The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
- Environmental Health Permit or Sewer Tap Approval: A copy of the Environmental Health permit,
 existing septic approval or sewer tap approval is required before a building permit can be issued. (386)
 758-1058 (Toilet facilities shall be provided for construction workers)
- <u>City Approval:</u> If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
- Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED. A development permit will also be required. The permit cost is \$50.00.
- <u>Driveway Connection:</u> If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
- 911 Address: If the project is located in an area where the 911 address has been issued, then the proper Paper work from the 911 Addressing Departments must be submitted. (386) 758-1125

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. NOTIFICATION WILL BE GIVEN WHEN THE APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT.

day to

13. Liquid Applied Roof S	nt.) Manufacturer	Product Description	Approval Number(
14. Cements-Adhesives -	lys		
Coatings		and the second second second second second	
15. Roof Tile Adhesive			
16. Spray Applied	CONTRACTOR SERVICE	-6 5 NO	and the second of the second of the second
Polyurethane Roof	and the second of		0.00
17. Other			the state of the s
E. SHUTTERS			10.1
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2. Bahama			
Storm Panels			No.
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			- 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
F. SKYLIGHTS			
1. Skylight			
2 Other			
G. STRUCTURAL			1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
COMPONENTS			
1. Wood connector/ancho	or .		
2. Truss plates	"		- 7
3. Engineered lumber			
4. Railing		(A. 1)	
5. Coolers-freezers			1 13
Concrete Admixtures			
7. Material			in the state of th
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			to the second se
11. Wall			- 1 12 12 12 12
12. Sheds			
13. Other			
NEW EXTERIOR			
ENVELOPE PRODUCTS			The state of the s
1.			
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d certified to comply with, 3	t approval, 2) the	oduct approval at plan review. i information must be available rformance characteristics while able manufacturers installation oved if approval cannot be den	ch the product was tested
ractor or Contractor's Authorized A	gent Signature	Print Name	Date

Effective April 1, 2004

Website: