

DATE 04/27/2007

# Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT

000025756

APPLICANT MARSHA MOORE PHONE 719-7463  
ADDRESS 322 SW NORRIS AVE LAKE CITY FL 32024  
OWNER DEWEY & MARSHA MOORE PHONE 755-4279  
ADDRESS 481 SW NORRIS AVE LAKE CITY FL 32024  
CONTRACTOR DALE HOUSTON PHONE 752-7814  
LOCATION OF PROPERTY 247 S, L NORRIS AVE., 1/4 MILE ON THE LEFT EMPTY LOT

TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING AG-3 MAX. HEIGHT 35  
Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 31-4S-16-03255-000 SUBDIVISION  
LOT BLOCK PHASE UNIT TOTAL ACRES 3.25

IH0000040 x Marsha Moore  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 07-273 CS JH N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: LOT CREATED PRIOR RO 1991

FLOOR ONE FOOT ABOVE THE ROAD

PER ZL, ASSESSMENTS PAID Check # or Cash 7181

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic  
date/app. by date/app. by date/app. by  
Under slab rough-in plumbing Slab Sheathing/Nailing  
date/app. by date/app. by date/app. by  
Framing Rough-in plumbing above slab and below wood floor  
date/app. by date/app. by  
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)  
date/app. by date/app. by date/app. by  
Permanent power C.O. Final Culvert  
date/app. by date/app. by date/app. by  
M/H tie downs, blocking, electricity and plumbing Pool  
date/app. by date/app. by  
Reconnection Pump pole Utility Pole  
date/app. by date/app. by date/app. by  
M/H Pole Travel Trailer Re-roof  
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 275.00  
INSPECTORS OFFICE L. H. CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 9-22-06) Zoning Official CJS 4/27/07 Building Official OK-JH 7-20-07  
 AP# 0704-44 Date Received 4/19/07 By G Permit # 25756  
 Flood Zone X Development Permit — Zoning A-3 Land Use Plan Map Category A-3  
 Comments lot created prior to 1991  
 FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_  
☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☐ Well letter ☒ Existing well  
☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from installer  
☐ State Road Access ☐ Parent Parcel # \_\_\_\_\_ ☐ STUP-MH \_\_\_\_\_

Property ID # B1-4S-16-03255-000 Subdivision \_\_\_\_\_

- New Mobile Home \_\_\_\_\_ Used Mobile Home 14X60 Year 89
- Applicant Marsha Moore Phone # 386-719-7463 WK
- Address 322 S.W. Norris Ave. Lake City FL 32024
- Name of Property Owner Dewey & Marsha Moore Phone# 386-755-4279 Hm
- 911 Address 481 S.W. Norris Ave. Lake City FL 32024
- Circle the correct power company - FL Power & Light - Clay Electric  
 (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Dewey & Marsha Moore Phone # 386-719-7463 WK  
 Address 322 S.W. Norris Ave. Lake City FL 32024
- Relationship to Property Owner Son
- Current Number of Dwellings on Property 1 0
- Lot Size \_\_\_\_\_ Total Acreage 3.25 acres
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home No
- Driving Directions to the Property  Hwy 247 South about 8 miles turn left on S.W. Norris Ave. Go about 1/4 mile and it's the first empty lot on left.
- Name of Licensed Dealer/Installer Dale Houston Phone # 386-752-7814
- Installers Address 36 SW. Barrs Glen Lake City FL 32024
- License Number TH0000040 Installation Decal # 278692

PERMIT NUMBER

Installer

Dele Houston

License #

IHO000040

Address of home  
being installed

Manufacturer

Fleetwood

Length x width

100X14

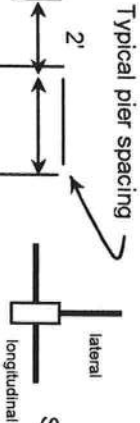
NOTE:

*if home is a single wide fill out one half of the blocking plan  
if home is a triple or quad wide sketch in remainder of home*

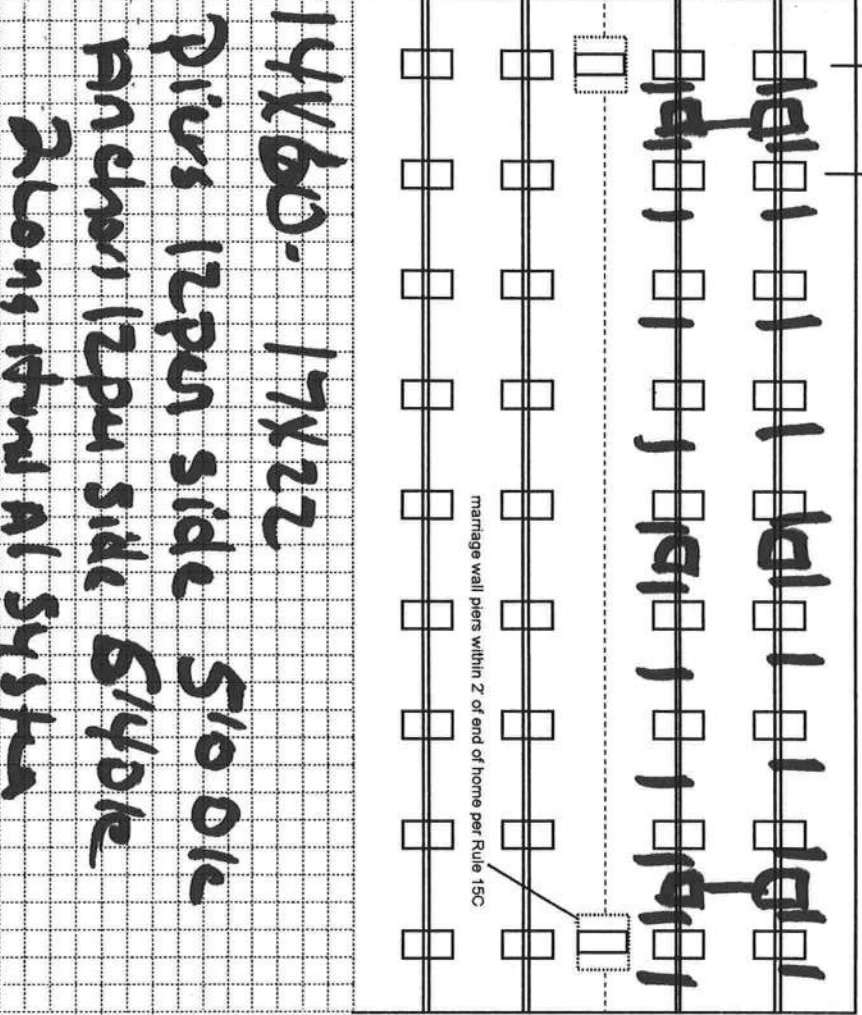
I understand Lateral Arm Systems cannot be used on any home (new or used)  
where the sidewall ties exceed 5 ft 4 in.

Installer's initials

DDH



Show locations of Longitudinal and Lateral Systems  
(use dark lines to show these locations)



New Home ☐

Used Home ☒

Home installed to the Manufacturer's Installation Manual ☐

Home is installed in accordance with Rule 15-C ☒

Single wide ☒

Wind Zone II ☒

Wind Zone III ☐

Double wide ☐

Installation Decal #

278692

Triple/Quad ☐

Serial #

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4'6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

17x22

Perimeter pier pad size

16x16

Other pier pad sizes  
(required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

4 ft

5 ft

ANCHORS

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

OTHER TIES

Number

Sidewall

Longitudinal Marriage wall

Shearwall

within 2' of end of home spaced at 5' 4" oc

2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil without testing

X 1500 X 1800 X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1800 X 1800

TORQUE PROBE TEST

The results of the torque probe test is \_\_\_\_\_ inch pounds or check here if you are declaring 5" anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

**Note:** A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

DAH Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name DAE Houston

Date Tested 4-16-07

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. N/A

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. N/A

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. N/A

Site Preparation

Debris and organic material removed ☒ Swale ☐ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: Length: Spacing:  
Walls: Type Fastener: Length: Spacing:  
Roof: Type Fastener: Length: Spacing:  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket

Installed:  
Between Floors Yes  
Between Walls Yes  
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.  
Siding on units is installed to manufacturer's specifications. Yes  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes ☐ No ☒  
Dryer vent installed outside of skirting. Yes ☒ N/A ☐  
Range downflow vent installed outside of skirting. Yes ☒ N/A ☐  
Drain lines supported at 4 foot intervals. Yes ☒ N/A ☐  
Electrical crossovers protected. Yes ☒ N/A ☐  
Other: ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1/8 & 2

Installer Signature DAE Houston Date 4-16-07



# LETTER OF AUTHORIZATION

Date: 4-19-07

Columbia County Building Department  
P.O. Drawer 1529  
Lake City, FL 32056

I Dale Houston, License No. I H 0000040 do hereby  
Authorize Marsha Moore to pull and sign permits on my  
behalf.

Sincerely,

Dale Houston

Sworn to and subscribed before me this 19 day of April, 2007.

Notary Public: Zannie Little

My commission expires: \_\_\_\_\_

Personally Known ✓

Produced Valid Identification: \_\_\_\_\_





### Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

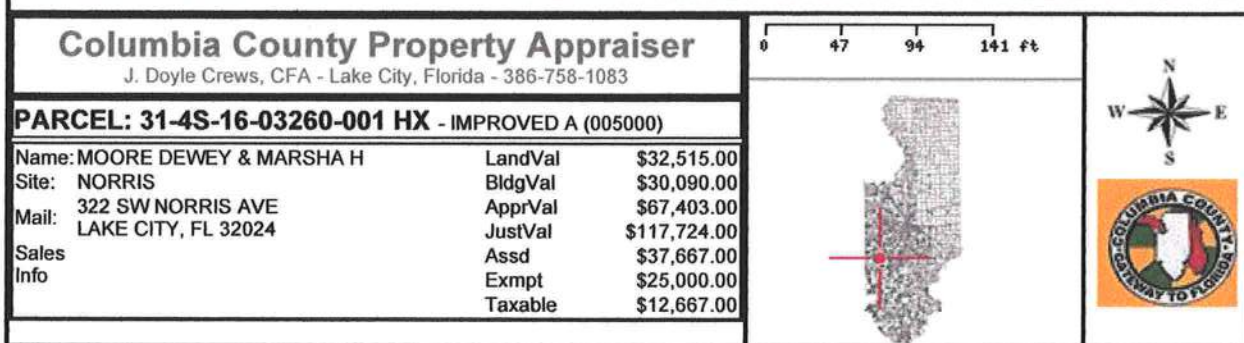
#### PARCEL: 31-4S-16-03260-001 HX - IMPROVED A (005000)

Name: MOORE DEWEY & MARSHA H	LandVal	\$32,515.00
Site: NORRIS	BldgVal	\$30,090.00
322 SW NORRIS AVE	ApprVal	\$67,403.00
Mail: LAKE CITY, FL 32024	JustVal	\$117,724.00
Sales	Assd	\$37,667.00
Info	Exmpt	\$25,000.00
	Taxable	\$12,667.00

0 190 380 570 ft



This information, GIS Map Updated: 4/11/2007, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



[http://www.appraiser.columbiacountyfla.com/GIS/Print\\_Map.asp?pjboiibchhjbnligcafceelbjemnolkjkmga...](http://www.appraiser.columbiacountyfla.com/GIS/Print_Map.asp?pjboiibchhjbnligcafceelbjemnolkjkmga...) 4/19/2007

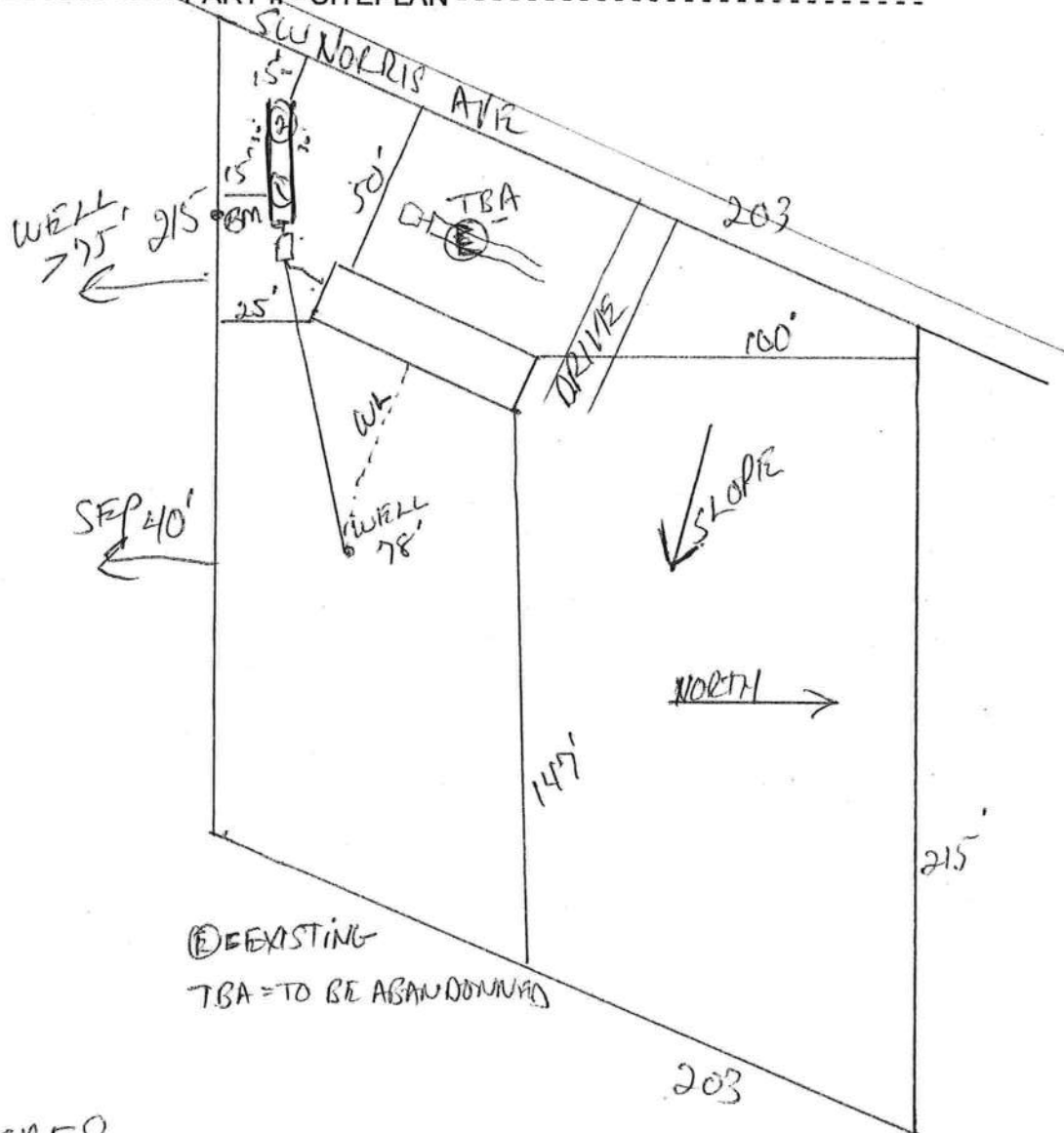
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 07-273

PART II - SITEPLAN

Scale: 1 inch = 50 feet.

SEE  
ATTACHED



Notes: 1 of 14.8 ACRES

Site Plan submitted by: Rock D 7-0

Plan Approved ☒

Not Approved ☐

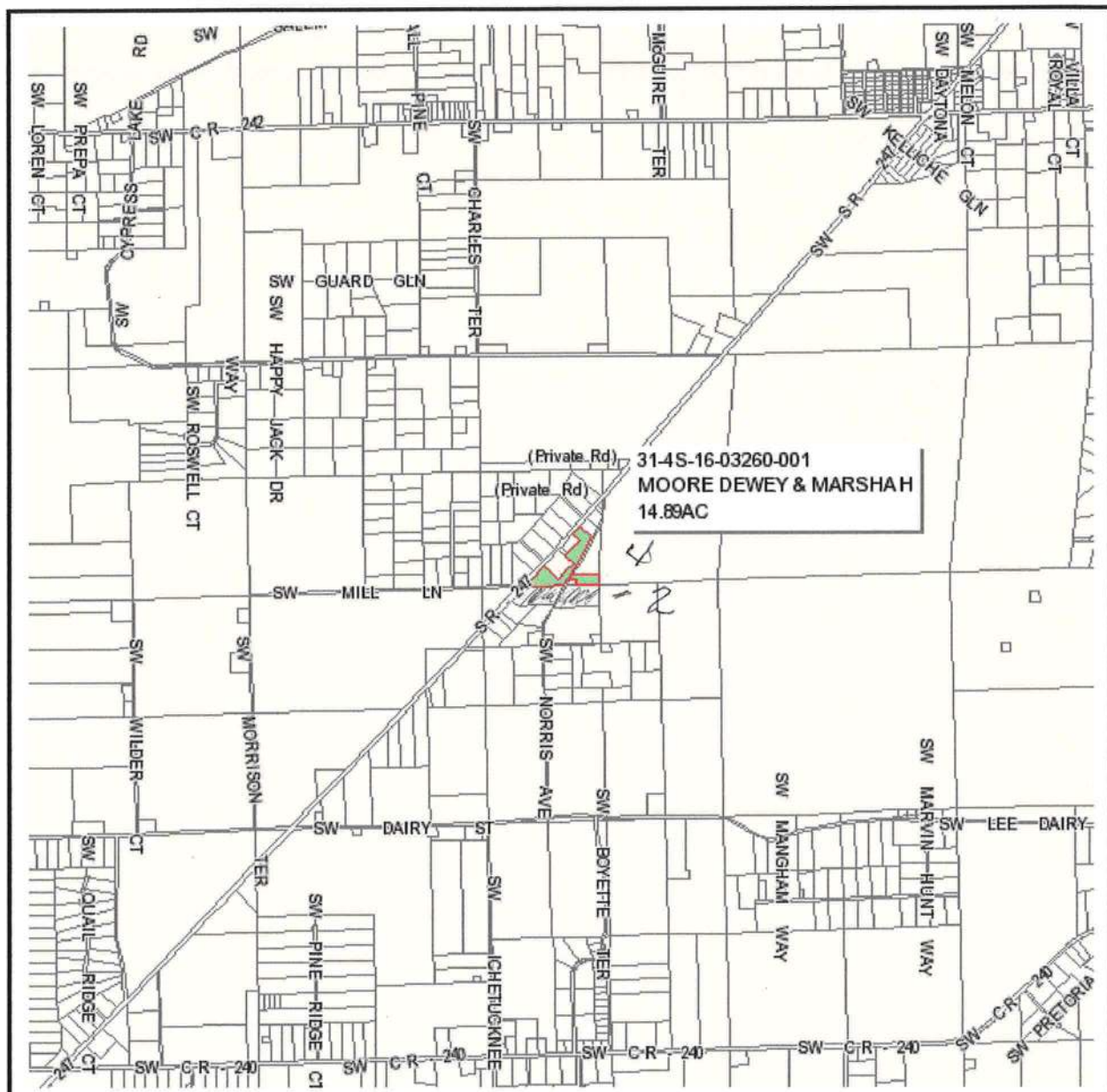
By Mark S. Lander

MASTER CONTRACTOR

Date 9/30/07

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



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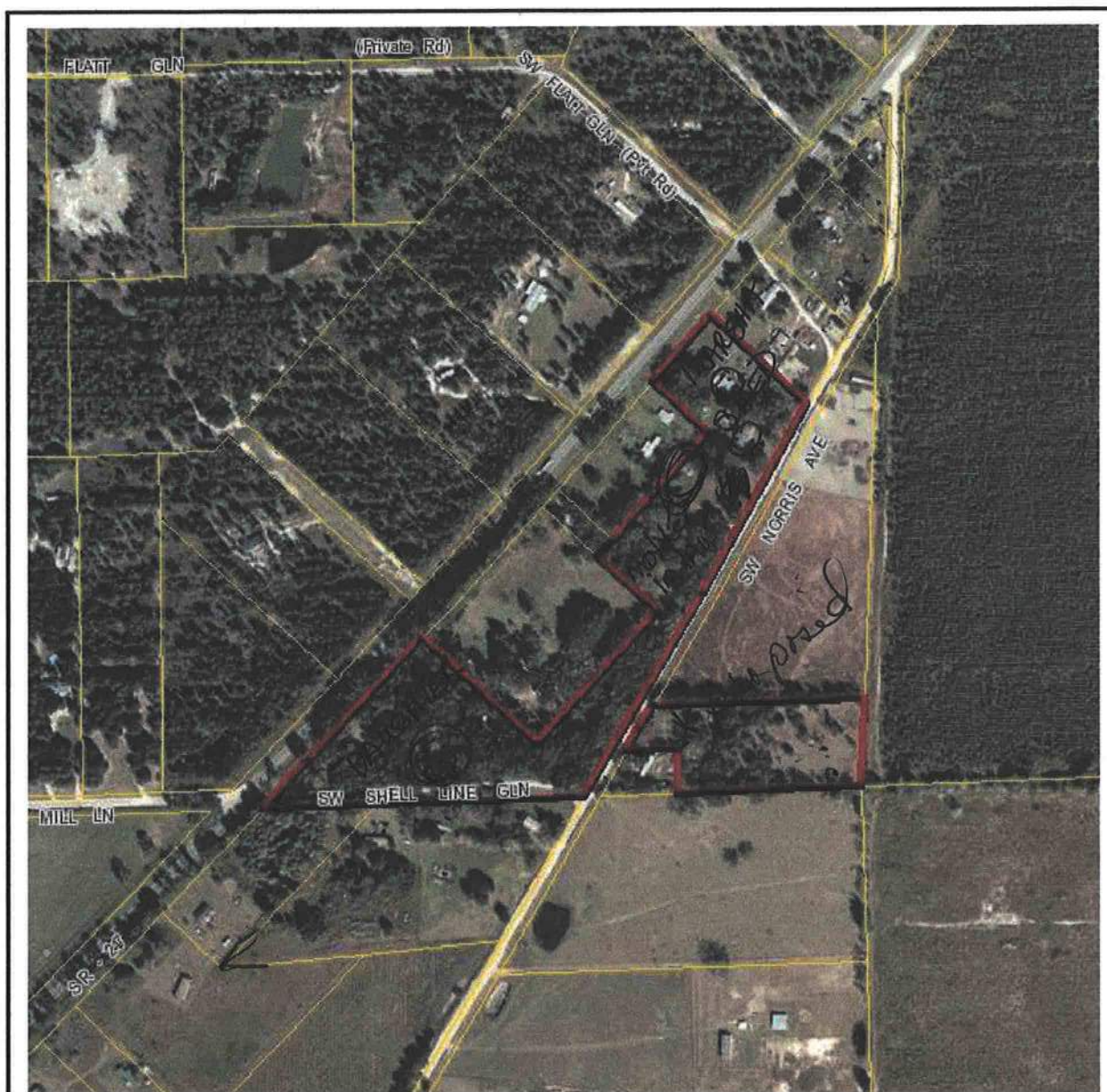
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Info	Exmpt	\$25,000.00
	Taxable	\$12,667.00

0 0.3 0.6 0.9 mi



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0 190 380 570 ft



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WARRANTY DEED  
MADE TO BE MADE

This Warranty Deed Made the 29th day of December A. D. 1988 by  
LUCIOUS JOHNSON ✓  
hereinafter called the grantor, to ROSA MAE JOHNSON, as Life Tenant

RECORDED  
A. D. 1988  
11

whose postoffice address is  
hereinafter called the grantee;

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other  
valuable considerations, receipt whereof is here by acknowledged, hereby grants, bargains, sells, alien, co-  
mises, releases, conveys and confirms unto the grantee, all that certain lot of situate in COLUMBIA  
County, Florida, viz:

Begin at Southeast Corner of Southeast Quarter of Southwest Quarter (SE 1/4  
of SW 1/4) run North 245 feet, thence run West 196 feet South along graded  
road to South line of Southeast Quarter of Southwest Quarter (SE 1/4 of SW 1/4),  
thence run East 564 feet to point of beginning, Section 31, Township 4 South,  
Range 16 East, containing 3 1/2 acres, more or less.

There is a reservation of 1/2 interest in the oil, gas and other minerals and  
mineral rights by Georgia May Barrett.

The Party of the second part, by this instrument, receives only an undivided  
one-eighth (1/8) interest in and to said oil, gas and minerals and mineral  
rights in and under the above-described land.

NOTE: The Grantor hereby retains a reversionary interest in the above property  
and deeds the Grantee a Life interest only.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-  
wise appurtenant.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land  
in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the  
grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of  
all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent  
to December 31, 1987.

NOTARY STAMP  
INTANGIBLE TAX  
P. DENTON CASON, CLERK OF  
COURT, COLUMBIA COUNTY  
BY *Dr. Frank L. ...*

In Witness Whereof, the said grantor has signed and sealed this instrument the day and year  
first above written.

Signed, sealed and delivered in our presence:

X *Kathina P. Fleming*  
Witness  
X *Ruby Nell Gray*  
WITNESS

X *Lucious Johnson*  
Lucious Johnson

STATE OF FLORIDA  
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an officer duly  
authorized in the State aforesaid and in the County aforesaid to take  
acknowledgments, personally appeared

Lucious Johnson

to me known to be the person described in and who executed the  
 foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and  
State last aforesaid this 29th day of  
A. D. 1988

NOTARY SEAL  
KATHINA P. FLEMING

This instrument prepared by: Martin L. Black, Esquire  
Address 303 East Duval Street  
Lake City, FL 32055  
AS TO FORM ONLY

NOTARY SEAL  
STATE OF FLORIDA  
COUNTY OF COLUMBIA  
NOTARY PUBLIC  
MARTIN L. BLACK  
303 EAST DUVAL STREET  
LAKE CITY, FL 32055

PRIMARY MOBILE HOME INSPECTION REPORT

DATE RECEIVED 4-19-07 BY GP IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? Yes  
 OWNERS NAME Marsha Moore PHONE \_\_\_\_\_ CELL \_\_\_\_\_  
 ADDRESS \_\_\_\_\_

MOBILE HOME PARK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

DRIVING DIRECTIONS TO MOBILE HOME 2475 TL on Norris Ave, TR on  
Shell Line Glen, last house on left

MOBILE HOME INSTALLER Dale Houston PHONE \_\_\_\_\_ CELL \_\_\_\_\_

**MOBILE HOME INFORMATION**

MAKE Fleetwood YEAR 1993 SIZE 28 x 66 COLOR Brown

SERIAL No. 1261-0985-a

WIND ZONE II Must be wind zone II or higher NO WIND ZONE I ALLOWED

**INTERIOR:**

(P or F) - P= PASS F= FAILED

**INSPECTION STANDARDS**

☒ SMOKE DETECTOR ( ) OPERATIONAL ( ) MISSING  
☒ FLOORS ( ) SOLID ( ) WEAK ( ) HOLES DAMAGED LOCATION \_\_\_\_\_  
☒ DOORS ( ) OPERABLE ( ) DAMAGED  
☒ WALLS ( ) SOLID ( ) STRUCTURALLY UNSOUND  
☒ WINDOWS ( ) OPERABLE ( ) INOPERABLE  
☒ PLUMBING FIXTURES ( ) OPERABLE ( ) INOPERABLE ( ) MISSING  
☒ CEILING ( ) SOLID ( ) HOLES ( ) LEAKS APPARENT  
☒ ELECTRICAL (FIXTURES/OUTLETS) ( ) OPERABLE ( ) EXPOSED WIRING ( ) OUTLET COVERS MISSING ( ) LIGHT FIXTURES MISSING

**EXTERIOR:**

☒ WALLS/SIDING ( ) LOOSE SIDING ( ) STRUCTURALLY UNSOUND ( ) NOT WEATHERTIGHT ( ) NEEDS CLEANING  
☒ WINDOWS ( ) CRACKED/ BROKEN GLASS ( ) SCREENS MISSING ( ) WEATHERTIGHT  
☒ ROOF ( ) APPEARS SOLID ( ) DAMAGED

**STATUS:**

APPROVED ☒ WITH CONDITIONS: \_\_\_\_\_

NOT APPROVED \_\_\_\_\_ NEED REINSPECTION FOR FOLLOWING CONDITIONS \_\_\_\_\_

SIGNATURE Dale Houston ID NUMBER 306 DATE 4/125/07