


DATE 05/02/2019

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT**000038067**

APPLICANT	JAMES R. CALHOUN		PHONE	954-850-0569	
ADDRESS	2741	NE 57TH COURT	FLAUIDERDALE	FL	33308
OWNER	JAMES R. CALHOUN		PHONE	954-850-0569	
ADDRESS		SW MEADOW WOOD GLEN	LAKE CITY	FL	32024
CONTRACTOR	JAMES R. CALHOUN		PHONE	954-850-0569	
LOCATION OF PROPERTY	90 W. L. KOONVILLE AVE. E. MEADOW WOOD GLEN. 1/4 MILE ON RIGHT (LOT IS HALF PASTURE & WOODS)				
TYPE DEVELOPMENT	STORAGE SHED		ESTIMATED COST OF CONSTRUCTION	0.00	
HEATED FLOOR AREA		TOTAL AREA	HEIGHT	STORIES 1	
FOUNDATION	CONCRETE	WALLS	METAL	ROOF PITCH	FLOOR SLAB
LAND USE & ZONING	AG-3		MAX. HEIGHT	35	
Minimum Set Back Requirements:	STREET-FRONT 30.00		REAR 25.00	SIDE 25.00	
NO. EX.D.U.	0	FLOOD ZONE	DEVELOPMENT PERMIT NO.		
PARCEL ID	35-3S-15-00276-111		SUBDIVISION	MEADOW WOOD GLENN	
LOT	11	BLOCK	PHASE	UNIT	TOTAL ACRES
OWNER 					
Culvert Permit No.	Culvert Waiver	Contractor's License Number		Applicant Owner/Contractor	
EXISTING	X19-004	LH		TC	N
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident	Time SETUP No.
COMMENTS: NON-HABITABLE ACCESSORY USE BUILDING, NOC ON FILE					

Check # or Cash 8326

FOR BUILDING & ZONING DEPARTMENT ONLY

(Footer/Slab)

Temporary Power	Foundation	Monolithic
date/app. by	date/app. by	date/app. by
Under slab rough-in plumbing	Slab	Sheathing/Nailing
date/app. by	date/app. by	date/app. by
Framing	Insulation	
date/app. by	date/app. by	
Rough-in plumbing above slab and below wood floor	Electrical rough-in	
date/app. by	date/app. by	
Heat & Air Duct	Perf. beam (Intel)	Pool
date/app. by	date/app. by	date/app. by
Permanent power	C.O. Final	Culvert
date/app. by	date/app. by	date/app. by
Pump pole	Utility Pole	M/H tie downs, blocking, electricity and plumbing
date/app. by	date/app. by	date/app. by
Reconnection	RV	Re-roof
date/app. by	date/app. by	date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 75.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

PLAN REVIEW FEE \$ 19.00 DP & FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 169.00

INSPECTOR'S OFFICE  CLERK'S OFFICE 

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Remodel Permit Application

For Office Use Only Application # 1901-110 Date Received 1-31-19 By LH Permit # 38067
 Zoning Official JMA Date 1-31-19 Flood Zone X Land Use Ag Zoning A-3
 FEMA Map # _____ Elevation N/A MFE _____ River _____ Plans Examiner JL Date 2-6-19
 Comments NON Habitable Accessory Use Building
☒ NOC ☒ Deed or PA ☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor
☐ F.W. Comp. letter ☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid
☒ Site Plan ☐ Env. Health Approval X19-004 ☐ Sub VF Form N/A no Electric & No Concrete slab

Fax _____

Applicant (Who will sign/pickup the permit) JAMES R. CALHOUN Phone 954.850.0569
 Address 2741 NE 57TH COURT FT. LAUDERDALE FL 33308
 Owners Name SAME AS ABOVE Phone _____
 911 Address SW Meadow Wood Glenn, Lake City, FL 32024
 Contractors Name owner Builder Phone _____
 Address _____

Contractor Email JIMCALHOUN@ATT.NET ***Include to get updates on this job.

Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address Kevin Nolan no: 77209
 Mortgage Lenders Name & Address _____

Circle the correct power company ☒ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 35-35-15-00276-111 Estimated Construction Cost \$10,400.
 Subdivision Name MEADOW WOOD Lot 11 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road FROM RT 90 W, LEFT on SW KOONVILLE AVE., APPROX 1 MILE,
L on MEADOW WOOD GLENN, 1/4 mile on (R) (Lot is Halfwoods and half Pasture)

Construction of STORAGE SHED Commercial OR ☒ Residential

Type of Structure (House; Mobile Home; Garage; Exxon) PREBUILT SHED

Use/Occupancy of the building now _____ Is this changing no

If Yes, Explain, Proposed Use/Occupancy _____

Is the building Fire Sprinkled? No If Yes, blueprints included _____ Or Explain _____

Entrance Changes (Ingress/Egress) No If Yes, Explain _____

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

Columbia County Building Permit Application

CODE: Florida Building Code 2017 6th Edition and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

X JAMES R. CALHOUN  ****Property owners must sign here before any permit will be issued.**
Print Owners Name Owners Signature

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature _____ Contractor's License Number _____
Columbia County _____
Competency Card Number _____
Affirmed under penalty of perjury to by the Contractor and subscribed before me this _____ day of _____ 20____.
Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated: 1/11/2019

Parcel: << 35-3S-15-00276-111 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

Owner	CALHOUN JAMES R & PEGGY 2741 NE 57TH CT FT LAUDERDALE, FL 33308		
Site			
Description*	LOT 11 MEADOW WOOD S/D. WD 1133-1547.		
Area	5.01 AC	S/T/R	35-3S-15E
Use Code**	VACANT (000000)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Working Values	
Mkt Land (1)	\$36,214	Mkt Land (1)	\$36,214
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$36,214	Just	\$36,214
Class	\$0	Class	\$0
Appraised	\$36,214	Appraised	\$36,214
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$36,214	Assessed	\$36,214
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$36,214 city:\$36,214 other:\$36,214 school:\$36,214	Total Taxable	county:\$36,214 city:\$36,214 other:\$36,214 school:\$36,214



▼ Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
10/9/2007	\$75,000	1133/1547	WD	V	Q	

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

▼ Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000000	VAC RES (MKT)	1.000 LT - (5.010 AC)	1.00/1.00 1.00/1.00	\$36,214	\$36,214

Legend

2016Aerials



Parcels



Addresses



Roads

Roads

others



Interstate



Other

Paved



DevZones1

others

A-1

A-2

A-3

CG

CHI

CI

CN

CSV

ESA-2

I

ILW

MUD-I

PRD

PRRD

RMF-1

RMF-2

RO

RR

RSF-1

RSF-2

RSF-3

RSF/MH-1

RSF/MH-2

RSF/MH-3

DEFAULT

2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

Contours

default(Contours.shp)

DEFAULT

Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Jan 31 2019 13:55:57 GMT-0500 (Eastern Standard Time)



Parcel Information

Parcel No: 35-3S-15-00276-111

Owner: CALHOUN JAMES R & PEGGY

Subdivision: MEADOW WOOD

Lot: 11

Acres: 4.95884132

Deed Acres: 5.01 Ac

District: District 2 Rocky Ford

Future Land Uses: Agriculture - 3

Flood Zones:

Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

SITE PLAN CHECKLIST

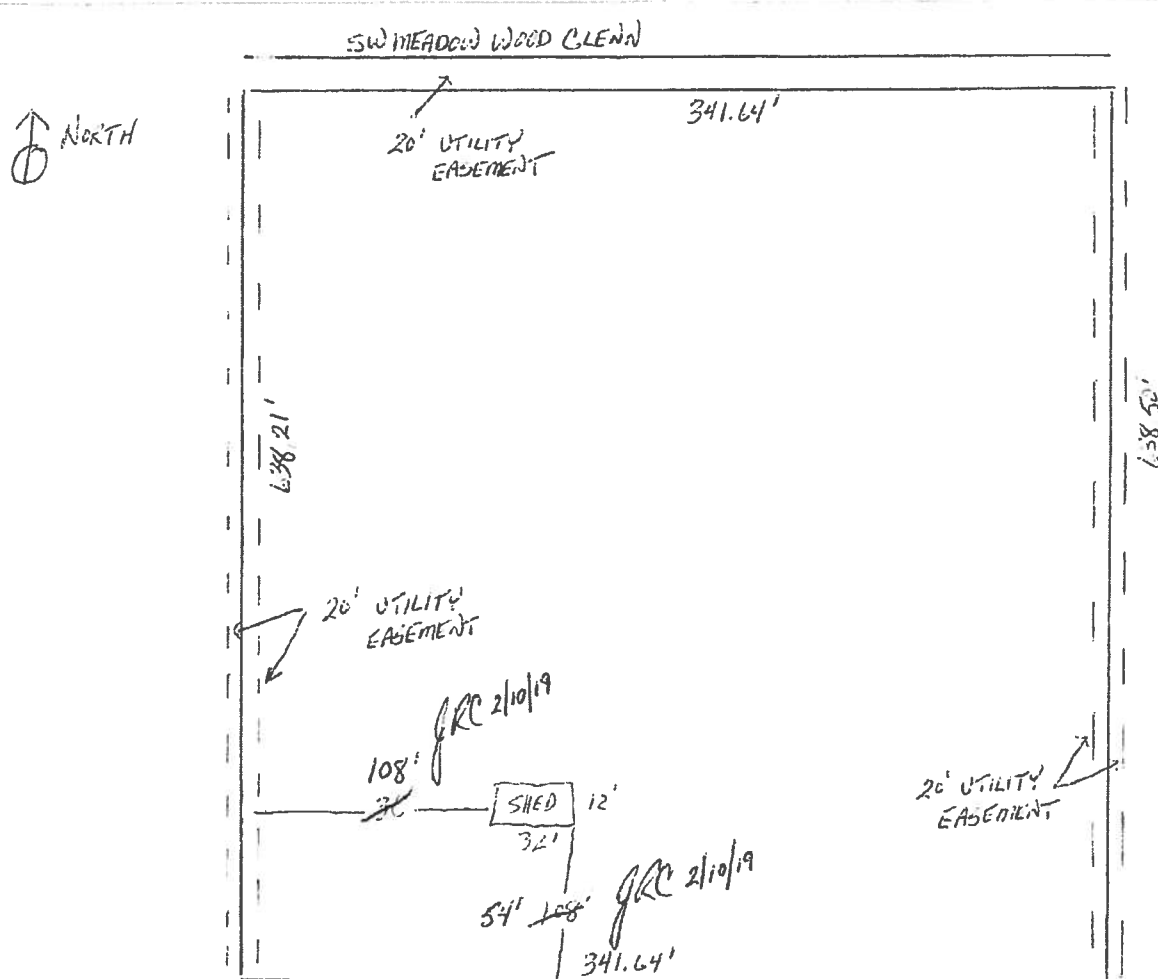
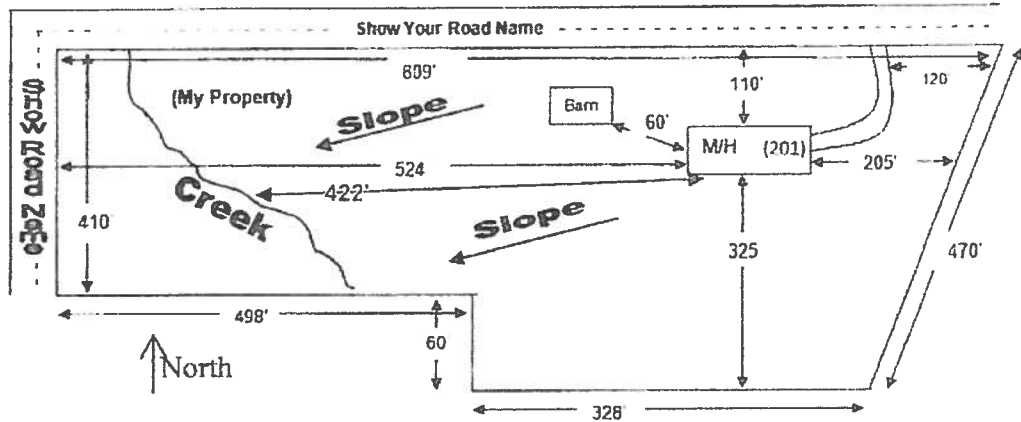
- ___ 1) Property Dimensions
- ___ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ___ 3) Distance from structures to all property lines
- ___ 4) Location and size of easements
- ___ 5) Driveway path and distance at the entrance to the nearest property line
- ___ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ___ 7) Show slopes and or drainage paths
- ___ 8) Arrow showing North direction

SITE PLAN EXAMPLE

Revised 7/1/15

NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

35-35-15-00276-111

Clerk's Office Stamp

Inst: 201912002482 Date: 01/31/2019 Time: 1:47PM
Page 1 of 1 B: 1377 P: 1324, P. DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Meadowwood S/O Lot 11
a) Street (job) Address: _____
2. General description of improvements: Storage Shed
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: James & Peggy Calhoun
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property owner
4. Contractor Information
a) Name and address: owner builder
b) Telephone No.: _____
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: _____ OF _____
b) Telephone No.: _____
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. James R. Calhoun
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
JAMES R. CALHOUN
Printed Name and Signatory's Title/Office

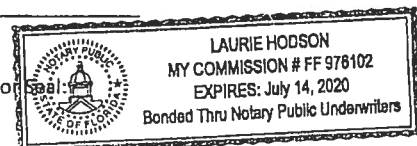
The foregoing instrument was acknowledged before me, a Florida Notary, this 31 day of January, 2019, by:
James R. Calhoun as owner for self
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known _____ OR Produced Identification _____ Type adl

Notary Signature

[Signature]

Notary Stamp or Seal





COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myfloridalicense.com/dbpr/> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

Meadow Wood S/D Lot 11

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

- () Single Family Dwelling () Two-Family Residence () Farm Outbuilding
() Addition, Alteration, Modification or other Improvement
() Commercial, Cost of Construction _____ for construction of _____
☒ Other Storage Shed

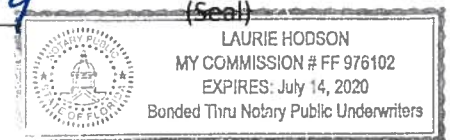
I JAMES R. CALHOUN, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

 Owner Builder Signature Date 1/31/2019

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FIDC

Notary Signature  Date 1-31-19 (Seal)



FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative 

WEATHER KING PORTABLE BUILDINGS

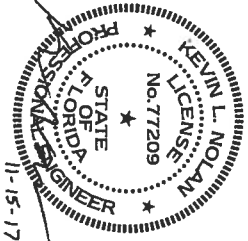
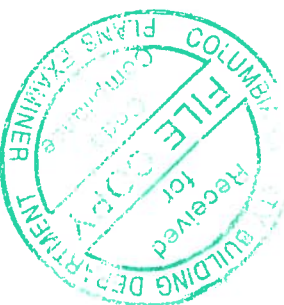
760 WESTBROOK ROAD
HICKORY, KY 42051

GENERAL NOTES:

- ANCHORING PLANS ARE TO BE USED IN CONJUNCTION WITH BUILDING PLANS, SUBMITTED SEPARATELY.
- DESIGN LOADS ARE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE.
- WIND LOADS ARE BASED ON THE FOLLOWING:

ULTIMATE DESIGN WIND SPEEDS: 2017 FBC FIGURE 1609.3(3)
V_{ult} = 120 MPH
V_{ult} = 140 MPH
V_{ult} = 160 MPH
RISK CATEGORY I
EXPOSURE CATEGORY C
INTERNAL PRESSURE COEFFICIENT: GCP_i = ±0.18
- THE MINIMUM ANCHORAGE SHALL BE AN ANCHOR AT EACH CORNER OF THE BUILDING. LOCATE THE ANCHOR WITHIN 12 INCHES FROM THE CORNER. REFER TO ANCHOR SCHEDULE FOR ADDITIONAL ANCHORS THAT MAY BE REQUIRED. ANY ADDITIONAL ANCHORS BETWEEN THE CORNERS SHALL BE SPACED EQUALLY.
- WEATHER KING IS NOT RESPONSIBLE FOR THE PREPARATION OF THE PROPOSED SITE OR DETERMINATION OF THE SITE'S SUITABILITY TO SUPPORT THE PROPOSED STRUCTURE. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO DETERMINE IF SITE CONDITIONS ARE SUITABLE TO SUPPORT THE STRUCTURE.
- TIE-DOWNS AND ANCHORS ARE TO BE SUPPLIED AND INSTALLED BY THE PROPERTY OWNER. WEATHER KING IS NOT RESPONSIBLE FOR ANCHORING THE BUILDING.
- THE SCHEDULES INDICATE THE RECOMMENDED NUMBER AND TYPE OF BUILDING ANCHORS TO BE INSTALLED BY THE PROPERTY OWNER ALONG EACH SIDE OF THE BUILDING. GROUND ANCHORS SHALL BE RATED FOR SOIL CLASSIFICATION 4a. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO VERIFY THE SOIL TYPE FOR THE SITE WHERE THE BUILDING IS TO BE PLACED.
- GROUND ANCHORS DESIGNED FOR SOIL CLASS 4a OR BETTER.

SOIL CLASS 4a: CONSISTS OF LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL, BLOW COUNT, PER ASTM D1586, OF 18 TO 23, AND A READING ON A TORQUE PROBE OF 276 TO 350 INCH POUNDS. THE MINIMUM ANCHOR LENGTH FOR SOIL CLASS 4a SHALL BE 48 INCHES.



MASTER ANCHORING PLANS--FLORIDA--FBC 2017

Weather King
PORTABLE BUILDINGS

PROJECT NO:
DATE: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION:

SHEET NUMBER
S-0-AP
SCALE: NONE

SCHEDULES FOR GROUND ANCHORS W/ STRAPS

UPLIFT ANCHORAGE SCHEDULE FOR WIND UP TO 120 MPH

BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE OF BUILDING											
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
8'-0"	2	2	3	3	-	-	-	-	-	-	-	-
10'-0"	2	2	2	3	3	3	-	-	-	-	-	-
11'-2"	-	2	2	3	3	3	3	3	3	3	3	4

UPLIFT ANCHORAGE SCHEDULE FOR WIND 121 TO 140 MPH

BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE OF BUILDING											
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
8'-0"	3	3	4	4	-	-	-	-	-	-	-	-
10'-0"	3	3	3	3	4	4	-	-	-	-	-	-
11'-2"	-	2	3	3	4	4	4	4	5	5	5	5

UPLIFT ANCHORAGE SCHEDULE FOR WIND 141 TO 160 MPH

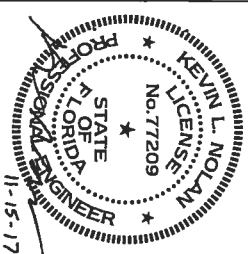
BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE OF BUILDING											
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
8'-0"	4	4	5	5	-	-	-	-	-	-	-	-
10'-0"	4	4	4	4	5	5	-	-	-	-	-	-
11'-2"	-	4	4	4	5	5	5	5	6	6	7	7

MASTER ANCHORING PLANS--FLORIDA--FBC 2017

Weather King®
PORTABLE BUILDINGS

PROJECT NO: _____
DATE: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION: _____

SHEET NUMBER
S-11-AP
SCALE: _____



SCHEDULES FOR EYE ANCHORS BOLTED TO BUILDING

UPLIFT ANCHORAGE SCHEDULE FOR WIND UP TO 120 MPH

BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE OF BUILDING											
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
8'-0"	2	3	3	4	-	-	-	-	-	-	-	-
10'-0"	2	3	3	3	4	4	-	-	-	-	-	-
11'-2"	-	2	3	3	3	3	3	4	4	4	4	5

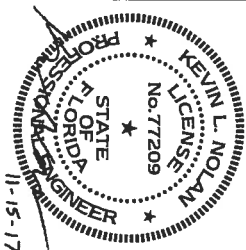
UPLIFT ANCHORAGE SCHEDULE FOR WIND 121 TO 140 MPH

BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE OF BUILDING											
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
8'-0"	4	4	5	5	-	-	-	-	-	-	-	-
10'-0"	3	4	4	4	5	5	-	-	-	-	-	-
11'-2"	-	3	4	4	5	5	5	5	6	6	7	7

UPLIFT ANCHORAGE SCHEDULE FOR WIND 141 TO 160 MPH

BLDG WIDTH	NUMBER OF ANCHORS EACH SIDE OF BUILDING											
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"
8'-0"	5	5	6	6	-	-	-	-	-	-	-	-
10'-0"	4	5	5	5	6	6	-	-	-	-	-	-
11'-2"	-	4	5	5	6	6	7	7	8	8	8	9

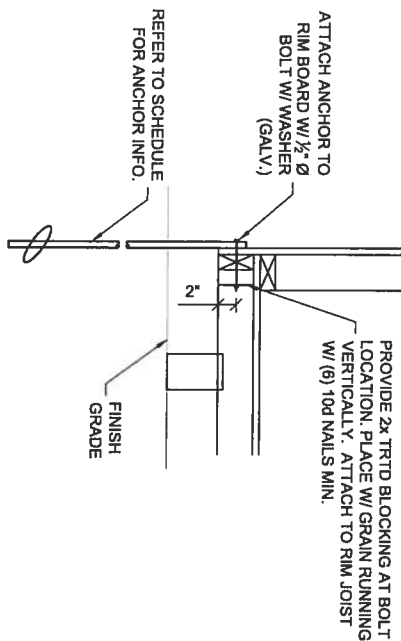
MASTER ANCHORING PLANS--FLORIDA--FBC 2017



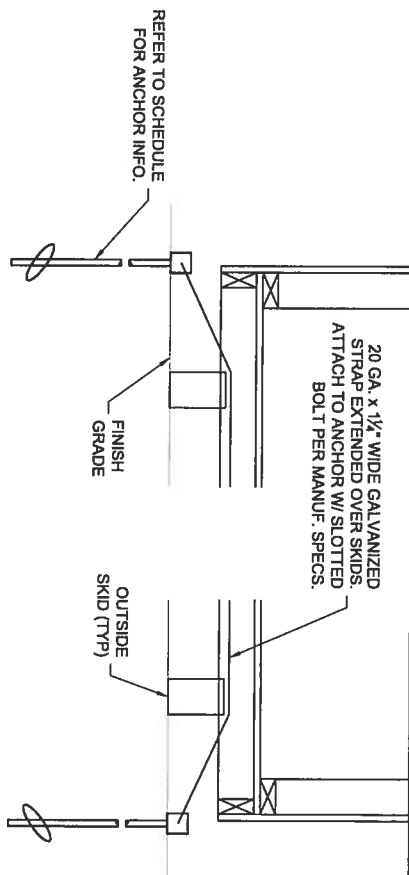
Weather King
PORTABLE BUILDINGS

PROJECT NO:
DATE: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION:

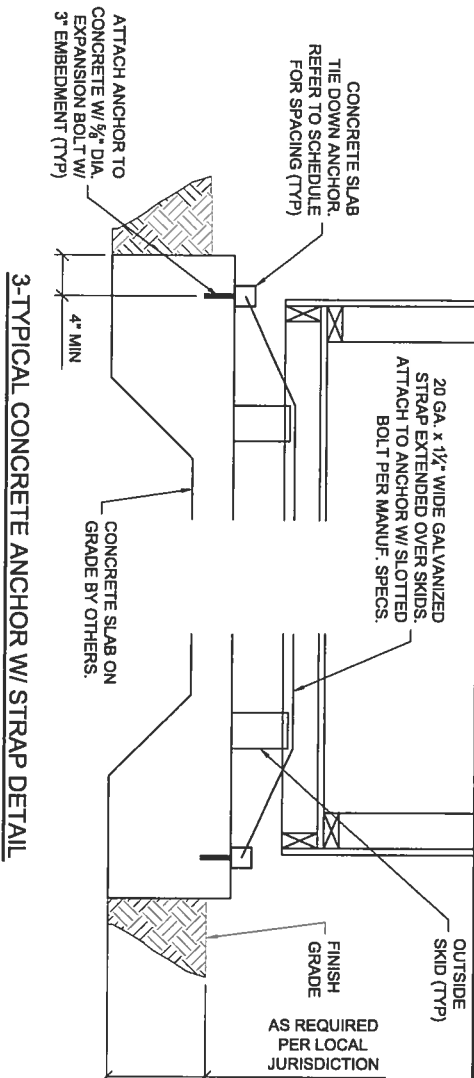
SHEET NUMBER
S-12-AP
SCALE:



1-BOLTED EYE ANCHOR DETAIL



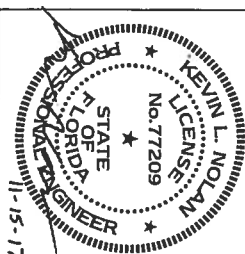
2-TYPICAL ANCHOR W/ STRAP DETAIL



3-TYPICAL CONCRETE ANCHOR W/ STRAP DETAIL

RECOMMENDED GROUND ANCHOR SCHEDULE	
SOIL CLASS	ANCHOR DESCRIPTION
4a	5/8" Ø ROD x 48" LONG w/ (1) 6" HELIX
	3/4" Ø ROD x 48" LONG w/ (1) 6" HELIX
	3/4" Ø ROD x 48" LONG w/ (2) 4" HELIX
	EYE ANCHOR - 5/8" Ø ROD x 48" LONG w/ (1) 6" HELIX
	EYE ANCHOR - 3/4" Ø ROD x 48" LONG w/ (1) 6" HELIX

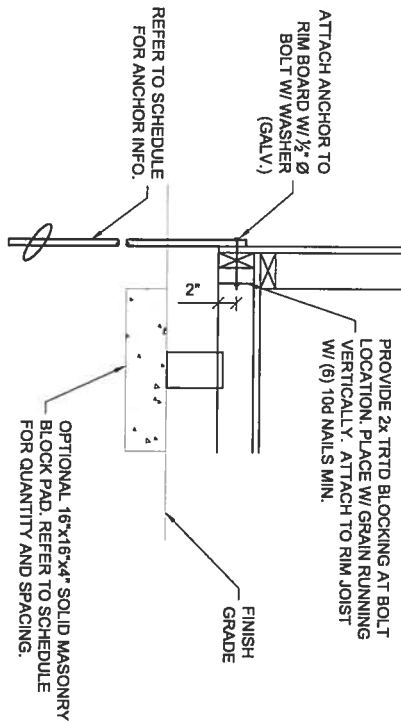
NOTE: REFER TO NOTE 8 ON SHEET S-0 FOR SOIL CLASS DESCRIPTION.



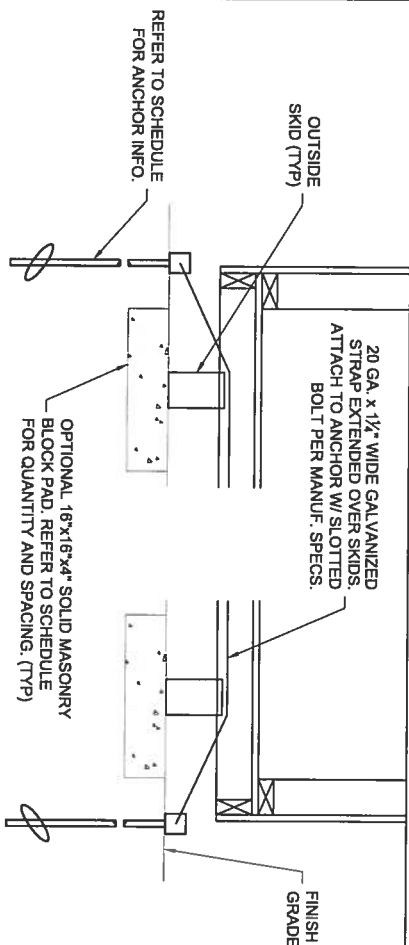
MASTER ANCHORING PLANS--FLORIDA--FBC 2017



PROJECT NO:	SHEET NUMBER
DATE: 11-15-2017	S-21-AP
DRAWN BY: KLN	SCALE: 1"=1'-0"
CHECKED BY: KLN	
REVISION:	



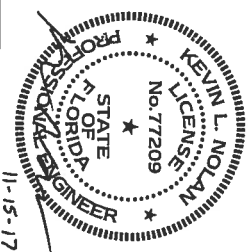
1-BOLTED EYE ANCHOR DETAIL W/ OPTIONAL BLOCK PAD



2-TYPICAL ANCHOR W/ STRAP DETAIL W/ OPTIONAL BLOCK PAD

OPTIONAL BLOCK PAD SCHEDULE											
BLDG WIDTH	NUMBER OF PADS BENEATH EACH SKID										
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"
8'-0"	2	3	3	3	-	-	-	-	-	-	-
10'-0"	2	2	2	3	3	3	-	-	-	-	-
11'-2"	-	-	-	3	3	3	3	3	3	3	4

- NOTES: 1. BLOCK PADS ARE OPTIONAL.
 2. BLOCK SIZES SHOWN ARE NOMINAL. PADS MAY CONSIST OF EITHER A SINGLE 16x16 BLOCK OR (2) 16x8 BLOCKS.
 3. BLOCK PADS SHALL BE PLACED WITHIN 12 INCHES OF EACH BUILDING CORNER. ADDITIONAL PADS, AS REQUIRED, SHALL BE SPACED EQUALLY.



MASTER ANCHORING PLANS--FLORIDA--FBC 2017

Weather King
PORTABLE BUILDINGS

PROJECT NO:
DATE: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION:

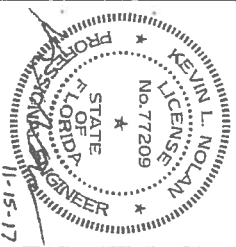
SHEET NUMBER
S-22-AP
SCALE: 1"=1'-0"

FASTENING SCHEDULE

FASTENING SCHEDULE (CONT)

DESCRIPTION OF BUILDING ELEMENT	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
ROOF FRAMING		
1. BLOCKING IN EAVE CEILING JOISTS OR RAFTERS TO TOP PLATE OR HAHN FRAMING.	2 - 16d COMMON (2 $\frac{1}{2}$ " x 0.131) 3 - 3" x 0.131" NAILS 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	EACH END, TOE NAIL
2. BLOCKING BETWEEN RAFTERS NOT AT THE WALL TOP PLATE TO RAFTER.	2 - 16d COMMON (2 $\frac{1}{2}$ " x 0.131) 3 - 3" x 0.131" NAILS 3 - 3" x 14 GAGE STAPLES	EACH END, TOE NAIL
COLUMN TIE TO RAFTER	REFERENCE SHEETS S-20 AND S-21 3 - 16d COMMON (2 $\frac{1}{2}$ " x 0.131) 3 - 16d BOX (3" x 0.128) 4 - 3" x 0.131" NAILS 4 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	FACE NAIL
RAFTER TO TOP PLATE	TOE NAIL	TOE NAIL
CEILING JOISTS TO TOP PLATE	3 - 16d COMMON (2 $\frac{1}{2}$ " x 0.131) 3 - 3" x 0.131" NAILS 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	EACH JOIST, TOE NAIL
WALL FRAMING		
STUD TO STUD (NOT AT BRACKET WALL PANELS)	16d COMMON (2 $\frac{1}{2}$ " x 0.127) 10d BOX (1 $\frac{1}{2}$ " x 0.128) 3 - 3" x 14 GAGE STAPLES	2" O.C. FACE NAIL
STUD TO STUD AND ADJUTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON (2 $\frac{1}{2}$ " x 0.127) 10d BOX (2 $\frac{1}{2}$ " x 0.127) 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	16" O.C. FACE NAIL 12" O.C. FACE NAIL 12" O.C. FACE NAIL
CONTINUOUS HEADER TO STUD	4 - 16d COMMON (2 $\frac{1}{2}$ " x 0.131) 4 - 16d BOX (2 $\frac{1}{2}$ " x 0.128)	TOE NAIL
TOP PLATE TO TOP PLATE	10d BOX (1 $\frac{1}{2}$ " x 0.128) 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	16" O.C. FACE NAIL 12" O.C. FACE NAIL

DESCRIPTION OF BUILDING ELEMENT	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
WALL FRAMING (CONT.)		
TOP PLATE TO TOP PLATE AT END JOISTS	8 - 16d COMMON (2 $\frac{1}{2}$ " x 0.127) 12 - 3" x 0.131" NAILS 12 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	EACH END OF END JOIST, FACE NAIL (MINIMUM OF 8" TO END JOIST LENGTH AND 18" TO END JOIST)
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST, OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (2 $\frac{1}{2}$ " x 0.127) 10d BOX (1 $\frac{1}{2}$ " x 0.128) 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	16" O.C. FACE NAIL
BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST, OR BLOCKING (AT BRACED WALL PANELS)	2 - 16d COMMON (2 $\frac{1}{2}$ " x 0.127) 3 - 16d BOX (2 $\frac{1}{2}$ " x 0.128) 4 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	16" O.C. FACE NAIL
STUD TO TOP OR BOTTOM PLATE	4 - 16d COMMON (2 $\frac{1}{2}$ " x 0.131) 4 - 3" x 0.131" NAILS 4 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	TOE NAIL
STUD TO STUD	2 - 16d COMMON (2 $\frac{1}{2}$ " x 0.127) 3 - 16d BOX (2 $\frac{1}{2}$ " x 0.128) 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	EACH JOIST, TOE NAIL
TOP PLATES, LIPS AT CORNERS AND INTERSECTIONS	2 - 16d COMMON (2 $\frac{1}{2}$ " x 0.127) 3 - 16d BOX (2 $\frac{1}{2}$ " x 0.128) 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	FACE NAIL
FLOOR FRAMING		
JOIST TO STUD	3 - 16d COMMON (2 $\frac{1}{2}$ " x 0.131) 3 - 16d BOX (2 $\frac{1}{2}$ " x 0.128) 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	TOE NAIL
BUILT UP BEAMS	10d BOX (1 $\frac{1}{2}$ " x 0.128) 3 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	24" O.C. FACE NAIL AT TOP AND BOTTOM, STAGGERED ON OPPOSITE SIDES
JOIST TO BAND JOIST OR RIM JOIST	3 - 16d COMMON (2 $\frac{1}{2}$ " x 0.127) 3 - 16d BOX (2 $\frac{1}{2}$ " x 0.128) 4 - 3" x 14 GAGE STAPLES, $\frac{1}{16}$ " CROWN	EACH END OF EACH SPACE, FACE NAIL



LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E. Robbins
Florida PE-49070
Phillip E. Robbins
Plan No. PER172064 Date: 12-11-17

Weather King
PORTABLE BUILDINGS

PROJECT NO.:
DATE: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION:
SHEET NUMBER
SCALE: NONE

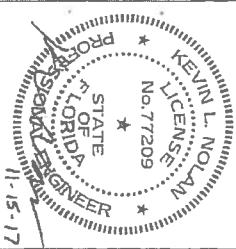
S-01-LB

FASTENING SCHEDULE (CONT.)

DESCRIPTION OF BUILDING ELEMENT	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING ^a		
	EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
6d COMMON OR DEFORMED (2" x 0.113") (SUBFLOOR AND WALL)	5	12
6d BOX OR DEFORMED (2 1/2" x 0.13") (ROOF)	3	12
2 1/2" x 0.113" NAIL (SUBFLOOR AND WALL)	6	12
1 1/2" x 16 GAGE STAPLE, 1/4" CROWN (SUBFLOOR AND WALL)	4	6
2 1/2" x 0.113" NAIL (ROOF)	4	6
1 1/2" x 16 GAGE STAPLE, 1/4" CROWN (ROOF)	3	6
6d COMMON (2 1/2" x 0.13")	6	12
6d DEFORMED (2" x 0.13")	6	12
3 1/2" x 0.113" NAIL	4	8
7" x 16 GAGE STAPLE, 1/4" CROWN	4	8
EXTERIOR WALL SIDING		
6d BOX OR DEFORMED (2 1/2" x 0.113")	6 (SIDE WALL)	6
6d BOX OR DEFORMED (2 1/2" x 0.113")	3 (END WALL)	6

a. NAILS SPACED AT 6 INCHES AT INTERMEDIATE SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON BOX OR CASING. b. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE AND THE CEILING JOIST IS FASTENED TO THE TOP PLATE IN ACCORDANCE WITH THE SCHEDULE, THE NUMBER OF TOENAILS IN THE RAFTER SHALL BE PERMITTED TO BE REDUCED BY ONE NAIL.

APPROVED
DOCUMENT



LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E Robbins
Florida PE-49070
Plan No. PER172064 Date: 12-11-17

Weather King
PORTABLE BUILDINGS

PROJECT NO: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION:

SHEET NUMBER
S-02-LB
SCALE: NONE



LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E Robbins
Florida PE-48070
Phillip E Robbins
Date: 12-11-17
Plan No. PER172064

Weather King
PORTABLE BUILDINGS

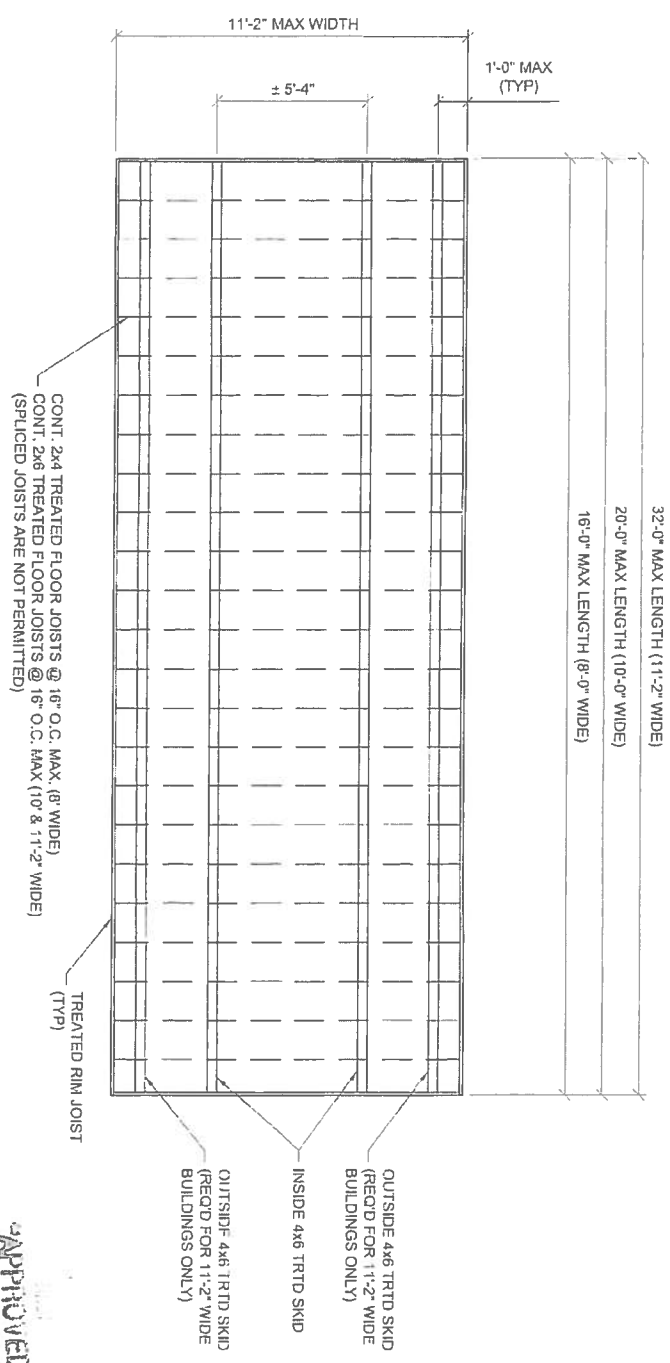
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DATE:	KLN
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER

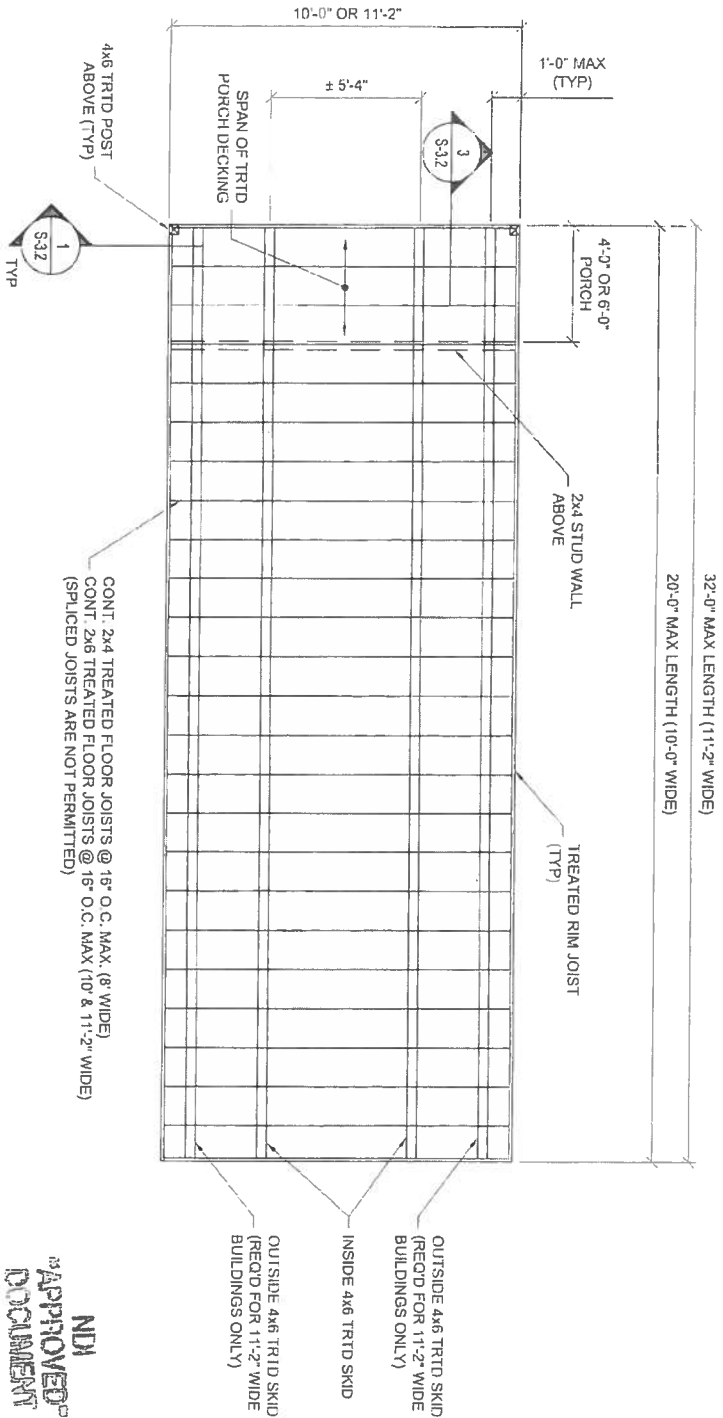
S-10-LB

SCALE: NOT TO SCALE

TYPICAL FLOOR FRAMING PLAN

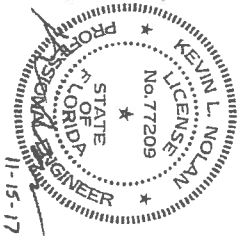


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LOFTED BARN CABIN FLOOR FRAMING PLAN (OPTIONAL)

NDM
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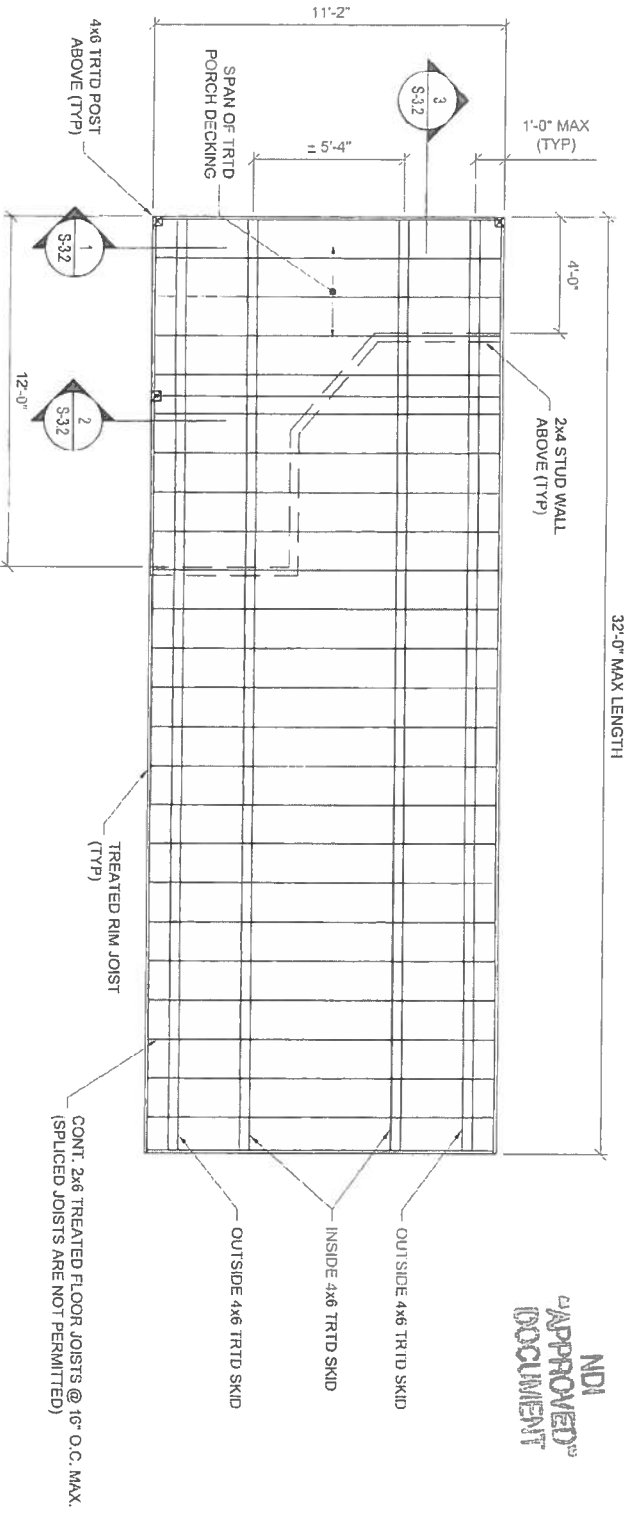
LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E. Robbins
Florida PE-49070
Date: 12-11-17
Plan No. PER172064

Weather King
PORTABLE BUILDINGS

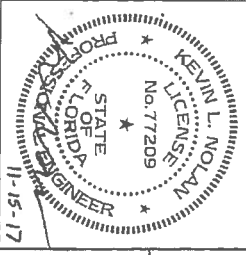
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DATE: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION:

SHEET NUMBER
S-11-LB
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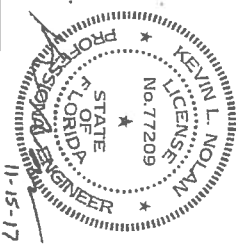
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DOCUMENT

DELUXE LOFTED BARN CABIN FLOOR FRAMING PLAN (OPTIONAL)



LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E Robbins Florida PE-49070 <i>Phillip E Robbins</i> Plan No. PER172064 Date: 12-11-17		Weather King PORTABLE BUILDINGS	PROJECT NO: DATE: 11-15-2017 DRAWN BY: KLN CHECKED BY: KLN REVISION:	SHEET NUMBER S-13-LB SCALE: NOT TO SCALE



Approved by Phillip E Robbins
Florida PE-49070
Phillip E Robbins
Plan No. PER172064 Date: 12-11-17

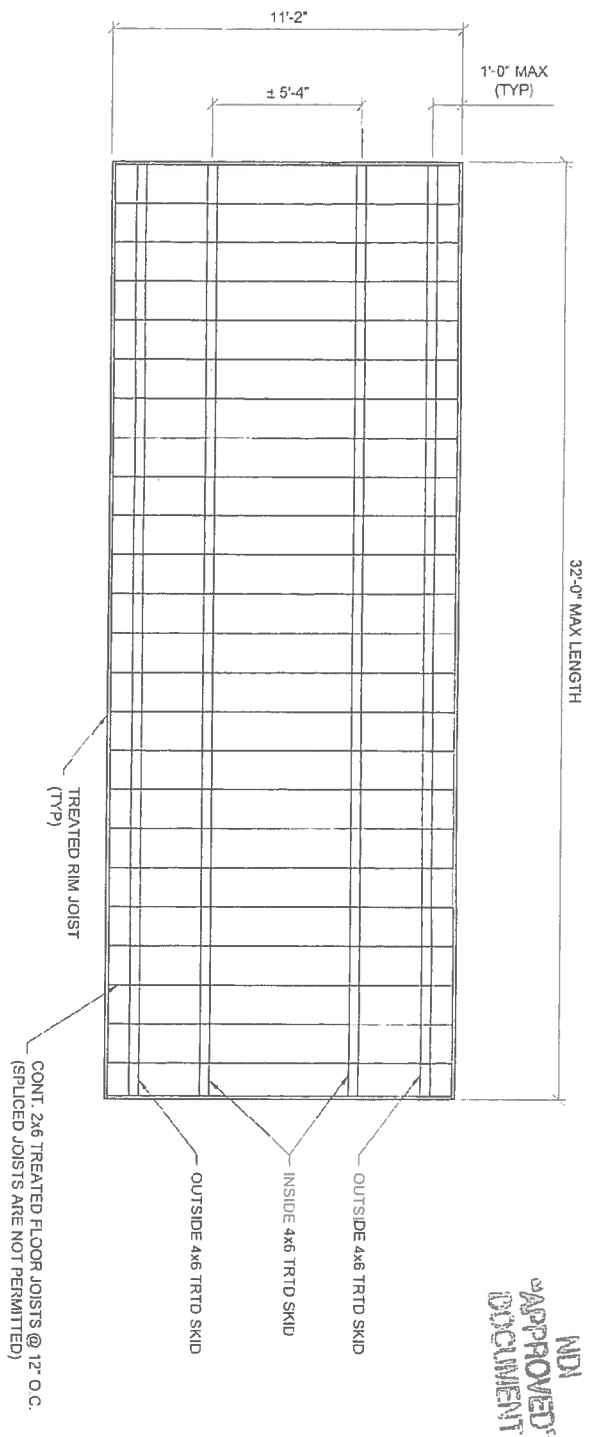


PROJECT NO.:	
DATE:	11-15-2017
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

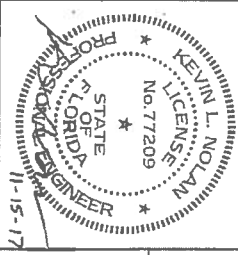
SHEET NUMBER
S-14-LB
SCALE: NOT TO SCALE

LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

LOFTED BARN W/ ROLL-UP DOOR FLOOR FRAMING PLAN (OPTIONAL)



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LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E Robbins
Florida PE-49070
Phillip E Robbins

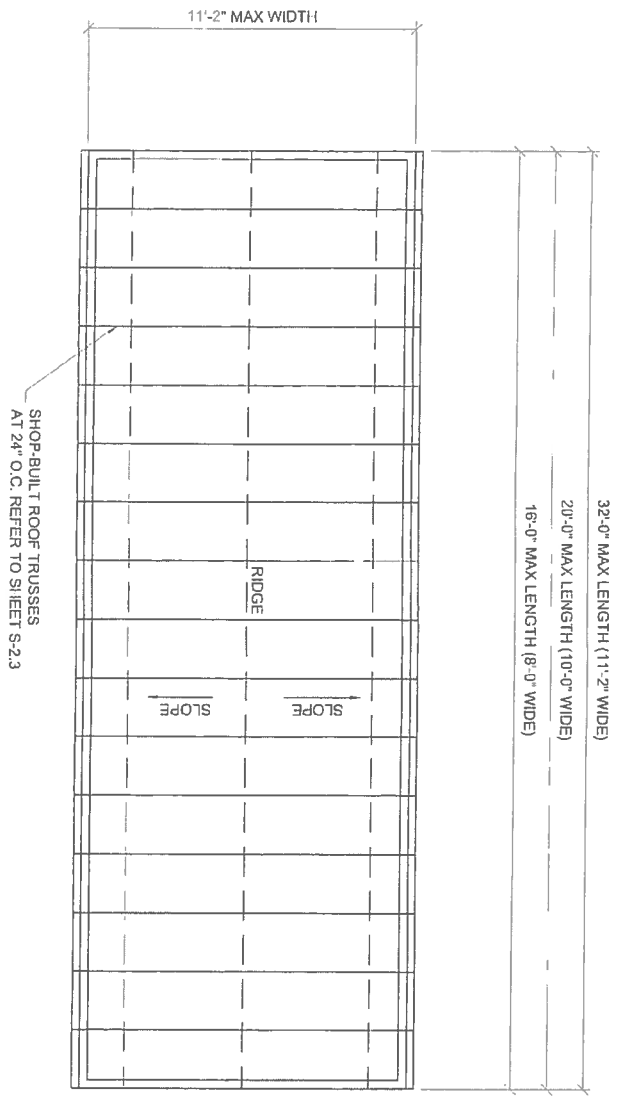
Plan No. PER172064 Date: 12-11-17

Weather King
PORTABLE BUILDINGS

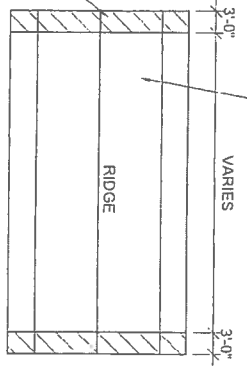
PROJECT NO: 11-15-2017
DATE: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION:

SHEET NUMBER
S-15-LB
SCALE: NOT TO SCALE

ROOF FRAMING PLAN

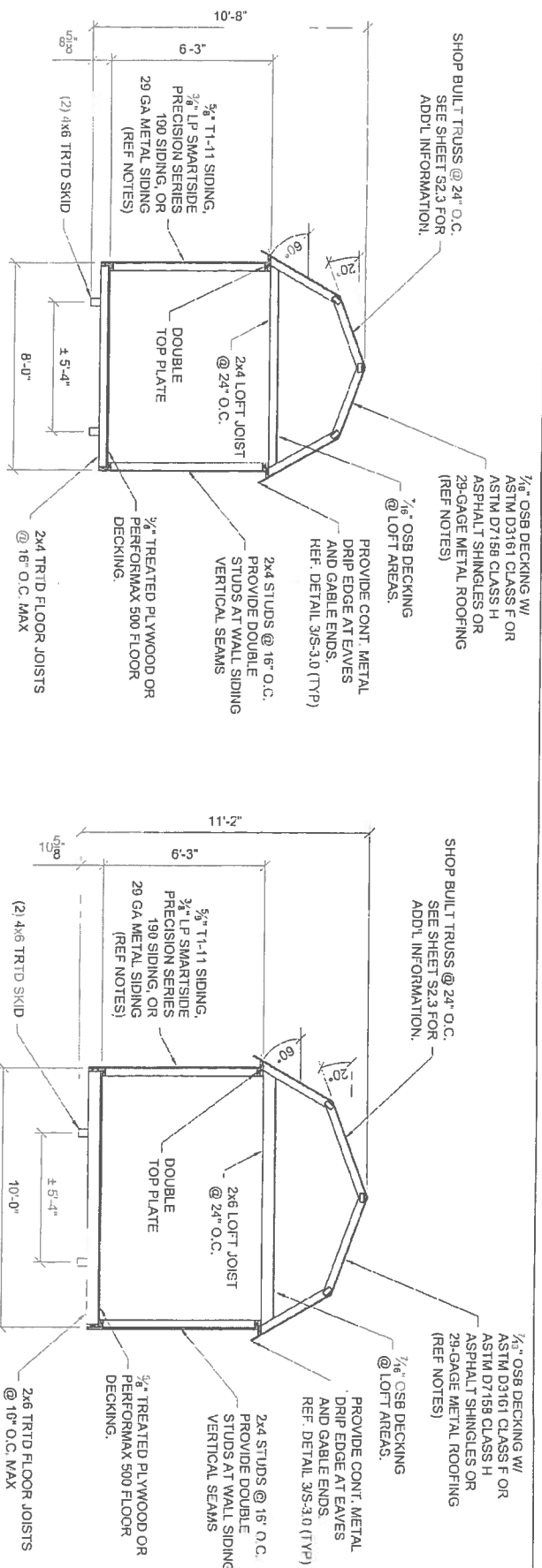


FASTEN ROOF SHEATHING TO FRAMING AT 4 INCHES O.C. AT EDGES AND IN THE FIELD WITHIN THE END STRIP AT EACH ENDWALL. REFER TO FASTENING SCHEDULE FOR ADDITIONAL INFORMATION.



FASTEN ROOF SHEATHING TO FRAMING AT 6 INCHES O.C. AT EDGES AND IN THE FIELD. UNO. REFER TO FASTENING SCHEDULE FOR ADDITIONAL INFORMATION.

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DOCUMENT



NOTE: REFER TO FASTENING SCHEDULE ON SHEETS S-0.1 & S-0.2 FOR MEMBER ATTACHMENTS UNLESS NOTED OTHERWISE.

BUILDING SECTIONS

- NOTES FOR METAL WALL/ROOF PANELS:
- 1) METAL WALL PANELS WITH THE RIBS RUNNING HORIZONTALLY SHALL BE ATTACHED TO OSB WALL SHEATHING PER DETAIL 4 ON SHEET S-3.3 AND DETAIL 1 ON SHEET S-3.4.
 - 2) METAL WALL PANELS WITH THE RIBS RUNNING VERTICALLY SHALL BE ATTACHED TO 2x4 GIRTS IN ACCORDANCE WITH DETAILS 2 AND 3 ON SHEET S-3.3.
 - 3) METAL PANELS ATTACHED DIRECTLY TO WOOD FRAMING SHALL BE ATTACHED IN ACCORDANCE WITH DETAIL 3 ON SHEET S-3.3.
 - 4) METAL PANELS ATTACHED TO OSB DECKING SHALL BE ATTACHED IN ACCORDANCE WITH DETAIL 4 ON SHEET S-3.3.

APPROVED DOCUMENT

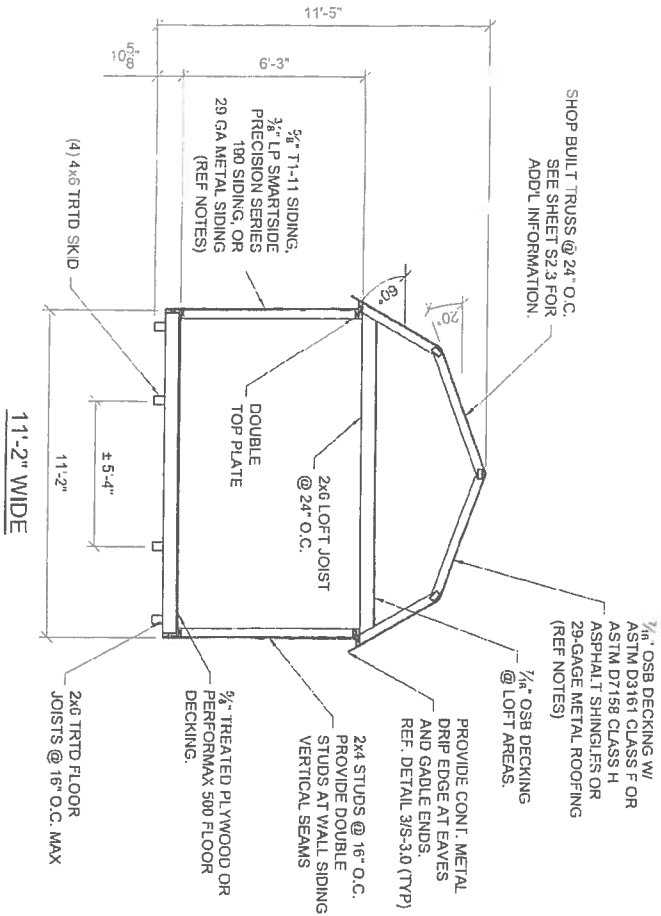


LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E Robbins
Florida PE-49070
Date: 12-11-17
Plan No. PER172064

Weather King
PORTABLE BUILDINGS

PROJECT NO.	DATE:	11-15-2017	SHEET NUMBER
DRAWN BY:	KLN		S-20-LB
CHECKED BY:	KLN		SCALE: 1/4" = 1'-0"
REVISION:			



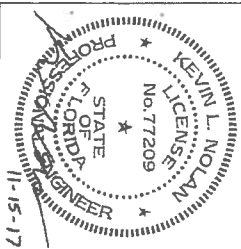
- NOTES FOR METAL WALL/ROOF PANELS:
- 1) METAL WALL PANELS WITH THE RIBS RUNNING HORIZONTALLY SHALL BE ATTACHED TO OSB WALL SHEATHING PER DETAIL 4 ON SHEET S-3.3 AND DETAIL 1 ON SHEET S-3.4.
 - 2) METAL WALL PANELS WITH THE RIBS RUNNING VERTICALLY SHALL BE ATTACHED TO 2x4 GIRTS IN ACCORDANCE WITH DETAILS 2 AND 3 ON SHEET S-3.3.
 - 3) METAL PANELS ATTACHED DIRECTLY TO WOOD FRAMING SHALL BE ATTACHED IN ACCORDANCE WITH DETAIL 3 ON SHEET S-3.3.
 - 4) METAL PANELS ATTACHED TO OSB DECKING SHALL BE ATTACHED IN ACCORDANCE WITH DETAIL 4 ON SHEET S-3.3.

NOT APPROVED
DOCUMENT

NOTE: REFER TO FASTENING SCHEDULE ON SHEETS S-0.1 & S-0.2 FOR MEMBER ATTACHMENTS UNLESS NOTED OTHERWISE.

BUILDING SECTION

LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

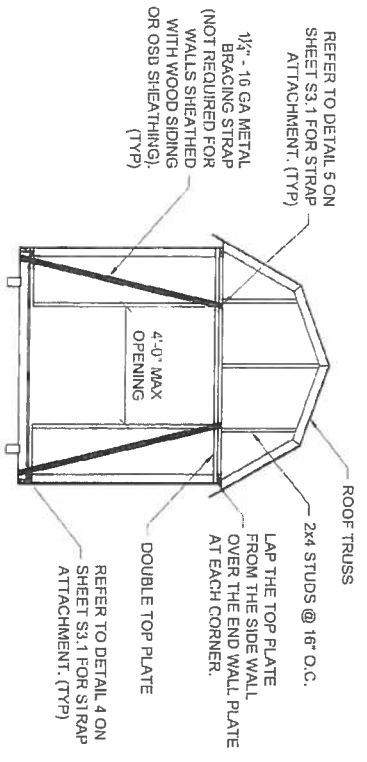


Approved by Phillip E. Robbins
Florida PE-49070
Date: 12-11-17
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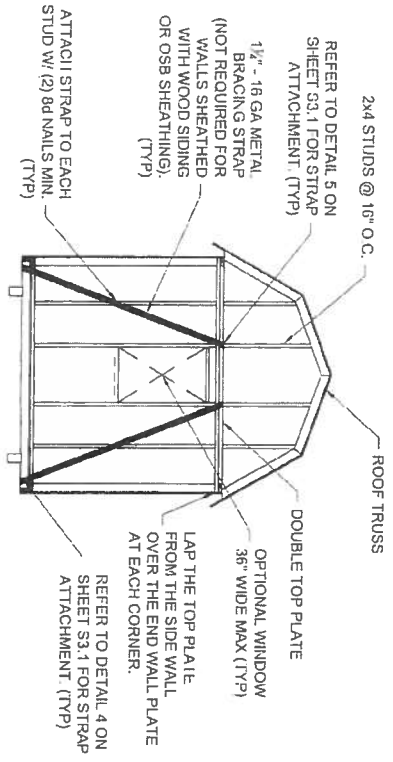
Weather King
PORTABLE BUILDINGS

PROJECT NO.	
DATE:	11-15-2017
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

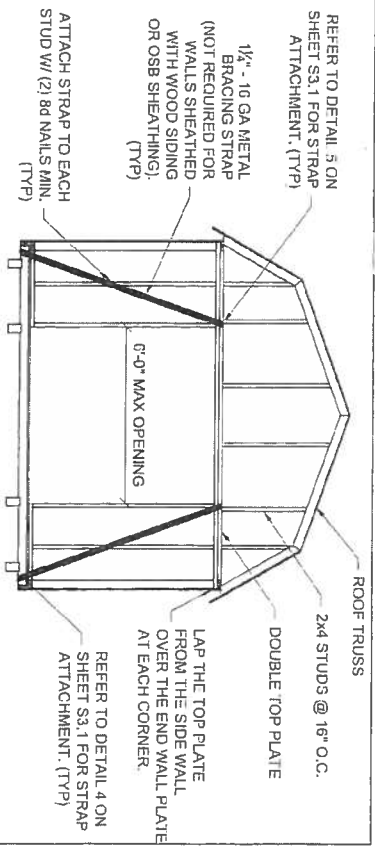
SHEET NUMBER
S-21-LB
SCALE: 1/4" = 1'-0"



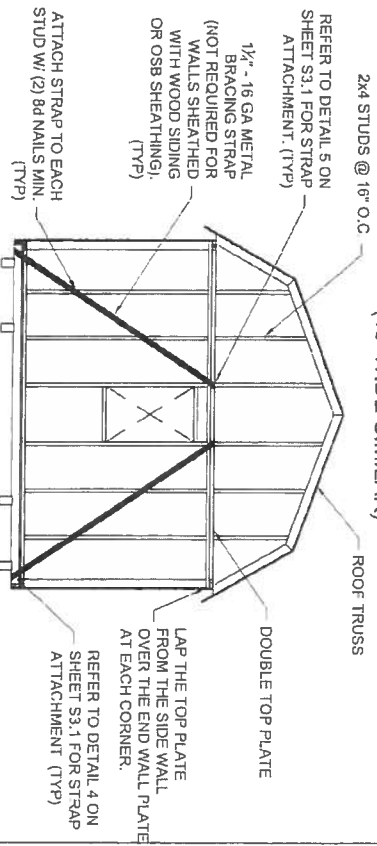
8' WIDE FRONT ENDWALL



8' WIDE REAR ENDWALL



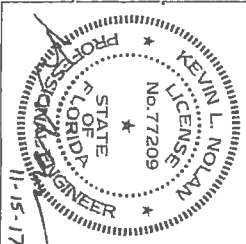
**11'-2" WIDE FRONT ENDWALL
(10' WIDE SIMILAR)**



**11'-2" WIDE REAR ENDWALL
(10' WIDE SIMILAR)**

APPROVED DOCUMENT

LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017



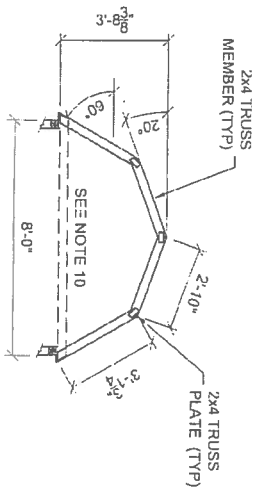
Approved by Phillip E Robbins
Florida PE-49070
Phillip E Robbins
Plan No. 12-1-17
PER 172064

Weather King
PORTABLE BUILDINGS

PROJECT NO:	SHEET NUMBER
DATE: 11-15-2017	S-22-LB
DRAWN BY: KLN	SCALE: NOT TO SCALE
CHECKED BY: KLN	
REVISION:	

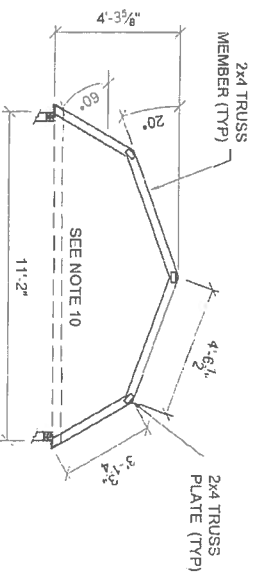
GENERAL NOTES:

1. REFER TO SHEET S-0 FOR DESIGN LOADS.
2. MAXIMUM TRUSS SPACING = 24' O.C.
3. TRUSS TOP CHORD SHALL BE BRACED W/ STRUCTURAL WOOD SHEATHING ATTACHED DIRECTLY TO TRUSS MEMBERS.
4. ALL TRUSS MEMBERS ARE TO BE SPF #2 OR BETTER.
5. TRUSS PLATES ARE TO BE A MINIMUM OF 20 GAGE (MT20) HYDRAULICALLY PRESSED IN PLACE EACH SIDE OF TRUSS.
6. REACTIONS DUE TO WIND ARE BASED ON MWFRS END ZONE PRESSURES. INDIVIDUAL MEMBERS DESIGNED FOR ZONE 2 COMPONENTS AND CLADDING WIND PRESSURE.
7. DEFLECTION MEETS U240 LIVE LOAD AND U180 TOTAL LOAD.
8. LOAD DURATION ADJUSTMENT FACTORS:
LIVE: 1.25
WIND: 1.60
9. REPETITIVE MEMBER INCREASE: 1.15
10. HORIZONTAL THRUST IS TO BE RESISTED BY LOFT JOISTS. REFER TO SHEETS S-2.0, S-2.1, AND S-3.0 FOR LOFT JOIST SIZE, AND ATTACHMENT INFORMATION.



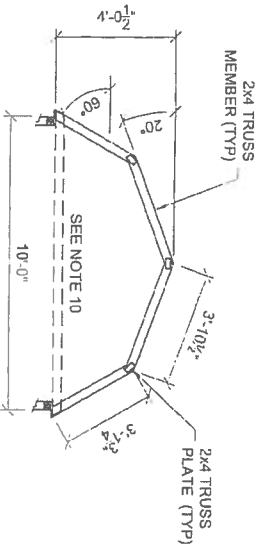
MAX REACTIONS
HORIZ: 122 LBS.
NET UPLIFT: -185 LBS.
GRAVITY: 252 LBS.

8' WIDE LOFTED BARN TRUSS



MAX REACTIONS
HORIZ: 125 LBS.
NET UPLIFT: -270 LBS.
GRAVITY: 352 LBS.

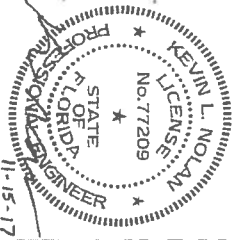
11'-2" WIDE LOFTED BARN TRUSS



MAX REACTIONS
HORIZ: 121 LBS.
NET UPLIFT: -238 LBS.
GRAVITY: 315 LBS.

10' WIDE LOFTED BARN TRUSS

APPROVED
DOCUMENT



LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E Robbins
Florida PE-18070
Date: 12-11-17
Plan No. PER172064

Weather King
PORTABLE BUILDINGS

PROJECT NO:	
DATE:	11-15-2017
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

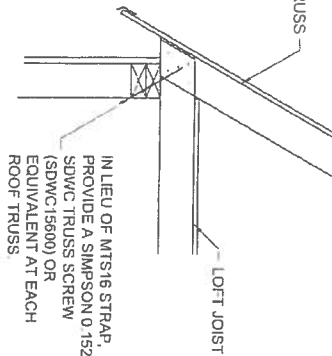
SHEET NUMBER
S-23-LB
SCALE: NOT TO SCALE

ATTACH SIDING TO
WALL FRAMING
W/ 8d NAILS @ 6" O.C.
IN FIELD & ALONG
EDGES. (SPACE NAILS
AT 3" O.C. ALONG
PANEL EDGES AT
ENDWALLS)

(3) 3" NAILS
THROUGH
BOTTOM PLATE
INTO EACH STUD

(3) 3" NAILS

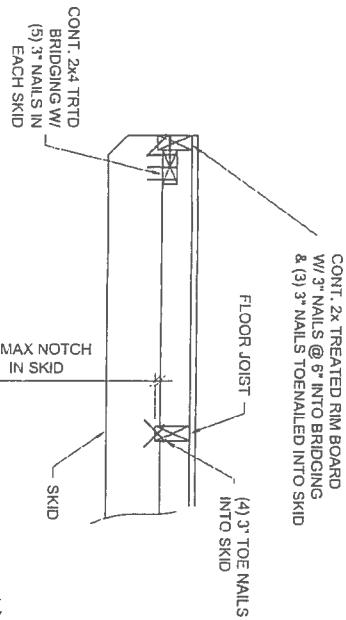
1-TYPICAL DETAIL



IN LIEU OF MTS16 STRAP,
PROVIDE A SIMPSON 0 152 x 6"
SDWC TRUSS SCREW
(SDWC15600) OR
EQUIVALENT AT EACH
ROOF TRUSS.

NOTE: REFER TO 3/63.0 FOR INFO NOT SHOWN.

4-ALTERNATE TRUSS HOLD DOWN DETAIL

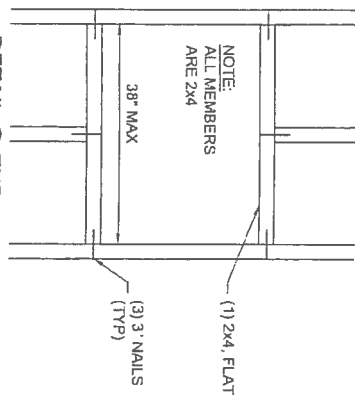


CONT. 2x4 TRTD
BRIDGING W/
(5) 3" NAILS IN
EACH SKID

1" MAX NOTCH
IN SKID

2-FLOOR JOIST TO SKID DETAIL

APPROVED
DOCUMENT

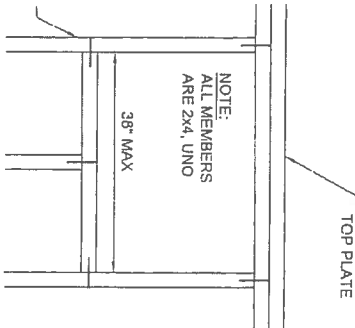


NOTE:
ALL MEMBERS
ARE 2x4

(1) 2x4, FLAT
(3) 3" NAILS
(TYP)

DETAIL @ ENDWALL

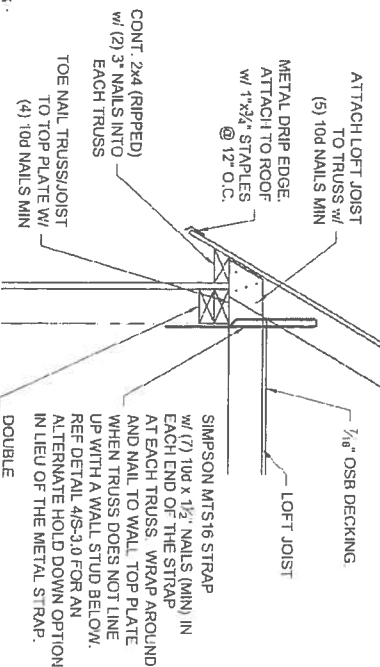
5-TYP WINDOW FRAMING



NOTE:
ALL MEMBERS
ARE 2x4, UNO

(3) 3" NAILS
(TYP)

DETAIL @ SIDEWALL



ATTACH LOFT JOIST
TO TRUSS W/
(5) 10d NAILS MIN

METAL DRIP EDGE,
ATTACH TO ROOF
W/ 1"x3/4" STAPLES
@ 12" O.C.

CONT. 2x4 (RIPPED)
W/ (2) 3" NAILS INTO
EACH TRUSS

TOE NAIL TRUSS/JOIST
TO TOP PLATE W/
(4) 10d NAILS MIN

3-LOFT EAVE DETAIL

2x4 (TYP)
3" NAILS @
8" O.C.

ENDWALL HEADER FOR
OPENINGS UP TO 6'-0".
SIDEWALL HEADER FOR
OPENINGS UP TO 4'-0".

(2) 2x4 w/ 1/8" OSB
FLUTCH PLATE

SIDEWALL HEADER FOR
OPENINGS UP TO 6'-0".

(2) 2x6 w/ 1/8" OSB
FLUTCH PLATE

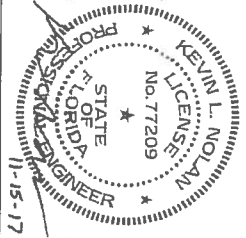
SIDEWALL HEADER
FOR OPENINGS
UP TO 6'-0".

NOTES:
1. PROVIDE 2x4 JACK STUD UNDER EACH END OF LOAD
BEARING HEADERS. NAIL TO ADJACENT STUD PER
FASTENING SCHEDULE. NOT REQUIRED AT END WALL
OPENINGS.

6-DOOR HEADER SCHEDULE

LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

NOTE: REFER TO FASTENING SCHEDULE ON SHEETS S-0.1 AND S-0.2 FOR
ATTACHMENT INFORMATION NOT NOTED ON THIS SHEET.

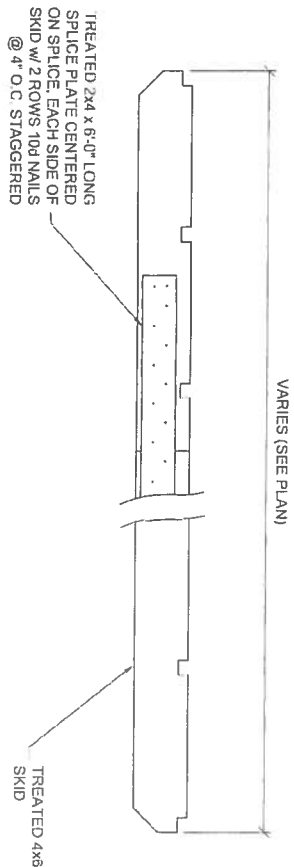
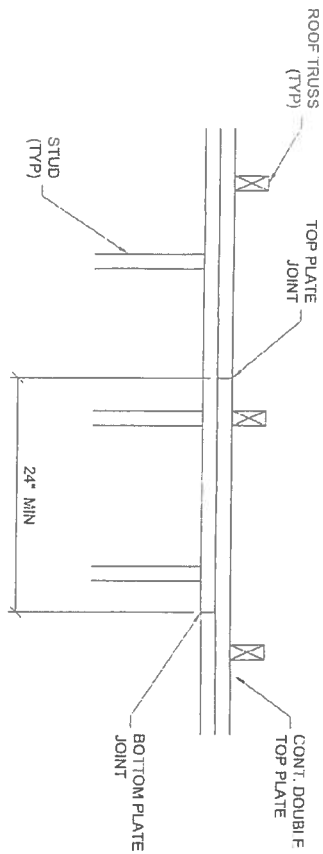


Approved by Philip E. Robbins
Florida PE-49070
Philip E. Robbins
Plan No. PER172064 Date: 12-11-17

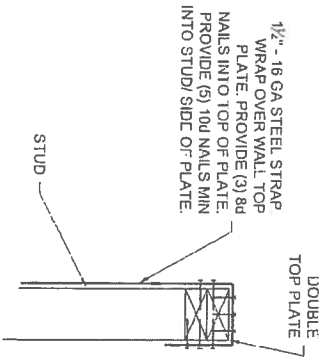
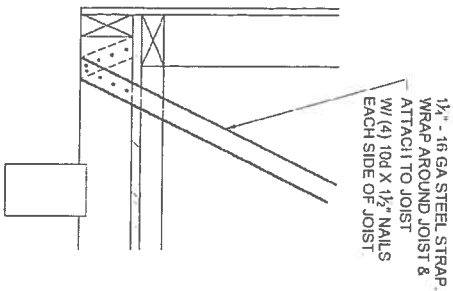
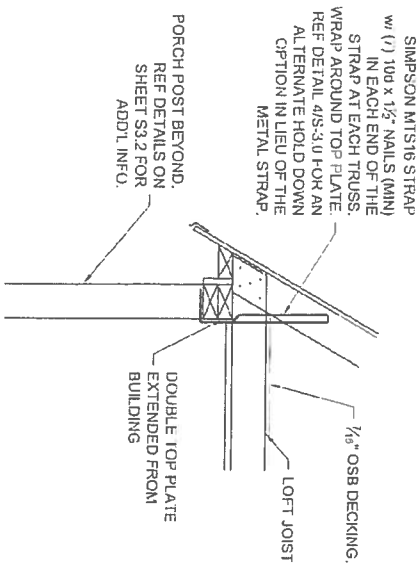
Weather King
PORTABLE BUILDINGS

PROJECT NO.	11-15-2017
DATE	11-15-2017
DRAWN BY	KLN
CHECKED BY	KLN
REVISION:	

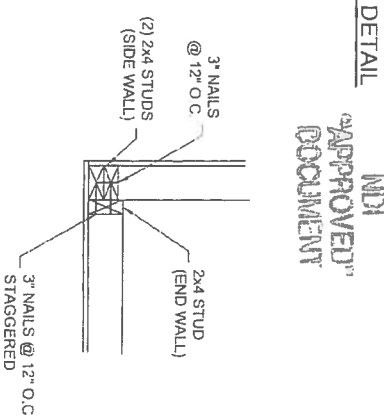
SHEET NUMBER
S-30-LB
SCALE: 1"=1'-0"



1-WALL TOP PLATE SPLICE DETAIL



2-SKID SPLICE DETAIL



NOTE: REFER TO 3053.0 FOR INFO NOT SHOWN.

3-PORCH EAVE DETAIL

4-STRAP ATTACHMENT

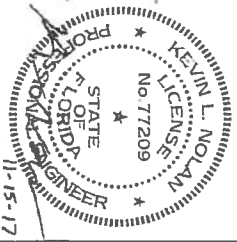
SCALE = 1 1/2" = 1'-0"

5-STRAP ATTACHMENT

SCALE = 1 1/2" = 1'-0"

6-TYPICAL CORNER DETAIL

MDI
"APPROVED"
DOCUMENT



NOTE: REFER TO FASTENING SCHEDULE ON SHEETS S-0.1 AND S-0.2 FOR ATTACHMENT INFORMATION NOT NOTED ON THIS SHEET

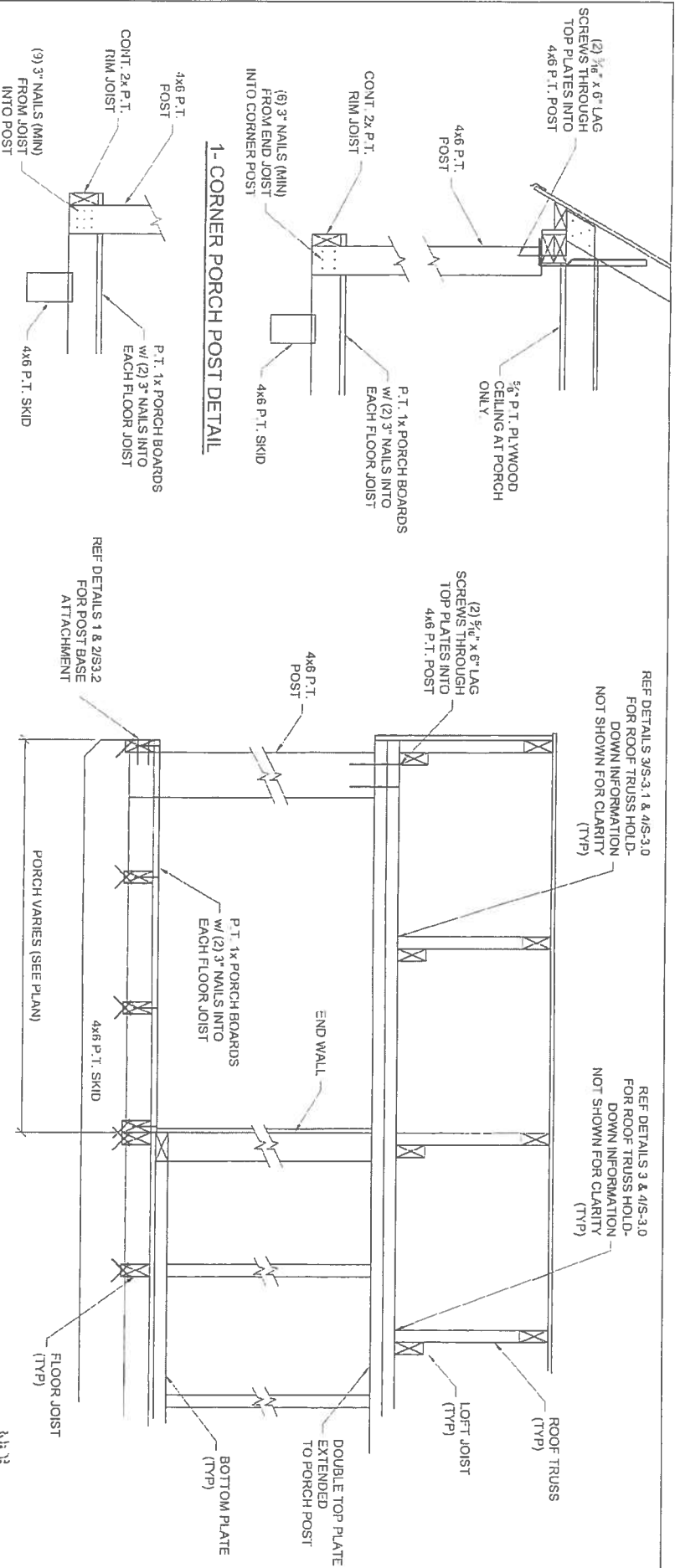
LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E. Robbins
Florida PE-49070
Date: 12-11-17
Plan No. PER172064

Weather King
PORTABLE BUILDINGS

PROJECT NO:	11-15-2017
DATE:	11-15-2017
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER
S-31-LB
SCALE: 1"=1'-0"



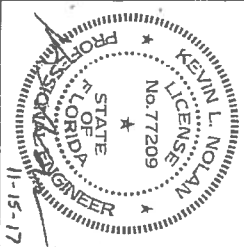
2- INTERMEDIATE PORCH POST DETAIL

NOTE: REFER TO 1/5S3.2 FOR INFO NOT SHOWN.

3- OPTIONAL PORCH SECTION

NOTE: REFER TO DETAILS 1/5S3.2 AND 2/5S3.2 FOR INFO NOT SHOWN.

APPROVED
DOCUMENT



LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

NOTE: REFER TO FASTENING SCHEDULE ON SHEETS S-0.1 AND S-0.2 FOR ATTACHMENT INFORMATION NOT NOTED ON THIS SHEET.

Approved by Phillip E. Robbins
Florida PE-48070
Date: 12-11-17
Plan No. PER172064

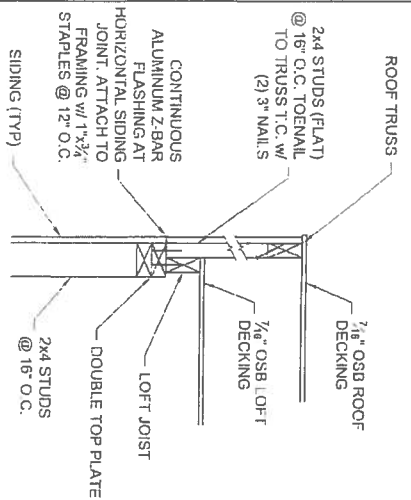
Weather King
PORTABLE BUILDINGS

PROJECT NO.	
DATE:	11-15-2017
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

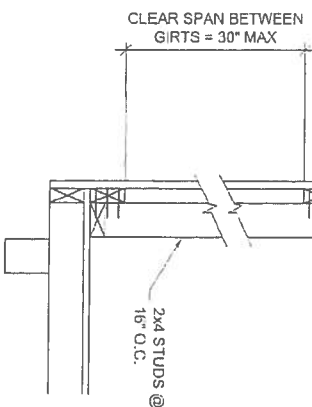
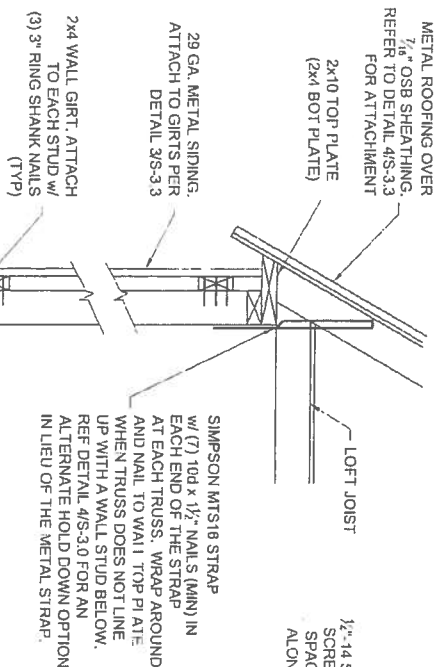
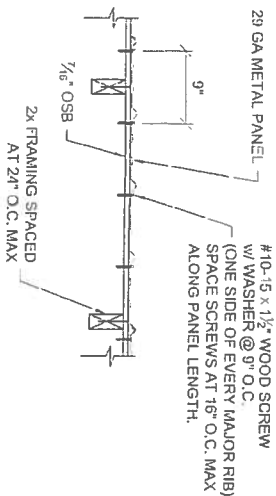
SHEET NUMBER

S-32-LB

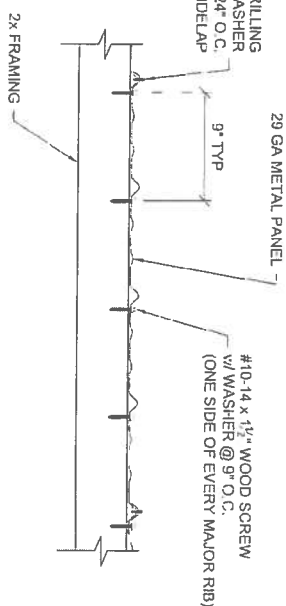
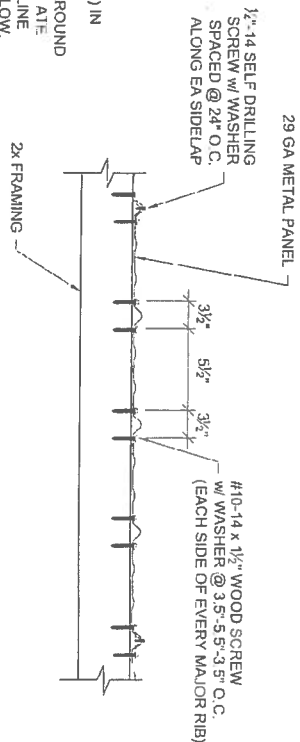
SCALE: 1"=1'-0"



1-TYPICAL END WALL DETAIL



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DOCUMENT



2-TYPICAL VERT METAL SIDING DETAIL

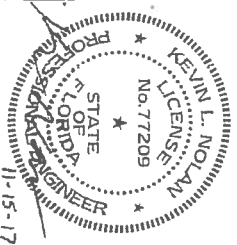
NOTE: REFER TO DETAILS 1/S-3.0 AND 3/S-3.0 FOR INFO NOT SHOWN.

3-METAL PANEL FASTENING TO WOOD FRAMING

SCALE = 1/2" = 1'-0"

4-METAL PANEL FASTENING TO OSB

LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017



NOTE: REFER TO FASTENING SCHEDULE ON SHEETS S-0.1 AND S-0.2 FOR ATTACHMENT INFORMATION NOT NOTED ON THIS SHEET.

Approved by Phillip E Robbins
Florida PE-49070
Philip E Robbins
Plan No. PER172064 Date: 12-11-17

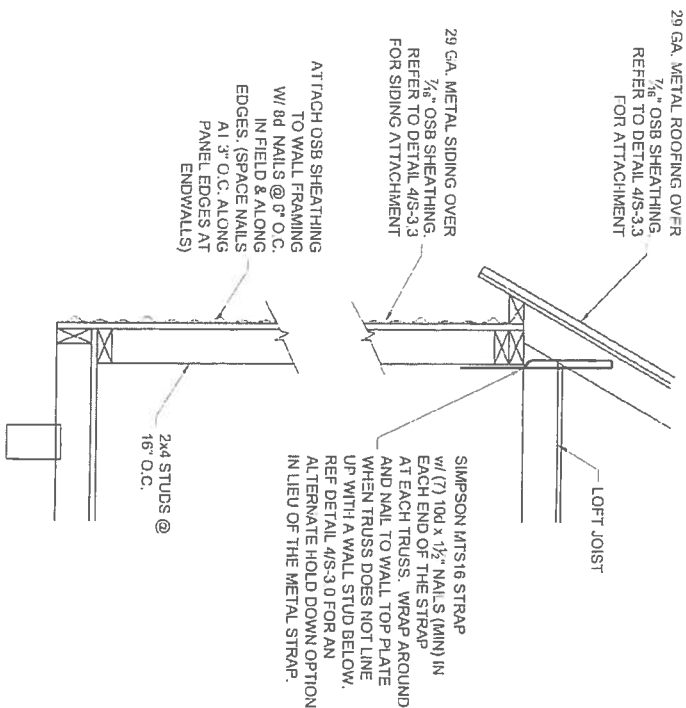
Weather King
PORTABLE BUILDINGS

PROJECT NO.	
DATE:	11-15-2017
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER

S-33-LB

SCALE: 1"=1'-0"

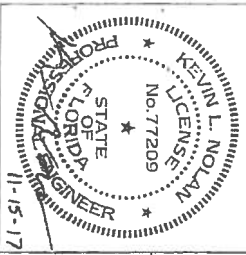


1-TYPICAL HORIZ METAL SIDING DETAIL

NOTE: REFER TO DETAILS 1/S3.0 AND 3/S3.0 FOR INFO NOT SHOWN.

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DOCUMENT

LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017



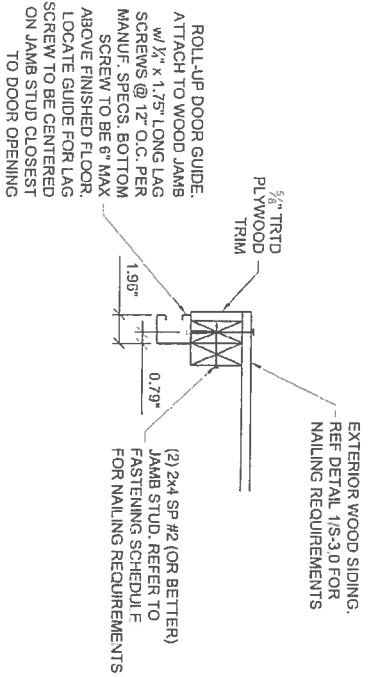
NOTE: REFER TO FASTENING SCHEDULE ON SHEETS S-0.1 AND S-0.2 FOR ATTACHMENT INFORMATION NOT NOTED ON THIS SHEET.

Approved by Phillip E Robbins
Florida PE-49070
Phillip E Robbins
Plan No. PER172064 Date: 12-11-17

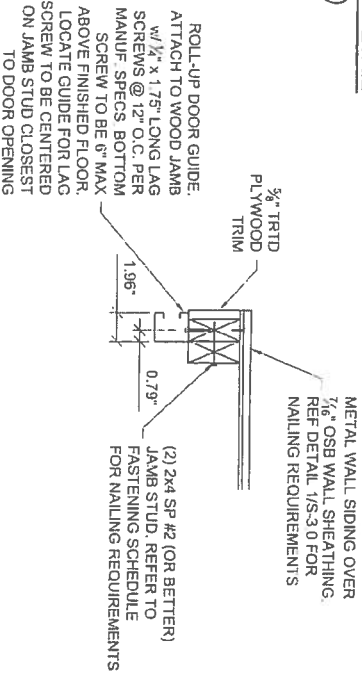


PROJECT NO:	
DATE:	11-15-2017
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

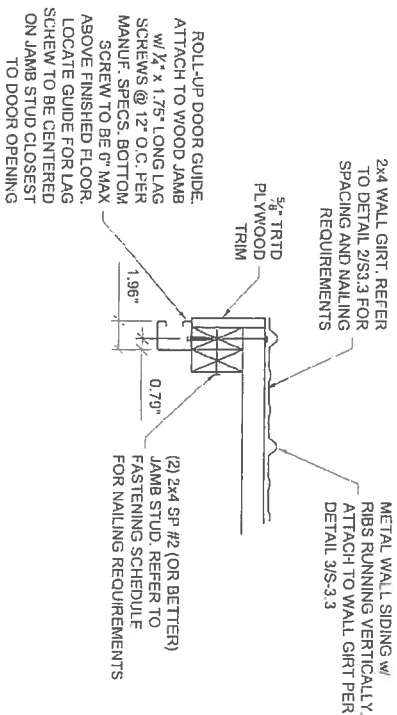
SHEET NUMBER
S-3.4-LB
SCALE: 1"=1'-0"



1-ROLL-UP DOOR JAMB DETAIL (WOOD SIDING)



2-ROLL-UP DOOR JAMB DETAIL (HORIZ METAL SIDING)



3-ROLL-UP DOOR JAMB DETAIL (VERT METAL SIDING)

APPROVED
DOCUMENT



LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

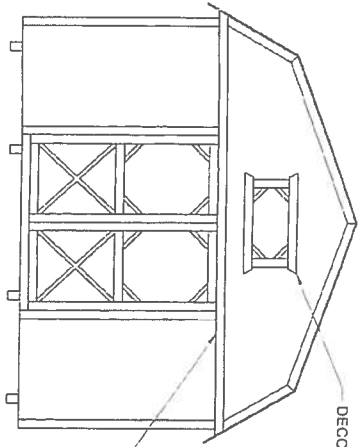
NOTE: REFER TO FASTENING SCHEDULE ON SHEETS S-0.1 AND S-0.2 FOR
ATTACHMENT INFORMATION NOT NOTED ON THIS SHEET.

Approved by Philip E Robbins
Florida PE 49070
Philip E Robbins
Plan No. PER172064 Date: 12-11-17

Weather King
PORTABLE BUILDINGS

PROJECT NO. 11-15-2017
DATE: 11-15-2017
DRAWN BY: KLN
CHECKED BY: KLN
REVISION:

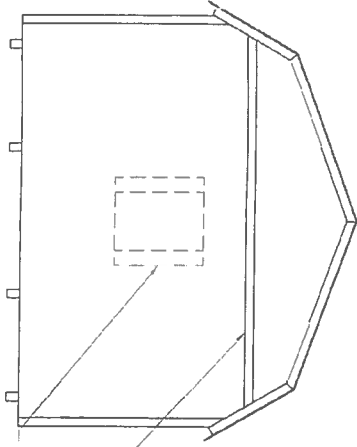
SHEET NUMBER
S-35-LB
SCALE: 1/2"=1'-0"



DECORATIVE TRIM

PROVIDE CONTINUOUS
ALUMINUM Z-BAR FLASHING
AT SIDING HORIZONTAL JOINTS.
ATTACH TO FRAMING w/ 1"x3/4"
STAPLES AT 12" O.C. (TYP)

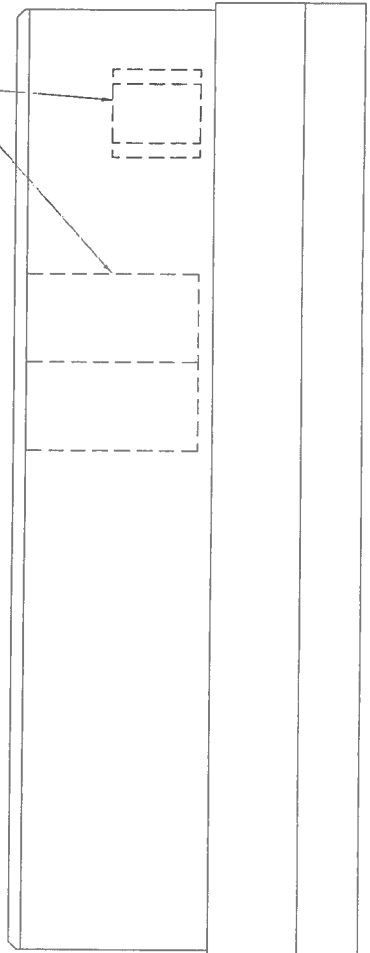
FRONT ELEVATION



PROVIDE CONTINUOUS
ALUMINUM Z-BAR FLASHING
AT SIDING HORIZONTAL JOINTS.
ATTACH TO FRAMING w/ 1"x3/4"
STAPLES AT 12" O.C. (TYP)

OPTIONAL DOOR OR WINDOW.
LOCATIONS VARY PER CUSTOMER.

REAR ELEVATION

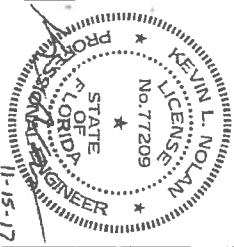


DOOR AND WINDOW LOCATIONS
VARY PER CUSTOMER.

SIDE ELEVATION

NOT
APPROVED
DOCUMENT

NOTE:
WINDOWS, DOORS, AND TRIM SHOWN ARE CONCEPTUAL. ACTUAL WINDOW, DOOR, AND TRIM
MAY VARY PER CUSTOMER REQUEST.



LOFTED BARN--FLORIDA--WIND=160 MPH--FBC 2017

Approved by Phillip E Robbins
Florida PE-49070
Date: 12-11-17
Plan No. PER172064

Weather King
PORTABLE BUILDINGS

PROJECT NO:	
DATE:	11-15-2017
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER
S-4LB
SCALE: NOT TO SCALE