



Columbia County Gateway to Florida

70225

FOR PLANNING USE ONLY

Application # ~~SPD~~ SDP250401

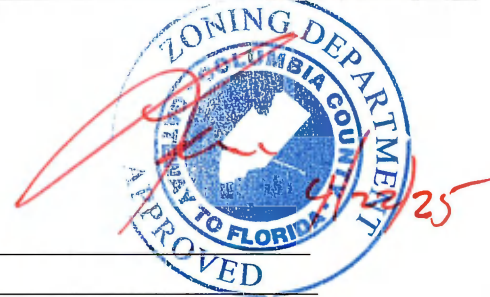
Application Fee \$300.00

Receipt No. 770239

Filing Date 4-2-2025

Completeness Date 4-22-2025

Minor Site Plan Application



A. PROJECT INFORMATION

1. Project Name: Aspen Pest Control
2. Address of Subject Property: Lot 6, Windswept Industrial, Unit 7
3. Parcel ID Number(s): 24-4S-16-03120-706
4. Future Land Use Map Designation: Light Industrial
5. Zoning Designation: Industrial Light Warehouse
6. Acreage: 1.14 Acres
7. Existing Use of Property: Vacant
8. Proposed use of Property: New Building
9. Type of Development (Check All That Apply):
 - () Increase of floor area to an existing structure: Total increase of square footage _____
 - () New construction: Total square footage 2,400
 - () Relocation of an existing structure: Total square footage _____
 - () Increase in Impervious Area: Total Square Footages _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Brad Handy Title: _____
 Company name (if applicable): DIY Development LLC
 Mailing Address: 215 Windswept Glen
 City: Lake City State: FL Zip: 32024
 Telephone: () 386-466-9168 Fax: () Email: brad.handy@lettering.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): _____
 Mailing Address: _____
 City: _____ State: _____ Zip: _____
 Telephone: () Fax: () Email: _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property:
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. CPA _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. Z _____
Variance: Yes _____ No _____
Variance Application No. V _____
Special Exception: Yes _____ No _____
Special Exception Application No. SE _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map - Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan - Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
7. Legal Description with Tax Parcel Number (In Word Format).
8. Proof of Ownership (i.e. deed).
9. Agent Authorization Form (signed and notarized).
10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
11. Fee. The application fee for a Minor Site and Development Plan Application is \$300. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing.

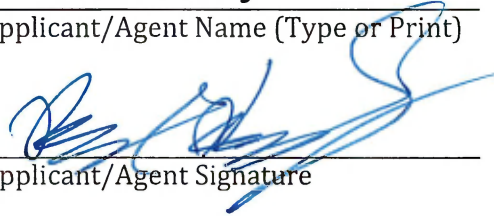
For submittal requirements, please see the Columbia County Building and Zoning Development Application Submittal Guidelines.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Brad Handy

Applicant/Agent Name (Type or Print)



Applicant/Agent Signature

3/24/25

Date

COLUMBIA COUNTY Property Appraiser

Parcel 24-4S-16-03120-706 <https://search.ccpaf1.com/parcel/03120706164S24>

Owners

DIY DEVELOPMENT LLC
215 SW WINDSWEPT GLN
LAKE CITY, FL 32024

Legal Description

LOT 6 WINDSWEPT INDUSTRIAL UNIT 7.
WD 1505-2387,

Use: 4000: VACANT INDUSTRIAL

Subdivision: WINDSWEPT INDUSTRIAL UNIT 7





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
DIY DEVELOPMENT LLC

Filing Information

Document Number L16000159744
FEI/EIN Number 81-3664948
Date Filed 08/25/2016
State FL
Status ACTIVE

Principal Address

215 SW Windswept Gln
LAKE CITY, FL 32024

Changed: 01/15/2020

Mailing Address

215 SW Windswept Gln
LAKE CITY, FL 32024

Changed: 01/27/2021

Registered Agent Name & Address

HANDY, BRADLEY R
215 SW Windswept Gln
LAKE CITY, FL 32024

Address Changed: 01/15/2020

Authorized Person(s) Detail

Name & Address

Title MGR

HANDY, BRADLEY R
215 SW Windswept Gln
LAKE CITY, FL 32024

Annual Reports

Report Year	Filed Date
2023	01/19/2023

2024 01/16/2024
2025 01/24/2025

Document Images

01/24/2025 -- ANNUAL REPORT	View image in PDF format
01/16/2024 -- ANNUAL REPORT	View image in PDF format
01/19/2023 -- ANNUAL REPORT	View image in PDF format
01/20/2022 -- ANNUAL REPORT	View image in PDF format
01/27/2021 -- ANNUAL REPORT	View image in PDF format
01/15/2020 -- ANNUAL REPORT	View image in PDF format
02/04/2019 -- ANNUAL REPORT	View image in PDF format
01/10/2018 -- ANNUAL REPORT	View image in PDF format
02/14/2017 -- ANNUAL REPORT	View image in PDF format
08/25/2016 -- Florida Limited Liability	View image in PDF format

Tax Bill Detail

Payment Options

Year	Due
2024	\$0.00
2023	\$0.00

Property Tax Account: R03120-706
DIY DEVELOPMENT LLC

Year: 2024 **Bill Number:** 13283 **Owner:** DIY DEVELOPMENT LLC
Tax District: 2 **Property Type:** Real Estate

MAILING ADDRESS: DIY DEVELOPMENT LLC
215 SW WINDSWEPT GLN
LAKE CITY FL 32024


PROPERTY ADDRESS: 0

This Bill:	\$0.00
All Bills:	\$0.00
Cart Amount:	\$0.00

Bill 13283 -- No Amount Due

Pay All Bills

 Print Bill / Receipt

 Register for E-Billing

Property Appraiser

Taxes Assessments Legal Description Payment History

Ad Valorem

Authority/Fund	Tax Rate	Charged	Paid	Due
BOARD OF COUNTY COMMISSIONERS	7.8150	\$86.36	\$86.36	\$0.00
COLUMBIA COUNTY SCHOOL BOARD				
DISCRETIONARY	0.7480	\$40.93	\$40.93	\$0.00
LOCAL	3.1430	\$171.99	\$171.99	\$0.00
CAPITAL OUTLAY	1.5000	\$82.08	\$82.08	\$0.00
Subtotal	5.3910	\$295.00	\$295.00	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.2936	\$3.24	\$3.24	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0001	\$0.00	\$0.00	\$0.00
TOTAL	13.4997	\$384.60	\$384.60	\$0.00

Non-Ad Valorem

Authority/Fund	Charged	Paid	Due
FIRE ASSESSMENTS	\$3.14	\$3.14	\$0.00
TOTAL	\$3.14	\$3.14	\$0.00

Kyle Keen, CFC
Columbia County Tax Collector

2024 Real Estate
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

13283.0000

PARCEL NUMBER	ESCROW CD	Millage Code
R03120-706		2

THIS BILL IS FULLY PAID

LOT 6 WINDSWEPT INDUSTRIAL UNIT 7.

DIY DEVELOPMENT LLC
215 SW WINDSWEPT GLN
LAKE CITY FL 32024

135 NE Hernando Ave, Suite 125, Lake City, FL 32055
(386) 758-1077

AD VALOREM TAXES

TAXING AUTHORITY	ASSESSED VALUE	MILLAGE RATE	EXEMPTION AMOUNT	TAXABLE AMOUNT	TAXES LEVIED
BOARD OF COUNTY COMMISSIONERS					
GENERAL FUND	11,511	7.8150	0	11,511	89.96
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	57,000	0.7480	0	57,000	42.64
LOCAL	57,000	3.1430	0	57,000	179.15
CAPITAL OUTLAY	57,000	1.5000	0	57,000	85.50
SUWANNEE RIVER WATER MGT DIST					
WATER MGT	11,511	0.2936	0	11,511	3.38
LAKE SHORE HOSPITAL AUTHORITY					
LK SHORE	11,511	0.0001	0	11,511	0.00

PLEASE RETAIN THIS PORTION FOR YOUR RECORDS

IMPORTANT: All exemptions do not apply to all taxing authorities. Please contact the Columbia County Property Appraiser for exemption/assessment questions.

TOTAL MILLAGE	13.4997	AD VALOREM TAXES	400.63
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NON AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	RATE	AMOUNT
FFIR FIRE ASSESSMENTS	0.00 Unit @293.9800	3.27

SAVE TIME PAY ONLINE @ www.columbiataxcollector.com

NON AD VALOREM ASSESSMENTS	3.27
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COMBINED TAXES AND ASSESSMENTS	403.90	See reverse side for important information
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Paid In Full	Taxes	Discount / Interest	Fees	Payments	Amount Due
	403.90	-16.16	0.00	387.74	0.00

Kyle Keen, CFC
Columbia County Tax Collector

2024 Real Estate
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

13283.0000

PARCEL NUMBER	ESCROW CD	Millage Code
R03120-706		2

THIS BILL IS FULLY PAID

LOT 6 WINDSWEPT INDUSTRIAL UNIT 7.

DIY DEVELOPMENT LLC
215 SW WINDSWEPT GLN
LAKE CITY FL 32024

DO NOT WRITE BELOW THIS PORTION

PLEASE PAY IN US FUNDS TO: KYLE KEEN, TAX COLLECTOR

Paid In Full	Taxes	Discount / Interest	Fees	Payments	Amount Due
	403.90	-16.16	0.00	387.74	0.00

Receipt(s) 2024-15976 on 11/26/24 for \$387.74 by DIY DEVELOPMENT LLC

Prepared by and return to:

Michael H. Harrell
Abstract and Title Services, Inc.
283 Northwest Cole Terrace
Suite B
Lake City, FL 32055
7-20002

Inst: 202412000447 Date: 01/09/2024 Time: 8:31AM
Page 1 of 2 B: 1505 P: 2387, James M Swisher Jr, Clerk of Court
Columbia, County, By: VC *MS*
Deputy Clerk Doc Stamp-Deed: 612.50

Warranty Deed

This Warranty Deed is executed this 08 day of January, 2024 by Daniel Crapps, as Trustee under the provisions of a certain Trust Agreement dated the 1st day of November 1999 known as the Windswept Land Trust, whose address is 291 Southwest Main Boulevard, Lake City, FL 32025, hereinafter called the grantor, to DIY Development LLC, a Florida Limited Liability Company, whose address is 215 SW Windswept glen, Lake City, FL 32024, hereinafter called the grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth, that said Grantor, for and in consideration of the sum of *TEN DOLLARS (\$10.00)* and other good and valuable considerations to said Grantor, in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee and Grantee heirs and assigns forever, the following described land situated, lying and being in Columbia County, Florida, to-wit.

Lot 6, Windswept Industrial Subdivision Unit 7, according to the map or plat thereof, as recorded in Plat Book 10, Page(s) 1 through 2, of the Public Records of Columbia County, Florida.

The above described property is not, has never been nor is it contiguous to the homestead of the Grantor

Together With all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject To taxes for the current tax year and subsequent years, not yet due and payable; covenants, restrictions, reservations, and limitations of record, if any.

To Have and To Hold, the same in fee simple forever.

And Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Dana Thomas
Witness

Lisa Hicks
Printed Name

4515 Lowe Lake Rd
Wellborn FL 32094
Witness Postal Address

Kristi L Ditter
Witness

Kristi L. Ditter
Printed Name

226 SW Guthrie Ter, Lake City, FL 32024
Witness Postal Address

[Signature]

Daniel Crapps, as Trustee under the provisions of a certain Trust Agreement dated the 1st day of November 1999 known as the Windswept Land Trust

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 8 day of January, 2024, by Daniel Crapps, as Trustee under the provisions of a certain Trust Agreement dated the 1st day of November 1999 known as the Windswept Land Trust

Vera Lisa Hicks

Signature of Notary Public
Print, Type/Stamp Name of Notary



Personally Known: OR Produced Identification:
Type of Identification
Produced: _____

Aspen Pest Control

CONCURRENCY & COMPREHENSIVE PLAN CONSISTENCY ANALYSIS

**David M. Winsberg
PE License # 68463
Cert. Auth. # 29596**

**Winsberg, Inc.
PO Box 2815
Lake City, FL 32056
Phone (386) 755-7449
Fax (888) 522-0030
david@winsberginc.com**

Water & Sewer Usage

Water & Sewer usage is 15 GPD per 100 square feet of floor space. Total usage is thus $15 \times 2,400 / 100 = 360.0$ GPD.

Solid Waste

Solid Waste is 5.5 lbs/day per 1,000 square feet of floor space. Total usage is thus $5.5 \times 2,400 / 1,000 = 13.2$ lbs/day.

Trip Generation

ADT is 6.97 trips/day per 1,000 square feet of floor space. Thus, total ADT is $6.97 \times 2,400 / 1,000 = 16.73$ trips/day.

PM peak trips is 0.98 trips per 1,000 square feet of floor space. Thus, total PM peak trips is $0.98 \times 2,400 / 1,000 = 2.35$ trips.

Consistency with Objectives and Policies for Urban Development Areas

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE COUNTY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

OBJECTIVE I.1 The county shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The facility is located inside the Designated Urban Development Area and conforms to the requirements of the Comprehensive Plan and Land Development Regulations.

Policy I.1.1

The county shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the county shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The facility is located along SW Windswept Glen where adequate capacity for transportation, water, sanitary sewer, etc... is available to support the facility.

Policy I.1.2

The county's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The property is being proposed to be used for activities that are consistent with usage of current surrounding properties.

Policy I.1.3

The county's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2040.

Consistency: The property owner wishes to start construction as soon as is reasonably possible. They do not intend to wait until 2040 begin construction.

Policy I.1.4

The county shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The facility is not located in any environmentally sensitive areas. It will not be used for agricultural or forestry activities.

Policy I.1.5

The county shall continue to regulate govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Consistency: The facility was designed so as to conform with the existing land topography, soil conditions, and other unique features specific to this property.

Policy I.1.6

The county's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the county. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The facility is not designed to exceed any density, floor area ratio, or other similar required threshold. If necessary, a variance will be requested after exhausting all other options.



Building and Zoning Department

Site Development Plan Application

Invoice

70225

Applicant Information

Brad Handy
215 SW Windswept Gln, Lake City

Invoice Date

04/02/2025

Permit

SDP250401

Amount Due

\$300.00

Job Location

Parcel: 24-4S-16-03120-706
Owner: DIY DEVELOPMENT LLC, ,
Address: 215 SW Windswept Gln, Lake City

Contractor Information

Invoice History

<u>Date</u>	<u>Description</u>	<u>Amount</u>
04/02/2025	Fee: Minor Site & Development Plan Approval	\$300.00
Amount Due:		\$300.00

Contact Us

Phone:
(386) 758-1008

Customer Service Hours:
Monday-Friday
From 8:00 A.M. to 4:30 P.M.

Email:
bldginfo@columbiacountyfla.com

Website:
<http://www.columbiacountyfla.com/BuildingandZoning.asp>

Address:
Building and Zoning Ste. B-21
135 NE Hernando Ave.
Lake City, FL 32055

[Credit card payments can be made online here \(fees apply\)](#)

Fee balances are not immediately updated using online Credit Card. If you have paid permit fees using the online application site or by another method such as check or cash, please allow time for your payment to be processed.

Inspection Office Hours

Monday - Friday
From 8:00 AM to 10:00 AM
and
From 1:30 PM to 3:00 PM

Regular Inspection Schedules

All areas North of County Road 242
From 10:00 AM to Noon

All areas South of County Road 242
From 3:00 PM to 5:00 PM

Inspection Requests

Online: (Preferred Method)
www.columbiacountyfla.com/InspectionRequest.asp

Voice Mail: 386-719-2023 or Phone: 386-758-1008

All Driveway Inspections: 386-758-1019

Septic Release Inspections: 386-758-1058

IMPORTANT NOTICE:

Any inspection requested after 4:30 pm, no matter the method, will be received the next business day and will be scheduled by the earliest time slot.

All Inspections require 24 hours notice.
Emergencies will be inspected as soon as possible.



Building Department

Receipt Of Payment

Applicant Information

Brad Handy
215 SW Windswept Gln, Lake City

Method

Check 5571

Date of Payment

04/02/2025

Payment

770239

Amount of Payment

\$300.00

AppID: 70225 Permit #: SDP250401
Site Development Plan
Parcel: 24-4S-16-03120-706
Owner: DIY DEVELOPMENT LLC, ,
Address: 215 SW Windswept Gln, Lake City

Contractor Information

Payment History

Date	Description	Amount
04/02/2025	Fee: Minor Site & Development Plan Approval	\$300.00
04/02/2025	Payment: Check 5571	(\$300.00)
		\$0.00

Contact Us

Phone:
(386) 758-1008

After Hours:
(386) 758-1124

Customer Service Hours:
Monday-Friday
From 8:00 A.M. to 5:00 P.M.

Email:
laurie_hodson@columbiacountyfla.com

Website:
<http://www.columbiacountyfla.com/BuildingandZoning.asp>

Address:
Building and Zoning
135 NE Hernando Ave.
Lake City, FL 32055

Building Inspector Office Hours

Monday - Friday
From 8:00 AM to 10:00 AM
and
From 1:30 PM to 3:00 PM

Regular Inspection Schedules

All areas North of County Road 242
From 10:00 AM to Noon

All areas South of County Road 242
From 3:00 PM to 5:00 PM

To Request Inspections - (Residential, Commercial, Fire, Zoning, & County Driveway Access)

Online: (Preferred Method)

www.columbiacountyfla.com/InspectionRequest.asp

Ph: 386-758-1008, 386-758-1124, 386-719-2023, 386-758-1007 (Leave A Message)

To Call for an Access (Driveway) Inspection: 386-758-1019

Septic Release Inspections: 386-758-1058

IMPORTANT NOTICE:

Any inspection requested after 5:00 pm, no matter the method, will be received the next business day; then that inspection will be scheduled the following business day.

All Inspections require 24 hours notice.

Emergencies will be inspected as soon as possible.

ASPEN PEST CONTROL

WINSBERG, INC.
 P.O. Box 2815
 Lake City FL, 32056
 Phone: (386) 755-7449
 david@winsberginc.com

David M. Winsberg, PE
 PE License # 68463
 Cert. Auth. # 29596

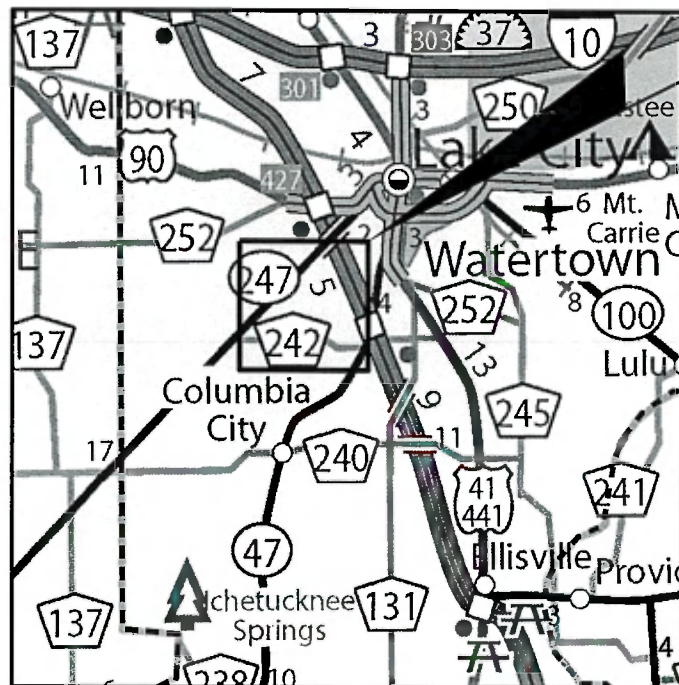
SHEET INDEX

1	COVER SHEET
2	LEGEND AND GENERAL NOTES
3	UTILITY NOTES
4	EXISTING CONDITIONS
5	SITE PLAN
6	GRADING PLAN
7	LANDSCAPING & UTILITY PLAN
8-9	MISCELLANEOUS DETAILS

DEVELOPER

Brad Handy
 DIY Development LLC.
 215 Windswept Glen
 Lake City, FL 32024
 Phone: (386)-466-9168

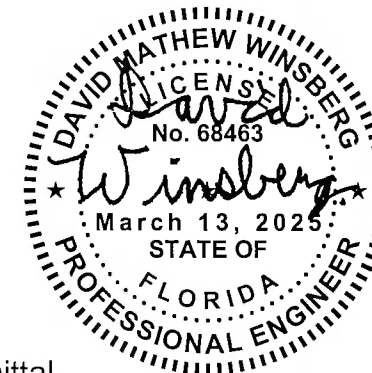
LOCATION MAP



PROJECT LOCATION

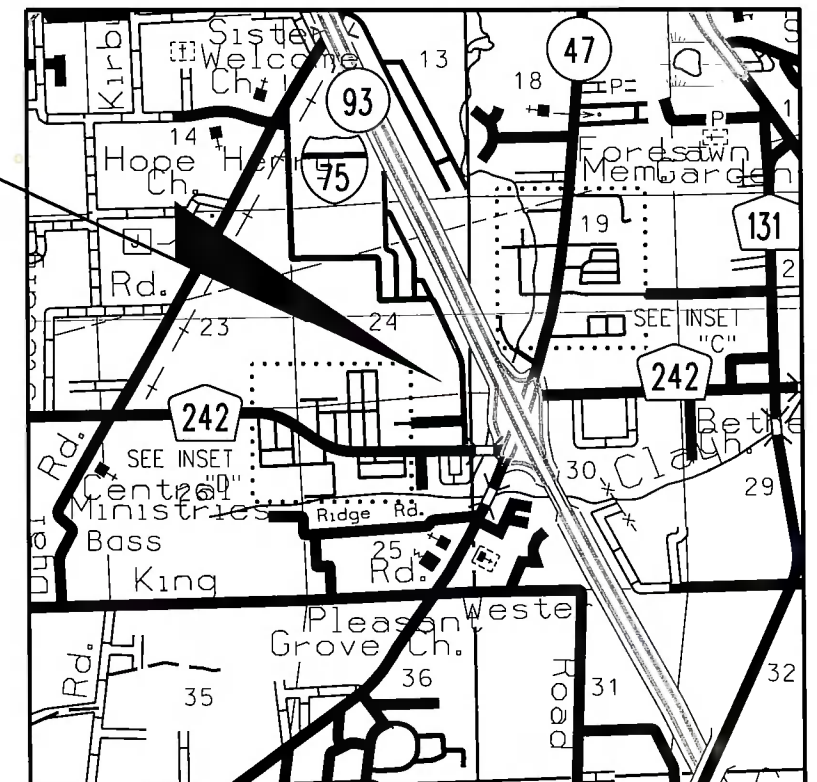
PROJECT LOCATION

SUBJECT PROPERTY IS LOCATED AT
 SECTION 24, TOWNSHIP 4 SOUTH, RANGE 16 EAST
 COLUMBIA COUNTY, FLORIDA



For Permitting - Columbia County 1st Submittal
 WINSBERG, INC. PROJECT NUMBER: 2391

VICINITY MAP



GENERAL NOTES

- The contractor shall verify all conditions and dimensions at the job site to ensure that all work will fit in the manner intended on the plans. Should any conditions exist that are contrary to those shown on the plans, the contractor shall notify the engineer of difference immediately and prior to proceeding with the work.
- The contractor shall maintain the construction site at all times in a secure manner. All open trenches and excavated areas shall be protected from access by the general public.
- Site contractor shall coordinate all work with other contractors within project limits.
- The contractor shall waste all excess earth on site as directed by the engineer.
- Any public land corner within the limits of construction is to be protected. If a corner monument is in danger of being destroyed and has not been properly referenced, the contractor should notify the engineer.
- Boundary and topographical information shown was obtained from a survey performed by Daniel & Gore, LLC., Florida Certificate No. 7683
- All existing utilities shall be located (horizontal and vertical) prior to beginning work. Any existing utilities shown in these plans are approximate only and shall be verified in the field by non-destructive methods. The engineer shall be notified immediately of any discrepancies.
- The design of all utility service connections (defined as the conduit connecting the utility from the building to the point it enters/leaves the collection/distribution system) is the responsibility of the contractor and/or his structural engineer or architect. Such utility service connections shall have equivalent or greater capacity than the conduit inside such building(s) serviced, and shall be designed according to all building codes and all other applicable regulations. The site engineer shall be notified immediately if a conflict arises between any proposed service connections and these plans.
- All site construction shall be in accordance with the Columbia County Land Development Regulations.
- Contractor shall contact the Columbia County Building and Zoning department to perform the following site inspections:
 A) Erosion and sediment control - prior to beginning construction.
 B) Site compliance - once building foundation is poured and improvements are staked out.
 C) Final site compliance - once all improvements are finalized.
- All proposed construction shall conform to the latest edition of the Florida Department of Transportation Standard Specifications for Road and Bridge Construction and the Florida Department of Transportation Design Standards.
- All new traffic signage and pavement markings shall conform to the current manual on Uniform Traffic Control Devices and the current FDOT design standards.
- All storm sewer pipes shall have a minimum cover of 6". Limerock backfill shall be used if pipe under pavement has less than 12" cover.
- Existing drainage structures within the construction limits shall be removed, unless otherwise specified in the plans.
- All swales, depression areas and retention ponds shall be inspected monthly for sinkhole occurrence. Should a sinkhole occur, the area should be repaired as soon as possible. If a solution pipe sinkhole forms within the storm water system, the sinkhole shall be repaired by backfilling with a low permeability material. A 2-foot cap that extends 2 feet beyond the perimeter of the sinkhole shall be constructed with clayey soils. The clayey soil should have at least 20% passing the number 200 sieve, compacted to 95% of standard proctor, and compacted in a wet condition with moisture 2%-4% above optimum. The clay soil cap shall be re-graded to prevent ponding and re-vegetated.
- Contractor shall provide an as-built survey meeting the requirements of Chapter 61G17 F.A.C. for the stormwater management systems. Include horizontal and vertical dimensional data so that improvements are located and delineated relative to the boundary. Provide sufficient detailed data to determine whether the improvements were constructed in accordance with the plans.
- Contractor shall contact SRWMD and the engineer of record 48 hours prior to beginning construction.

EROSION CONTROL NOTES

- Contractor shall adhere to the Erosion Control Plan and all erosion and sediment control regulations as set by SRWMD and other governing authorities, and use (as a minimum) the erosion measures control described and shown in these plans.
- This project shall comply with all applicable water quality standards.
- Sediment and erosion control measures and stormwater management facilities shall be installed prior to any other construction.
- Contractor is responsible for implementing additional measures as required for proper erosion and sediment control. The contractor should use BMP's in the Florida Erosion and Sediment Control Inspector's manual to implement a plan that will work and meet actual field conditions.
- Sediment and erosion control measures shall not be removed until all construction is complete and a permanent ground cover has been established.
- During construction and after construction is complete, all structures shall be cleaned of all debris and excess sediment.
- All waste generated on the project shall be disposed of by the contractor in areas provided by contractor.
- Loaded haul trucks shall be covered with tarps and excess dirt removed daily.
- Silt fences shall be located on site to prevent sediment and erosion from leaving project limits. Silt fence shall be cleaned or replaced when silt builds up to within one foot of top of silt fence.
- The retention basin(s) shall be constructed initially to serve as a sediment trap during construction.
- A pad of rubble riprap shall be placed at the bottom of all collection flumes and collection pipe outlets.
- All open drainage swales shall be grassed immediately and riprap shall be placed as required to control erosion.
- All disturbed areas shall be stabilized immediately to prevent erosion. All slopes greater than 4h:1v shall be stabilized with sod. Staple sod shall be used on slopes greater than 2h:1v.
- All disturbed areas not sodded shall be seeded with a mixture of long-term vegetation and quick-growing short-term vegetation for the following conditions. For the months from September through March, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of winter rye. For the months of April through August, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of millet.
- All stabilization practices shall be initiated as soon as practicable in areas of the job where construction activities have temporarily or permanently stopped, but in no case shall the disturbed area be left unprotected for more than three (3) days.
- Qualified personnel shall inspect the stockpile areas, silt fence, construction entrance, and all disturbed areas that have not been finally stabilized, at least once every seven (7) calendar days and within 24 hours of the end of a storm of 0.5 inches or greater. Corrective actions shall be taken immediately.
- Contractor is responsible for the construction and maintenance of all erosion and sediment controls during proposed construction.

ABBREVIATIONS

OVER HEAD	UNDER GROUND	TYPE OF UTILITY	Ø DIAMETER	INV INVERT
OHC	UC	C CABLE	DBI DITCH BOTTOM INLET	EL ELEVATION
OHE	UE	E ELECTRIC	MH MANHOLE	LF LINEAR FEET
OHT	UT	T TELEPHONE	CO CLEANOUT	NTS NOT TO SCALE
RCP		REINFORCED CONCRETE PIPE	SAN SANITARY SEWER	PL PROPERTY LINE
CMP		CORRUGATED METAL PIPE	SS STORM SEWER	CL CENTER LINE
HDPE		HIGH DENSITY POLYETHYLENE PIPE	W WATER LINE	BL BASE LINE
BCCMP		BITUMINOUS COATED CORRUGATED METAL PIPE	G GAS	R RADIUS OF CURVE
BCCSP		BITUMINOUS COATED CORRUGATED STEEL PIPE	MES MITERED END SECTION	EOP EDGE OF PAVEMENT
			WSWT WET SEASON WATER TABLE	BM BENCH MARK
				IP IRON PIPE

LEGEND

ITEM	SYMBOL	ITEM	SYMBOL
CONCRETE MONUMENT	■	METER OR CONTROLS	
IRON PIPE	●	VALVE	
BENCH MARK	■	REDUCER	▶
SOIL BORING LOCATION	⊕	BACKFLOW PREVENTER	
POWER POLE	○	FIRE HYDRANT	⊕
TELEPHONE POLE	○	WATER 90° BEND	└
SHARED POWER POLE	○	WATER TEE	└
ANCHOR PIN	→	SINGLE WATER SERVICE	□
LIGHT	○	DOUBLE WATER SERVICE	
SIGN & POST	↑	SANITARY SINGLE WATER SERVICE	⊕
TOWER	⊠	SANITARY DOUBLE WATER SERVICE	
FENCE	—	SANITARY MANHOLE	⊕
SILT FENCE	—	STORMWATER MANHOLE	⊕
VEGETATION OR LANDSCAPING		STORMWATER DRAINAGE INLET	
TREE		STORMWATER PIPE	—
GRAVEL OR RIPRAP		MITERED END SECTION	└
CONCRETE PAVEMENT		ENERGY DISSIPATION PAD	
HANDICAP PARKING		DITCH BLOCK	
FLOW ARROW (SHEET)	→	FLOW ARROW (GUTTER)	→
GROUND CONTOUR (EXISTING)	— 75	GROUND CONTOUR (PROPOSED)	- - -
SPOT ELEVATION (EXISTING)	x 96.22	SPOT ELEVATION (PROPOSED)	79.56

REVISION NOTES

DATE

ASPEN PEST CONTROL

LEGEND AND GENERAL NOTES



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PROJECT #	SHEET
2391	2

GENERAL UTILITY NOTES

- All existing utilities shall be located prior to beginning work. This includes verifying location (horizontal and vertical) at any connection point of the existing utility. The engineer shall be notified immediately of any discrepancies existing between the construction plans and actual field conditions. Existing utilities shown in these plans are approximate only and shall be verified in the field by non-destructive methods.
- Contractor shall review and become familiar with all required utility connections prior to bidding. Contractor shall provide all work and materials required to complete connection to the existing utilities. This includes, but is not limited to, manhole coring, wet taps, pavement repairs and directional boring.
- Contractor shall contact the City of Lake City (386.758.5492) prior to beginning work to coordinate inspection of utility connections.
- Existing water should remain in service during construction. The City of Lake City shall be notified in the event interruptions to service are required.
- All new and relocated water main pipes, fittings, appurtenances, and packing and joint materials shall conform to applicable American Water Works Association (AWWA) standards and/or manufactures recommendations.
- Sufficient valves shall be provided in new and relocated water mains to minimize inconvenience and sanitary hazards during repairs.
- At high points where air can accumulate in new and relocated water mains, hydrants or air release valves shall be provided to remove air.
- Automatic air release valves on new and relocated water mains shall not be located where flooding of the valve manhole or chamber could occur.
- Hydrant drains, flushing devices, air release valves or chambers, manholes containing valves, blow-offs, meters, or other appurtenances provided in conjunction with new and relocated water mains shall not be connected directly to any sanitary or storm sewer.
- Stones found in trenches for new and relocated water and sanitary sewer mains shall be removed to a depth of at least six inches below the bottom of pipe. Continuous and uniform bedding shall be provided in these trenches. This backfill material shall be tamped in layers around pipe to a sufficient height above pipe to adequately support and protect the pipe.
- All tees, bends, plugs, and hydrants in new and relocated water mains shall be provided with restrained joints to prevent movement. Megalug mechanical joint restraints or approved alternative (not thrust blocks) shall be used with manufactures recommendations. All restrained joints shall be left open until inspected by the City.
- A 24" minimum cover height shall be provided above any new or relocated water or sanitary sewer main crossing under any surface water. Provide the following features if width of surface water is greater than 15' at this crossing:
 - Flexible water tight joints throughout the crossing.
 - Easily accessible valves located in a manhole.
 - Permanent taps on each side of valve within the manhole to allow for sampling and insertion of a small meter to determine leakage.
- Proper backflow prevention shall be provided in accordance with rule 62-555.360 F.A.C. (cross-connection control for public water systems).
- This project shall not include any interconnection between previously separate public water systems having separate water supply sources.
- Any new and relocated water laterals shall cross above sanitary sewer pipe or provide protection to prevent contamination as required by FDEP and other applicable standards.
- Contractor shall provide an as-built survey for water and sanitary sewer extensions.
- Contractor shall provide tracer wire above all new and relocated water and sanitary sewer mains.
- Locator devices shall be provided at water and sanitary sewer tap locations.
- All utility construction shall be in accordance with all applicable building codes and with the City of Lake City Utility Standards unless otherwise approved by the engineer.

PIPES AND FITTINGS

- General:** All pipe and fittings for water and wastewater service shall be clearly marked with the name or trademark of the manufacturer, the location of the plant and the strength designation, as applicable.
- Polyvinyl Chloride (PVC):**
 - Potable water and effluent reuse pipe shall be manufactured from clean virgin type 1, grade 1 rigid unplasticized polyvinyl chloride resin conforming to ASTM designation D1784. Potable water and reuse pipe shall have the national sanitation foundation (NSF) seal, shall conform to AWWA C-900, and shall have a dimension ratio (DR) of not more than 18. PVC pipe for wastewater force mains shall have a DR of not more than 25, or less if design considerations require. The PVC pipe shall have integral ball push on type joints conforming to ASTM D3139. Pipe used for reuse mains shall be purple (Pantone 522C), for water main shall be blue, and for wastewater shall be green in color.
 - Connections for pipe 2 inches in diameter and larger shall be rubber compression ring type. Pipe shall be extruded with integral thickened bell walls without increase in DR. rubber ring gaskets shall consist of synthetic compounds meeting the requirements of ASTM designation D1869, and suitable for the designated service. Other connections shall be solvent cemented joints.

PIPES AND FITTINGS CONTINUED

- Gravity wastewater PVC pipe and fittings shall be manufactured from polyvinyl chloride resin conforming to ASTM designation D1784. Pipe and fittings of this material shall conform to ASTM designation D3034 and F879. "Standard specifications for type PSM polyvinyl chloride sewer pipe and fittings." All pipe and fittings shall have a standard dimension ratio (SDR) of not more than 35.
 - PVC pipe for gravity sewers shall be supplied in standard lengths not to exceed 20 feet, and be furnished with integrally formed bell joints.
 - All PVC pipe and accessories less than 2 inches in diameter shall be schedule 80 and be of rigid normal impact polyvinyl chloride. The pipe and accessories shall conform to ASTM specification D1785 and product standard PS21-70. All materials to be furnished complete to perform the work, including solvent cement, etc.
 - Connections: Connection of PVC gravity sewer lines to manholes shall be made by using a PVC manhole coupling adapter connecting piece manufactured from a 2 foot piece of PVC pipe with a water stop or rubber boot. The connection shall provide flexibility and a watertight connection at the structure.
 - Connections to existing wastewater manholes: Core-drill manhole for installation of wastewater pipe. Install pipe with Kor-n-Seal or equal boot. Grout annular space with non-shrink grout. Coordinate with City of Lake City inspector 48 hours in advance.
- C. Service Pipe:**
- Water service pipe: All potable water service lines shall be 1-inch, 1 1/2 inches or 2 inches polyethylene tubing conforming to AWWA C-800 and C-901.
 - Wastewater service lateral: All wastewater service laterals shall be PVC and have a minimum diameter of 6 inches and shall conform to ASTM D3034, SDR 35.
- D. Pressure Pipe Restraints:**
- Pressure pipe fittings shall be restrained with resistant glands and devices as approved by the City. Concrete thrust blocks are not acceptable for pipe restraint unless previously approved by the City for limited applications.
 - The minimum number of restrained joints required for resisting forces at fittings and changes in direction of pipe shall be determined from the length of restrained pipe on each side of fittings and changes in direction necessary to develop adequate resisting friction with the soil. The required lengths of restrained joint ductile iron pipe shall be determined by the engineer.
- G. Special Items:**
- Expansion joints: Pipe expansion joints shall be suitable for the applicable service with a minimum 150 PSI working pressure.
 - Flanged coupling adapters: Units shall be compatible with ANSI standard B16.1, 125 LB. Flanges.
 - Cast iron sleeves and wall pipes: Units shall have integral annular ring waterstops, and also conform to other requirements for cast iron fittings specified in this section. Sleeves and wall pipes to have laying length and ends required for proper installation.
 - Tapping saddles: Units shall be fabricated of ductile iron and suitable for either wet or dry installation. The sealing gasket shall be the "O-Ring" type suitable for the applicable service. Outlet flange shall be ANSI B16.1, 125 LB. standard. Tie straps and bolts shall be a corrosion resistant alloy steel.
 - Tapping sleeves: Units shall be of the mechanical joint type or fabricated steel type sleeves for pressure connections 4 inches and larger. All pressure connections to asbestos cement pipe and all "size on size" tap shall utilized mechanical joint sleeves.
 - Mechanical joint sleeves:** Sleeves shall be cast of gray-iron or ductile iron and have an outlet flange with the dimensions of the class 125 flanges as shown in ANSI B16.1 Properly recessed for tapping valve. Glands shall be gray-iron or ductile iron. Gaskets shall be vulcanized natural or synthetic rubber. Bolts and nuts shall comply with ANSI/AWWA C-111/A.21.11. Sleeves shall be capable of withstanding a 200 PSI working pressure.
 - Steel tapping sleeve:** Sleeves shall be fabricated of minimum 3/8-inch carbon steel meeting ASTM A285, grade.
 - Outlet flange** shall meet AWWA C-207, Class D, ANSI 150 LB. drilling and be properly recessed for the tapping valve. Bolts and nuts shall be high strength low alloy steel to ANSI/AWWA A.21.11/C-111. Gasket shall be vulcanized natural or synthetic rubber. Sleeve shall have manufacturer applied fusion bonded epoxy coating, minimum 12-mil thickness.
 - Service saddles: Saddles for ductile iron pipe shall be double strap, anchored by a minimum four (4) bolt pattern on a ductile iron saddle body. Service saddles for PVC pipe shall have a double strap sized exactly to the pipe outside diameter. Sealing gaskets shall be suitable for the applicable service and straps shall be corrosion resistant alloy steel. The City may require a stainless steel strap and fusion epoxy or nylon coated ductile iron body with stainless steel hardware in areas designated as corrosive.
 - Polyethylene encasement: Encasement shall have a minimum thickness of 8-mils and comply with the applicable provisions of ANSI/AWWA C-105/A21.5. "Polyethylene encasement for gray and ductile iron piping for water and other liquids."

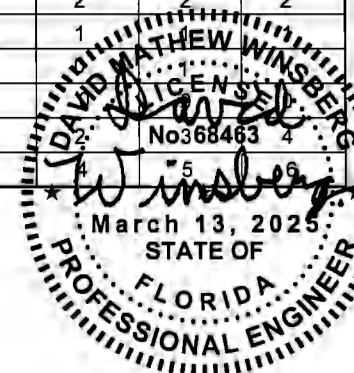
PIPE RESTRAINT NOTES

- Ductile iron fittings to be restrained to PVC (C900) pipe with series 2000 PV mechanical restraint glands as manufactured by Ebaa Iron, Inc. or approved equivalent DI fittings to be restrained to DIP per current DIPRA standards.
- PVC (C900) pipe to be restrained each side of fittings for lengths as noted in table below. Restraint will be accomplished with ductile iron restraint harness conforming to ASTM A-536. Restraint harnesses to be series 1600 as manufactured by Ebaa Iron, Inc. or equivalent. Restraint for DIP shall be by internal restraint gaskets per current DIPRA standards.
- The table below shows typical numbers of 20' length sections of pipe to be mechanically restrained for the following assumptions: (1) Depth of cover = 36 inches, (2) Test pressure = 150 psi, (3) Safety factor = 1.5, (4) Laying conditions = Pipe embedded in loose clean sand and compacted to top of pipe (approximately 90% standard proctor), (5) Silty sands and sand silt mixture for backfill material.

- City of Lake City standard utility notes:
 - Other associated utility permits (such as those issued by the City, County, FDOT, FDEP, or other agency) may be required for this project. Please contact the engineer of record or the appropriate government agency for clarification if there are any questions as to what permits are necessary and what permits have or have not been obtained.
 - The utility plan and plat shows all Public Utility Easements (PUE's) in a metes and bounds format. Upon City's approval of plans for developments not being platted, Owner may choose to grant the metes and bounds easements as shown, or a blanket easement over the entire property, provided facilities are installed within the prescribed distances as shown on the utility plans and in accordance with the Utility Separation Requirements Table in Appendix C of the City of Lake City WWWW/RCW Design Standards.
 - All construction materials and methods for potable water, wastewater, and reclaimed water systems shall be in conformance with City of Lake City's most recent Potable Water, Wastewater and Reclaimed Water System Design Standards, and Approved Materials Manual.
 - Potable Water and Wastewater mains shall maintain a minimum 10 feet horizontal and 1.5 foot vertical separation.
 - A minimum horizontal separation of 10 feet for potable water mains, wastewater force mains, and reclaimed water mains, and 15 feet for gravity wastewater mains shall be provided and maintained from trees, buildings, transformers, and all permanent structures. Live Oak trees require an additional 5 feet of horizontal clearance. Service laterals require 5 feet less clearance for each of the utilities; note that water service laterals shall be installed within 3" sleeves. (See City of Lake City Standards - Horizontal Separation Distances for Parallel and Perpendicular Clearance from Other Objects Table.)
 - Potable water services, requiring a separate water meter, shall be provided to each lot, building or parcel. For commercial, multifamily, and institutional developments, the Developer shall be responsible for installing potable water services and Yoke Assembly Package up to and including the meter yoke, box (installed at final grade) and associated appurtenances, for meters 1" and smaller (see City of Lake City WWWW/RCW Construction Details), with a one-year warranty.
 - 2" valves located in paved areas, including sidewalks, shall be City of Lake City approved cast iron, resilient seat gate valves with standard 2" operating nut, threaded with brass nipple between the valves and tapping saddle or tapped tee.
 - Water mains 4" in diameter and greater, placed under roadways, shall be cement lined ductile iron pipe (CLDIP) extending 5 feet past the back of curb (3 feet within City of Lake City limits). Tracer wire installed on PVC water mains shall continue across the CLDIP sections.
 - 1" and 2" water service crossings located under roadways shall be encased in 3" SCH 40 PVC extending 5' past the back of curb (3 feet inside City of Lake City limits).
 - Anchoring tees, couplings, and bends shall be used on all fire hydrant assemblies.
 - All pressurized main fittings shall be mechanical joint with restrained joint glands; a sufficient length of the pipe connected to the fittings shall be mechanically restrained to provide reaction as specified on the Restrained Joint Standard in the Construction Details of the City of Lake City Standards. Calculations for required restraint length must be provided if the specified restraint length, due to soil type or depth of cover, differs from those provided on these details.
 - All sanitary wastewater service laterals shall be min. 4" diameter PVC (SDR 35) at 1.00% min. slope unless otherwise labeled.
 - Wastewater cleanout covers located within pavement and sidewalks adjacent to paved areas shall be rated for traffic load bearing. Wastewater cleanout covers in other sidewalks/walkways shall be brass with a square recess.
 - Manholes which are not installed under pavement shall have a rim elevation at least 6" above finished grade, and a 10:1 slope to finished grade.
 - Unless otherwise noted on the plans, the finished floor elevations of buildings shall be a minimum of 6" above the lowest upstream manhole top. If this is infeasible, a wastewater service lateral backwater valve (BWV) is required on the customer side of the cleanout.
 - When a potable or reclaimed water main, or a wastewater force main is routed within 10 ft. of an electric transformer, a 20 ft. length of DIP shall be centered on the transformer with mechanical restraint at each end. No fittings or valves shall occur within 10 ft. of the nearest edge of the transformer. A minimum clearance of 3' shall be maintained between the main and the transformer.

MINIMUM NUMBER OF RESTRAINED JOINTS IN 20' STRAIGHT PIPE EACH SIDE OF RESTRAINED FITTING

FITTING	PIPE SIZE					
	6"	8"	10"	12"	16"	20"
90° BENDS	1	1	2	2	2	2
45° BENDS	0	1	1	1		
22-1/2° BENDS	0	0	0			
11-1/4° BENDS	0	0	0			
TEES (BRANCH)	1	1	2			
DEAD END	2	3	3			



ASPEN PEST CONTROL

UTILITY NOTES

REVISION NOTES					
DATE					

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PROJECT # 2391	SHEET 3

EXISTING CONDITIONS

ASPEN PEST CONTROL

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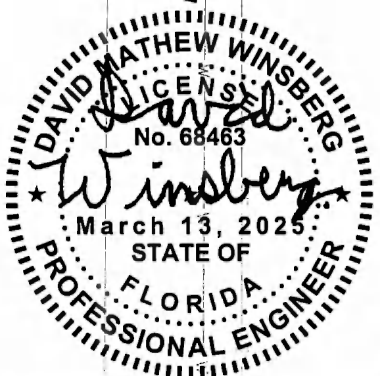
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PROJECT # **2391** SHEET **4**

REVISION NOTES

DATE



BENCHMARK
 PK NAIL
 ELEVATION = 104.45'

SW WINDSWEEP GLEN
 (70' PUBLIC R/W)

10' UTILITY EASEMENT

MANHOLE
 TOP ELEV. = 103.61'
 W.INV. = 91.95'
 E. INV. = 91.88'

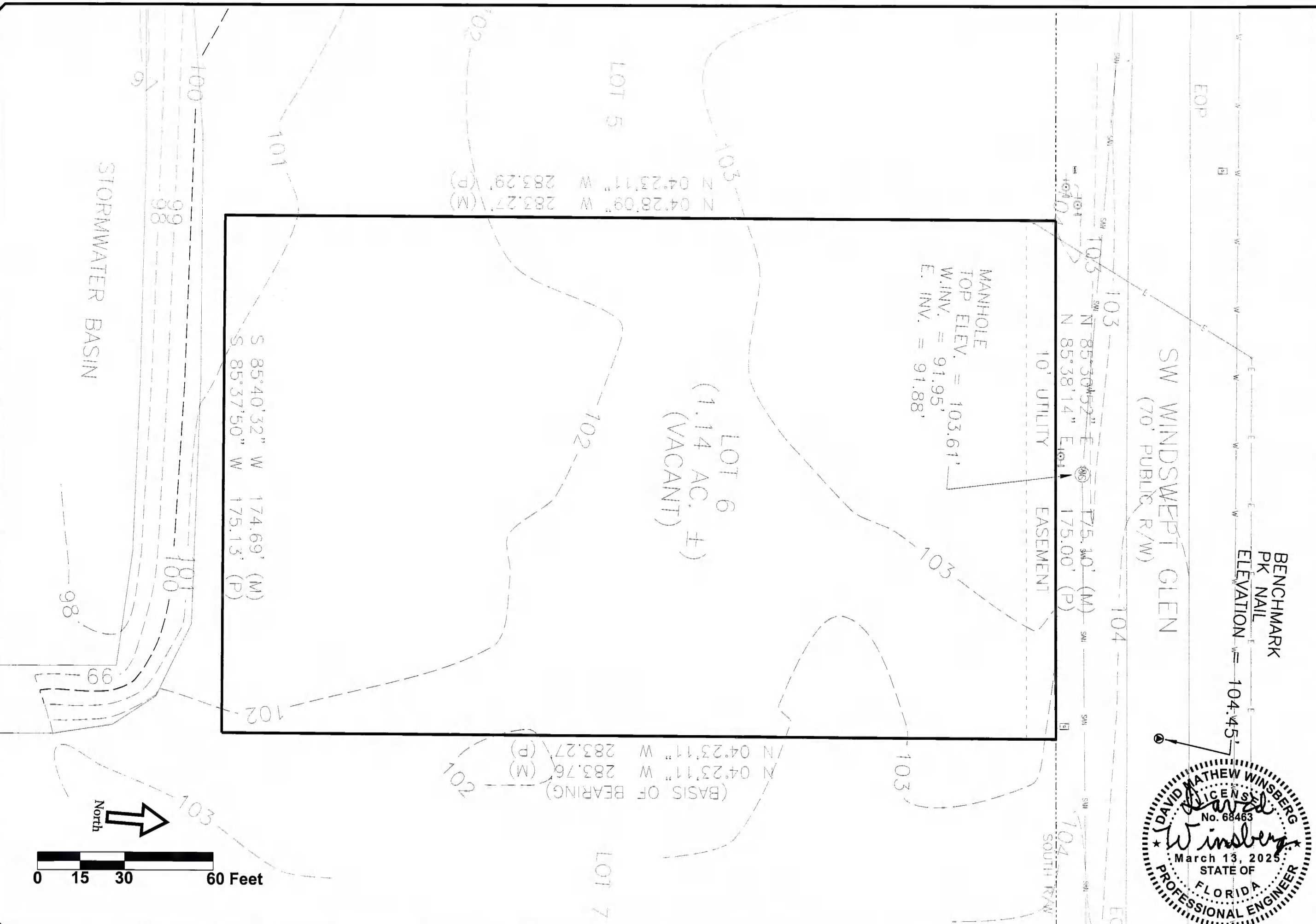
LOT 6
 (1.14 AC. ±)
 (VACANT)

S 85°40'32" W 174.69' (M)
 S 85°37'50" W 175.13' (P)

N 04°28'09" W 283.27' (M)
 N 04°23'11" W 283.29' (P)

(BASIS OF BEARING)
 N 04°23'11" W 283.76' (M)
 N 04°23'11" W 283.27' (P)

STORMWATER BASIN



ZONING
INDUSTRIAL LIGHT WAREHOUSE

IMPERVIOUS AREA
13,070 SF ASPHALT PAVEMENT
260 SF CONCRETE & SIDEWALK AREAS
2,400 SF PROPOSED BUILDINGS
15,730 SF TOTAL IMPERVIOUS

29,741 SF PERMITTED IMPERVIOUS (60% PER LOT)

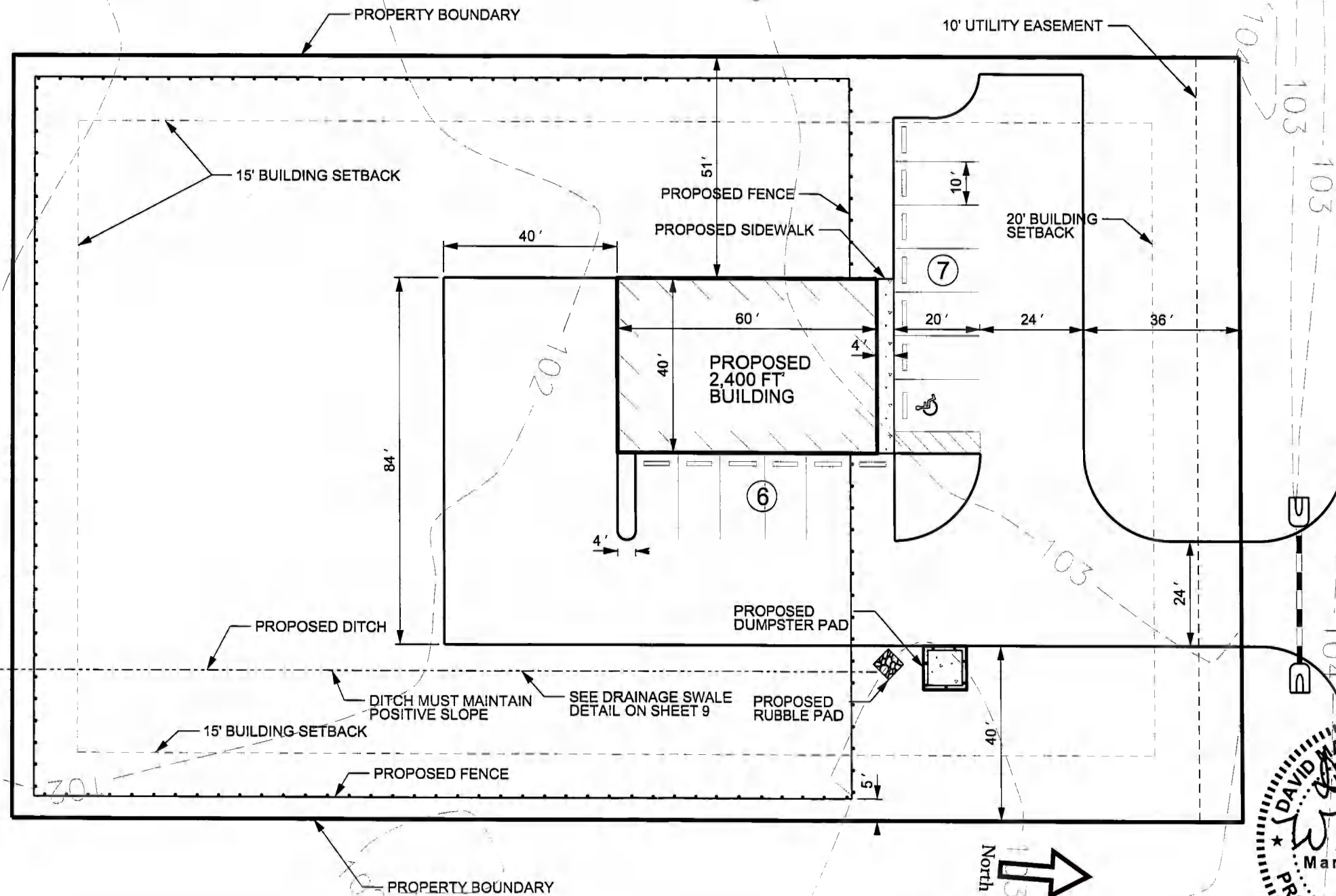
REQUIRED PARKING
WAREHOUSE: 1 SPACE PER 1,500 SF
OFFICE: 1 SPACE PER 200 SF
1,360 SF WAREHOUSE & 1,040 SF OFFICE
REQUIRED SPACES = 1,360 / 1,500 + 1,040 / 200
= 7 SPACES

AVAILABLE PARKING
1 HANDICAP
12 REGULAR
13 TOTAL

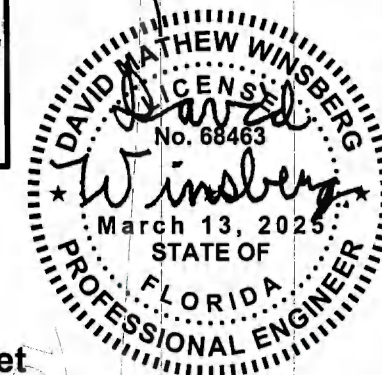
OTHER REQUIREMENTS
FLOOR AREA RATIO = % COVERED BUILDINGS
= 2,400 / 49,586 = 4.8%

OTHER NOTES
DIMENSIONS AND SPECIFICATIONS OF PARKING
SPACES ARE ALSO LISTED ON SHEET 8, LABELED
AS "PARKING STALL DETAIL".

STORMWATER POND "C"
FOR WINDSWEPT
INDUSTRIAL SUBDIVISION
TOP DESIGN EL = 99.0
BOTTOM DESIGN EL = 96.0



SW WINDSWEPT GLEN



ASPEN PEST CONTROL

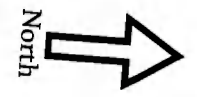
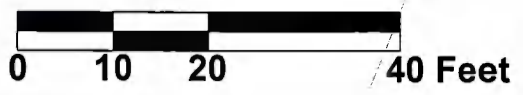
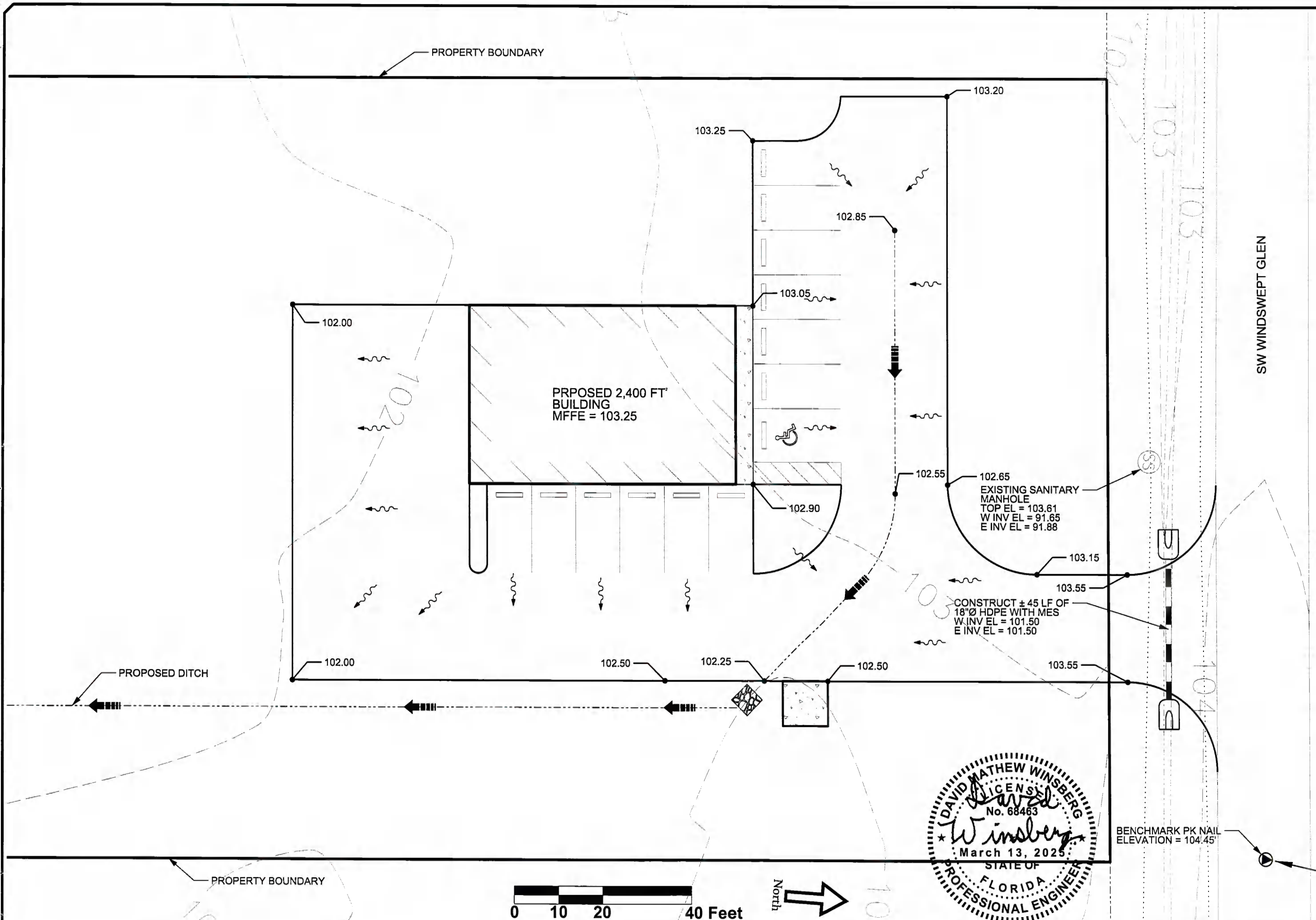
SITE PLAN

REVISION NOTES	DATE

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GRADING PLAN

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EXACT UTILITY LOCATIONS UNKNOWN
 MANY OF THE ONSITE UTILITIES WERE PLACED AFTER THE SURVEY WAS DONE. BECAUSE THEY WERE DEPICTED BASED ONLY UPON A SITE VISIT, THEIR EXACT LOCATIONS ARE UNKNOWN.

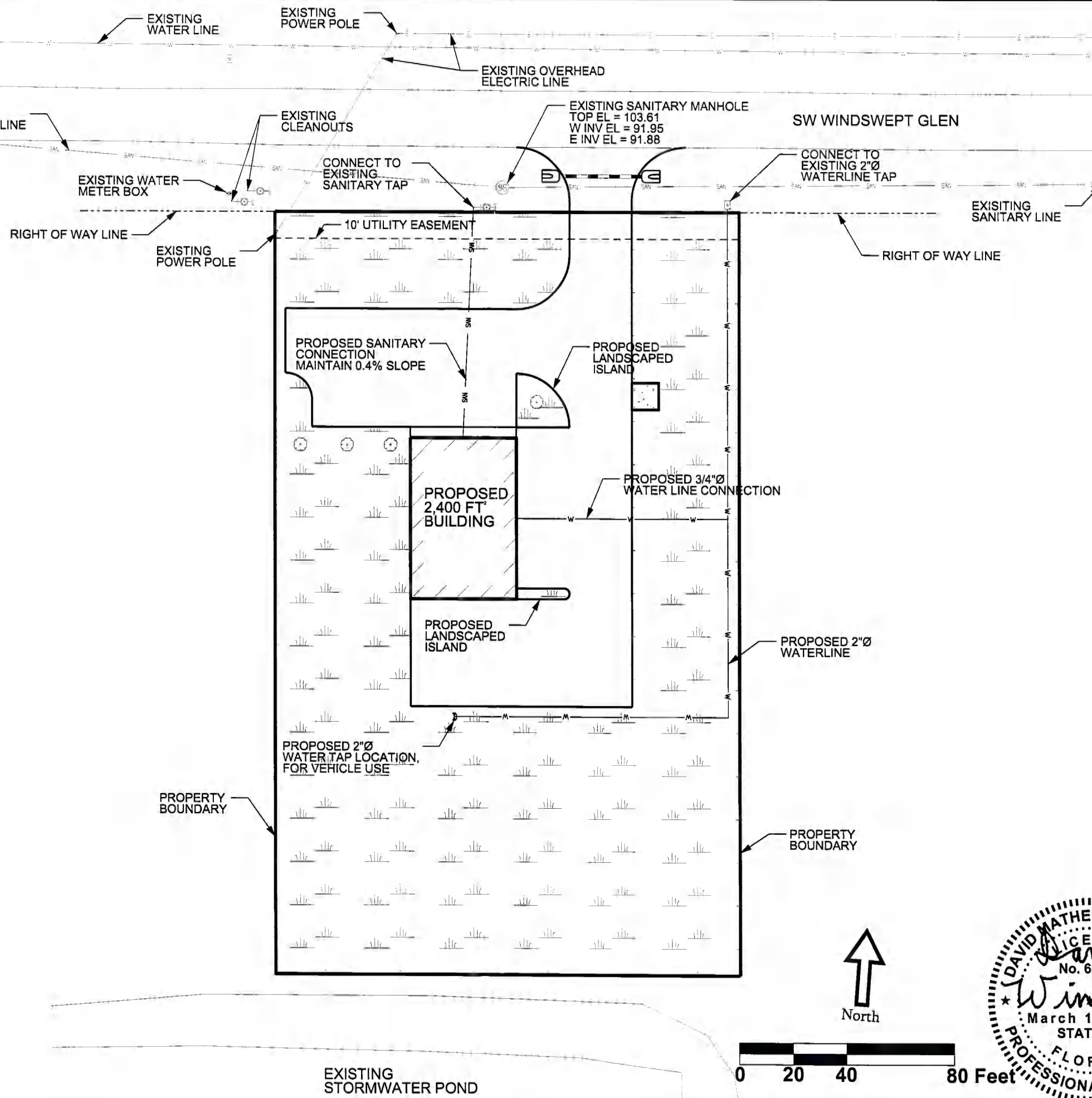
LANDSCAPING REQUIREMENTS
 10% OF PARKING AREA MUST BE LANDSCAPED.
 ONE TREE REQUIRED PER 200 SF OF REQUIRED LANDSCAPED AREA.

8,000 SF TOTAL PARKING AREA
 800 SF REQUIRED LANDSCAPED AREA
 4 REQUIRED TREES TO BE PLANTED

5,000 SF LANDSCAPED AREA THAT IS INSIDE OR ADJACENT TO PARKING AREA
 ±34,604 SF TOTAL LANDSCAPED AREA PROVIDED

LANDSCAPING REQUIREMENTS
 ALL TREES REQUIRED TO BE PLANTED AS PER THESE PLANS SHALL BE A MINIMUM OF FOUR FEET OVERALL HEIGHT IMMEDIATELY AFTER PLANTING, AS PER LDR SECTION 4.2.17.10.

REQUIRED FIRE FLOW
 BASED ON TABLE 18.4.5.1.2 OF THE NFPA FIRE CODE, 2012 EDITION, THE FIRE FLOW FOR THE BUILDING IS THE MINIMUM (1,500 GPM) BECAUSE THE BUILDING IS LESS THAN 12,700 SQUARE FEET. FIRE FLOW DURATION IS 2 HOURS.

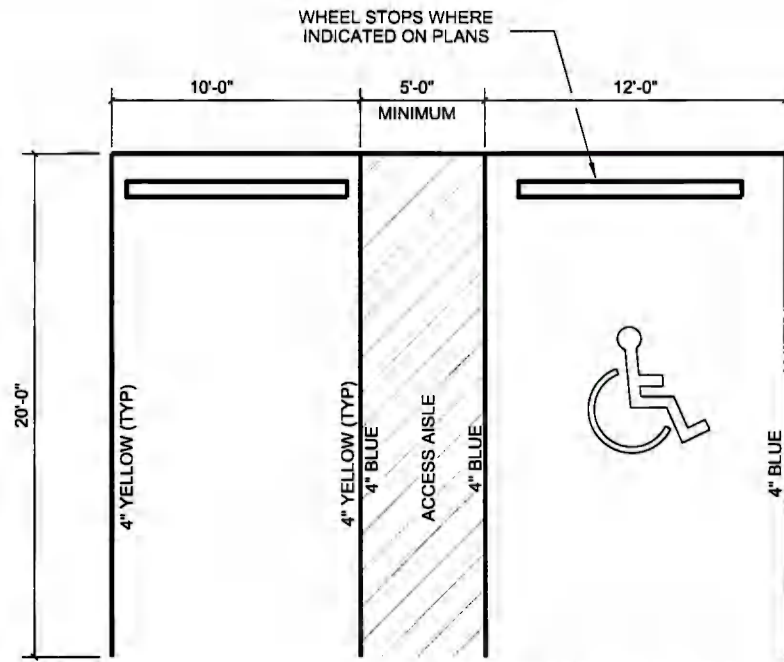


REVISION NOTES	DATE

ASPEN PEST CONTROL

LANDSCAPING & UTILITY PLAN

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PROJECT # 2391	SHEET 7



WHEEL STOPS WHERE INDICATED ON PLANS



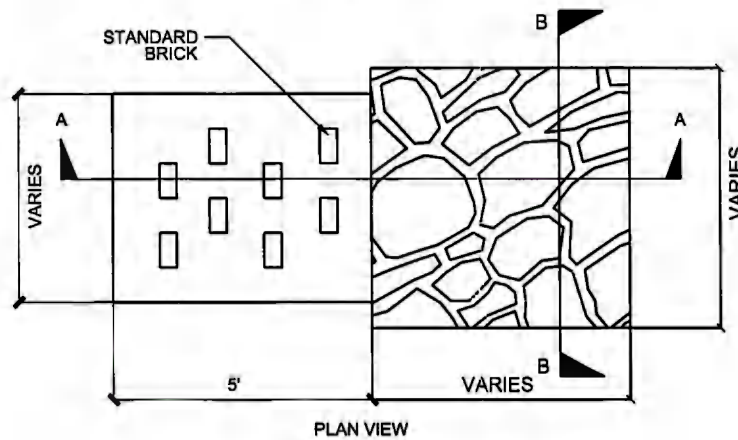
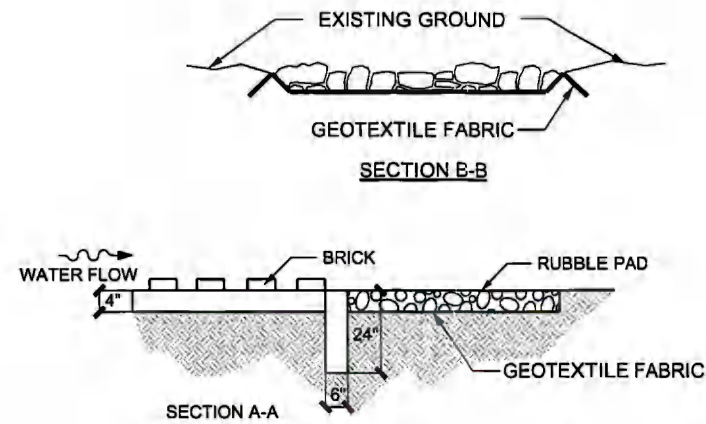
SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.

5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL.

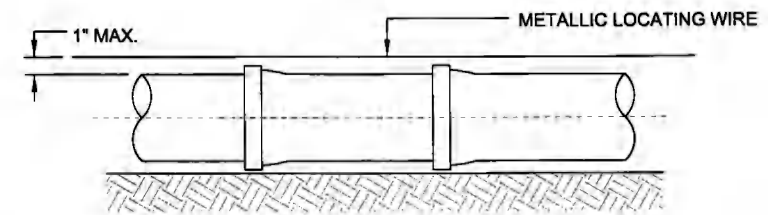
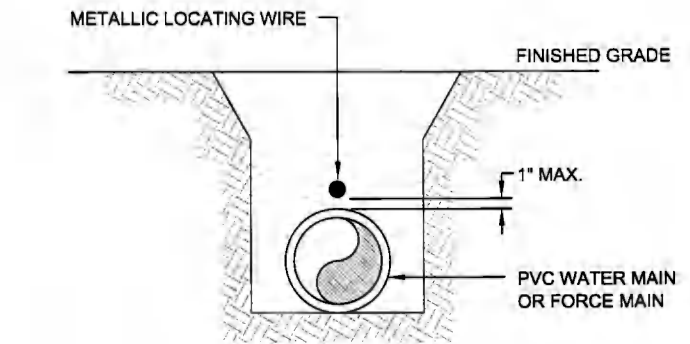
HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH AND BLUE IN COLOR.

SEE SITE PLAN FOR ADDITIONAL PARKING STALL DIMENSIONS.

PARKING STALL DETAIL

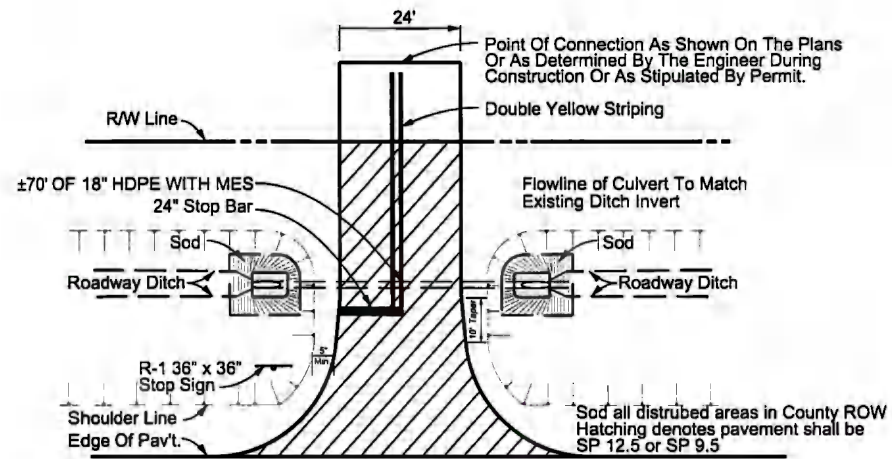


ENERGY DISSIPATION & RUBBLE PADS
NTS

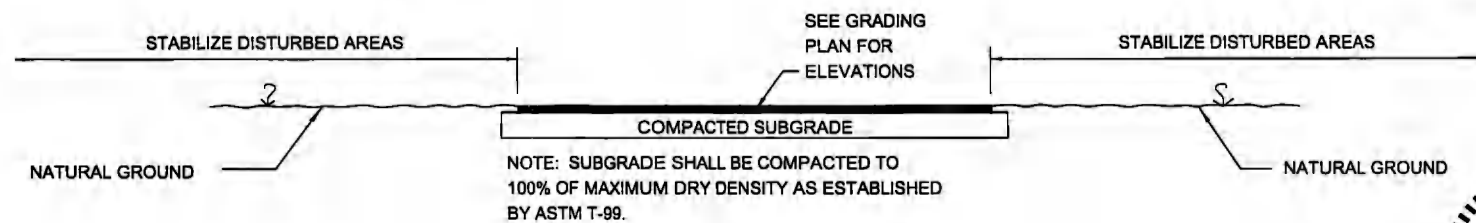


NOTES:
PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (14 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION. USE DUCT TAPE AS NECESSARY TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.

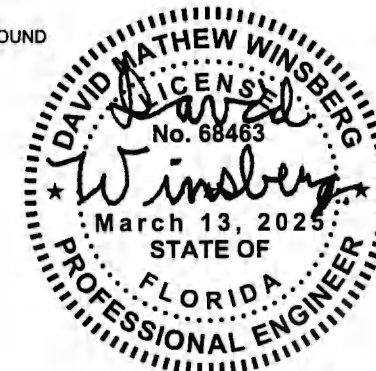
PVC PIPE LOCATING WIRE DETAIL



TYPICAL DRIVEWAY CONNECTION DETAIL
NTS



PARKING APRON
1.25" TYPE S ASPHALT
6" LIMEROCK BASE



DATE	REVISION NOTES

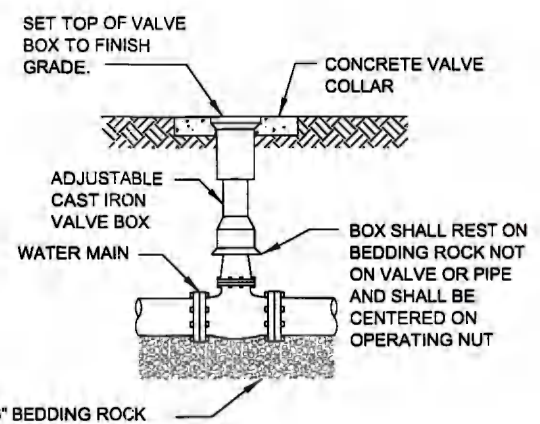
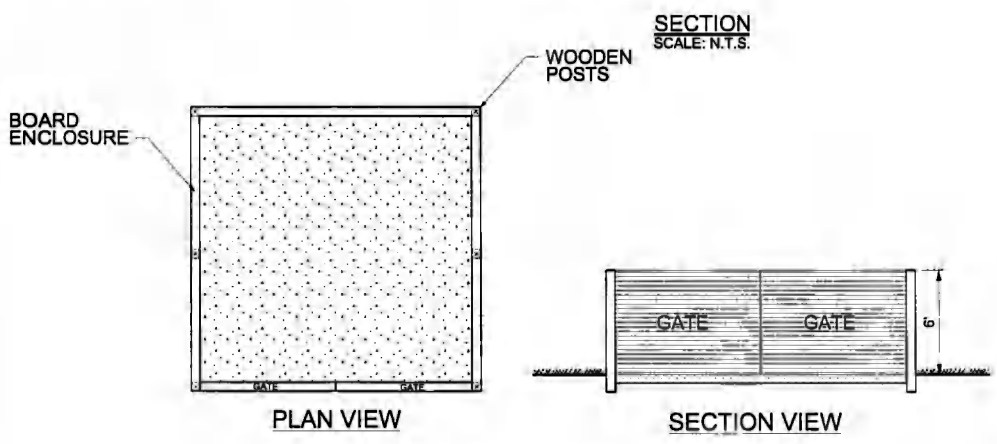
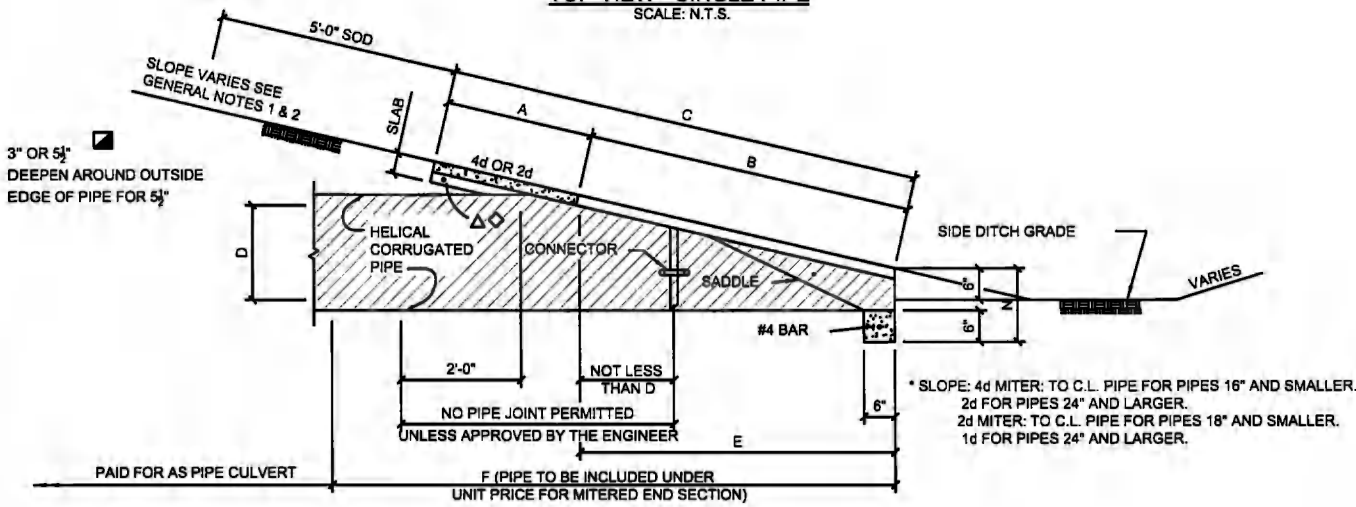
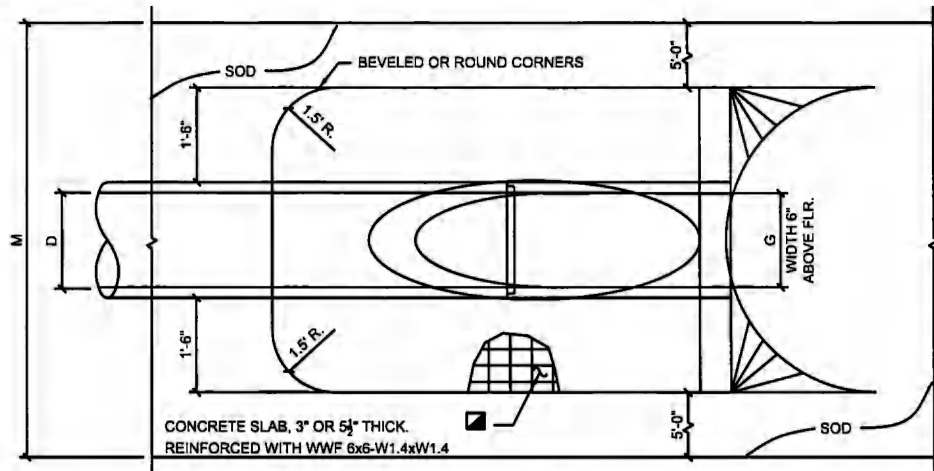
ASPEN PEST CONTROL
MISCELLANEOUS DETAILS

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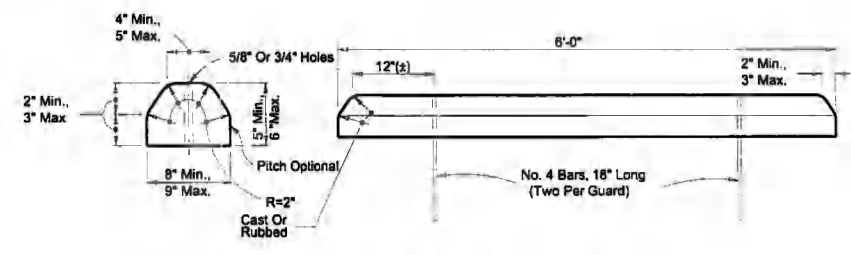
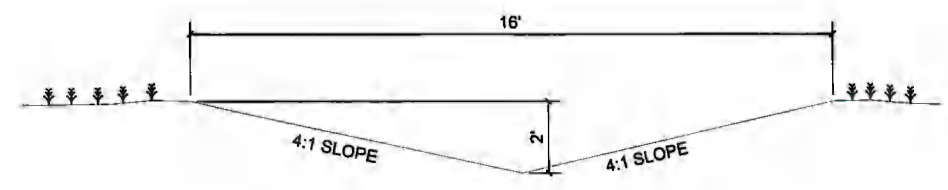
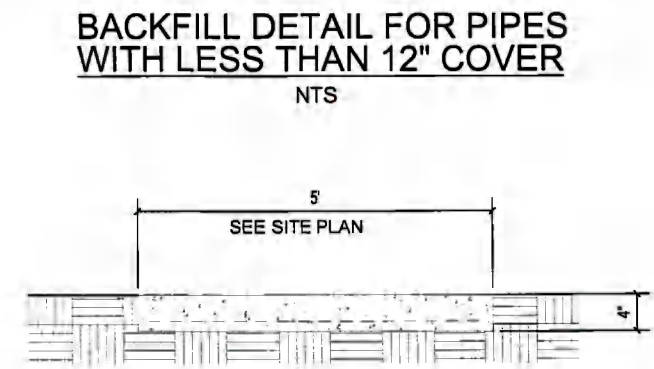
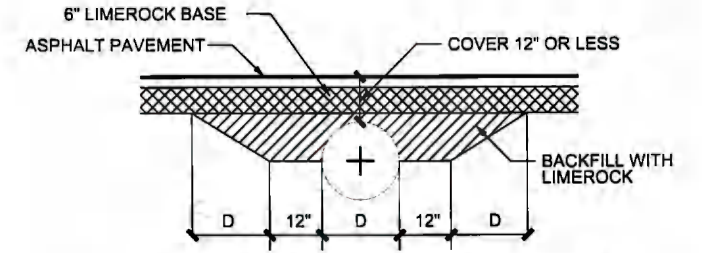
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DIMENSIONS AND QUANTITIES												
4d SLOPE	D	X	A	B	C	E	F	G	M	N	CONC. (cy)	
									SINGLE PIPE		SINGLE PIPE	SINGLE PIPE
	15"	2'-7"	2.5'	3.09'	5.59'	3.0'	7'	1.23'	4.33'	1.04'	0.44	22
	18"	2'-10"	2.5'	4.12'	6.62'	4.0'	8'	1.41'	4.58'	1.04'	0.49	24
	24"	3'-5"	2.5'	6.18'	8.68'	6.0'	10'	1.73'	5.08'	1.04'	0.65	27



- NOTES:
 1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.



DATE	REVISION NOTES

ASPEN PEST CONTROL

MISCELLANEOUS DETAILS

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PROJECT # 2391	SHEET 9