

PLANS PREPARED FOR:
JOHN LEAR

GENERAL CONTRACTOR:
FREDERICK PERRY
(629)395-3288

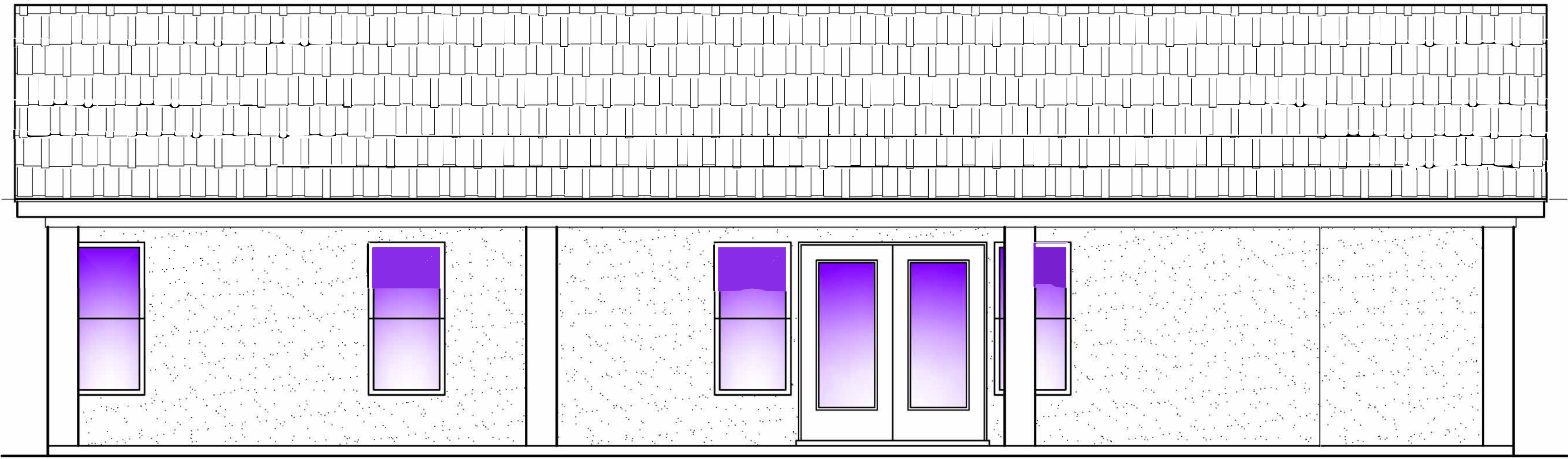
VICINITY MAP:



106 NW LIVE OAK PLACE
LAKE CITY, FLORIDA 32055

NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL SEVENTH EDITION SECTION R301 DESIGN CRITERIA & ASCE 7-10.
1. WIND SPEED = 140 MPH ULTIMATE WIND SPEED (Vult) & 108 MPH (Vasd).
2. RISK CATEGORY 2.
CONSTRUCTION TYPE = SINGLE FAMILY RESIDENCE (V)
3. WIND EXPOSURE = CATEGORY C
4. INTERNAL PRESSURE COEFFICIENT FOR ENCLOSED BUILDINGS IS .18 & HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENT IS 1.40

STREET VIEW:



PROJECT INFORMATION:

SITE ADDRESS:
106 NW LIVE OAK PLACE
LAKE CITY, FLORIDA 32055

OWNER:
JOHN LEAR
386-288-6749

ANALYSIS:

OCCUPANCY GROUP: R-1-12
SINGLE FAMILY DWELLING

HOME SHALL BE CONSTRUCTED TO
ALL LOCAL CODE REQUIREMENTS
OF COLUMBIA COUNTY.

ALL WORK SHALL COMPLY WITH THE
CURRENT FLORIDA 2020 BUILDING
CODE SEVENTH EDITION.

SCOPE OF WORK:

CONSTRUCTION OF SINGLE FAMILY
PRIVATE DWELLING AND ALL
ASSOCIATED SITE WORK, INCLUDING
GARAGE, UTILITIES, PATIOS, AND
DRIVEWAYS.

LIVE LOADS:

ATTIC WITHOUT STORAGE: 10 PSF
ATTIC WITH LIMITED STORAGE: 20 PSF
HABITABLE ATTICS & ATTICS SERVED WITH
FIXED STAIRS: 30 PSF
BALCONIES & DECKS (EXTERIOR): 40 PSF
GUARDRAILS & HANDRAILS: 200 PSF
GUARDRAILS INFILL COMPONENTS: 50 PSF
PASSENGER VEHICLE GARAGES: 50 PSF
ROOMS OTHER THAN SLEEPING ROOMS: 40 PSF
SLEEPING ROOMS: 30 PSF
STAIRS: 40 PSF

SHEET INDEX/ PROJECT DIRECTORY:

COVER SHEET

CIVIL ENGINEER:

SITE PLAN:
AS NEEDED

ARCHITECTURAL PLANS:

A1 ELEVATIONS
A2 FOUNDATION PLAN
A3 FLOOR PLAN
A4 ELECTRICAL PLAN
A5 ROOF SCHEMATIC

DESIGNER / DRAFTSMAN:

QUICK PLANS
THOMAS WARD
PHONE: (435) 467-4046
QUICKPLANSFL@GMAIL.COM

ALL CONTRACTORS TO FOLLOW ALL CURRENT & APPLICABLE
CODES.

PROVIDE VAPOR BARRIER BETWEEN ALL NON PRESSURE
TREATED LUMBER & CONCRETE.

ALL SIMPSON STRAPPING IS TO BE INSTALLED PER
MANUFACTURER SPECS. & REQUIREMENTS.

IT IS THE RESPONSIBILITY OF THE BUILDER TO COORDINATE THE
INSTALLATION OF ALL WATERPROOFING METHODS NECESSARY
TO PROVIDE A WATER TIGHT BUILDING ENVELOPE.
REFER TO MFR. INSTALLATION RECOMMENDATION FOR ALL
SELECTED WATER PROOFING MATERIALS, FLASHING, SEALERS
AND AD-MIX COMPONENTS.

AREA TABULATION:

TABULATIONS TO FACE OF STUDY/ FOUNDATION.

CONDITIONED AREA:	MAIN FLOOR	792 SQ. FT.
TOTAL LIVING AREA		792 SQ. FT.
COVERED PORCH		615 SQ. FT.
COVERED PATIO		100 SQ. FT.
CARPORT / STORAGE		321 SQ. FT.
TOTAL UNDER ROOF		1,828 SQ. FT.

#1. DATA
FLORIDA BUILDING CODE 2020
1603.1.1 FLOOR LIVE LOAD 40 PSF
1603.1.2 ROOF LIVE LOAD 20 PSF
1603.1.3 ROOF SNOW LOAD 0 PSF
1603.1.4 WIND DESIGN DATA 140 MPH Vult / 108 MPH Vasd

RISK CATEGORY 2
WIND EXPOSURE 'C' / HORIZONTAL DIRECTION / NO TOPOGRAPHIC EFFECTS
ENCLOSURE 'ENCLOSED' + 0.18 - 0.18
WALL - COMPONENTS & CLAD. Pnet = +42.7 PSF / -46.3 PSF
WALL - COMPONENTS & CLAD. Pnet = +24.6 PSF / -42.7 PSF
(NUMBERS NOT MODIFIED FOR AREA CORRECTION)

1603.1.5 EARTHQUAKE DESIGN DATA

RISK CATEGORY 2
SEISMIC IMPORTANCE FACTOR 1
MSR ACCELERATION PARAMETERS Ss .0784 S1 .0398
SITE CLASS 'D'
USR ACCELERATION PARAMETERS Sds .0905 Sd1 .0436
SEISMIC DESIGN CATEGORY 'A'
BASIC SEISMIC FORCE RESISTING SYSTEM- BUILDING FRAME - INTERMEDIATE
(REINFORCED WOOD SHEAR WALLS)

DESIGN BASE SHEAR 3254 lbs / HORIZONTAL DIRECTION / ABOVE BASE
SEISMIC RESPONSE COEFFICIENT Cs 0.0226
RESPONSE MODIFICATION COEFFICIENT 'R' 4
ANALYSIS USED EQUIVALENT LATERAL FORCE ANALYSIS

1603.1.6 GEOTECHNICAL 2000 PSF
1603.1.6 FLOOD ZONE 'X' - NOT IN A FLOOD HAZARD ZONE

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE - EXTERIOR WALLS AND PLUMBING WALLS SHALL BE FRAMED WITH 2x6 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE. INTERIOR WALLS SHALL BE 2x4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS SHALL BE SHEATED WITH 7/16" THICK 2-M-W SHEATING OR EQUAL WITH 8d COMMON NAILS AT 6" O.C. AT EDGES AND 12" O.C. IN THE FIELD, BLOCKED SOLID.
- ALL WALLS COMMON TO DWELLING (GARAGE SEPARATION) SHALL HAVE 1/2" TYPE 'X' GYPSUM BOARD INSTALLED FLOOR TO CEILING.
- ALL WING WALLS AND ARCHES SHALL BE FRAMED WITH A MINIMUM WIDTH OF 6" UNLESS NOTED OTHERWISE.
- PROVIDE INSULATION AT ALL EXTERIOR WALLS AND CEILINGS AND FLOORS THAT MEET OR EXCEED CODE REQUIREMENTS.
- ALL STAIR TREADS SHALL HAVE MAXIMUM RISER HEIGHT OF 7.50" AND TREAD DEPTH OF 10" MINIMUM. HANDRAIL SHALL BE 36" HIGH FROM TIP OF TREAD, BALUSTER SPACING SHALL HAVE NO CLEAR GAP WIDER THAN 4" AND SHALL MEET CURRENT IRC REQUIREMENTS.
- ALL FLOOR COVERINGS AND FURNISHINGS SHALL BE CHOSEN/ APPROVED BY OWNER UNLESS NOTED OTHERWISE.
- CONSULT OWNER FOR LOCATION OF HOSE BIBBS.

MECHANICAL NOTES:

- FLUE VENTS AND EXHAUST FAN VENTS SHALL BE AT LEAST 3' ABOVE AND OUTSIDE AIR INLET LOCATED WITHIN 10' AND AT LEAST 4' FROM A PROPERTY LINE.
- VENT CLOTHES DRYER TO OUTSIDE. DUCTS TO BE METAL WITH SMOOTH INTERIOR SURFACES, EQUIPPED WITH BACK-DRAFT DAMPERS, TERMINATE AT THE EXTERIOR OF THE BUILDING, NO SCREWS ALLOWED. MAXIMUM LENGTH DRYER DUCT 14' WITH TWO 90° ELBOWS, MINIMUM DUCT DIAMETER SHALL BE 4".
- PROVIDE MINIMUM 30" CLEARANCE ABOVE RANGE TOP TO COMBUSTIBLES.
- COOK TOPS & MICROWAVES INSTALLED ABOVE COOK TOPS SHALL CONFORM TO THE CONDITIONS OF THEIR LISTINGS.
- BATHROOMS AND LAUNDRY ROOMS WITHOUT AN OPERABLE WINDOW ARE REQUIRED TO HAVE EXHAUST FANS PROVIDING 5-AIR CHANGES PER HOUR TO OUTSIDE.
- COMBUSTION AIR TO BE PROVIDED TO MECHANICAL ROOMS W/ GAS FIRED EQUIPMENT 4"Ø RELIEF AIR TO MECHANICAL HVAC (MINIMUM) ROOM FROM EXTERIOR.
- FLUE AND EXHAUST VENTS WILL TERMINATE 4'-0" BELOW OR 4'-0" HORZ AND AT LEAST 1'-0" ABOVE A DOOR OPERABLE WINDOW OR GRAVITY AIR INLET.
- THE DWELLING MUST BE PROVIDED WITH HEATING CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 70 DEGREES AT A POINT THREE FEET ABOVE THE FLOOR.

PLUMBING NOTES:

- PROVIDE FLOOR DRAIN AT WATER HEATER.
- SHOWER SIZE MINIMUM 1024 SQ. INCHES WITH A 30" DIAMETER CIRCLE WITHIN AREA. TUB/SHOWER AREA WALLS SHALL BE FINISHED WITH APPROVED TYPE BACKING BOARD AND TILE, MARBLE, OR EQ. TO A HEIGHT OF 70" ABOVE THE FLOOR DRAIN.
- WATER CLOSET CLEARANCES OF 30" WIDTH, 24" IN FRONT OF CLOSET REQUIRED.
- REQUIRED LOW FLUSH WATER CLOSET, MAXIMUM 1.6 GALLONS PER FLUSH.
- FLOW RATE OF SHOWER HEAD MAXIMUM 2.5 GALLONS/MINUTE.
- PLUMBING VENTS SHALL BE AT LEAST 3' ABOVE OR 10' OUTSIDE AIR INTAKE OPENINGS.
- FREEZELESS BACKFLOW PREVENTION HOSE BIBBS REQUIRED.

QUICK PLANS

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PHONE: (435) 467-4046 WWW.QUICKPLANS.NET

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106 NW LIVE OAK PLACE
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PLANS ENGINEERED BY:

DRAWN

TOM

CHECKED

DATE

6-1-2023

SCALE

NOTED

JOB NO.

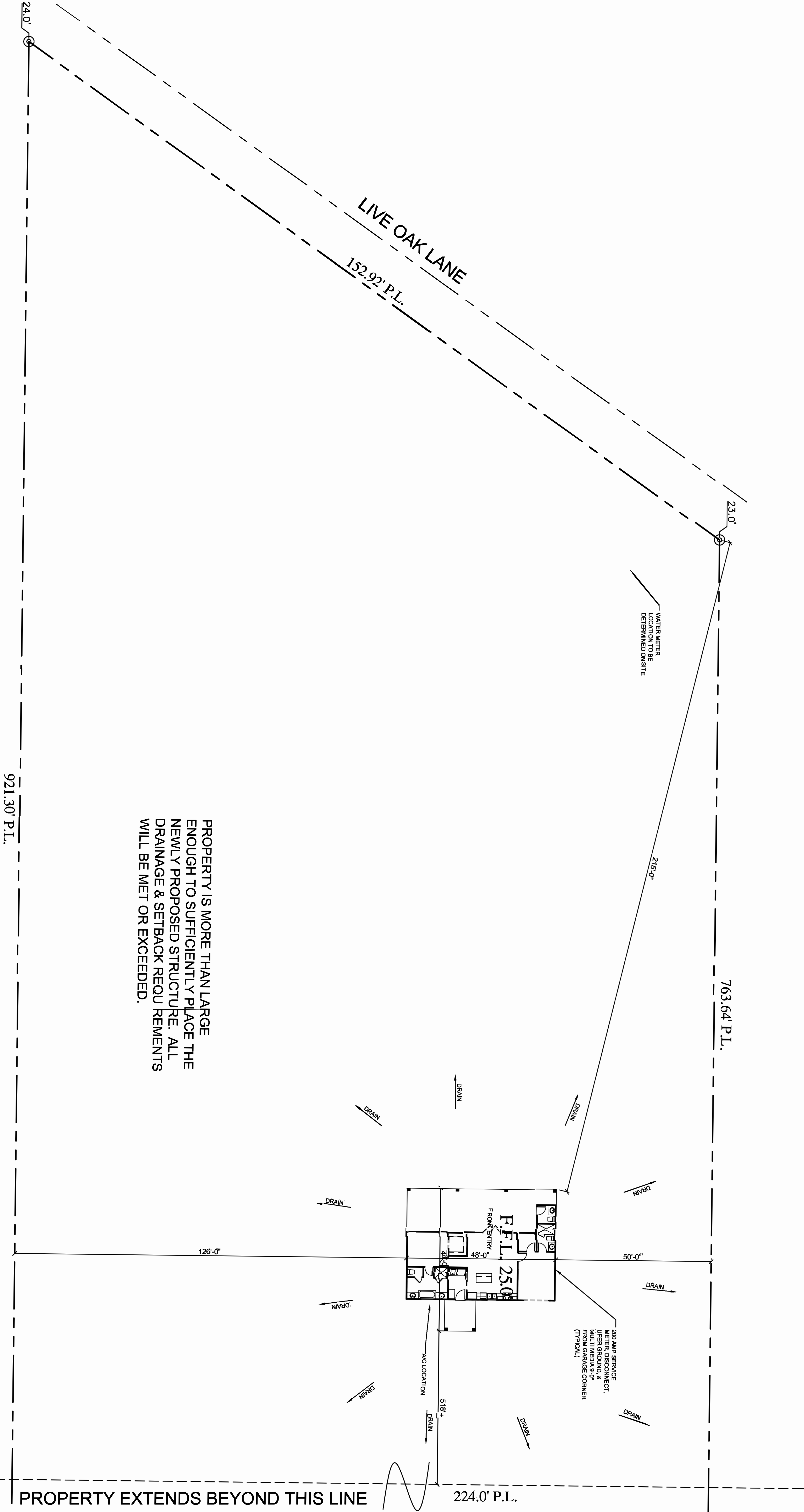
792 SQ. FT. LIVING

SHEET

COVER

OF 6

LOT#



PLOT PLAN

LEGAL DESCRIPTION

106 NW LIVE OAK PLACE

LAKE CITY, FLORIDA 32055

SCALE: 1/16" = 1'-0"

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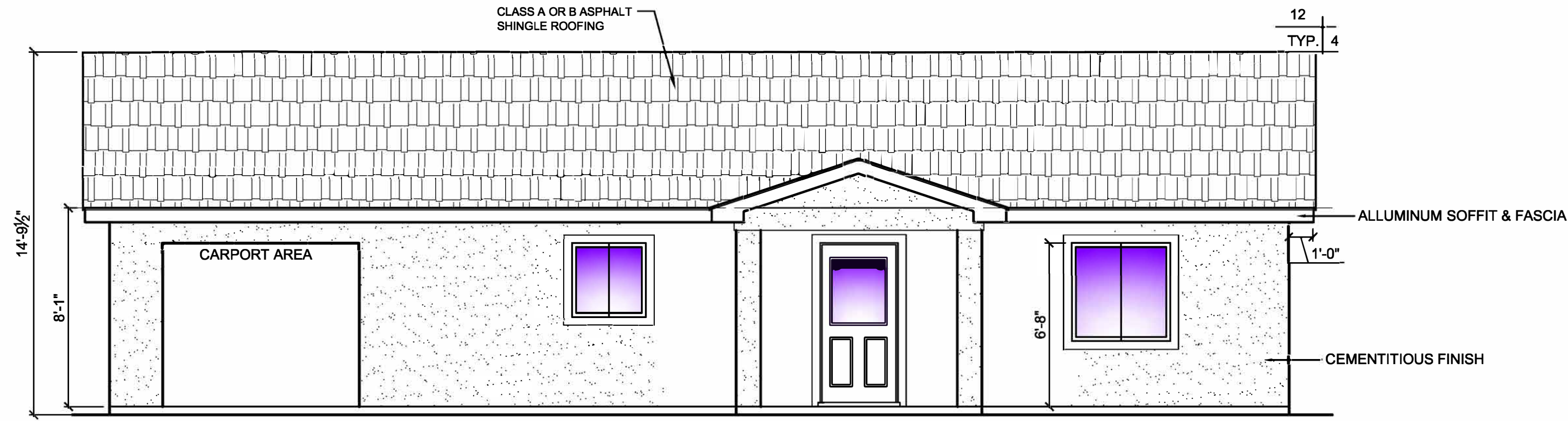
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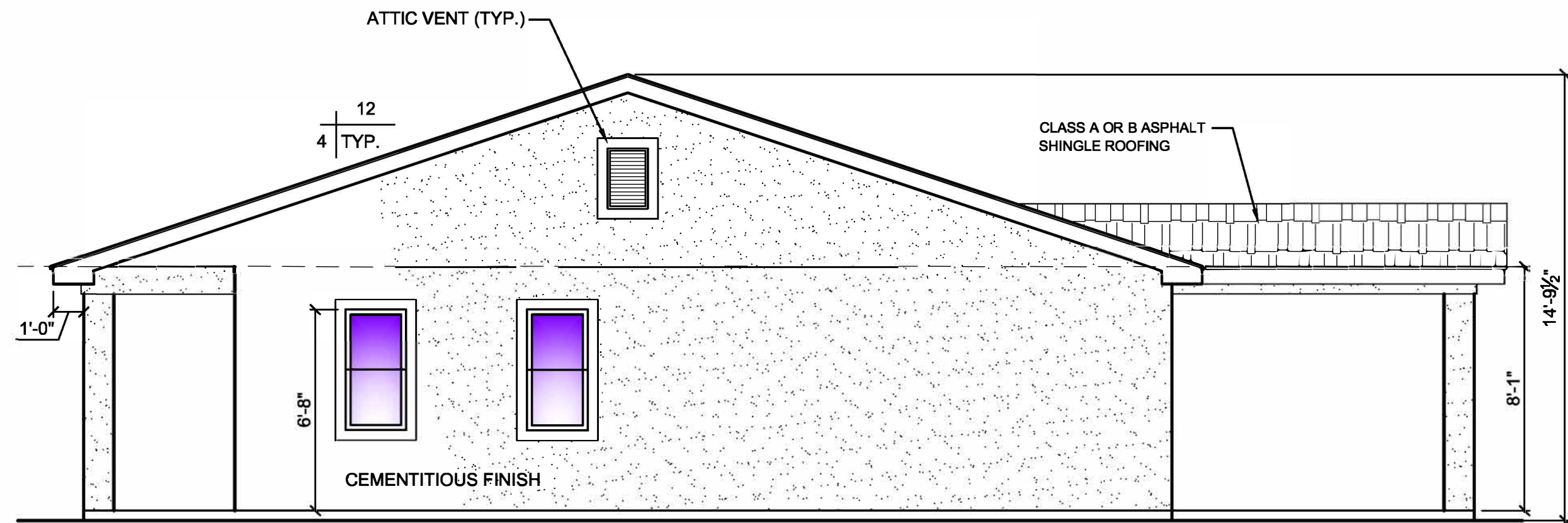
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DRAWN	TOM
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DATE	6-1-2023
SCALE	NOTED
JOB NO.	792 SQ. FT. LIVING
SHEET	SITE
OF 7	LOTS #



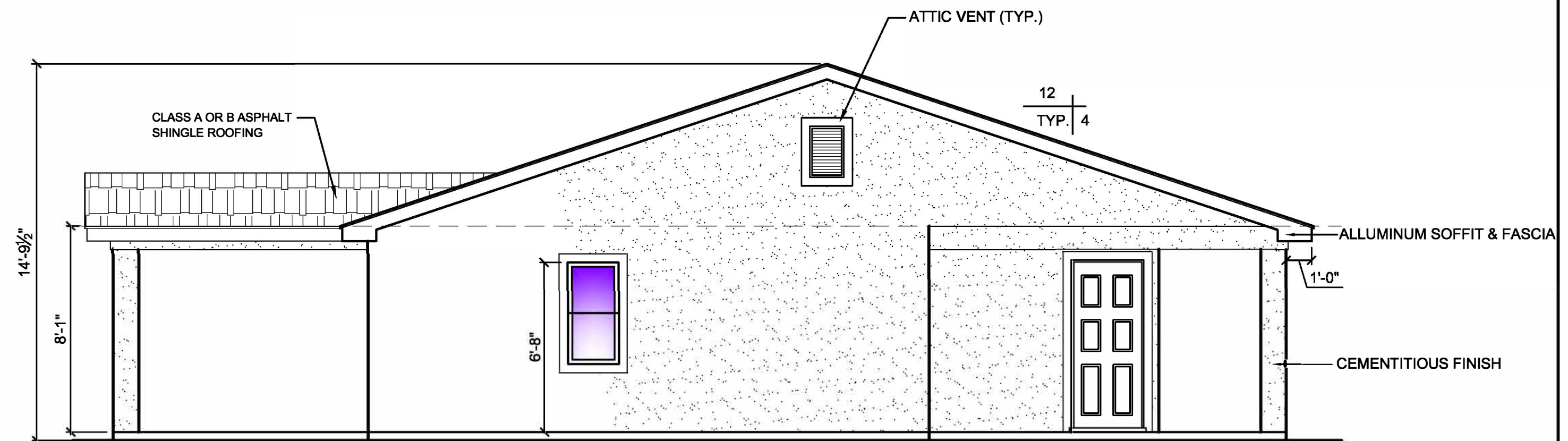
REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

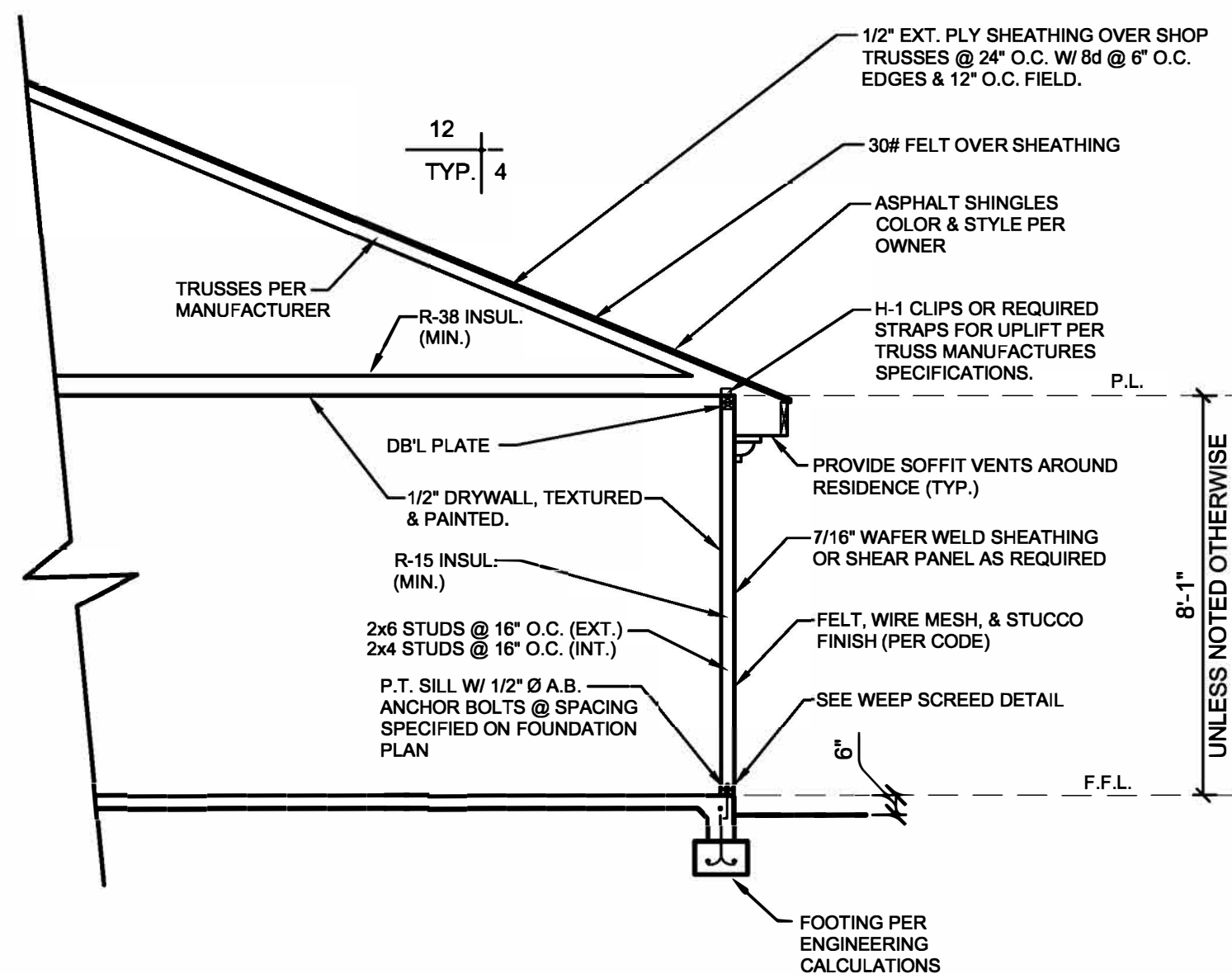
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

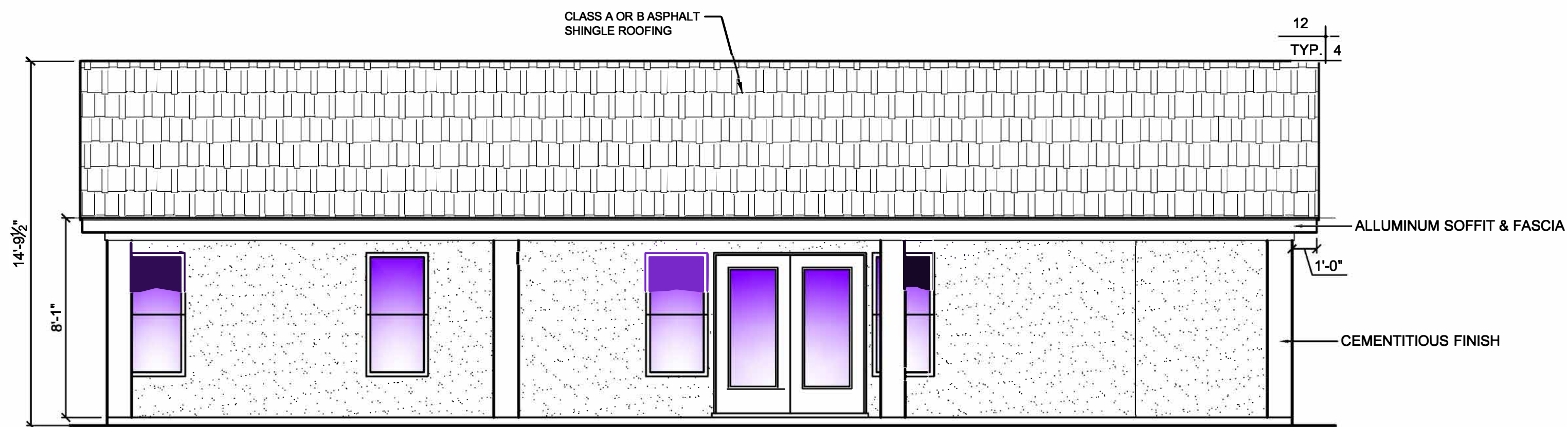
792 SQ. FT. - LIVING
321 SQ. FT. - STORAGE
715 SQ. FT. - PORCH & PATIO
1,828 SQ. FT. UNDER ROOF



SECTION "A"

SCALE: 1/4" = 1'-0"

TYPICAL WALL SECTION



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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JOB NO.

792 SQ. FT. LIVING

SHEET

A-1

UP

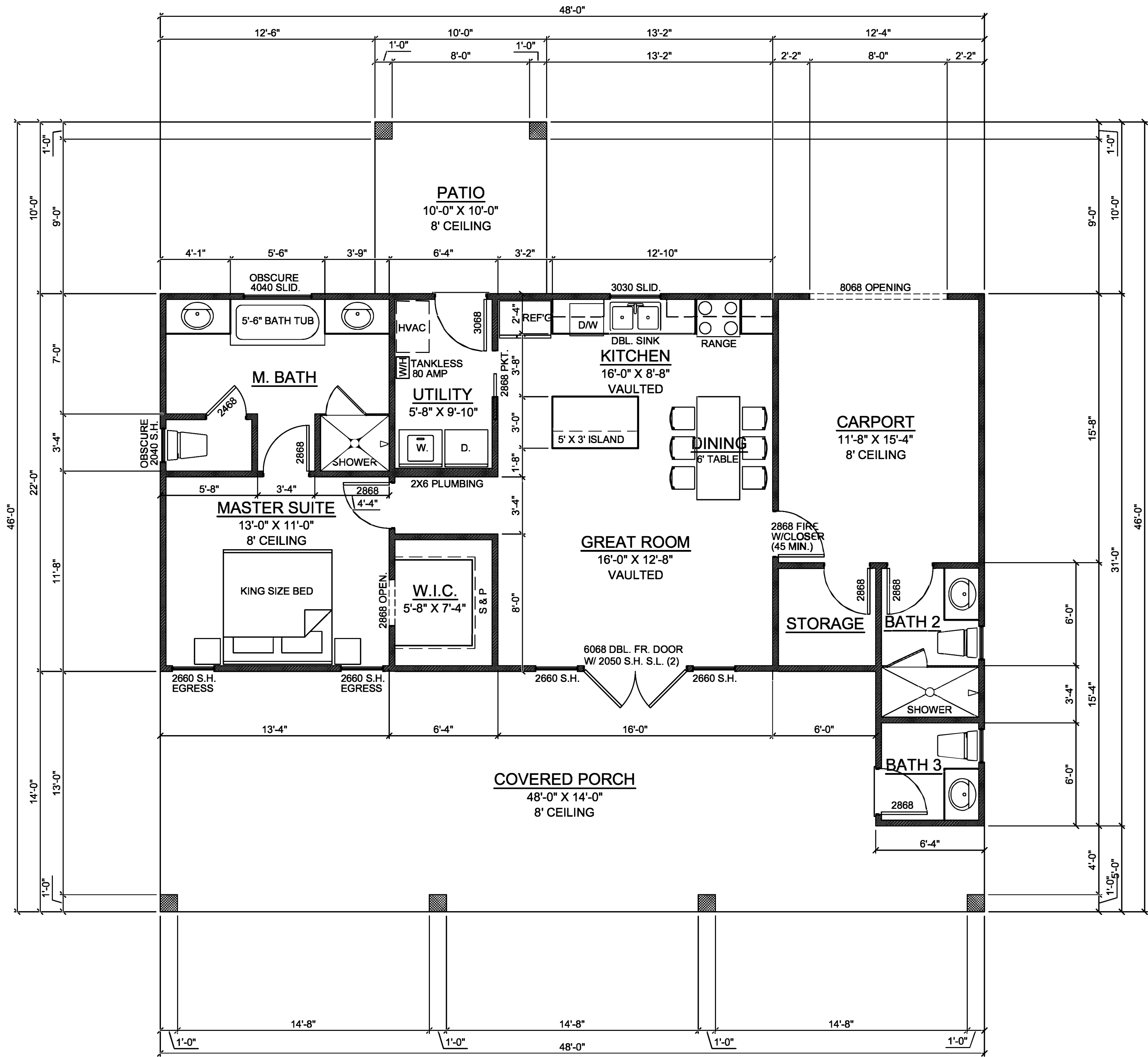
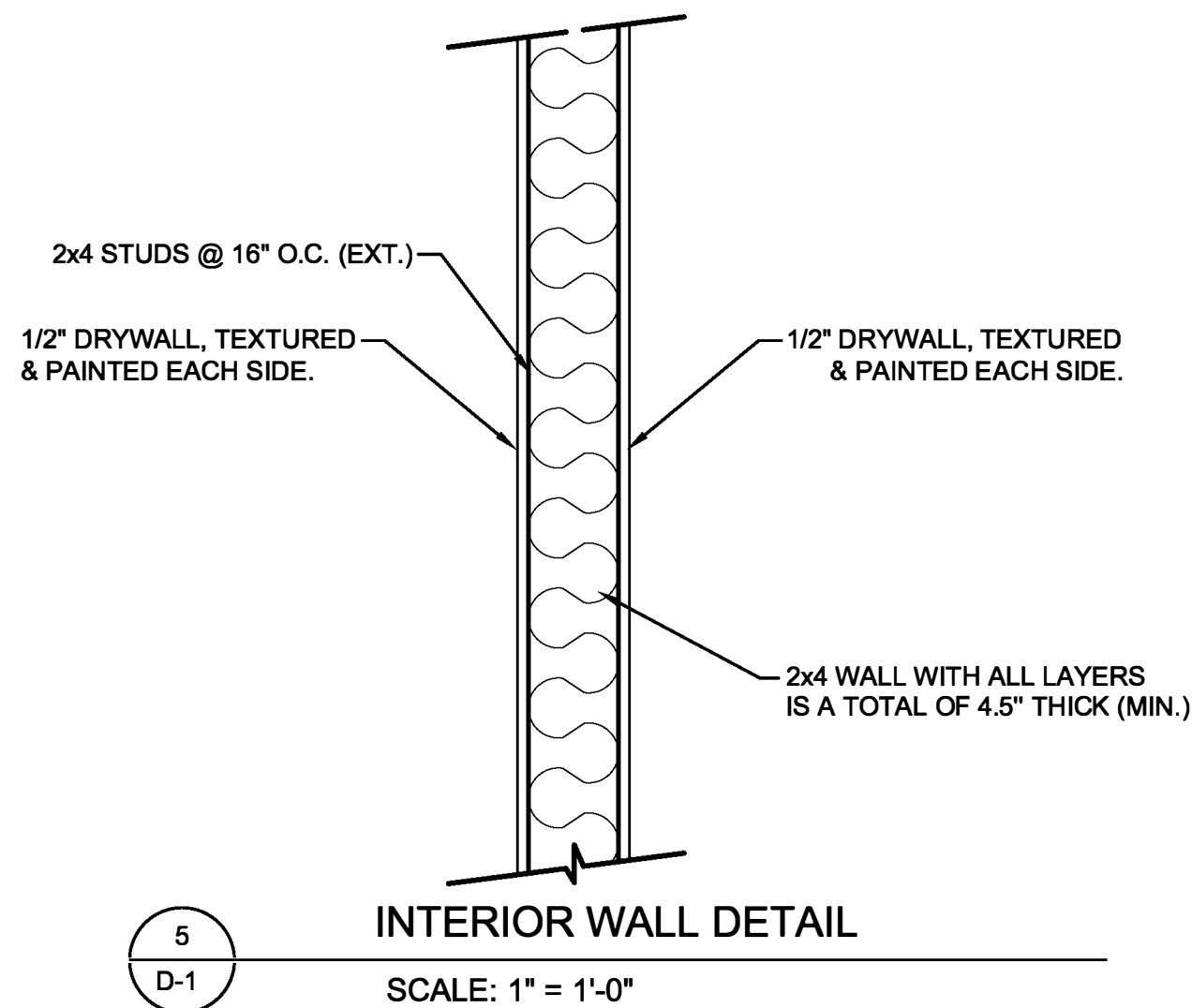
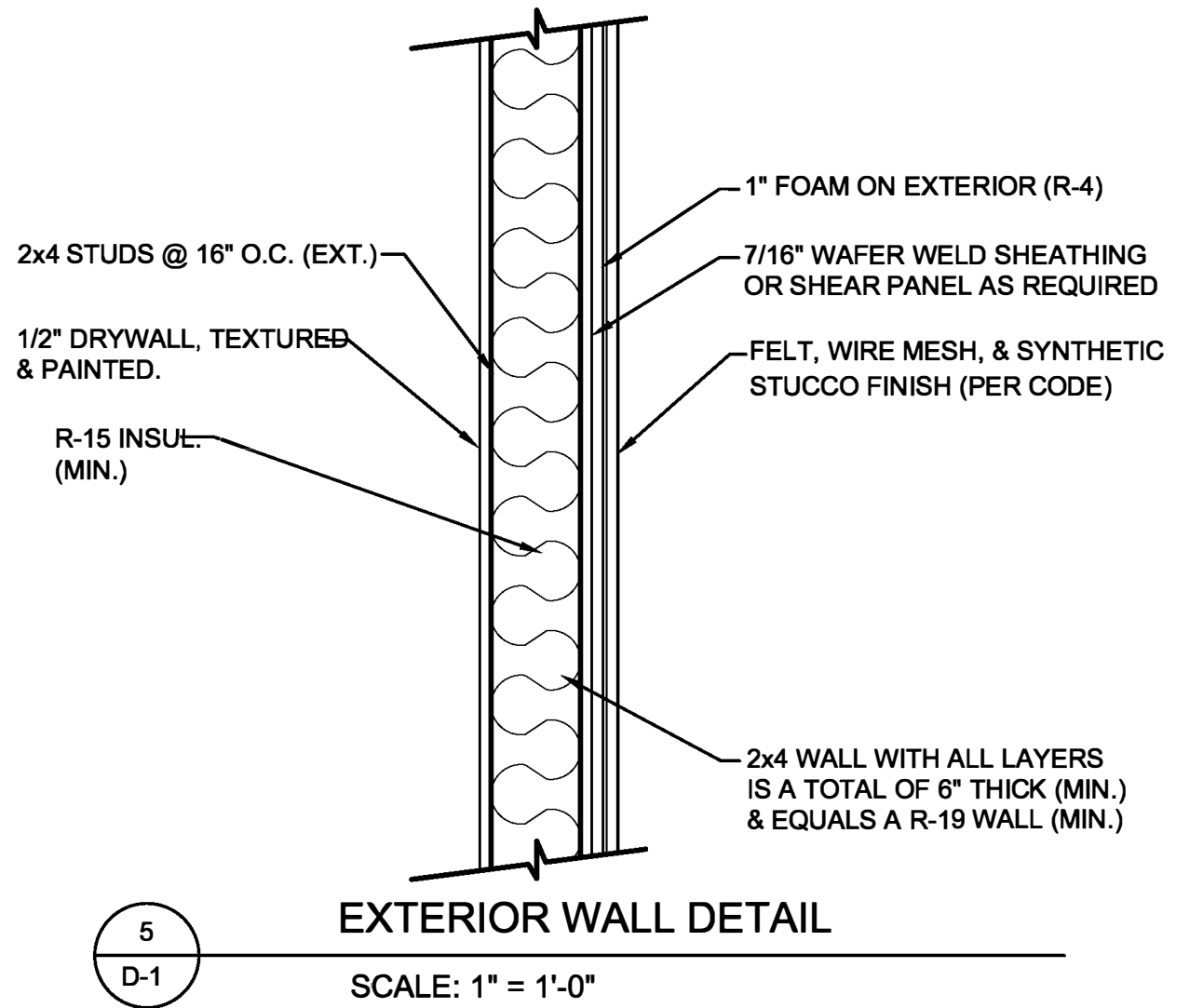
6

LOT#

GENERAL LUMBER NOTES:
ALL LUMBER TO BE SOUTHERN YELLOW PINE #2
WITH MAXIMUM CONTENT OF MOISTURE 19%.
EXTERIOR LUMBER TO BE PRESSURE TREATED.
STUDS MAY BE SPRUCE #2.

ALL WOOD IN CONTACT WITH THE GROUND AND
THAT SUPPORTS PERMANENT STRUCTURES
INTENDED FOR HUMAN OCCUPANCY SHALL BE
APPROVED PRESERVATIVE TREATED WOOD.

LIMITING HEIGHTS OF STUDS:			
SIZE #2 GRADE	O.C. SPACING	BLOCKING # OF ROWS	MAX. HEIGHT
2X4 SPRUCE FIR	16"	NONE	8'-0"
2X4 SPRUCE FIR	16"	ONE	10'-0"
2X4 SPRUCE FIR	16"	TWO	12'-0"
2X4 SPRUCE FIR	12"	THREE	14'-0"
2X4 SOUTHERN PINE	16"	THREE	13'-4"
2X4 SOUTHERN PINE	12"	THREE	15'-0"
2X6 SPRUCE FIR	16"	NONE	9'-0"
2X6 SPRUCE FIR	16"	TWO	14'-4"
2X6 SPRUCE FIR	12"	THREE	16'-0"
2X6 SOUTHERN PINE	16"	THREE	17'-0"
2X6 SOUTHERN PINE	12"	THREE	19'-8"
2X8 SPRUCE FIR	16"	THREE	18'-0"
2X8 SPRUCE FIR	12"	THREE	21'-0"
2X8 SOUTHERN PINE	16"	THREE	22'-4"
2X8 SOUTHERN PINE	12"	THREE	24'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

792 SQ. FT. - LIVING
321 SQ. FT. - STORAGE
715 SQ. FT. - PORCH & PATIO
1,828 SQ. FT. UNDER ROOF

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PLANS PREPARED FOR:

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DRAWN	TOM
CHECKED	
DATE	6-1-2023
SCALE	NOTED
JOB NO.	792 SQ. FT. LIVING
SHEET	A-3
DP	6
LOT#	

Notes:

1. BUILDER AND/OR ALL TRADES TO REVIEW AND VERIFY CONSTRUCTION DOCUMENTS WITH ALL EXISTING CONDITIONS OF THIS PROJECT. BUILDER TO BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PROPOSED AND EXISTING. IF ANY DISCREPANCIES ARE FOUND, OWNER/ENGINEER/DESIGNER/BUILDER MUST BE NOTIFIED PRIOR TO FABRICATION OR CONSTRUCTION BEGINS FOR RESOLVEMENT. DO NOT SCALE DRAWINGS. CONTRACTOR AND ALL SUB-CONTRACTORS TO VERIFY ALL DIMENSIONS PRIOR TO PROFORMING ANY WORK.

2. BUILDER TO RENOVATE, PATCH AND REPAIR ALL WALLS, FLOOR AND CEILING OR ROOF WHERE NECESSARY.

3. BUILDER TO FLASH AND WEATHER PROOF ALL APPLICABLE RENOVATED AREAS AS REQ'D. BLDR. RESPONSIBILITY TO VERIFY ALL SUBCONTRACTORS AND BUILDERS' WATERPROOFING AND FLASHING TECHNIQUES PRIOR TO CONSTRUCTION WHETHER SHOWN OR NOT SHOWN.

4. BUILDER AND ALL TRADES TO MEET ALL GOVERNING LOCAL AND STATE CODES.

5. ALL DRYWALL FINISHES TO BE VERIFIED BY BUILDER WITH OWNER.

6. ALL FLOOR FINISHES TO BE VERIFIED BY BUILDER WITH OWNER.

7. PLUMBING CONTRACTOR TO RELOCATE PLUMBING AS REQ'D.

8. BUILDER RESPONSIBLE FOR WEATHER-PROOFING EXISTING STRUCTURE AND NEW STRUCTURE DURING ALL PHASES OF CONSTRUCTION. SHOWN OR NOT SHOWN

9. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL CAPACITY FOR NEW ELECTRICAL PLAN & UPGRADE AS REQ'D.

10. ENGINEER NOT RESPONSIBLE FOR EXISTING CONDITIONS SHOWN OR NOT SHOWN ON THESE DOCUMENTS AND ANY CONDITIONS PERTAINING TO PROJECT.

11. SHORE UP & SUPPORT ALL EXISTING CONDITIONS AS REQUIRED DURING CONSTRUCTION

12. CONTRACTOR/BUILDER TO FIELD VERIFY ALL EXISTING CONDITIONS OF THIS JOB PERTAINING TO THIS RENOVATION PROJECT. CONTRACTOR/BUILDER MUST REVIEW ALL NOTES AND DRAWINGS AND ACTUAL EXISTING CONDITIONS OF HOME PRIOR TO ANY ORDERING OF MATERIALS OR ANY CONSTRUCTION. IF ANY DISCREPANCIES EXIST CONTRACTOR/BUILDER IS RESPONSIBLE FOR CONTACTING THE ENGINEER, FOR ANY FUTURE MODIFICATIONS AS MAY BE REQUIRED.

13. THE CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ENGINEER IN WRITING AND WRITTEN INSTRUCTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSABLE FOR THE RESULT OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS, OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.

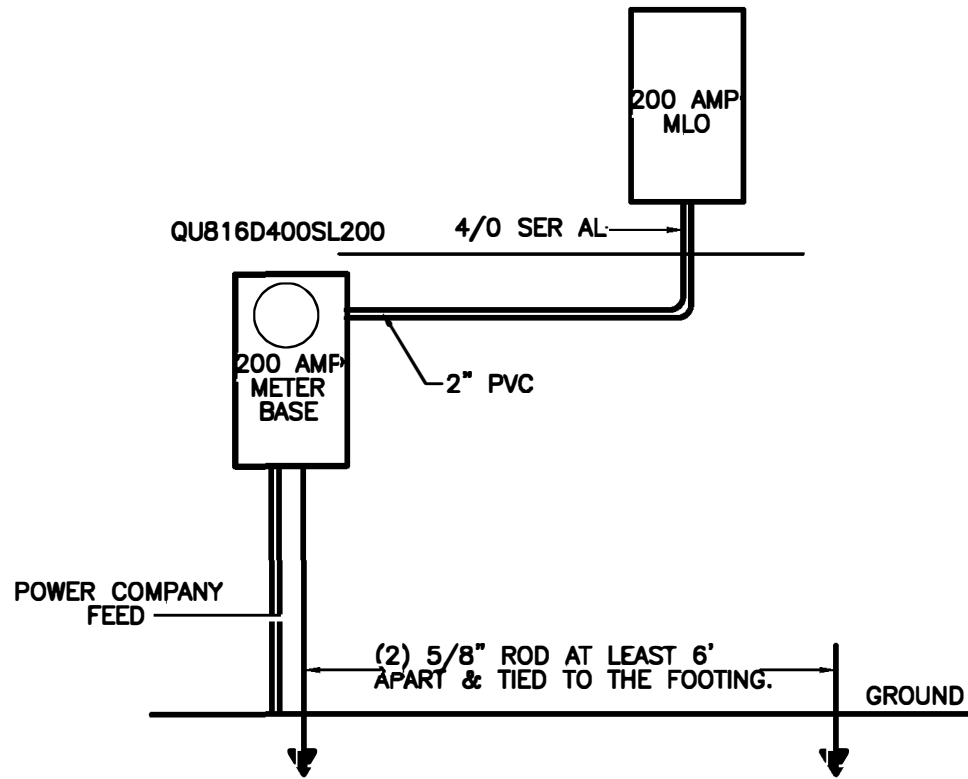
14. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFTY AND CONSTRUCTION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWNGS OR THE REQUIRED CODES.

15. THE STRUCTURAL DESIGN IS BASED ON THE INTERACTION OF ALL PARTS OF THE COMPLETED BUILDING. THE CONTRACTOR SHALL SOLEY BEAR THE RISK FOR PROVIDING ADEQUATE STABILITY AND SAFTY OF THE STRUCTURE DURING CONSTRUCTION UNTIL PERMANENT MEMBERS ARE COMPLETELY INSTALLED.

16. DETAILS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.

17. THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

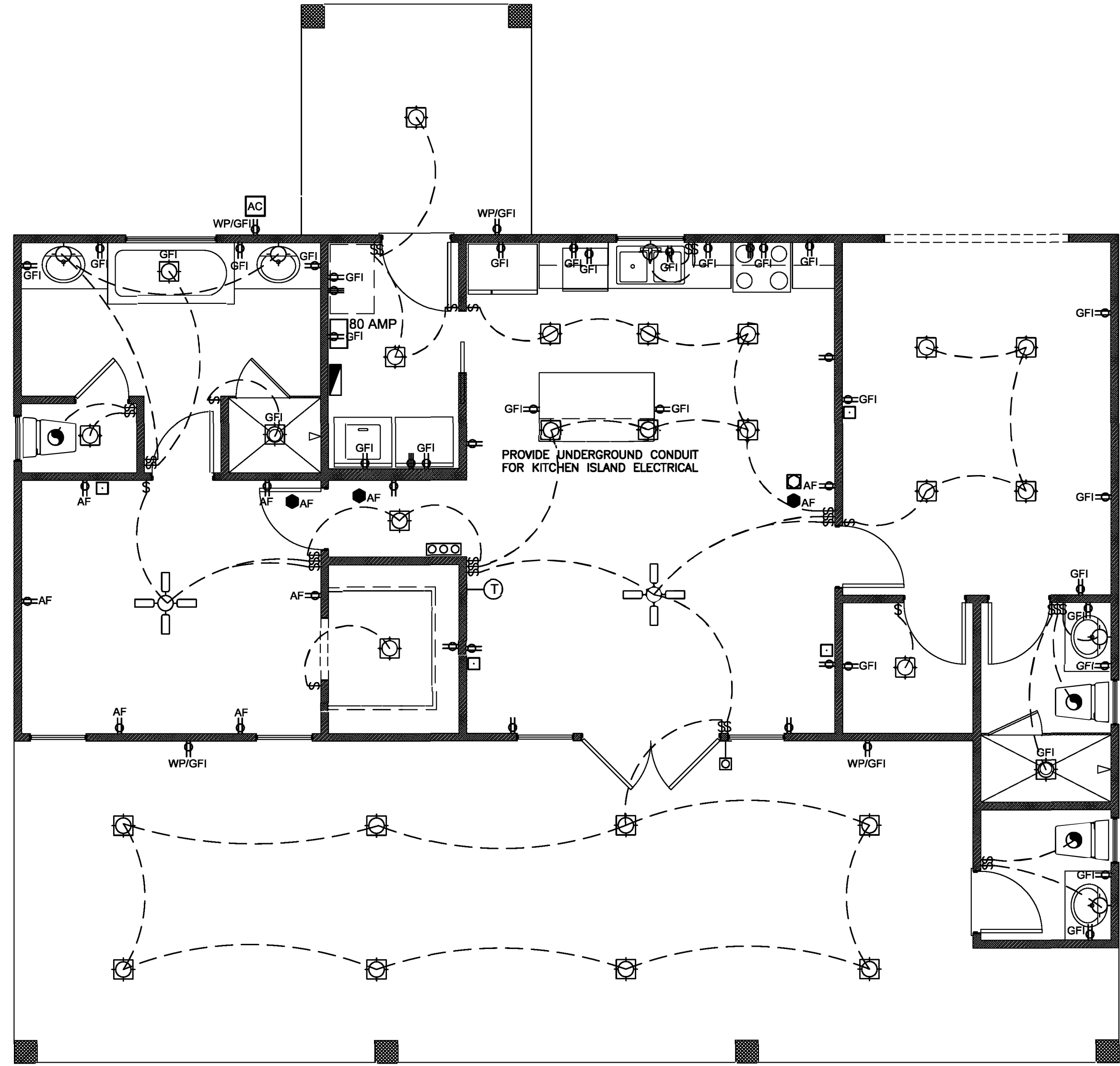
18. NO STRUCTURAL MEMBERS ARE TO BE CUT FOR PIPES, DUCTS, ETC. UNLESS SPECIFICALLY DETAILED.



200 AMP ELECTRICAL RISER DIAGRAM

- * ALL DETECTORS SHALL BE SMOKE/CARBON MONOXIDE COMBO'S.
- * ALL NON-GFI OUTLETS TO BE ON ARC FAULT INTERRUPTERS AND TAMPER PROOF.
- * ALL GFI OUTLETS OUTDOORS, GARAGES, KITCHENS & BATHS
- * ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH THE 2020 NATIONAL ELECTRIC CODE.

THIS DIAGRAMATIC PLAN IS INTENDED TO SHOW LIGHTING & CONVENIENCE OUTLETS ONLY. THE ENGINEER WILL BEAR NO RESPONSIBILITY FOR IT'S ACCURACY. IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE REQUIREMENTS AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICES AS REQUIRED. ELECTRICAL CONTRACTOR TO SUBMIT PLAN AND PULL PERMIT AS REQUIRED.



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL & UTILITY LEGEND	
\$	LIGHT SWITCH
\$D	DIMMER SWITCH
⌚	110V DUPLEX OUTLET
⌚AF	ARC FAULT RECEPTACLE - TO BE "COMBINATION" TYPE
⌚GFI	GROUND FAULT INTERCEPT DUPLEX RECEPTACLE OUTLET
⌚WP/GFI	WATER PROOF G.F.I. DUPLEX RECEPTACLE OUTLET
⌚	220 V. OUTLET
⊙	INCANDESCENT CEILING MOUNTED LIGHT FIXTURE
⊙	INCANDESCENT WALL MOUNT LIGHT FIXTURE
⊙	INCANDESCENT ROUND RECESSED LIGHT FIXTURE
⌚	HANGING PENDENT LIGHT FIXTURE
⊙	MINI INCANDESCENT RECESSED EYEBALL LIGHT
⌚	4' LONG FLUORESCENT TUBES FIXTURES W/ PLASTIC LENS COVER
⌚	JUNCTION BOX @ CEILING FOR CEILING FAN W/LIGHT
⌚	IN WALL, OR TRED STAIRWAY LIGHTS
⌚	UNDER KITCHEN CABINET LIGHTS
⌚	EXHAUST FAN
●AF	SMOKE DETECTOR -CEILING MOUNTED (ARC FAULT)
●AF	ALL DETECTORS TO BE WIRED TOGETHER FOR SIMULTANEOUS ALARM W/ BATTERY BACK-UP.
⌚AF	CARBON MONOXIDE SENSOR (ARC FAULT)
⌚A	LUMINOUS LIGHTED ADDRESS
⌚J	JUNCTION BOX @ LUMINOUS CL'G
⌚G.D.	GARAGE DOOR OPENER SWITCH
⌚	PUSH BUTTON DOORBELL
⌚	DOOR CHIMES
⌚	TELEVISION JACK
⌚	TELEPHONE JACK
⌚2-L	TELEPHONE & SEPARATE COMPUTER LINE IN ONE JUNCTION BOX.
⌚	PROVIDE 1/2" DIAMETER COPPER COLD WATER LINE TO REFRIGERATOR SPACE.
⌚	HOSE BIB
⌚	GAS STUB
⌚	ELECTRICAL PANEL (NEC 230-23)
⌚AC	220V CB BOX FOR A.C. COMPRESSOR @ 36" ABOVE SLAB (NEC 422-26)
⌚G	GAS METER LOCATION (VERIFY)
⌚E	ELECTRICAL METER LOCATION (VERIFY)
⌚P	GUNFROS (OR EQ.) HOT WATER RECIRCULATING PUMP
⌚T	THERMOSTAT CONTROL

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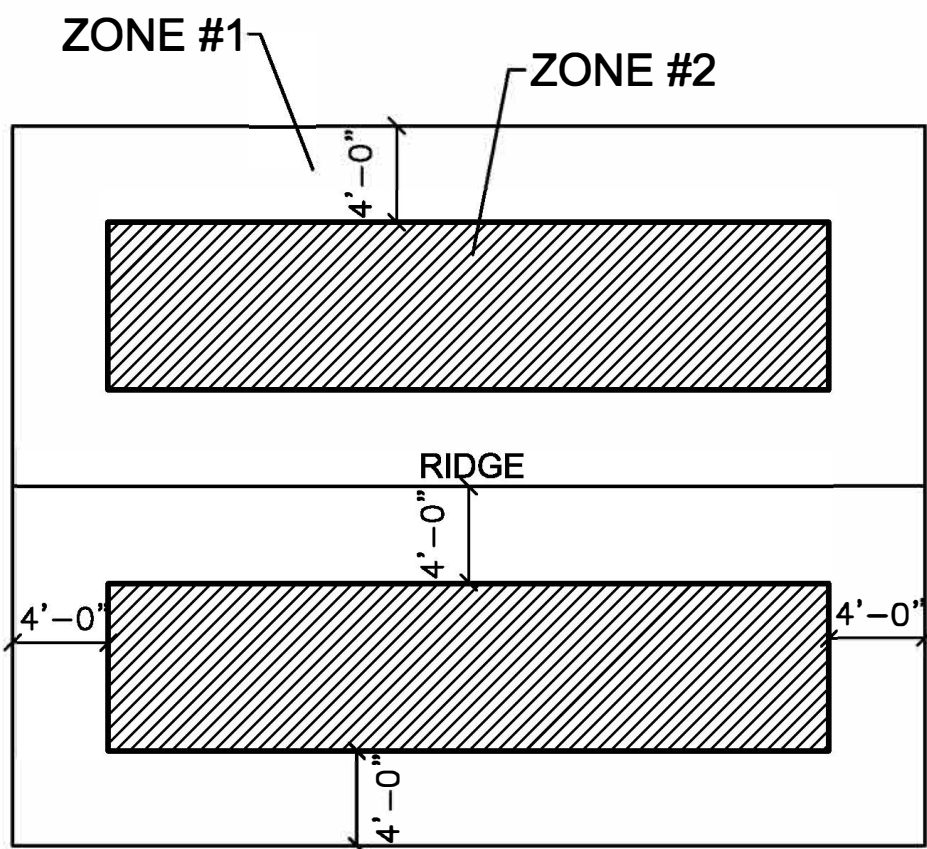
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SHEET	A-4
DP	6
LOT#	



ROOF NAILING PATTERN:

ZONE 1 - USE 8D RING SHANK NAILS @ 6" O.C. SPACING (FIELD) & 4" O.C. AT SUPPORTED EDGES.

ZONE 2 - USE 8D RING SHANK NAILS @ 6" O.C. SPACING (SUPPORTED EDGES) & 6" O.C. AT FIELD.

PNEUMATIC NAILS MAY BE USED IN LIEU OF 8D RING SHANK NAILS. NAILED 4" O.C. AT EDGES & 6" O.C. AT FIELD. (SENCO 2-1/4" X .131 & PASELODE 2-1/4" X .099).

GYPSUM BOARD NAILING PATTERN: USE 5D NAILS @ 7" O.C. SPACING.

VERIFY ALL DIMENSIONS & CEILING CONDITIONS PRIOR TO APPROVAL. SOME CEILING FRAMING MAY BE REQUIRED IN FIELD BY THE BUILDER.

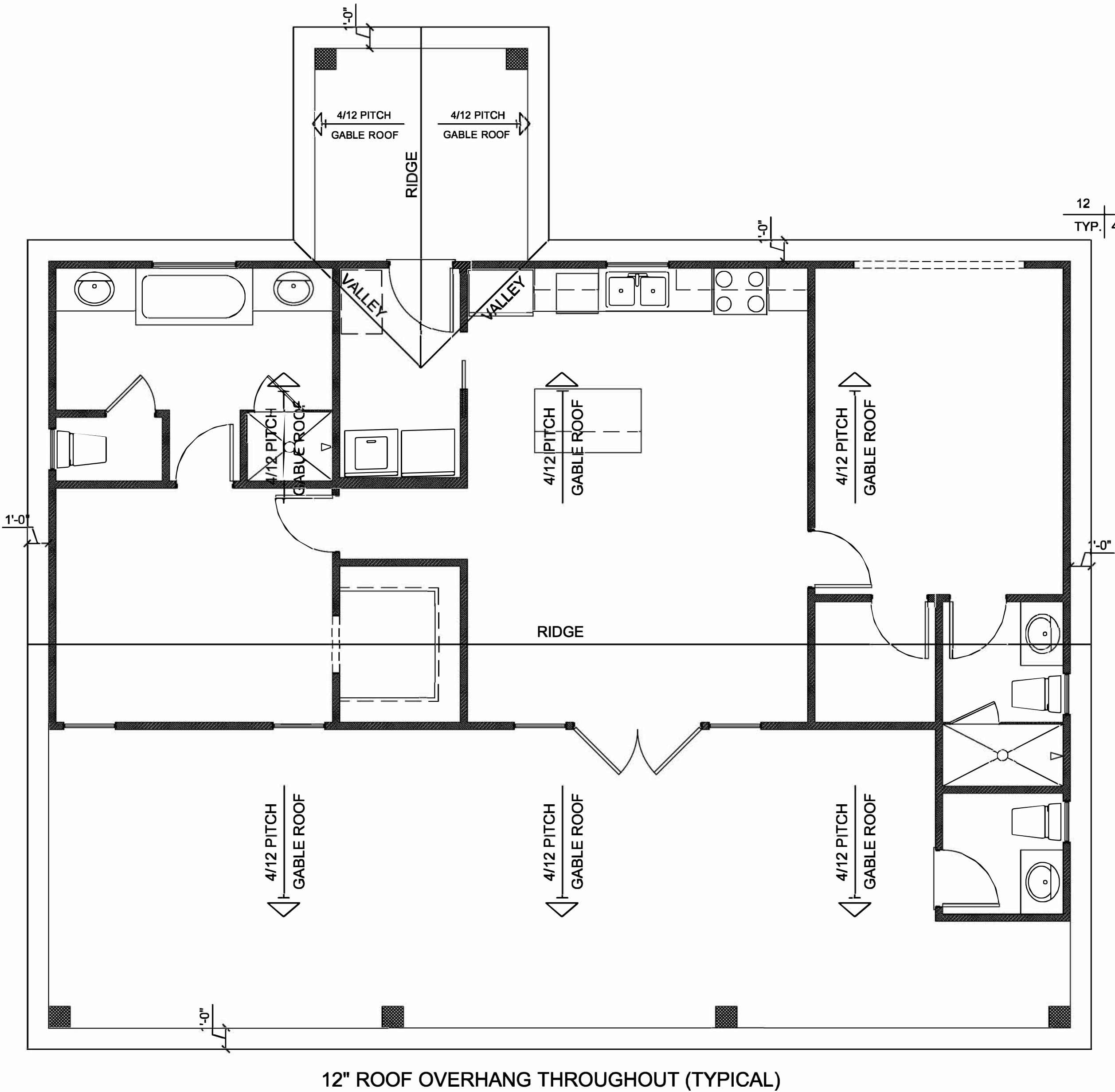
BUILDER / CONTRACTOR TO VERIFY ALL DIMENSIONS & BEARING HEIGHTS PRIOR TO CONSTRUCTION & TRUSS MANUFACTURING.

THE ENGINEER WILL BEAR NO RESPONSIBILITY FOR ERRORS IN TRUSS / LVL DESIGN OR MANUFACTURE. THE BUILDER & THE TRUSS MANUFACTURER ARE TO REVIEW TRUSS PLANS AND VERIFY ALL SPANS, DIMENSIONS, PITCHES & QUANTITIES BEFORE MANUFACTURE AND SHALL REFER ANY QUESTIONS ON LOADING OR DESIGN TO THE ENGINEER OF RECORD.

THERMAL ENVELOPE

BUILDINGS THERMAL ENVELOPE IS REQUIRED TO BE SEALED. (2012 IRC SECTION N1102.4.1 AND TABLE N1102.4.1.1)

ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. (2012 IRC SECTION N1103.2.2).



12" ROOF OVERHANG THROUGHOUT (TYPICAL)

ATTIC VENTILATION

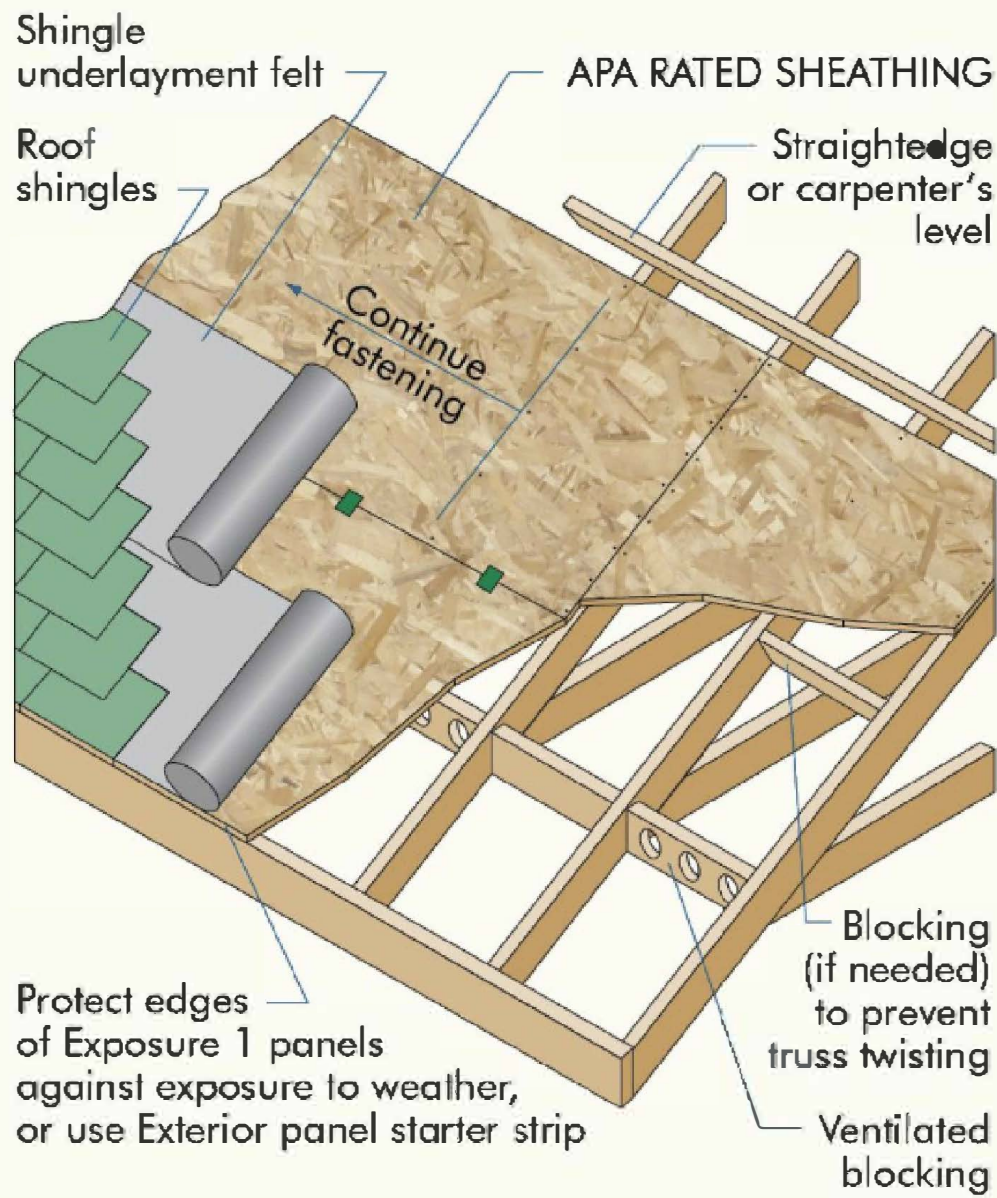
2,020 SQ. FT. ATTIC AREA
2,020/300 = 7 SQ. FT. VENTABLE AREA

ROOF SHALL BE VENTED WITH THE USE OF RIDGE VENTS, TURTLE VENTS, OR OHAGEN VENTS IN CONJUNCTION WITH UNDER SOFFIT VENTS TO MEET OR EXCEED MINIMUM VENTABLE AREA.

NOTES:

- SHOP ENG'D & MANUF. TRUSSES @ 24" O.C.
- ALL TRUSSES SHALL HAVE 4/12 PITCH, 12" OVERHANG, & (OPTIONAL) ENERGY TRUSS RAISED HEEL OF MIN. 6" (TYP.)
- ALL BEARING WALL DOOR AND WINDOW HEADERS SHALL BE DOUBLE 2x10 WITH ONE TRIMMER & ONE KING STUD ON EACH SIDE. UNLESS NOTED OTHERWISE.
- TRUSSES SHALL BE ATTACHED TO WALLS PER MANUFACTURERS SPECS.
- THIS LAYOUT IS SCHEMATIC ONLY. REFER TO TRUSS MANUFACTURERS DRAWINGS FOR EXACT LAYOUT.

ROOF INSTALLATION



ROOF SCHEMATIC

SCALE: 1/4" = 1'-0"

NOTE: VERIFY & COORDINATE ALL BEAMS, HEADERS, SUPPORT POSTS, & JOIST SIZES WITH STRUCTURAL ENGINEERING.

QUICK PLANS

THOMAS WARD E-MAIL: QUICKPLANSFL@GMAIL.COM
PHONE: (435) 467-4046 WWW.QUICKPLANS.NET

PLANS PREPARED FOR:

JOHN LEAR
106 NW LIVE OAK PLACE
LAKE CITY, FLORIDA 32055

PLANS ENGINEERED BY:

DRAWN	TOM
CHECKED	
DATE	6-1-2023
SCALE	NOTED
JOB NO.	792 SQ. FT. LIVING
SHEET	A-5
UP	6
LOT#	