

**Columbia County Remodel Permit Application**

**For Office Use Only** Application # 104588 Date Received \_\_\_\_\_ By \_\_\_\_\_ Permit # 49555  
 Zoning Official \_\_\_\_\_ Date \_\_\_\_\_ Flood Zone \_\_\_\_\_ Land Use \_\_\_\_\_ Zoning \_\_\_\_\_  
 FEMA Map # \_\_\_\_\_ Elevation \_\_\_\_\_ MFE \_\_\_\_\_ River \_\_\_\_\_ Plans Examiner \_\_\_\_\_ Date \_\_\_\_\_  
 Comments \_\_\_\_\_  
☐ NOC ☐ Deed or PA ☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Auth. from Contractor  
☐ F W Comp. letter ☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☐ App Fee Paid  
☐ Site Plan ☐ Env. Health Approval \_\_\_\_\_ ☐ Sub VF Form \_\_\_\_\_

Fax 386-330-0560

Applicant (Who will sign/pickup the permit) Dan Trimble Phone 386-438-3728  
 Address 5239 US Hwy 129 Live Oak FL 32060  
 Owners Name Michael Cortez Phone 978-835-7458  
 911 Address 693 Barney St Highsprings FL 32643  
 Contractors Name Al Lakeside Aluminum Phone 386-438-3728  
 Address 5239 US Hwy 129

Applicant Email Lakesidealuminum@gmail.com \*\*\*Updates will be sent here.  
 Fee Simple Owner Name & Address N/A  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address FBC Engineering Zephyrhills FL  
 Mortgage Lenders Name & Address N/A  
 Circle the correct power company ☐ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy  
 Property ID Number 04-75-09889-014(34584) Estimated Construction Cost 23,000<sup>00</sup>  
 Subdivision Name N/A Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Construction of Screen Pool Enclosure ☐ Commercial OR ☒ Residential  
 Type of Structure (House; Mobile Home; Garage; Exxon) \_\_\_\_\_ Size of Enclosure(L\*W\*H) 25x30  
 Use/Occupancy of the building now \_\_\_\_\_ Is this changing \_\_\_\_\_  
 If Yes, Explain, Proposed Use/Occupancy \_\_\_\_\_  
 Is the building Fire Sprinkled? \_\_\_\_\_ If Yes, blueprints included \_\_\_\_\_ Or Explain \_\_\_\_\_  
 Entrance Changes (Ingress/Egress) \_\_\_\_\_ If Yes, Explain \_\_\_\_\_  
 Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) \_\_\_\_\_

# NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

04-75-17-09889-014 (36584)

Clerk's Office Stamp

Inst: 202412005277 Date: 03/13/2024 Time: 11:51AM  
Page 1 of 1 B: 1510 P: 816, James M Swisher Jr, Clerk of Court  
Columbia, County, By: VC W  
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 04-75-17 Trinker Farms SD 797-1714 WD 1465-2142  
a) Street (job) Address: 693 SW Barney St High Springs FL 32643
2. General description of improvements: Screen Pool Enclosure
3. Owner Information or Lessee information if the Lessee contracted for the improvements:  
a) Name and address: Michael Otero 693 SW Barney St High Springs FL 32643  
b) Name and address of fee simple titleholder (if other than owner) NA  
c) Interest in property NA
4. Contractor Information  
a) Name and address: A1 Lakeside Aluminium LLC 5239 US Hwy 129 Live Oak FL 32060  
b) Telephone No.: 384-438-3728
5. Surety Information (if applicable, a copy of the payment bond is attached):  
a) Name and address: NA  
b) Amount of Bond: NA  
c) Telephone No.: NA
6. Lender  
a) Name and address: NA  
b) Phone No.: NA
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:  
a) Name and address: Dan Trimble 5239 US Hwy 129 Live Oak FL 32060  
b) Telephone No.: 384-438-3728
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name: Polly Trimble OF A1 Lakeside Alum  
b) Telephone No.: 384-438-3728
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Michael Otero  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

Michael OTERO  
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 13th day of March, 2024, by:  
Suzanne Stewart as notary for Michael Otero  
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

Notary Signature Suzanne Stewart

Notary Stamp or Seal:



SUZANNE STEWART  
Commission # HH 463468  
Expires November 17, 2027



**Columbia County Building Permit Application - "Owner and Contractor Signature Page"**

**CODES: 2023 Florida Building Code 8<sup>th</sup> Edition and the 2020 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

**OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.**

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

\_\_\_\_\_  
**Printed Owners Name**

\_\_\_\_\_  
**Owners Signature**

**\*\*Property owners must sign here before any permit will be issued.**

**CONTRACTORS AFFIDAVIT:** By my signature, I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's License Number \_\_\_\_\_

Columbia County

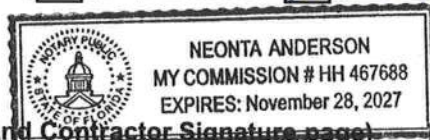
Competency Card Number T000281

\_\_\_\_\_  
**Contractor's Signature**

Affirmed and subscribed before me the Contractor by means of ☐ physical presence or ☐ online notarization, this 4 day of April, 2024, who was personally known ☐ or produced ID ☒ FL DL

\_\_\_\_\_  
**State of Florida Notary Signature (For the Contractor)**

SEAL:





**CODES: 2020 Florida Building Code 7<sup>th</sup> Edition and the 2017 National Electrical Code.**

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Michael Otero

Printed Owners Name

Michael Otero

Owners Signature

**\*\*Property owners must sign here before any permit will be issued.**

**CONTRACTORS AFFIDAVIT:** By my signature, I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]

Contractor's Signature

Contractor's License Number \_\_\_\_\_

Columbia County

Competency Card Number TD00281

Affirmed and subscribed before me the Contractor by means of ☐ physical presence or ☐ online notarization, this

13<sup>th</sup> day of March, 2024, who was personally known ☒ or produced ID \_\_\_\_\_

Suzanne Stewart

State of Florida Notary Signature (For the Contractor)

SEAL:



SUZANNE STEWART

Commission # HH 463468

Expires November 17, 2027

Columbia County Property  
Appraiser  
Jeff Hampton

2024 Workin  
Value

updated: 10/19/20

Retrieve Tax Record

2023 TRIM (pdf)

Property Car

Parcel List Generator

Show on GIS Map

Pri

Show Viewer

Parcel: << 04-7S-17-09889-014 (36584) >>

## Owner & Property Info

Result: 1 of 1

Owner	OTERO MICHAEL F OTERO DIANE J 6122 NW 47TH AVE 7 OCALA, FL 34482		
Site	693 SW BARNEY ST, HIGH SPRINGS		
Desc	COMM SW COR OF SE1/4 OF SW1/4, RUN E 447.79 FT FOR POB. CONT E 447.80 FT, N 1002.42 FT, W 452.50 FT, S 1005.11 FT TO POB. (AKA PARCEL #14 TRINKNER FARMS S/D UNREC). 797-1714, WD 1465-2142,		
Area	10.06 AC	S/T/R	04-7S-17
Use Code	PASTURE CLS33 (6200)	Tax District	3

The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

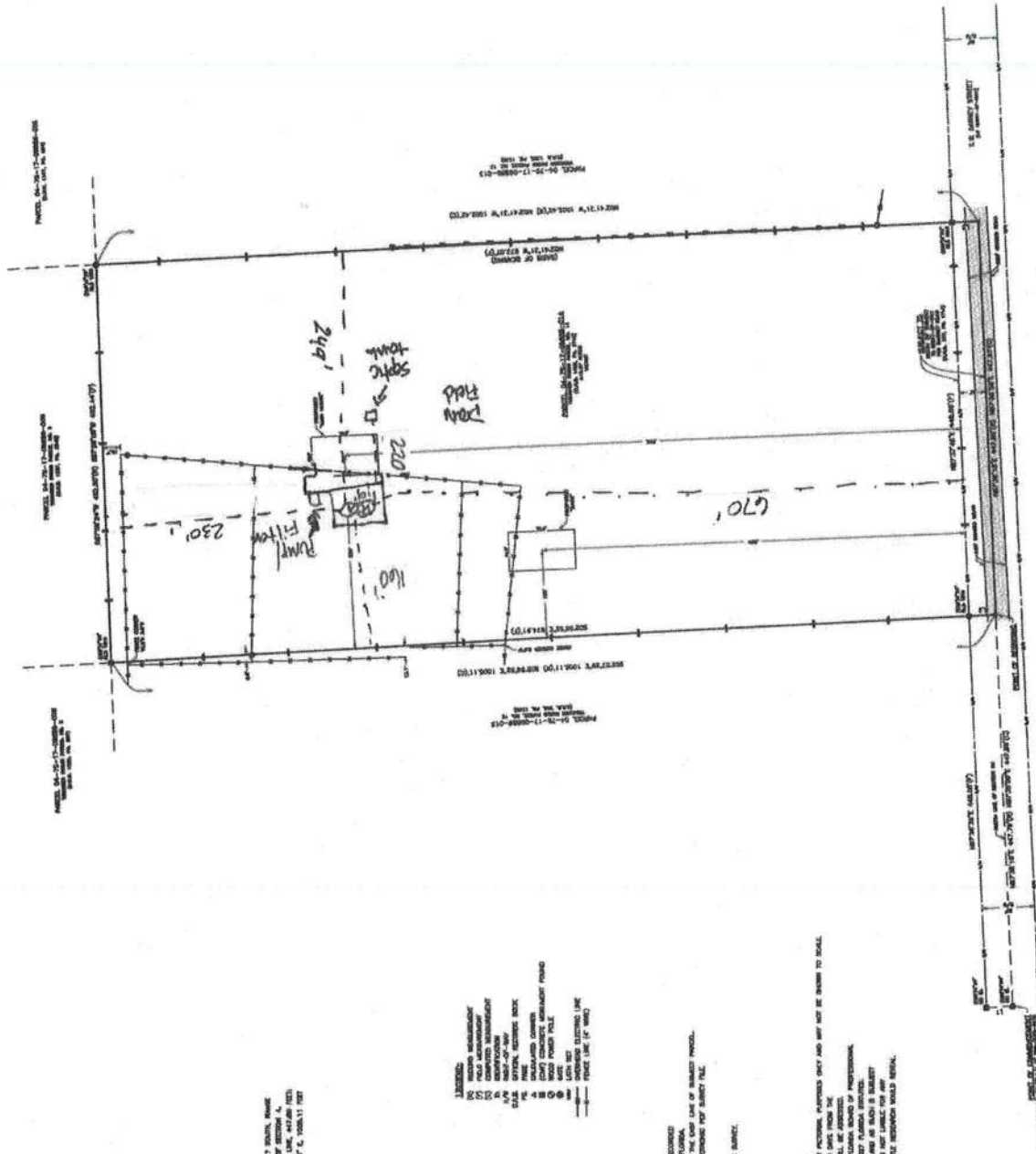


Darling/otero survey site Plan

COMMENCE AT THE SOUTHWEST CORNER OF THE SE 1/4 OF THE SW 1/4 SECTION 4, TOWNSHIP 7 SOUTH, RANGE 117 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE IN 87°28'18" E, ALONG THE SOUTH LINE OF SECTION 4, 1442.79 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE IN 87°28'18" E, ALONG SAID SOUTH LINE, 433.80 FEET THENCE IN 89°41'31" N, 1005.41 FEET THENCE IN 87°28'54" W, 682.40 FEET THENCE IN 03°27'28" E, 1028.15 FEET TO THE POINT OF BEGINNING.

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100

CHLORINE, 10-12.5% 2000 MILES	15
CHLORINE, 12.5-15% 2000 MILES	15
CHLORINE, 15-17.5% 2000 MILES	15
CHLORINE, 17.5-20% 2000 MILES	15
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CHLORINE, 380-382.5% 2000 MILES	15
CHLORINE, 382.5-385% 2000 MILES	15
CHLORINE, 385-387.5% 2000 MILES	15
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CHLORINE, 397.5-400% 2000 MILES	15
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CHLORINE, 415-417.5% 2000 MILES	15
CHLORINE, 417.5-420% 2000 MILES	15
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CHLORINE, 422.5-425% 2000 MILES	15
CHLORINE, 425-427.5% 2000 MILES	15
CHLORINE, 427.5-430% 2000 MILES	15
CHLORINE, 430-432.5% 2000 MILES	15
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CHLORINE, 435-437.5% 2000 MILES	15
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CHLORINE, 442.5-445% 2000 MILES	15
CHLORINE, 445-447.5% 2000 MILES	15
CHLORINE, 447.5-450% 2000 MILES	15
CHLORINE, 450-452.5% 2000 MILES	15
CHLORINE, 452.5-455% 2000 MILES	15
CHLORINE, 455-457.5% 2000 MILES	15
CHLORINE, 457.5-460% 2000 MILES	15
CHLORINE, 460-462.5% 2000 MILES	15
CHLORINE, 462.5-465% 2000 MILES	15
CHLORINE, 465-467.5% 2000 MILES	15
CHLORINE, 467.5-470% 2000 MILES	15
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CHLORINE, 765-767.5% 2000 MILES	15
CHLORINE, 767.5-770% 2000 MILES</	

[illegible]

SCALE: 1" = 60'



DATE OF FIELD WORK: 06-20-2023, 08-01-2023  
DATE OF REVIEW AND APPROVAL: 01-25-2023

David  
Deren

Digitally signed by  
David Deren  
DN: cn=David Deren,  
o=The OpenPGP Project,  
c=US

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PAGE 1 OF 1  
DATE: 06-03-2002  
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FIELD BOOK: 644/01-02; 645  
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**CHERRY BERRY TO:**  
GIVE POLICE CREDIT



**DEREN**  
LAND SURVEYING



General Notes

A. CONCRETE & FOUNDATION DESIGN:

1. ALL CONCRETE GRADE BEAMS AND FOOTINGS SHALL BE 3000 PSI MINIMUM.
2. ALL CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MINIMUM, 3 1/2" NOMINAL THICKNESS.
3. FIBERMESH (3/4" PER CUBIC YARD MIN.) MEETING APPROPRIATE ACI AND ASTM REQUIREMENTS MAY BE USED IN LIEU OF WELDED WIRE MESH
4. ALL SLABS ON GRADE SHALL BE 4" THICK WITH FIBERMESH.
5. ALL REINFORCING SHALL CONFORM TO ASTM A615, BE GRADE 60 (60 KSI MIN.), DEFORMED BARS, #3 BARS MAY BE GRADE 40
6. ALL OVER POUR CONCRETE FILLED SUPPORTED SLABS SHALL BE 3000 PSI MIN., 2" MINIMUM, THICKNESS.
7. SOIL BEARING PRESSURE SHALL BE A MINIMUM OF 1500 PSF.
8. THE CONCRETE SHALL CONFORM TO ASTM C94 FOR THE FOLLOWING:  
OPC (PORTLAND CEMENT TYPE 1, - ASTM C 150),  
AGGREGATES - #6 STONE, ASTM C 33 SIZE NO. 67 LESS THAN 3/4",  
AIR ENTRAINING +/- 1% - ASTM C 260,  
WATER REDUCING AGENT - ASTM C 494,  
CLEAN POTABLE WATER.
9. OTHER ADMIXTURES SHALL NOT BE PERMITTED.
10. METAL WELDED WIRE SHALL CONFORM TO ASTM A 185.
11. PREPARE & PLACE CONCRETE ACCORDING TO AMERICAN CONCRETE INSTITUTE MANUAL STANDARD PRACTICE, PART 1, 2, & 3 ALONG WITH HOT WEATHER CONDITIONS RECOMMENDATIONS.
11. IF UTILIZING EXISTING CONCRETE FOR FOUNDATION, CONCRETE SHALL BE A MINIMUM OF 4" IN THICKNESS, VISIBLY FREE OF ANY STRUCTURAL EXCESSIVE CRACKING, SPALLING OR OTHER DETERIORATION.

B. MASONRY:

1. CONCRETE MASONRY UNITS (CMU) SHALL BE STANDARD HOLLOW UNITS AND SHALL BE 2000 PSI MINIMUM BASED ON TYPE M OR S MORTAR.
2. ALL MORTAR SHALL BE OF TYPE M OR S.
3. ALL GROUT SHALL BE 2000 PSI MINIMUM AND HAVE MAXIMUM COARSE AGGREGATE SIZE OF 3/8"
4. PROVIDE CLEAN-OUTS FOR REINFORCED CELLS CONTAINING REINFORCEMENT WHEN GROUT POUR EXCEEDS 5'-0" IN HEIGHT.

C. ALUMINUM:

1. ALL STRUCTURAL ALUMINUM SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY WITH A MINIMUM THICKNESS OF 0.040" FOR SUPPORTING MEMBERS.
2. WHERE KICK PLATES ARE USED A MINIMUM THICKNESS OF 0.024" SHALL APPLY.
3. STRUCTURAL ALUMINUM DESIGN CONFORMS TO "PART 1-A - SPECIFICATIONS FOR ALUMINUM STRUCTURES - ALLOWABLE STRESS DESIGN" OR "PART 1-B - SPECIFICATIONS FOR ALUMINUM STRUCTURES - BUILDING LOAD AND RESISTANCE FACTOR DESIGN" OF THE ALUMINUM DESIGN MANUAL PREPARED BY THE ALUMINUM ASSOCIATION, INC. WASHINGTON D.C. THE *FLORIDA BUILDING CODE 7TH EDITION* ( CHAPTER 16 STRUCTURAL DESIGN & CHAPTER 20 ALUMINUM).
4. WHERE ALUMINUM COMES INTO CONTACT WITH STEEL, OR PRESSURE TREATED LUMBER PROVIDE DIELECTRIC SEPARATION.
5. ALUMINUM MEMBERS SHALL BE STITCHED WITH NO LESS THAN #10 SMS 6" FROM THE ENDS AND 12" ON CENTER, IF USING #12 SPACING MAY BE 24" ON CENTER.
6. VINYL AND ACRYLIC PANELS SHALL BE REMOVABLE. THEY SHALL BE IDENTIFIED WITH A DECAL ESSENTIALLY STATING "REMOVABLE PANEL SHALL BE REMOVED WHEN WIND SPEEDS EXCEED 75 MPH". DECAL SHALL BE PLACED SO IT IS VISIBLE WHEN PANEL IS INSTALLED.
7. 1"x2"x0.045" NON-STRUCTURAL MEMBERS SHALL BE ATTACHED TO HOST WITH 1/4"x0 X 1-3/4" EMBEDMENT & 24" O.C. MASONRY SCREW FOR CONCRETE & EQUIVALENT SIZE WOOD SCREW WHEN IN WOOD & #10X 1/2" EMBEDMENT SMS OR TEK SCREWS IN ALUMINUM MEMBERS TYPICAL.

D. FASTENERS:

1. ALL LAG BOLTS SHALL CONFORM TO STAINLESS STEEL TYPE 300 18-8, WITH STANDARD FLAT WASHER UNLESS MANUFACTURER GALVANIZES BOLTS SPECIFIES FOR USE WITH ACQ PRESSURE TREATED WOOD.

2. HEX BOLTS HAS TO BE ASTM A 325, PLATED WITH STANDARD FLAT WASHERS AND NUTS.

3. ALL CONCRETE SCREWS SHALL BE, SIMPSON, HILL, RAWL, TAPCON, REDHEAD, DYNABOLT, PORTECT OR APPROVED EQUAL.
4. ALL METAL TIES AND ASSOCIATED ACCESSORIES SHALL BE HOT DIPPED GAL VANIZED.
5. ALL LAG BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 8X BOLT DIAMETER INTO STRUCTURAL FRAMING (G=42 MIN.), LAG BOLTS AND SCREWS INTO WOOD FRAMING SHALL BE PROVIDED WITH PILOT HOLES HAVING A DIAMETER NOT GREATER THAN 70 PERCENT OF THE THREAD DIAMETER OF THE BOLT OR SCREW. ALL LAG BOLTS AND SCREWS SHALL BE INSERTED IN PILOT HOLES BY TURNING AND UNDER NO CIRCUMSTANCES BY DRIVING WITH A HAMMER.
7. ALL EXPANSION ANCHORS SHALL BE DESIGNED IN ACCORDANCE WITH THE SPECIFIC MANUFACTURERS REQUIREMENTS AND ALLOWABLE LOADS AND SHALL ONLY BE APPLIED IN CONDITIONS ACCEPTABLE TO MANUFACTURER. FASTENERS SHALL BE A MINIMUM OF SAE GRADE #5 OR BETTER ZINC PLATED.
8. ALL FASTENERS CONNECTING ALUMINUM COMPONENTS OR PRESSURE TREATED LUMBER ARE STAINLESS STEEL TYPE 300 18-8, UNLESS MANUFACTURER GAL VANIZED BOLTS SPECIFIES FOR USE WITH ACQ PRESSURE TREATED WOOD, OR OTHERWISE NOTED ON PLANS.
9. ALL FASTENERS SHALL COMPLY WITH ASTM A153.
10. ALL CONNECTORS SHALL COMPLY WITH ASTM A653 CLASS G-185.
11. FOR SMS, THE MINIMUM CENTER-TO-CENTER SPACING SHALL BE 3/4" AND MINIMUM CENTER-TO-EDGE SHALL BE 1/2" UNLESS NOTED OTHER WISE.

E. REFERENCE STANDARDS:

- ASTM E 119  
ASTM E 1300  
CURRENT ASCE 7  
CURRENT ALUMINUM DESIGN MANUAL-AA, ASM3, AND SPEC. FOR ALUMINUM PART 1-A, & 1-B  
ASTM C94  
ASTM C150  
ASTM C33  
ASTM C260  
ASTM C494  
ASTM A615  
ASTM A185  
*FLORIDA BUILDING CODE 7TH EDITION* ( CHAPTERS 16, 20 & 23).

F. ABBREVIATIONS:

- THE FOLLOWING LIST OF ABBREVIATIONS IS NOT INTENDED TO REPRESENT ALL THOSE USED ON THESE DRAWINGS, BUT TO SUPPLEMENT THE MORE COMMON ABBREVIATIONS.
1. TYP -- TYPICAL
  2. SIM -- SIMILAR
  3. UNOT -- UNLESS OTHERWISE NOTED
  4. CONT -- CONTINUOUS
  5. VIF -- VERIFY IN FIELD

G. RESPONSIBILITY:

1. ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDINANCES, ETC.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS, NOTIFYING ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS, FABRICATED ITEMS, OR ACTUAL FIELD CONDITIONS.
3. THESE DRAWINGS REPRESENT THE ACCEPTABILITY OF THE "SUNROOM" ROOM ADDITION ELEMENTS AS PROVIDED BY THE CONTRACTOR.
4. ALL DETAILS ON THESE DRAWINGS ARE ENGINEERED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR AND MANUFACTURER.
5. ANY DETAILS NOT SHOWN ARE TO BE ENGINEERED BY A LICENSED P.E. IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES.

H. MISCELLANEOUS:

1. ALUMINUM ADDITIONS ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME, TRAILER HOME, OR PRE-FAB HOME. IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPARATE 4TH WALL SUPPORT SYSTEM MUST BE ENGINEERED SO THAT NO

ADDITIONAL LOADING IS PLACED ON THE MANUFACTURED HOME.

2. IF ENCLOSURE CONTAINS A SWIMMING POOL OR SPA, THE ENCLOSURE SHALL COMPLY WITH RESIDENTIAL SWIMMING BARRIER REQUIREMENTS OF *THE FBC 7TH EDITION* R 4501.17 IN ITS ENTIRETY.
3. DOOR LOCATIONS MAY BE DETERMINED IN THE FIELD BY CONTRACTOR.
4. IF PAVERS ARE UNDER ALUMINUM MEMBERS THEY SHALL HAVE EPOXY ADHESIVE TO CONCRETE OR IF USING GROUT, ENSURE BONDING AGENT IS USED FIRST AND ADHERED WITH MINIMUM 3000 PSI GROUT.
5. SCREENING MATERIAL SHALL BE 18X14X0.013 OR EQUIVALENT DENSITY SCREEN MESH ONLY UNLESS NOTED ON DRAWING S-2.
6. ALL STRUCTURAL POST SHALL BE ANCHORED TO AN EXISTING/PROPOSED CONCRETE FOUNDATION FOR UPLIFT PURPOSES.

SCREEN ENCLOSURE

DESIGN DATA:

1. ULTIMATE DESIGN WIND SPEED V<sub>ult</sub>, (3 SECOND GUST):  
NOMINAL DESIGN WIND SPEED V<sub>ascd</sub>: 130 MPH  
101 MPH
2. RISK CATEGORY: 1  
B
3. WIND EXPOSURE: B
4. WIND LOADS:  
SCREEN ROOF: 6 PSF  
SCREEN WALLS (WINDWARD): 23 PSF  
SCREEN WALLS (LEEWARD): 20 PSF  
SOLID ROOF: N/A
5. FACTOR APPLIED TO SCREEN WIND LOADS FOR 18X14X0.013 OR EQUIVALENT DENSITY SCREEN MESH: 0.88
6. FACTOR APPLIED TO SCREEN WIND LOADS FOR ALLOWABLE STRESS DESIGN: 0.6
7. LIVE LOAD:  
300 lb. VERTICAL DOWNLOAD ON PRIMARY SCREEN ENCLOSURE MEMBERS.  
200 lb. VERTICAL DOWNLOAD ON SCREEN ENCLOSURE PURLINS.  
10 PSF VERTICAL DOWNLOAD ON SOLID ROOF.
8. SCREEN ROOF TYPE: HIPPED GABLE
9. SOLID ROOF TYPE: N/A
10. PROPOSED FOUNDATION (SEE S-2 FOR SIZE AND LOCATION) SHALL BE ADEQUATE TO RESIST THE UPLIFTS FOR THE PROPOSED STRUCTURE

ALUMINUM STRUCTURAL MEMBERS

HOLLOW SECTIONS

- 2 x 2:-----2" x 2" x 0.044"  
2 x 3:-----2" x 3" x 0.050"  
2 x 4:-----2" x 4" x 0.050"  
2 x 5:-----2" x 5" x 0.050"  
3 x 3:-----3" x 3" x 0.125"

OPEN BACK SECTIONS

- 1 x 2:-----1" x 2" x 0.040"  
1 x 3:-----1" x 3" x 0.045"

SNAP SECTIONS

- 2 x 2 SMS:-----2" x 2" x 0.045"  
2 x 3 SMS:-----2" x 3" x 0.072"  
2 x 4 SMS:-----2" x 4" x 0.045"  
3 x 3 SMS:-----3" x 3" x 0.090"

SELF MATING (SMB)

- 2 x 4 SMB:-----2" x 4" x 0.044" x 0.100"  
2 x 5 SMB:-----2" x 5" x 0.050" x 0.118"  
2 x 6 SMB:-----2" x 6" x 0.050" x 0.120"  
2 x 7 SMB:-----2" x 7" x 0.057" x 0.120"  
2 x 8 SMB:-----2" x 8" x 0.072" x 0.224"  
2 x 9 SMB:-----2" x 9" x 0.072" x 0.224"  
2 x 10 SMB:-----2" x 10" x 0.092" x 0.374"

TUBE SECTIONS

- 2 x 2:-----2" x 2" x 0.090"

INDEX:

- S-1 GENERAL NOTES  
S-2 DRAWING  
S-3 DETAILS  
S-4 DETAILS



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C.O.A.-#29054

DATE: 11/29/2023

DRAWN BY: ST

REVISION: DATE:

RO 1

RO 2

RO 3

RO 4

Job# 23\_1129\_571

PROJECT ADDRESS:

OTERO

693 SW BARNEY ST

HIGH SPRINGS, FL 32643

CONTRACTOR:

LAKESIDE ALUMINUM, INC.

NOTES  
S-1













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693 SW BARNEY ST

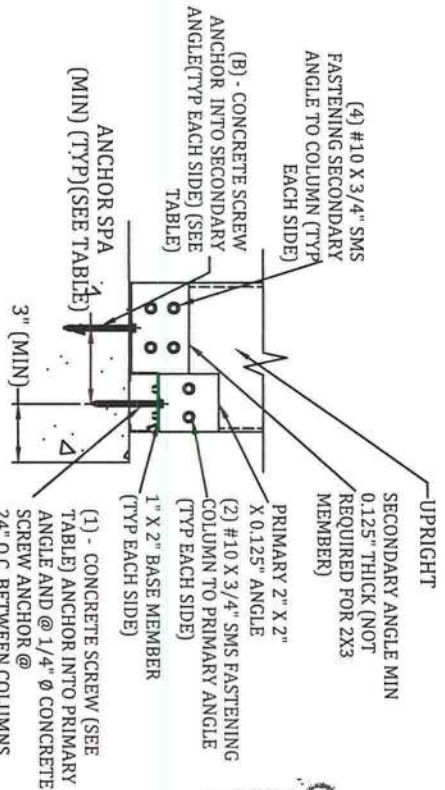
HIGH SPRINGS, FL 32643

CONTRACTOR:

LAKESIDE ALUMINUM, INC.

DETAILS

**S-4**



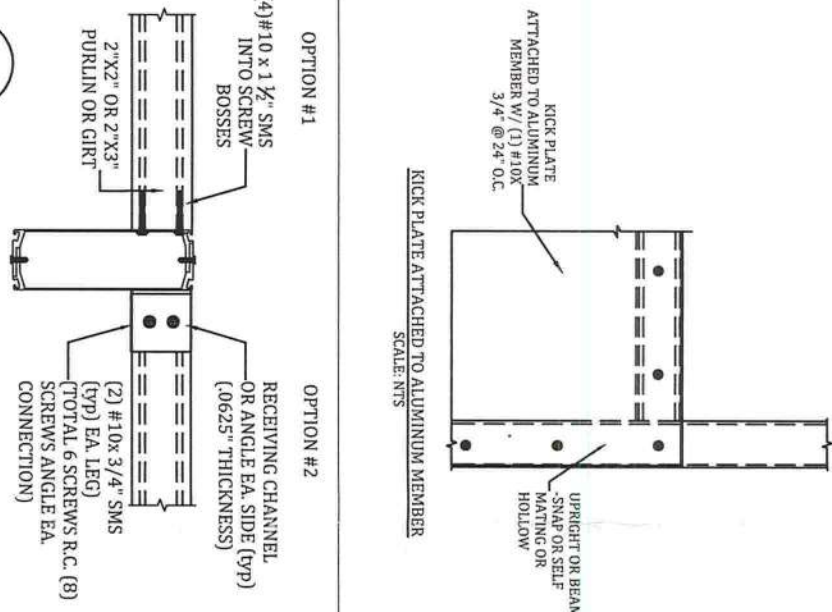
Column Size	Concrete Screw	Anchor	B	Min. Spa
2x3-1/4"	0	0"	1	3"
2x4-1/4"	1	3"	1	3"
2x5-1/4"	1	3"	1	4"
2x6-3/8"	1	4"	1	5"
2x7-3/8"	1	5"	1	5"
2x8-3/8"	2	3"	2	3"
2x9-3/8"	2	4"	2	4"
2x10-3/8"	2	4.5"	2	4.5"

NOTES:  
1. NUMBER OF ANCHORS "B" IS EACH SIDE INTO THE SECONDARY ANGLE AND DOES NOT INCLUDE THE ANCHOR INTO THE 1X2.  
2. MINIMUM EMBEDMENT OF ANCHORS INTO CONCRETE FOOTING SHALL BE 2-3/4" AT AT ALL UPRIGHT LOCATIONS. ALL SCREW LENGTHS AT UPRIGHT CONNECTIONS SHALL BE OF SUFFICIENT LENGTH FOR REQUIRED EMBEDMENT INTO CONCRETE FOOTING WHEN A PAVR DECK IS PRESENT.  
3. CONCRETE SCREW ANCHOR DESIGNS ARE BASED ON THOSE LISTED ON S-1, D. FASTENERS, OTHER BRAND & TYPE SHALL BE APPROVED BY ENGINEER.  
4. 2X3W/1X2 CORNER POST SHALL REQUIRE SAME BASE CONNECTIONS AS 2X4 SHOWN IN TABLE.  
5. IF FOR AN IN-FILL, TOP OF COLUMN CONNECTION SIMILAR IF CONCRETE LINTEL. IF WOOD LINTEL SUBSTITUTE 1/4" Ø X 3" LAG SCREW FOR 3/8" LDT FOR BOTH PRIMARY & SECONDARY ANGLES.  
6. 2X2X.045 DOOR JAMB MEMBER SHALL CONNECT SIMILAR TO 2X3 MEMBER.

**G**

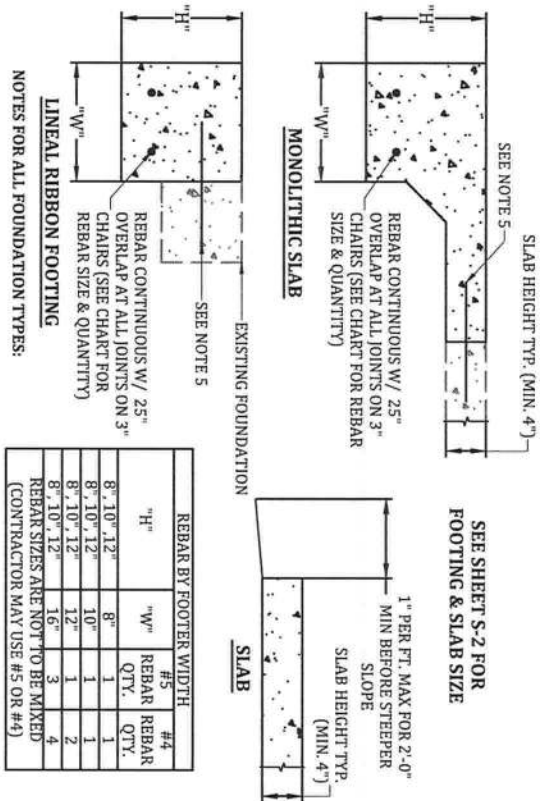
2" x 3" OR LARGER UPRIGHT TO CONCRETE W/ TWO PAVR DETAILS  
SCALE: N.T.S.

KICK PLATE ATTACHED TO ALUMINUM MEMBER  
SCALE: N.T.S.



**H**

PURLIN OR GIRT TO BEAM OR POST DETAIL.  
SCALE: N.T.S.



NOTES FOR ALL FOUNDATION TYPES:

1. THE FOUNDATIONS SHOWN ARE BASED ON A MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF. THE BEARING CAPACITY OF THE SOIL VERIFIED BY A LICENSED CONTRACTOR PRIOR TO ANY POURING OF CONCRETE.
2. THE SLAB/FOUNDATION MUST BE CLEARED OF ALL DEBRIS, AND COMPACTED PRIOR TO POURING OF ANY CONCRETE.
3. CONCRETE MEET THE SPECIFICATIONS IN THE S-1 NOTES PAGE.
4. HEIGHT AND WIDTH ARE INTERCHANGEABLE EXCEPT 12" WIDTH X 16" HEIGHT IS NOT APPLICABLE
5. WHEN PINNING USE A MINIMUM OF (1) 12" #5 REBAR W/ 6" EMBEDMENT @ 48" O.C. REQUIRED FOR ACCESSORY STRUCTURE TO ACCESSORY STRUCTURE CONCRETE BUT OPTIONAL FOR ACCESSORY STRUCTURE TO HOST STRUCTURE CONCRETE

**K**

FOUNDATION DETAIL  
SCALE: N.T.S.