

## Columbia County New Building Permit Application

Freddie Smith 438-7532  
Elders, Joseph Div

For Office Use Only Application # 44773 Date Received 3/19 By JW Permit # 39527

Zoning Official LW/Ut Date 3-23-20 Flood Zone X Land Use 210 Zoning RSF-MH-2

FEMA Map # \_\_\_\_\_ Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examiner \_\_\_\_\_ Date \_\_\_\_\_

Comments

☒ NOC ☒ DEH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel # \_\_\_\_\_

☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter \_\_\_\_\_

☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 20-0156 OR City Water ☒

Applicant (Who will sign/pickup the permit) LUCIOUS GEORGE Agent Phone \_\_\_\_\_

Address 395 NE FRONT ST LAKE CITY, FL 32055

Owners Name CHURCH OF GOD BY FAITH, INC Phone 352.870.8580

911 Address 170 NE CURT CT LAKE CITY FL 32055

Contractors Name ANTHONY GEORGE, JR. Phone 386.755.8550

Address 395 NE FRONT ST, LAKE CITY, FL 32055

Contractor Email jdix444@yahoo.com (Anthony) hgdatlgad@yahoo.com \*\*\*Include to get updates on this job.

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address CRAIG HEDGECOCK, 27 NW 48th Boro Grille Jr 32607

Architect/Engineer Name & Address CAROL CHADWICK, PE 1208 SW FAIRFAX GLN LAKE CITY, FL 32025

Mortgage Lenders Name & Address N/A

Circle the correct power company ☒ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 28.3S.17.05617.000 Estimated Construction Cost 7,000

Subdivision Name E L PATTERSON Lot 4 Block B Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions from a Major Road SR 100 TO BASCOM NORRIS, TO CURT, TL

Construction of MODULAR CHURCH BLDG ☒ Commercial OR ☐ Residential

Proposed Use/Occupancy CHURCH ASSEMBLY Number of Existing Dwellings on Property 0

Is the Building Fire Sprinkled? \_\_\_\_\_ If Yes, blueprints included \_\_\_\_\_ Or Explain \_\_\_\_\_

Circle Proposed ☒ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☐ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front See City Plan !! Side \_\_\_\_\_ Side \_\_\_\_\_ Rear \_\_\_\_\_

Number of Stories 1 Heated Floor Area 960 Total Floor Area 960 Acreage 3.00

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) SDP 1913 Approved 10.7.19

**Columbia County Building Permit Application**

**CODE: Florida Building Code 2017 and the 2014 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representative in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

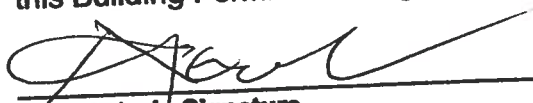
**\*\*Property owners must sign here before any permit will be issued**

Print Owners Name \_\_\_\_\_

Owners Signature \_\_\_\_\_

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided the written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

  
Contractor's Signature

Contractor's License Number CG016583  
Columbia County  
Competency Card Number 560

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 17<sup>th</sup> day of March 2022

Personally known ☐ or Produced Identification Georgia Driver's License

State of Florida Notary Signature (For the Contractor)  
Georgia

SEAL:

SYLATHA WILKERSON  
NOTARY PUBLIC  
Newton County  
State of Georgia  
My Comm. Expires August 7, 2022



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Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

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Church of God by Faith  
James M. Knight Jr, Bishop  
Print Owners Name Owners Signature  
property owners must sign here  
before any permit will be issued.

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number  
Columbia County  
Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_.

Personally known ☐ or Produced Identification \_\_\_\_\_

SEAL:

State of Florida Notary Signature (For the Contractor)

## Legend

### Parcels

### Lake City Limits

### Roads

- Roads
- others
- Dirt
- Interstate
- Main
- Other
- Paved
- Private

### 2018Aerials

### SRWMD Wetlands

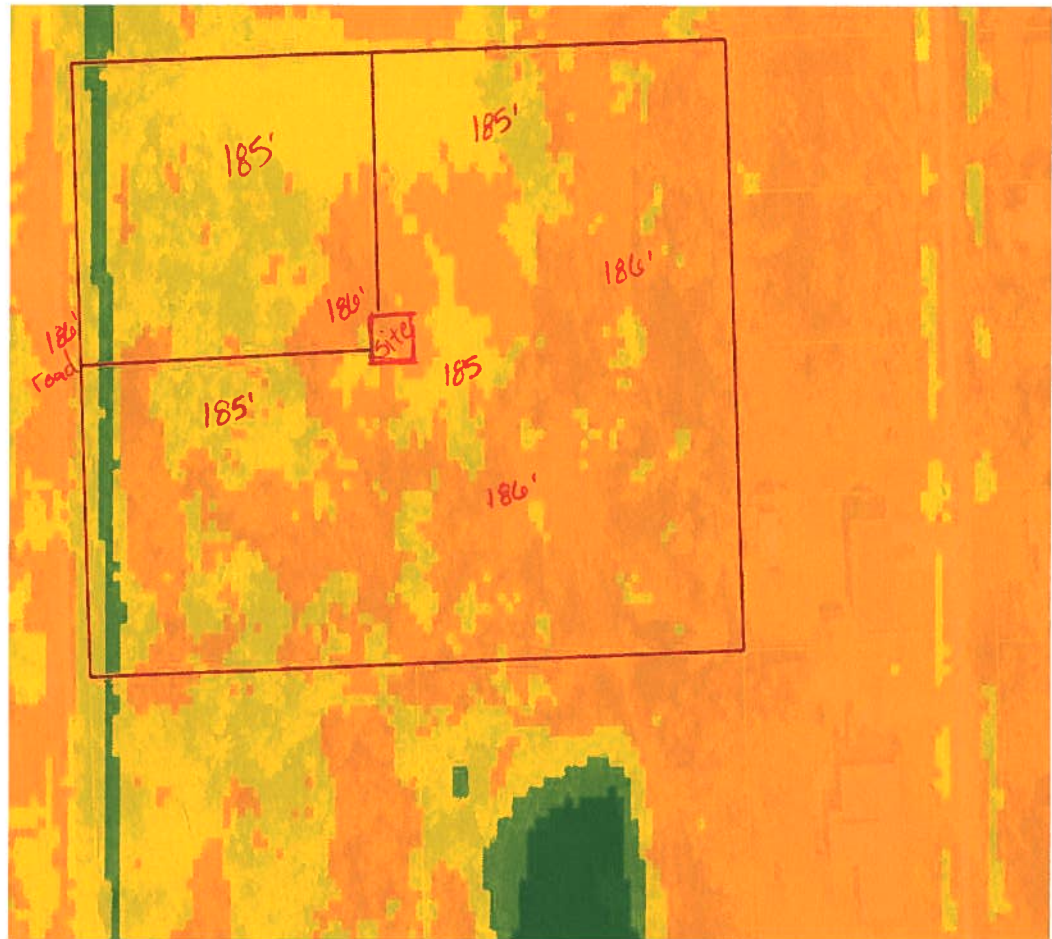
### 2018 Flood Zones

- 0.2 PCT ANNUAL CHANCE
- A
- AE
- AH

### LidarElevations

# Columbia County, FLA - Building & Zoning Property Map

Printed: Mon Mar 23 2020 08:55:32 GMT-0400 (Eastern Daylight Time)



## Parcel Information

Parcel No: 28-3S-17-05617-000

Owner: CHURCH OF GOD BY FAITH INC

Subdivision: E L PATTERSON

Lot: 4

Acres: 3.02864146

Deed Acres: 3 Ac

District: District 1 Ronald Williams

Future Land Uses: Residential - Low

Flood Zones:

Official Zoning Atlas: RSF/MH-2

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

386.  
438.  
1532

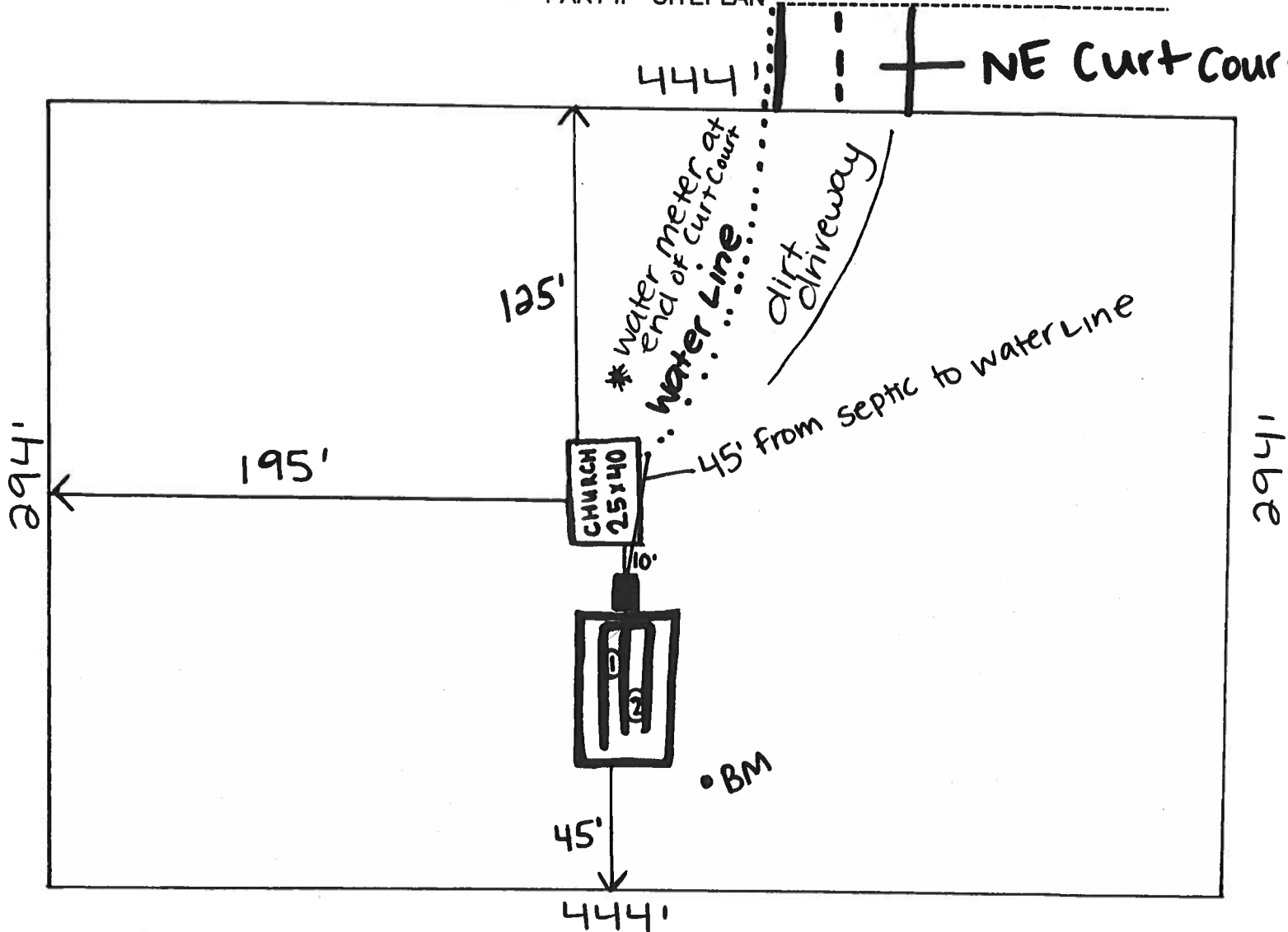


STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 20-0156

Scale: one inch = 60 feet

PART II - SITEPLAN



Notes: \_\_\_\_\_

172 NE Curt Court

Lake City, Florida 32055

Site Plan submitted by: Q.C. Ford DONALD FORD

Plan Approved ☒ Not Approved \_\_\_\_\_ Date 3/11/20

By Steve Kirk County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

SSOCOF #: \_\_\_\_\_ done by Ford's Septic on : \_\_\_\_\_ - \_\_\_\_\_ - 2019



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 20-0156  
DATE PAID: 2/27/20  
FEE PAID: 310.00  
RECEIPT #: 1420404

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☒ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Church of God by Faith, Inc.

AGENT: Ronald Ford - Ford's Septic

TELEPHONE: 386-755-6288

MAILING ADDRESS: 116 NW Lawtey Way Lake City, Florida 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 4 BLOCK: B SUBDIVISION: EL Patterson PLATTED: \_\_\_\_\_

PROPERTY ID #: 28-35-17-05617-000 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: [ Y / N ]

PROPERTY SIZE: 3.00 ACRES WATER SUPPLY: [ ] PRIVATE PUBLIC [ ]  $\leq 2000$  GPD [X]  $> 2000$  GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y / N ] DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 172 NE Curt Court Lake City, FL 32055

DIRECTIONS TO PROPERTY: From Columbia County Health Dept:

Hwy 441 North. Turn (R) ON NE Bascom Norris Drive.

Turn (R) ON NE Curt Court. Building / Church # 172 at end.

BUILDING INFORMATION

☒ RESIDENTIAL ☒ COMMERCIAL

Unit No. Type of Establishment No. of Bedrooms Building Area Sqft Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Church</u>	<u>0</u>	<u>864</u>	<u>36x24 30 Seats</u>
2			<u>1000</u>	
3				
4				

[ ] Floor/Equipment Drains [ ] Other (Specify) \_\_\_\_\_

SIGNATURE: RC Ford Ronald Ford DATE: 12.3.2019



# SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 44773 JOB NAME CHURCH OF God By Faith, Inc.

**THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED**

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

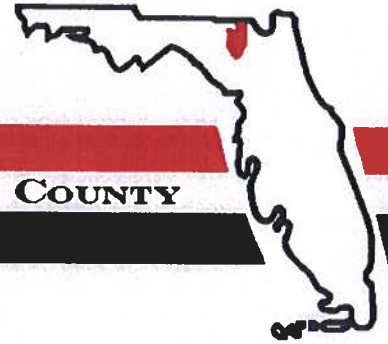
Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

<b>ELECTRICAL</b> <input checked="" type="checkbox"/> <b>CC#</b> <u>535</u>	Print Name <u>Steven Thomas</u> Signature <u>[Signature]</u> Company Name: <u>Steve Thomas Electric LLC</u> License #: <u>EC0001121</u> Phone #: <u>386-752-5125</u>	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>MECHANICAL/</b> <b>A/C</b> <input type="checkbox"/> <b>CC#</b> _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SEPTIC PLUMBING/</b> <b>GAS</b> <input type="checkbox"/> <b>CC#</b> _____	Print Name <u>Ronald Ford</u> Signature <u>[Signature]</u> Company Name: <u>Ford's Septic Tank Service, LLC</u> License #: <u>SM0001346</u> Phone #: <u>386-755-6288</u>	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>ROOFING</b> <input type="checkbox"/> <b>CC#</b> _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SHEET METAL</b> <input type="checkbox"/> <b>CC#</b> _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>FIRE SYSTEM/</b> <b>SPRINKLER</b> <input type="checkbox"/> <b>CC#</b> _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SOLAR</b> <input type="checkbox"/> <b>CC#</b> _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>STATE</b> <b>SPECIALTY</b> <input type="checkbox"/> <b>CC#</b> _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

District No. 1 - Ronald Williams  
District No. 2 - Rocky Ford  
District No. 3 - Bucky Nash  
District No. 4 - Toby Witt  
District No. 5 - Tim Murphy



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

October 7, 2019

VIA ELECTRONIC MAIL

James E. Knight, Jr.  
Church of God by Faith  
2409 Old Middleburg Rd N  
Jacksonville, FL 32210

Re: Site & Development Plan (SDP 19 13) "Church of God by Faith"  
Approval Letter

Dear Mr. Knight,

The Minor Site & Development Application you submitted has been reviewed in accordance with Section 14.13.6 "Minor Site and Development Plan Approval" of the Land Development Regulations ("LDRs"). The Minor Site and Development Plan Application, SDP 19 13, for Church of God by Faith has been found in compliance with the County's Comprehensive Plan and Land Development Regulations and is hereby approved.

If you have any questions, please do not hesitate to contact me at [bstubbs@columbiacountyfla.com](mailto:bstubbs@columbiacountyfla.com) or (386) 754-7119.

Sincerely,

Brandon M. Stubbs  
Community Development Coordinator  
Land Development Regulation Admin.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.  
AND THIRD THURSDAY AT 5:30 P.M.

P.O. BOX 1529 ▼ LAKE CITY, FLORIDA 32056-1529 ▼ PHONE: (386) 755-4100



**Columbia County Property Appraiser**

updated: 10/30/2019

**2020 Working Values**

Parcel: 28-3S-17-05617-000

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

&lt;&lt; Next Lower Parcel

Next Higher Parcel &gt;&gt;

2019 TRIM (pdf)

Interactive GIS Map

Print

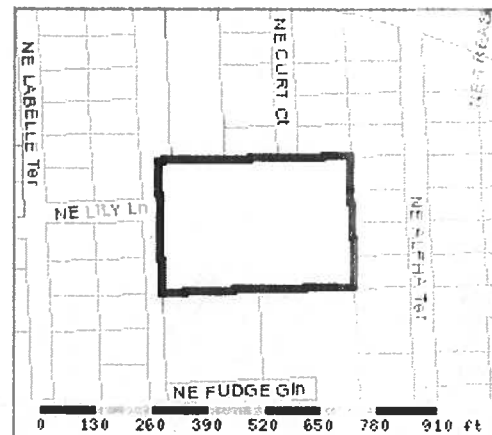
**Owner & Property Info**

&lt;&lt; Prev

Search Result: 23 of 92

Next &gt;&gt;

<b>Owner's Name</b>	CHURCH OF GOD BY FAITH INC		
<b>Mailing Address</b>	419 NE 19TH DR GAINESVILLE, FL 32641-5825		
<b>Site Address</b>	172 NE CURT CT		
<b>Use Desc. (code)</b>	VACANT (000000)		
<b>Tax District</b>	2 (County)	<b>Neighborhood</b>	28317
<b>Land Area</b>	3.000 ACRES	<b>Market Area</b>	06
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. LOT 4 BLOCK B E L PATTERSON S/D EX RD. ORB 416-167, 873-1752, 931-2389.		

**Property & Assessment Values**

2019 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$17,846.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$17,846.00
<b>Just Value</b>		\$17,846.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$17,846.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$17,846 Other: \$17,846   Schl: \$17,846	

2020 Working Values		
<b>Mkt Land Value</b>	cnt: (0)	\$17,846.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$17,846.00
<b>Just Value</b>		\$17,846.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$17,846.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$17,846 Other: \$17,846   Schl: \$17,846	

**NOTE: 2020 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.**

**Sales History**

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
7/23/2001	931/2389	WD	V	Q		\$25,000.00
1/25/1999	873/1752	WD	V	Q		\$11,000.00

**Building Characteristics**

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

**Extra Features & Out Buildings**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

**Land Breakdown**

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	3 AC	1.00/1.00/1.00/1.00	\$5,948.99	\$17,846.00

Columbia County Property Appraiser

updated: 10/30/2019

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23 of 92

Next &gt;&gt;

**DISCLAIMER**



September 11, 2019

Church of God by Faith, Inc.  
419 NE 19<sup>th</sup> Dr.  
Gainesville, FL 32641

RE: Service Availability Letter

To Whom It May Concern,

Thank you for your inquiry regarding the availability of city utilities. The City of Lake City has potable water available to tap into at 172 NE Curt Ct, Parcel 28-3S-17-05617-000.

This availability response does not represent the City of Lake City's commitment for or reservation of capacity. In accordance with the City of Lake City's policies and procedures, commitment to serve is made only upon the City of Lake City's approval of your application for service and receipt of your payment for all applicable fees.

If you have any questions, please feel free to contact me at (386) 719-5786 during our normal business hours of 8:00 am to 4:30 pm, Monday through Friday. I will be happy to assist you.

Sincerely,

Shasta Pelham  
Utility Service Coordinator

Brian Scott   
Director of Distribution and Collections

INT. TAX \_\_\_\_\_  
DOC. STAMPS \_\_\_\_\_  
RECORDING \_\_\_\_\_  
TOTAL \_\_\_\_\_

FILED AND RECORDED IN PUBLIC  
RECORDS OF COLUMBIA COUNTY, FL

THIS INSTRUMENT PREPARED BY AND RETURN TO:

David E. Menet, Esquire

SALTER, FEIBER, YENSER, MURPHY & HUTSON, P.A.

703 N.E. FIRST STREET

GAINESVILLE, FLORIDA 32601

Property Appraisers Parcel Identification (Folio) Numbers:

01171530000

Grantee SS #:

Documentary Stamp 175.00  
Intangible Tax \_\_\_\_\_  
P. DeWitt Cason  
Clerk of Court  
By \_\_\_\_\_ D.C.



SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS CORPORATE WARRANTY DEED, made the 23rd day of July, A.D. 2001, by Ten Star Investments, Inc., a Florida corporation, whose mailing address is Route 12, Box 916, Lake City, Florida 32025, hereby warrants the grantor, to Church of God by Faith, Inc., a Florida not-for-profit corporation, whose mailing address is 7121 NE 26th Place, Gainesville, Florida 32601, hereinafter called the Grantee: (Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**WITNESSETH:** That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in COLUMBIA County, State of Florida, viz:

Lot Four (4), E.L. PATTERSON'S SUBDIVISION, in the Southwest 1/4 of the Southeast 1/4 of Section 28, Township 3 South, Range 17 East, a subdivision recorded in Plat Book 2, Page 14, of the Public Records of Columbia County, Florida.

Subject to easements, restrictions and reservations of record and to taxes for the year 2001 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2000.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Ten Star Investments, Inc.,  
a Florida corporation

By Eugene M. Kahlich  
Eugene M. Kahlich, President

DeEtte F. Brown  
Witness #1 Signature  
DeEtte F. Brown  
Witness #1 Printed Name  
Crystal L. Brunner  
Witness #2 Signature  
Crystal L. Brunner  
Witness #2 Printed Name

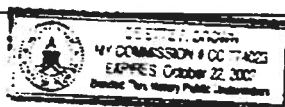
STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 23rd day of July, 2001, by Eugene M. Kahlich, President of Ten Star Investments, Inc., a Florida corporation on behalf of the corporation, as he is personally known to me or has produced \_\_\_\_\_ as identification.

SEAL

DeEtte F. Brown  
Notary Signature

Printed Notary Signature



BR 0931 PG 2388  
OFFICIAL RECORD



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

## Detail by Entity Name

Florida Not For Profit Corporation  
CHURCH OF GOD BY FAITH, INC.

### Filing Information

<b>Document Number</b>	707890
<b>FEI/EIN Number</b>	59-1631564
<b>Date Filed</b>	09/29/1964
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	AMENDMENT
<b>Event Date Filed</b>	03/31/2011
<b>Event Effective Date</b>	NONE

### Principal Address

2409 OLD MIDDLEBURG ROAD NORTH  
JACKSONVILLE, FL 32210

Changed: 08/29/2008

### Mailing Address

2409 OLD MIDDLEBURG ROAD NORTH  
JACKSONVILLE, FL 32210

Changed: 08/29/2008

### Registered Agent Name & Address

Albertie, Pamela T  
4452 Woodley Creek Road  
Jacksonville, FL 32218

Name Changed: 01/16/2018

Address Changed: 01/16/2018

### Officer/Director Detail

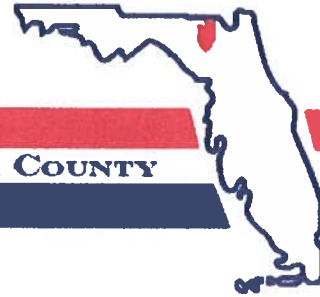
#### **Name & Address**

Title President

MCKNIGHT, JAMES E, Jr.  
2514 NE 65TH TERR  
GAINESVILLE, FL 32609



District No. 1 - Ronald Williams  
District No. 2 - Rocky Ford  
District No. 3 - Bucky Nash  
District No. 4 - Toby Witt  
District No. 5 - Tim Murphy



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

**Address Assignment and Maintenance Document**

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **3/6/2020 3:14:40 PM**

Address: **170 NE CURT Ct**

City: **LAKE CITY**

State: **FL**

Zip Code **32055**

Parcel ID **05617-000**

REMARKS: Address for proposed structure on parcel.

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.**

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY  
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125  
Email: [gis@columbiacountyfla.com](mailto:gis@columbiacountyfla.com)

George Construction LLC  
395 NE Fronie Street  
Lake City, Florida 32055  
Office: (386) 755-7611  
Fax: (386) 755-8550  
creng@bellsouth.net

DATE

NAME  
ADDRESS  
CITY

**Re: PROJECT**

Dear

This letter will serve as an agreement between George Construction LLC (Contractor) and XXXXXX (Owner) as follows. Whereas Contractor shall serve as the Construction Manager on the above captioned project as follows:

1. Scope
  - Apply for building permit
  - Will record Notice of Commencement
  - Will develop and monitor construction schedule
  - Will request all required inspections
  - Will monitor all Labor and Subcontractors Work
  - Will request Certificate of Occupancy
  - Will obtain all construction lien releases
2. Project shall be completed in 90 days after notice to proceed from owner
3. Fee
  - Fee for above services shall be \$.3900.00
4. Payment
  - Payment for above services shall be as follows:

• Application building Permit	\$ 1000.00
• Monitor labor and sub-contractors work	2400.00
• CO/Release of Liens	500.00
5. Not Covered
  - Owner shall provide all Construction Plans required
  - Owner shall pay all Permit Fees required
6. Alternative Dispute Resolution (ADT)

**Any dispute arising out of this agreement shall be resolved through the process of mediation.**

LUCIOUS GEORGE  
GEORGE CONSTRUCTION LLC

XXXXXXXXXXXXXXXXXXXXX  
OWNER

CAROL CHADWICK, P.E.

*Civil Engineer*

1208 S.W. Fairfax Glen

Lake City, FL 32025

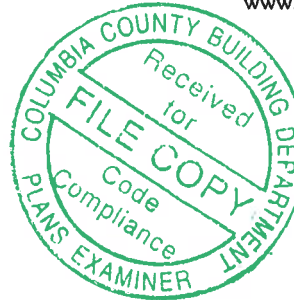
307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

November 15, 2019

Pastor Joseph Dix  
419 NE 19<sup>th</sup> Drive  
Gainesville, FL 32641  
352.870.8588



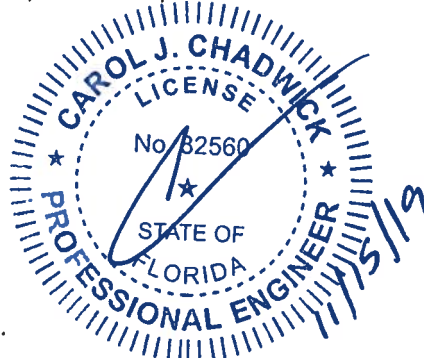
re: ENGINEER'S CERTIFICATION – CHURCH OF GOD BY FAITH,  
172 NE CURT COURT, LAKE CITY, FL

As requested, a foundation plan for the modular home to be installed at the above reference property is attached. Per the NRCS web soil map, the majority of the soils on this site are classified as SM and SP with a with a presumptive load-bearing pressure of 2,000 pounds per square foot. Diagonal tie-downs shall have a maximum spacing of 5'-4" on center with anchors placed within two feet of each end or approved equal. Blocking and tie-downs shall be installed per Florida Building Code, 2017, HUD requirements and Department of Highway Safety and Motor Vehicles, Division of Motor Vehicles, Chapter 15C-1.

This structure was ordinally used as a modular building for public use. The occupancy classification of the structure will be changed to Assembly Group B per section 303.1, per Florida Building Code, 2017 for small buildings with an occupant load of less than 50 people.

Should you have any questions, please don't hesitate to contact me.

Respectfully,



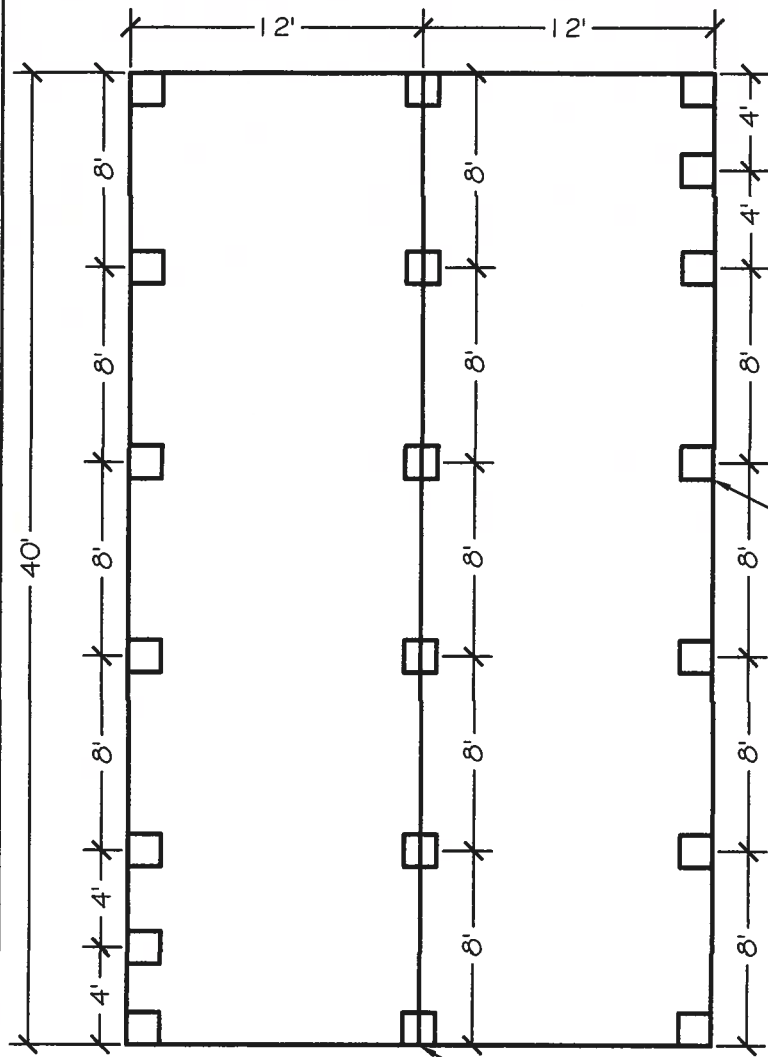
Carol Chadwick, P.E.

cc: Troy Crews, Columbia County Building Department

attachments: Foundation Plan, Proposed Floor Plan, Columbia County Appraiser property page, NRCS Soils Map & NRCS Engineering Properties

CC Job #FL19159

□



- 4"x16"x16" SOLID BLOCK  
FOOTER WITH CELLED  
CONCRETE BLOCKS (36"  
MAX) CAPPED WITH 2"x8"x16"  
PRESSURED TREATED WOOD  
OR EQUAL WITH WOOD  
SHIMS CENTERED UNDER  
FLOOR BEAM

CENTER LINE OF  
MARRIAGE WALL  
WITH 6 SUPPORTS

## FOUNDATION PLAN

\*NOTE: VERIFY BEAM WIDTHS & LOCATIONS WITH HOME.

TIE-DOWNS SPECIFICATIONS: IN ALL WIND ZONES, DIAGONAL TIE-DOWNS SHALL BE SPACED NO FARTHER APART THAN FIVE FEET FOUR INCHES ON CENTER WITH ANCHORS PLACED WITHIN TWO FEET OF EACH END, OR APPROVED EQUAL, PER FLORIDA BUILDING CODE, 2017.

ESTIMATE SOIL BEARING CAPACITY=2000 PSF  
TIE-DOWNS SHALL BE 30" MIN.

THIS FOUNDATION IS DESIGNED TO MEET OR EXCEED HUD'S  
REQUIREMENTS AS PUBLISHED IN THE *PERMANENT FOUNDATION  
GUIDE FOR MANUFACTURED HOUSING DATED SEPTEMBER 1996.*



**CAROL CHADWICK**  
*Carol Chadwick*  
 5126 W. 51st Ave., Suite 100  
 Littleton, CO 80120  
 303-751-1772  
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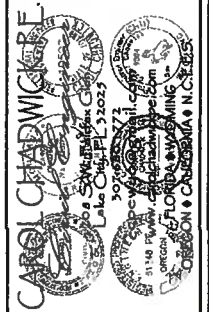
[illegible]

PREPARED FOR  
PASTOR JOSEPH DIX  
419 N.E. 19th DRIVE  
GAINESVILLE, FL 32641  
352.870.8588

CHURCH OF GOD BY FAITH  
172 N.E. CURT COURT  
LAKE CITY, FL

PROJECT NO.	FL19159
DATE	NOV. 15, 2019
REVISION DATE	
SHEET	OF
SHEETS	





# Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated: 10/30/2019

Parcel: << 28-3S-17-05617-000 >>

Aerial Viewer Pictometry Google Maps

## Owner & Property Info

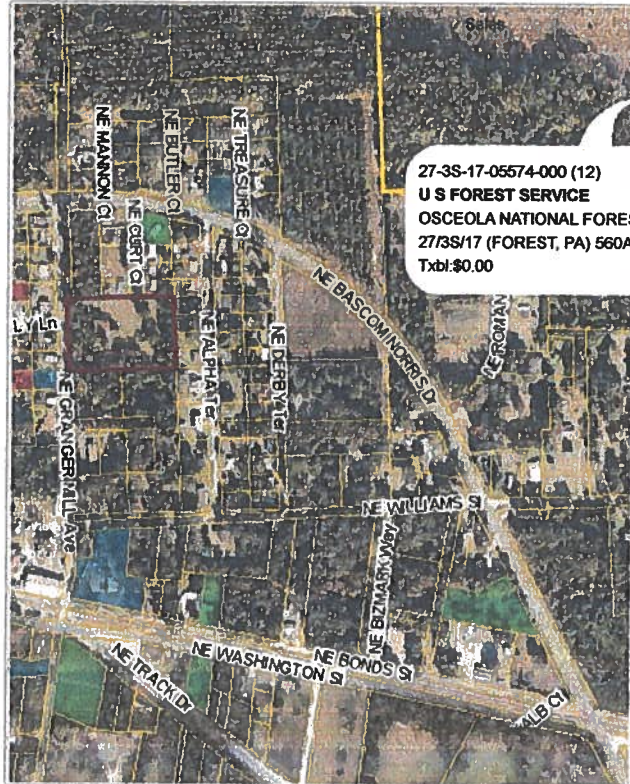
Owner	CHURCH OF GOD BY FAITH INC 419 NE 19TH DR GAINESVILLE, FL 326415825		
Site	172 CURT CT,		
Description*	LOT 4 BLOCK B E L PATTERSON S/D EX RD. ORB 416-167, 673-1752, 931-2389,		
Area	3 AC	S/T/R	28-3S-17
Use Code**	VACANT (000000)	Tax District	2

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

## Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (1)	\$17,846	Mkt Land (1)	\$17,846
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$17,846	Just	\$17,846
Class	\$0	Class	\$0
Appraised	\$17,846	Appraised	\$17,846
SOH Cap (?)	\$0	SOH Cap (?)	\$0
Assessed	\$17,846	Assessed	\$17,846
Exempt	\$0	Exempt	\$0
Total	county:\$17,846	Total	county:\$17,846
Taxable	city:\$17,846	Taxable	city:\$17,846
	other:\$17,846		other:\$17,846
	school:\$17,846		school:\$17,846



## Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
7/23/2001	\$25,000	931/2389	WD	V	Q	
1/25/1999	\$11,000	873/1752	WD	V	Q	

## Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

## Extra Features & Out Buildings (Codes)

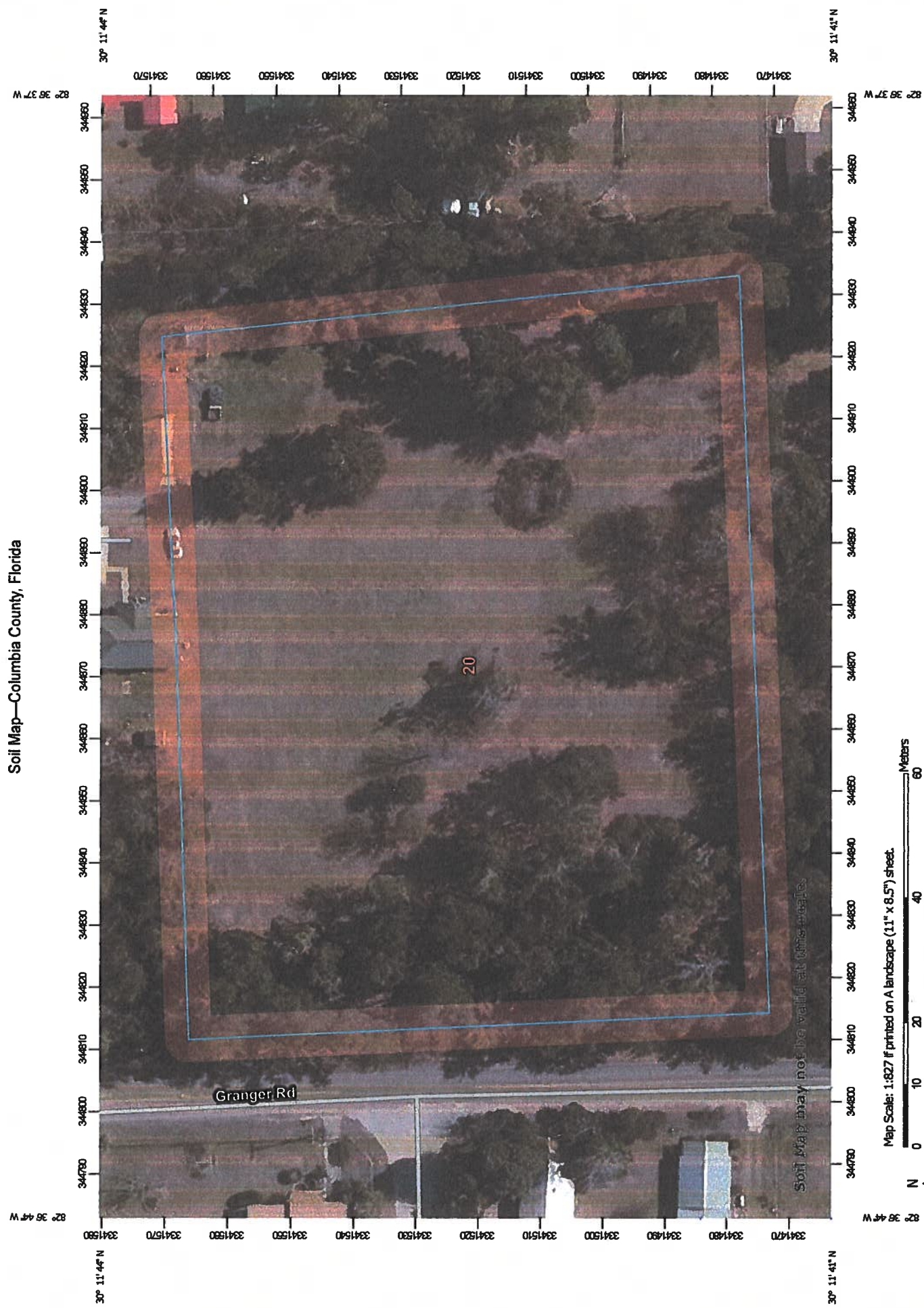
Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

## Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000000	VAC RES (MKT)	3.000 AC	1.00/1.00 1.00/1.00	\$5,949	\$17,846



## Soil Map—Columbia County, Florida



**Map Scale: 1:827 If printed on A landscape (11" x 8.5") sheet.**

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

**Natural Resources  
Conservation Service**

**Web Soil Survey**  
**National Cooperative Soil Survey**

11/15/2019  
Page 1 of 3

## Report—Engineering Properties

Absence of an entry indicates that the data were not estimated. The asterisk "\*" denotes the representative texture; other possible textures follow the dash. The criteria for determining the hydrologic soil group for individual soil components is found in the National Engineering Handbook, Chapter 7 issued May 2007 (<http://directives.sc.egov.usda.gov/OpenNonWebContent.aspx?content=17757.wba>). Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

Engineering Properties—Columbia County, Florida														
Map unit symbol and soil name	Pct. of map unit	Hydrologic group	Depth	USDA texture	Classification		Pct Fragments		Percentage passing sieve number—				Liquid limit	Plasticity index
					Unified	AASHTO	>10 inches	3-10 inches	4	10	40	200		
			In				L-R-H	L-R-H	L-R-H	L-R-H	L-R-H	L-R-H	L-R-H	L-R-H
20—Chipley fine sand, 0 to 5 percent slopes														
Chipley	85 A		0-7	Fine sand	SP-SM	A-2-4, A-3	0-0-0	0-0-0	100-100 -100	100-100 -100	80-90-1 00	6-9-12	0-7 -14	NP
			7-80	Fine sand	SP-SM	A-2-4, A-3	0-0-0	0-0-0	100-100 -100	100-100 -100	80-90-1 00	6-9-12	0-7 -14	NP

## Data Source Information

Soil Survey Area: Columbia County, Florida  
Survey Area Data: Version 15, Sep 16, 2019



## MAP LEGEND

<b>Area of Interest (AOI)</b>		<b>Area of Interest (AOI)</b>	
<b>Soils</b>		<b>Soils</b>	
	Soil Map Unit Polygons		Soil Map Unit Polygons
	Soil Map Unit Lines		Soil Map Unit Lines
	Soil Map Unit Points		Soil Map Unit Points
<b>Special Point Features</b>		<b>Special Point Features</b>	
	Blowout		Blowout
	Borrow Pit		Borrow Pit
	Clay Spot		Clay Spot
	Closed Depression		Closed Depression
	Gravel Pit		Gravel Pit
	Gravelly Spot		Gravelly Spot
	Landfill		Landfill
	Lava Flow		Lava Flow
	Marsh or swamp		Marsh or swamp
	Mine or Quarry		Mine or Quarry
	Miscellaneous Water		Miscellaneous Water
	Perennial Water		Perennial Water
	Rock Outcrop		Rock Outcrop
	Saline Spot		Saline Spot
	Sandy Spot		Sandy Spot
	Severely Eroded Spot		Severely Eroded Spot
	Sinkhole		Sinkhole
	Slide or Slip		Slide or Slip
	Sodic Spot		Sodic Spot

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
20	Chipley fine sand, 0 to 5 percent slopes	2.7	100.0%
Totals for Area of Interest		2.7	100.0%

## Engineering Properties

This table gives the engineering classifications and the range of engineering properties for the layers of each soil in the survey area.

*Hydrologic soil group* is a group of soils having similar runoff potential under similar storm and cover conditions. The criteria for determining Hydrologic soil group is found in the National Engineering Handbook, Chapter 7 issued May 2007 (<http://directives.sc.egov.usda.gov/OpenNonWebContent.aspx?content=17757.wba>). Listing HSGs by soil map unit component and not by soil series is a new concept for the engineers. Past engineering references contained lists of HSGs by soil series. Soil series are continually being defined and redefined, and the list of soil series names changes so frequently as to make the task of maintaining a single national list virtually impossible. Therefore, the criteria is now used to calculate the HSG using the component soil properties and no such national series lists will be maintained. All such references are obsolete and their use should be discontinued. Soil properties that influence runoff potential are those that influence the minimum rate of infiltration for a bare soil after prolonged wetting and when not frozen. These properties are depth to a seasonal high water table, saturated hydraulic conductivity after prolonged wetting, and depth to a layer with a very slow water transmission rate. Changes in soil properties caused by land management or climate changes also cause the hydrologic soil group to change. The influence of ground cover is treated independently. There are four hydrologic soil groups, A, B, C, and D, and three dual groups, A/D, B/D, and C/D. In the dual groups, the first letter is for drained areas and the second letter is for undrained areas.

The four hydrologic soil groups are described in the following paragraphs:

*Group A.* Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

*Group B.* Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

*Group C.* Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

*Group D.* Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

*Depth* to the upper and lower boundaries of each layer is indicated.

*Texture* is given in the standard terms used by the U.S. Department of Agriculture. These terms are defined according to percentages of sand, silt, and clay in the fraction of the soil that is less than 2 millimeters in diameter. "Loam," for example, is soil that is 7 to 27 percent clay, 28 to 50 percent silt, and less than 52 percent sand. If the content of particles coarser than sand is 15 percent or more, an appropriate modifier is added, for example, "gravelly."

*Classification* of the soils is determined according to the Unified soil classification system (ASTM, 2005) and the system adopted by the American Association of State Highway and Transportation Officials (AASHTO, 2004).

The Unified system classifies soils according to properties that affect their use as construction material. Soils are classified according to particle-size distribution of the fraction less than 3 inches in diameter and according to plasticity index, liquid limit, and organic matter content. Sandy and gravelly soils are identified as GW, GP, GM, GC, SW, SP, SM, and SC; silty and clayey soils as ML, CL, OL, MH, CH, and OH; and highly organic soils as PT. Soils exhibiting engineering properties of two groups can have a dual classification, for example, CL-ML.

The AASHTO system classifies soils according to those properties that affect roadway construction and maintenance. In this system, the fraction of a mineral soil that is less than 3 inches in diameter is classified in one of seven groups from A-1 through A-7 on the basis of particle-size distribution, liquid limit, and plasticity index. Soils in group A-1 are coarse grained and low in content of fines (silt and clay). At the other extreme, soils in group A-7 are fine grained. Highly organic soils are classified in group A-8 on the basis of visual inspection.

If laboratory data are available, the A-1, A-2, and A-7 groups are further classified as A-1-a, A-1-b, A-2-4, A-2-5, A-2-6, A-2-7, A-7-5, or A-7-6. As an additional refinement, the suitability of a soil as subgrade material can be indicated by a group index number. Group index numbers range from 0 for the best subgrade material to 20 or higher for the poorest.

*Percentage of rock fragments* larger than 10 inches in diameter and 3 to 10 inches in diameter are indicated as a percentage of the total soil on a dry-weight basis. The percentages are estimates determined mainly by converting volume percentage in the field to weight percentage. Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

*Percentage (of soil particles) passing designated sieves* is the percentage of the soil fraction less than 3 inches in diameter based on an oven-dry weight. The sieves, numbers 4, 10, 40, and 200 (USA Standard Series), have openings of 4.76, 2.00, 0.420, and 0.074 millimeters, respectively. Estimates are based on laboratory tests of soils sampled in the survey area and in nearby areas and on estimates made in the field. Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

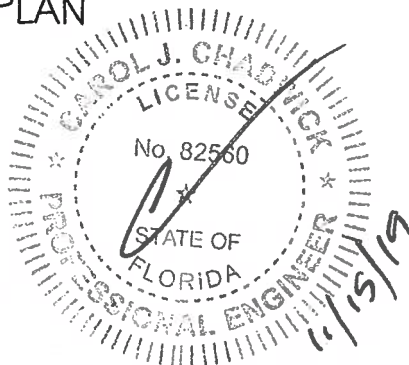
*Liquid limit* and *plasticity index* (Atterberg limits) indicate the plasticity characteristics of a soil. The estimates are based on test data from the survey area or from nearby areas and on field examination. Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

#### References:

American Association of State Highway and Transportation Officials (AASHTO). 2004. Standard specifications for transportation materials and methods of sampling and testing. 24th edition.



American Society for Testing and Materials (ASTM). 2005. Standard classification of soils for engineering purposes. ASTM Standard D2487-00.



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LAKE CITY, FL

PROJECT NO.	FL19159
DATE	NOV. 15, 2019
EXPIRATION DATE	
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SHEETS	