

PROFESSIONAL SERVICES BY
DRISCOLL ENGINEERING, INC.
PO BOX 357677
GAINESVILLE, FL 32609
PH (352)-331-1513
CA 8690

PLANS AND SPECIFICATIONS

The plans and specifications presented herein are applicable only for the anticipated construction at the locations shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications to see if the intent of the plans and specifications has been followed and/or if supplemental details and recommendations are needed. The Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practice. No other warranties are implied or expressed.

CORPORATE PROTECTION

It is understood and agreed that the Design Professional's Basic Services under this Agreement do not include project observation or review of the Contractor's performance or any other construction phase services, and that such services will be provided by the Client. The Client assumes all responsibility for interpretation of the contractor Documents and for construction observation and supervision and waives any claims against the Design Professional that may be in any way connected thereto.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost, including reasonable attorney's fees and costs of defense, arising or resulting from the performance of such services by other person or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to Contract Documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct to the Design Professional.

OWNERSHIP OF INSTRUMENTS OF SERVICE

All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain the property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE

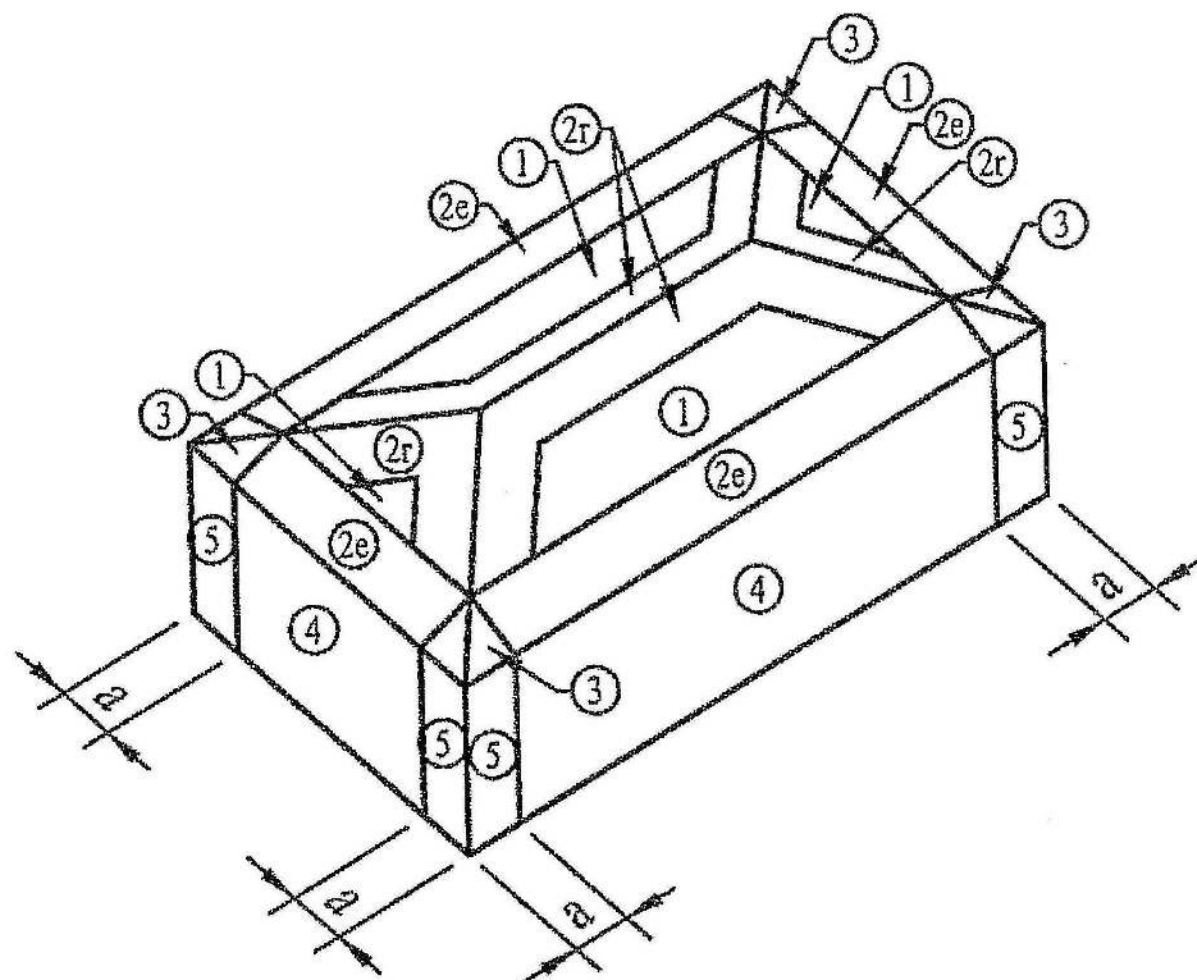
The Client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the Client becomes aware, so that the Design Professional may take measures to minimize the consequences of such a defect. The Client warrants that he or she will impose a similar notification requirement on all contractors in his or her Client/Contractor contract and shall require all subcontractors at any level to contain a like requirement. Failure by the Client, and the Client's contractors or subcontractors to notify the Design Professional, shall relieve the Design Professional of the costs of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS

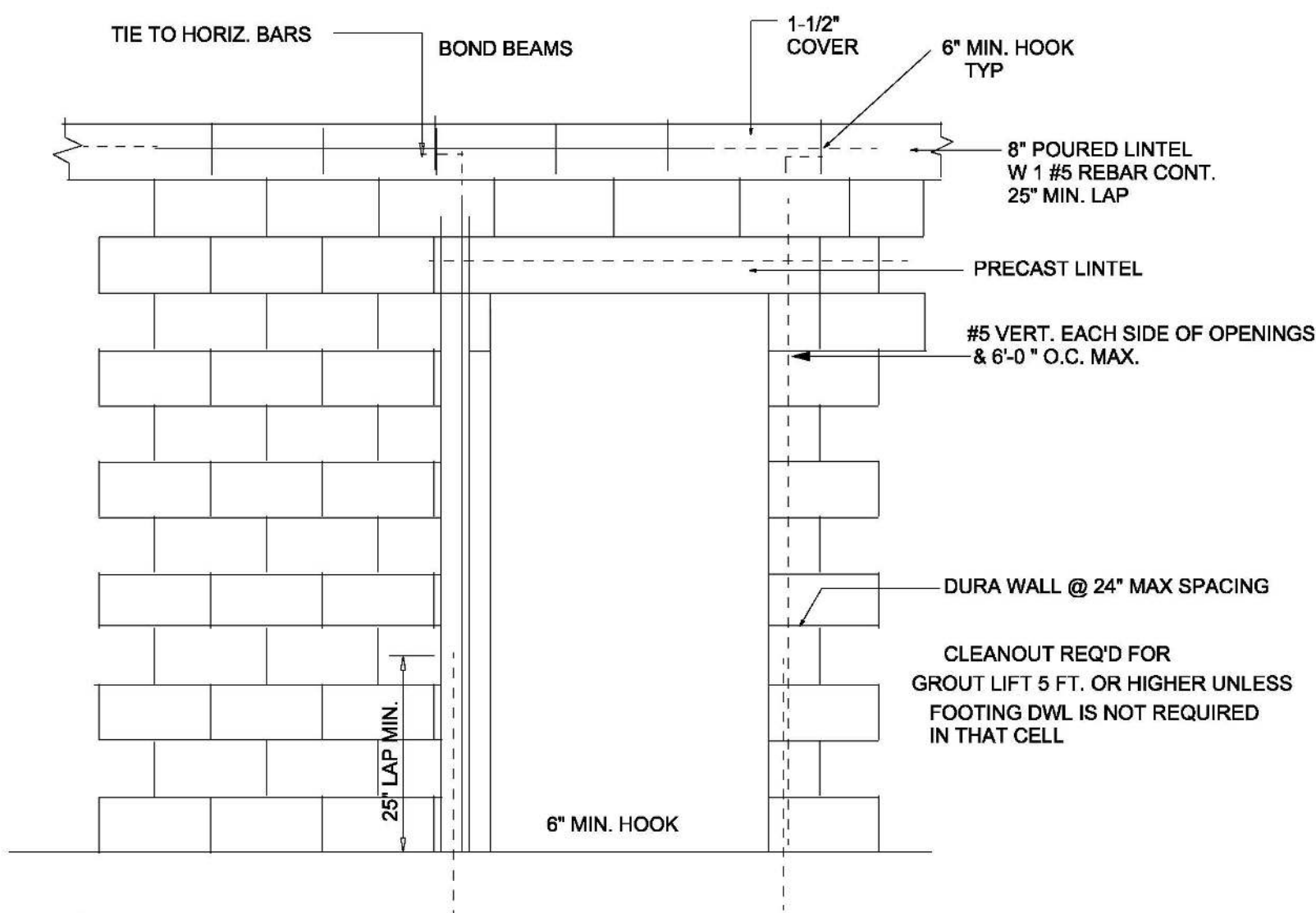
Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any claim, liability or cost (including reasonable attorney's fees and costs of defense) for injury or economic loss arising or allegedly arising out of the professional services provided under this Agreement, excepting only those damages, liabilities, or costs attributable to the sole negligence or willful misconduct of the Design Professional.

Wind Pressure Summary for C&C Zones based Upon Areas Ch 30 Ft 1 (Table 1 of 3)
All wind pressures include a load factor of 0.6

Zone	Figure	A <= 2.00 sq ft psf	A = 4.00 sq ft psf	A = 10.00 sq ft psf
1	30.3-2C	11.16 -21.30	10.26 -21.30	9.60 -21.30
2e	30.3-2C	11.16 -21.30	10.26 -21.30	9.60 -21.30
2n	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
2r	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
3e	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
3r	30.3-2C	11.16 -47.93	10.26 -47.93	9.60 -39.65
4	30.3-1	14.96 -16.23	14.96 -16.23	14.96 -16.23
5	30.3-1	14.96 -20.04	14.96 -20.04	14.96 -20.04



Hip Roof ($7^\circ \leq \Theta \leq 45^\circ$)



CMU WALL OPENING REINFORCING
NTS

CONNECTOR SCHEDULE FOR LOAD BEARING & SHEAR WALLS

TO CONNECT	TO	NO.	PRODUCT CODE	FASTENER	UPLIFT CAPACITY LBS
TRUSS	LINTEL		HETA 20	9- 10dX 1-1/2"	1810
GIRDER TRUSS	LINTEL		HETA 20	9- 10dX 1-1/2"	1810
TRUSS	DBL TOP PLATE		H2.5T		585
STUDS	DBL TOP PLATE		H2.5T		585
STUDS	BOTTOM TOP PLATE		H2.5		565
TRUSS T15	DBL TOP PLATE		2-H2.5T		585 EA.
CONCRETE	BOTTOM TOP PLATE			1/2" X 6" SIMPSON TITAN @ 32" MAX SPACING	

CAST CRETE LINTEL SCHEDULE	
LENGTH	TYPE
3-0" TO 7'-0"	8F80B
7'-0" TO 10'-0"	8F81B
CARPORT	8F161B

SHEAR WALLS QUANTITY

TRANSVERSAL SHEARWALLS = 90'-0"
LONGITUDINAL SHEARWALLS = 41'-0"

Certification

I hereby certify that the accompanying wind load analysis for the New Residence as described above demonstrates compliance with the **FBC 2020 7th Edition** Section 1609, to the best of my knowledge.

Project Wind load Information

1. Ultimate wind speed = 130 MPH
2. Nominal wind speed = 101 MPH
3. Risk Category = II
4. Wind exposure for this design is Exposure B
5. Interior Pressure Coefficient or Gcpi = +/- 0.18
6. For design of MWFRS: see attached MECAWind Version 2.1.0.6 per ASCE 7-10
7. Roof Design live load 20 psf.
8. Floor Design load 40 psf.

Drawings

See drawings for additional details. In case of conflict, the more restrictive requirements of the drawings or these calculations govern.

Roof Structure

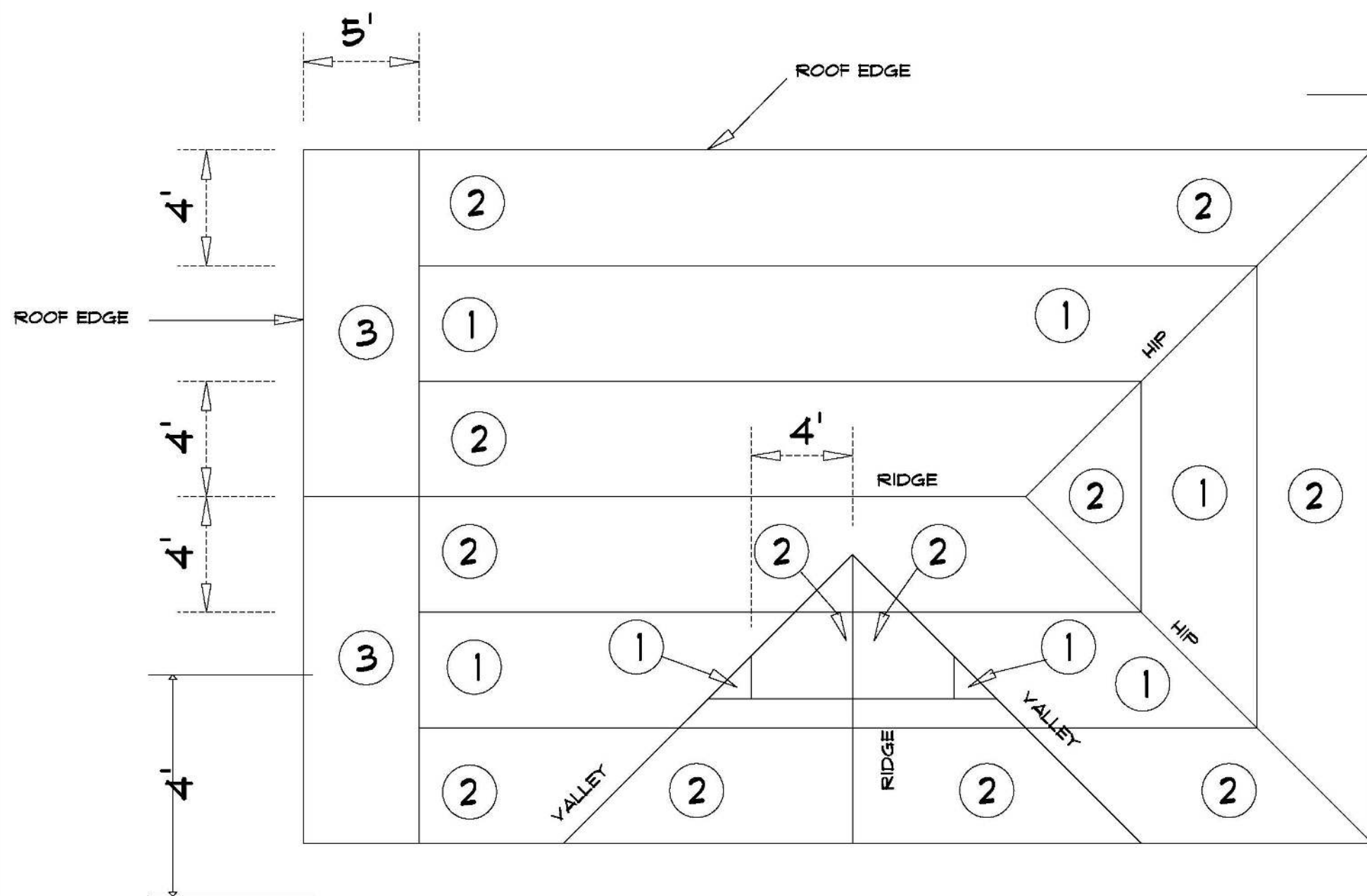
1. Trusses: Pre-engineered wood trusses at 24" o.c. The Truss engineering for this project was provided bt Builders FirstSource job# 2830612 Signed & Sealed by Philip J. O'Regan P.E. # 58126 Dated: August 24, 2021.
2. Roof Sheathing: Sheathing to be or 7/16" Structural Sheathing min. to adequately resist exterior shear and uplift forces due to nailing. Panels to be facenailed w/ #8 ring shank (0.113 Dia.) @ 4" oc along edges and @ 8" oc along interior supports. Galv. metal edging to be nailed @ 4" oc.
3. Roofing : Asphalt Shingles shall be installed per mfg. specifications to meet 130 m.p.h. windloading & in accord with the Florida Building Code 2020.

Exterior Walls

- 1.Exterior Wall: 8" Concrete Masonry Units (ASTM C90 or C145, 1500 psi min) will adequately resist exterior shear forces. Mortar type M.
2. Bond Beam to be (1) 8" min. Masonry with (1) #5 reinforcement with grout continuous. Note bond beam to remain continuous without breaks or interruptions to maintain shear transfer capacity. Minimum splice lap of #5 rebar is 25" at all locations. Install plated steel bearing plate at truss/masonry bearing points. Vertical spacing of grouted reinforced cells w/ (1) #5 rebar is to be 6'-0" o.c. typical. Install a minimum of 1 each vertical #5 bar in each cell on either side of each corner and on each side of any openings. Minimum splice lap of #5 rebar is 25".

Foundations (sizes based on wind load requirements only :

- Stemwall Footing** 20" wide x 10" deep w/ 2 #5 bars cont. 25"min bar lap.
- Interior Footing** 12" deep x 20" wide w/ 2 #5 bars cont.



NOTES:
ALL EDGES AT TRUSSES 6" O.C. ON THE EDGE AND INTERMEDIATE TRUSSES 12" O.C.
1. ALL NAILS TO BE #8 RING SHANK NAILS MIN.

ROOF ATTACHMENT PLAN

(NTS)

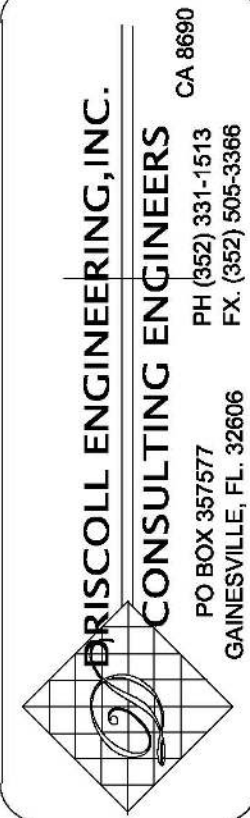


MICHAEL E DRISCOLL PE
FL REG # 43922

ANDERSON
250 CAMPBOR CT
LAKE CITY, FL DS21-106

sheet 9-9-21

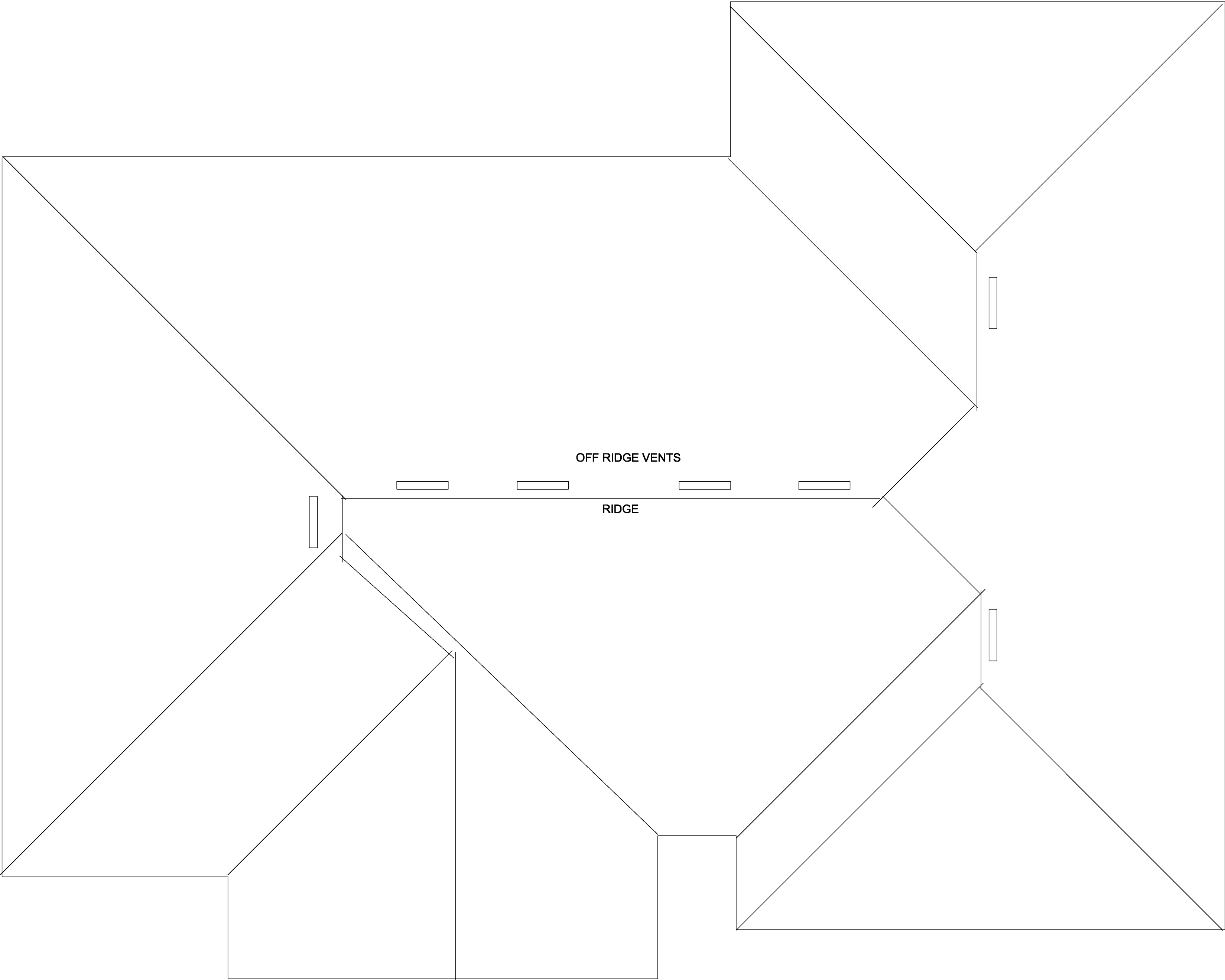
WL 1



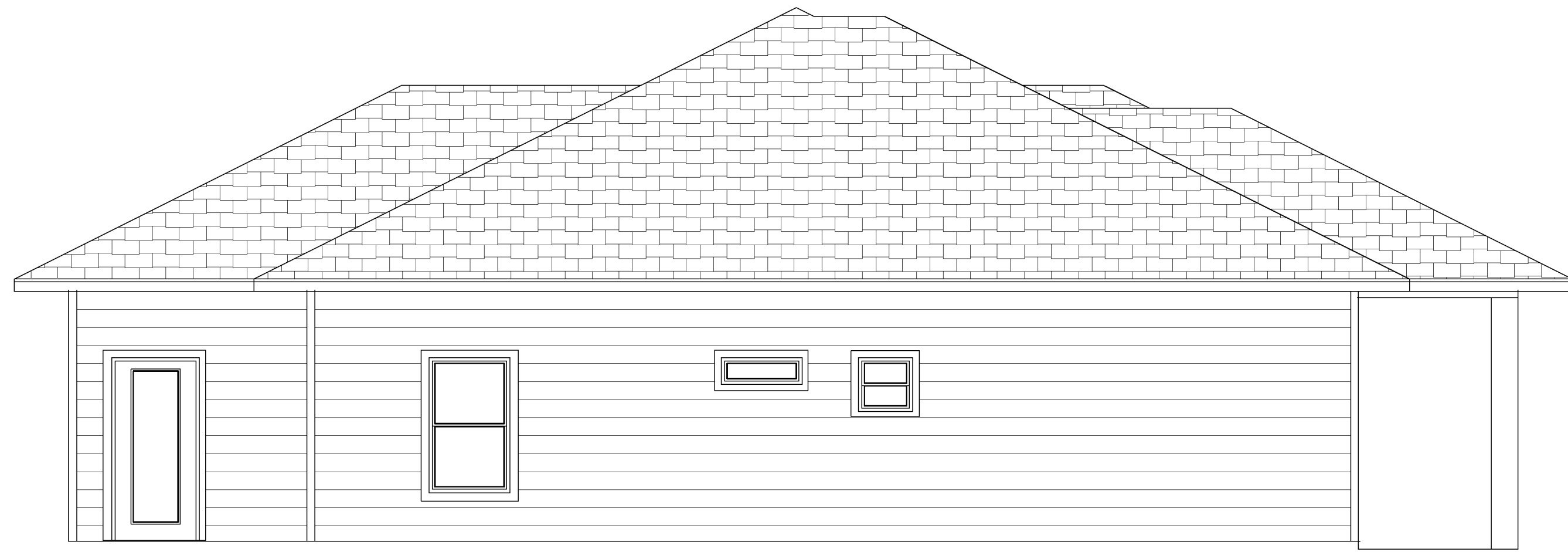
VENTILATION

SQ.FT. OF NEW CEILING 3013/ 300 = 10.04 SQ.FT
NET FREE AREA / 2 = 5.2 SQ.FT. VENT SYSTEM
REQUIRED
EQUALS723 SQ. IN.

7 OFF RIDGE VENTS = 770 SQ. IN.
TOTAL TO BE INSTALLED 770 SQ. IN.
SOFIT VENT SYSTEM 5.2 SQ.FT.
DIVIDED BY 0.03226 S.F. PER SQ.FT.
OF SOFIT
EQUALS S.F. OF SOFIT PANEL PER SYSTEM 159 SQ.FT.
DIVIDED BY 1.5 = 107 L.F. OF VENTED SOFIT
BUILDING HAS 200+ OF SOFIT AVAILABLE



ROOF PLAN



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

William Johnson Drafting
2905 NW 104th Ct
Gainesville, FL 32606
494-2041

ANDERSON
250 CAMPHOR CT
LAKE CITY, FL DS21-106

DATE: 9-9-21

sheet
3

1. Concrete work shall conform to "Building Code Requirements for Reinforced Concrete" (ACI-318) and "Specifications for Structural Concrete" (ACI-301), Latest Edition.
2. Concrete mix shall conform to the following specifications. All concrete mixes shall contain a water-reducing admixture conforming to ASTM C-494. Air-entraining admixture shall conform to ASTM C-260.

Ultimate Compressive Strength @ 28 days	3,000 PSI
Slump Range	4" +/- 1"
Maximum Aggregate Size	1"
Entrained Air	None
Dry Weight per Cubic Foot	150 #

1. Concrete masonry work shall conform to "Building Code Requirements for Masonry Structures" (ACI 530-02/ASCE5-02) and "Specifications for Masonry Structures" (ACI 530.1-02/ASCE6-02).
2. Concrete masonry units shall be Type 1 and comply with "Standard Specifications for Hollow Load-Bearing Concrete Masonry Units" (ASTM C90-90).
3. The minimum net area compressive strength of masonry (fm), as determined by the unit strength method, shall be 1500 psi.
4. Mortar shall conform to ASTM C270. Type M Mortar shall be used unless otherwise noted. Type S Mortar shall be used with masonry in contact with earth.
5. Masonry column reinforcement shall have #2 ties in the bed joints at 8" oc, unless otherwise noted.
6. Grout for filling block cores and bond beams shall have a minimum compressive strength (fg) of 3,000 psi at the age of 28 days.



NAME: Andersons
MODEL: Custom

KITCHEN CABINETS & VANITIES: (STANDARD 36")
Savannah 1 Alpine Color white

KITCHEN & BATH COUNTERTOPS: Granite Color: Ocala for choice
Level -1-STD
Owner to pay if upgraded
All Counter Tops

Hall Tub: Steel tub – white
Hall bath:
Wall Tile Color: CT 76 Daltile
Wall Grout Color: Artic Ice #301
Floor laminate color: Springfield Oak Coretech Pro Plus

INTERIOR DOORS: (standard choices) & Hardware (standard choices)
Carrara Smooth
Hardware: Satin Nickel
Dorian Levered hardware
Pantry: 2'8" full lite door, clear glass
Flex Room: 2'8" full lite clear glass
No grills on Pantry or Flex Room

TRIM: 5 ¼ base boards

Appliances: Owner to supply appliances VIP

Windows: Standard White
All clear no grills
Bath Window: Clear

TOILETS: White
Master Bath: yes
Hall Bath: yes

Master Bath:
Wall Tile Color: CT 76 Daltile
Wall Grout Color: Artic Ice #301
Floor laminate color: Springfield oak Coretech Pro Plus
Shower floor tile owner to supply, H/C to install

Flooring: Springfield Oak coretech Pro Plus thru out entire house

PAINT:
Interior Walls: Sherwin Williams HGSW 4056 Sterling white satin finish - VIP
Interior Trim: STD Gloss White Semi-Gloss VIP

EXTERIOR DOORS: Master Exterior Door w/blinds
Front Door Color: Owner to supply paint front door upgraded
A+ #84 Lumber
Door Type: Asper Plan elevation Hardware Arlington Levered
Rear Door: 12ft vinyl slider
Side Door: 6 panel STD door
Dining Room rear door: 6 feet vinyl slider no grills
Bedroom #3: Full lite clear glass - No grills

Roof IKO Shingles:
Color: Black IKO
Soffit: White

Exterior: Hardy Plank
Main House Color: Sherwin Williams SW 7669 Summit Grey
Trim Color: Xtra White 7006 Sherwin Williams

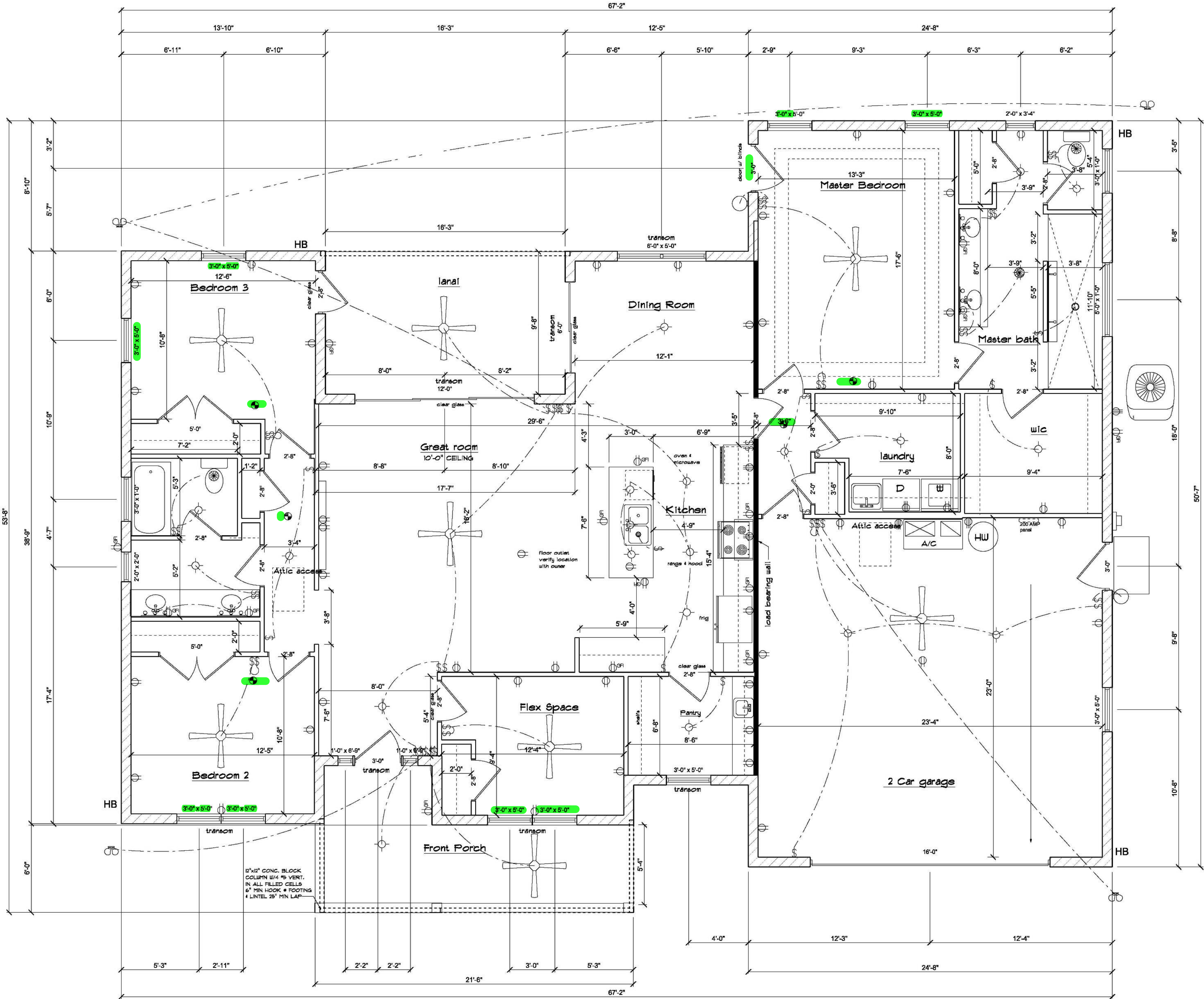
Allowances in Contract:
** Any changes after final plans are printed are \$250 to cover additional costs.

Additional Notes to Dan Harrington:
Framer call Anderson 813-927-3538
VIP one floor outlet great room
42" upper cabinets
All exterior door white – to match trim
Owner will supply front door paint h/c will pain door
Owner to supply specs fireplace
Plumber contact owner for toilet choice –VIP
Garage door to be upgraded – owner to pay
Stephanie please bill owner garage door overhead door has choice
Electrician call for location floor outlet great room and possible upgrade can lights ect locate
Owner may supply shutters h/c to install
Cabinets over washer and dryer

SQUARE FOOTAGE	
LIVING AREA	2125
GARAGE	574
FRONT PORCH	156
COVERED LANAI	158
TOTAL	3013

DESIGN CRITERIA	
ULTIMATE WIND SPEED:	130
NOMINAL WIND SPEED:	101
WIND EXPOSURE CATEGORY:	B
RISK CATEGORY	11
INTERIOR PRESSURE COEFFICIENT OR Gcpi=	+/- 0.18
ASSUMED DESIGN LOAD BEARING VALUE OF SOIL	1,500 PSF
FLOOR LIVE LOAD	40 PSF
ROOF LIVE LOAD	20 PSF

1. THIS RESIDENCE SHALL BE CONSTRUCTED IN ACCORD WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 7TH EDITION
2. ALL CEILING SHEETROCK SHALL BE MIN 5/8"
3. ALL AREAS EXCEPT WHERE GFI RECEPTICALS ARE REQUIRED RECEPTICALS SHALL BE ARC FAULT
4. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING.
6. SMOKE DETECTORS SHALL BE WIRED TO ALARM SIMUTANIOUS WITH BATTERY BACKUP.



FLOOR PLAN VIEW

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