

DATE 08/09/2016

# Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

**PERMIT**  
**000034327**

APPLICANT MIKE TODD PHONE 755-4387

ADDRESS 129 NE COLBURN AVE LAKE CITY FL 32055

OWNER DAVID RANDALL MORGAN PHONE 601-529-4755

ADDRESS 220 SW RIVERSIDE AVE FORT WHITE FL 32038

CONTRACTOR MIKE TODD PHONE 755-4387

LOCATION OF PROPERTY 47 S. R. 27, E. RIVERSIDE AVE. ON RIGHT LOT 5

TYPE DEVELOPMENT RELOCATED ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT                      STORIES                     

FOUNDATION                      WALLS                      ROOF PITCH                      FLOOR                     

LAND USE & ZONING LSA-2 MAX. HEIGHT 35

Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 10.00

NO. EX.D.U. 1 FLOOD ZONE AE DEVELOPMENT PERMIT NO. 16-006

PARCEL ID 23-6S-15-00533-000 SUBDIVISION THREE RIVERS ESTATES

LOT 5 BLOCK                      PHASE                      UNIT 1 TOTAL ACRES 1.44

CGC006209 X                     

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

EXISTING 16-0464-M BS TC N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident Time Slop No.

COMMENTS: NOC ON FILE, HET RISE REC'D, NEED ELEVATION CERTIFICATE BEFORE POWER.

RELOCATED THIS ON SAME PROPERTY AND COMBINED WITH NEW SED PERMIT

34328. TO BE BROUGHT TO CURRENT CODES, MINIMUM FLOOR IS 35.4'

Check # or Cash 17406

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer Slab)

Temporary Power                      Foundation                      Monolithic                     

                     date/app. by                      date/app. by                      date/app. by

Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                     

                     date/app. by                      date/app. by                      date/app. by

Framing                      Insulation                     

                     date/app. by                      date/app. by

Rough-in plumbing above slab and below wood floor                      Electrical rough-in                     

                     date/app. by                      date/app. by

Heat & Air Duct                      Peri. beam (Lintel)                      Pool                     

                     date/app. by                      date/app. by                      date/app. by

Permanent power                      C.O. Final                      Culvert                     

                     date/app. by                      date/app. by                      date/app. by

Pump pole                      Utility Pole                      M/H tie downs, blocking, electricity and plumbing                     

                     date/app. by                      date/app. by                      date/app. by

Reconnection                      RV                      Re-roof                     

                     date/app. by                      date/app. by                      date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEES 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 175.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$                     

FLOOD DEVELOPMENT FEE \$ 50.00 FLOOD ZONE FEE \$                      CULVERT FEE \$                      TOTAL FEE 275.00

INSPECTOR'S OFFICE                      CLERK'S OFFICE                     

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**

16'-0"

10'-0"

EXTENTS OF DECK

24"

24"

3000 P.S.I. CONCRETE FOOTING W/  
2 - #5 REINFORCEMENT RODS, TYP.  
CONTINUOUS W/ MAIN 25' LONG @  
ALL SPICES, FOOTING 12" THICK.

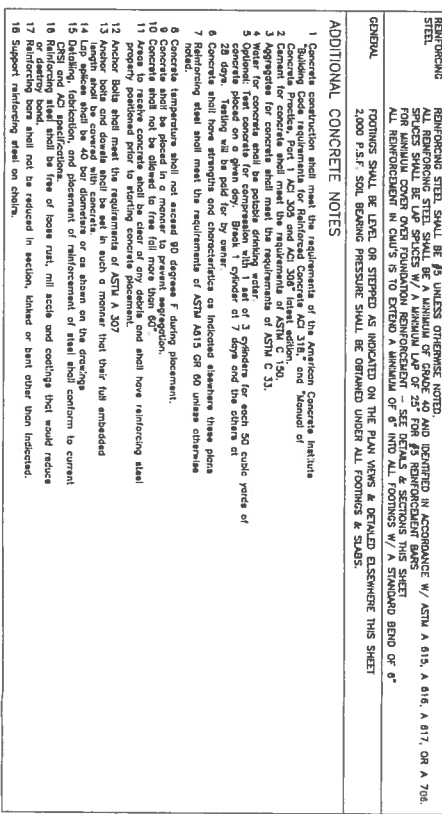
O.S. CMU COLUMN

O.S. CMU COLUMN

O.S. CMU COLUMN

12'-0"

12'-0"



**KEEN ENGINEERING & SURVEYING, INC.**  
9263 CR 417  
LIVE OAK, FLORIDA 32060  
386-362-4787  
ENG. LIC. EB 3761

CERTIFICATION:  
THIS FOUNDATION PLAN FOR THE EXISTING MORGAN BUILDING, IN CONJUNCTION WITH SECTION 1600 OF THE 2014 FLORIDA BUILDING CODE, FOR A 120 MPH WIND LOAD, 5 SECOND GUST, EXPOSURE B, IS BASED ON THE FOLLOWING INFORMATION:  
- 0.10 INCLUDED IN THESE LOADS THIS DESIGN IS FOR THE FOOTINGS, COLUMNS AND CONNECTIONS. NONE IS NOT A PART.

*Curran E. Keen*  
CURRAN E. KEEN, PE #238436



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1

\_\_\_\_\_

**KEEN ENGINEERING & SURVEYING, INC.** 9263 CR 417  
LIVE OAK, FLORIDA 32060  
386-362-4787  
ENG. LIC. EB 3761

218 of (220)

**\* RELOCATION of CABIN \***  
Columbia County New Building Permit Application

to create Addition to S.F.D.

See Also Permit # 34328

For Office Use Only Application # 1606-36 Date Received 6/13 By LH Permit # 34327  
Zoning Official \_\_\_\_\_ Date 7-6-16 Flood Zone AE Land Use ESA Zoning SA-2  
FEMA Map # 458C Elevation 34.4' MFE 35.4' River ITCH Plans Examiner J.C. Date 7-6-16  
Comments See Survey for Elevations / 1' Rise Letter Req'd, Need finished Const. Elevation Cert  
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Wall letter ☒ 911 Sheet ☐ Parent Parcel # before Power  
☒ Dev Permit # 16-006 ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 16-0464-M OR City Water \_\_\_\_\_ Fax \_\_\_\_\_

Applicant (Who will sign/pickup the permit) Mike Todd Phone 386-755-4387

Address 129 N.E Colburn Ave Lake City FL 32055

Owners Name David Randell Morgan Phone 601-529-4755

911 Address 220 S.W Riverside Ave Ft White FL 32038

Contractors Name Mike Todd Phone 386-755-4387

Address 129 N E Colburn Ave Lake City FL 32055

Contractor Email mike@miketoddconstruction.com \*\*\*Include to get updates on this job.

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address Keen Engineering/Surveying Inc. 9263 CR 417 Live Oak FL 32060

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Duke Energy

Property ID Number 00-00-00-00533-000 Estimated Construction Cost \$10,000.00

Subdivision Name Three River Estates Lot 5 Block \_\_\_\_\_ Unit 1 Phase \_\_\_\_\_

Driving Directions from a Major Road 47 to SR 27 go left 5 miles to Riverside Ave, go left. Lot 5 is on Right.

Construction of Relocation of Cabin Commercial OR ☒ Residential

Proposed Use/Occupancy Sgl. Fam Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? ☒ If Yes, blueprints included \_\_\_\_\_ Or Explain \_\_\_\_\_

Circle Proposed - Culvert Permit or Culvert Waiver or D.O.T. Permit or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front \_\_\_\_\_ Side See Site Plan Side \_\_\_\_\_ Rear \_\_\_\_\_

Number of Stories 2 Heated Floor Area 2128 Sq Ft Total Floor Area 384 Acreage 1.94

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) Connected to Same power supply 5 1/2/12 pitch

**Columbia County Building Permit Application**

**CODE: Florida Building Code 2014 and the 2011 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

David Morgan [Signature] **\*\*Property owners must sign here before any permit will be issued.**  
Print Owners Name Owners Signature

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature] ☒ Contractor's License Number C'GC006209  
Contractor's Signature Columbia County Competency Card Number 539

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 13 day of June 2016  
Personally known ☒ or Produced Identification ☒  
[Signature] (SEAL) **State of Florida Notary Signature (For the Contractor)**



**Development Permit**  
**F 023- 16-006**

FLOOD ZONE AE BY BS 2-4-2009 FIRM COMMUNITY # 120070 - PANEL # 458-C  
FIRM 100 YEAR ELEVATION 34.4' PLAN INCLUDED YES or NO  
REQUIRED LOWEST HABITABLE FLOOR ELEVATION 35.4'  
IN THE REGULATORY FLOODWAY YES or NO RIVER Itchetouchee  
SURVEYOR / ENGINEER NAME Curtis Keen LICENSE NUMBER 23836

DATE THE FINISHED FLOOR ELEVATION CERTIFICATE WAS PROVIDED

## COMMENTS



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 16-0464M  
DATE PAID: 8/2/16  
FEE PAID: 283.00  
RECEIPT #: 1250664

## APPLICATION FOR:

[ ] New System [ ] Existing System [ ] Holding Tank [ ] Innovative  
[ ] Repair [ ] Abandonment [ ] Temporary X MODIFICATION

APPLICANT: David MorganAGENT: ROCKY FORD, A & B CONSTRUCTIONTELEPHONE: 386-497-2311MAILING ADDRESS: 546 SW Dortch Street, FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: 5 BLOCK: na SUB: Three Rivers Estates unit 1 PLATTED: 5/1/02PROPERTY ID #: 00-00-00-00533-000 ZONING: Res I/M OR EQUIVALENT: [ Y ] (N)PROPERTY SIZE: 1.54 ACRES WATER SUPPLY: (X) PRIVATE PUBLIC [ ] <=2000GPD [ ] >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? [ Y ] (N) DISTANCE TO SEWER: — FTPROPERTY ADDRESS: 218 SW Riverside Ave, Fort White, FL, 32038

DIRECTIONS TO PROPERTY: 47 South, TR on US 27, TL on Riverside (3 Rivers), 5<sup>th</sup> lot  
on the right

## BUILDING INFORMATION

[ X ] RESIDENTIAL [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SF Residential	3	2512	ORIGINAL 384 SQ Feet ADDING
2				2128 SQ Feet 3/5R'S
3				

[ N ] Floor/Equipment Drains (M) Other (Specify) \_\_\_\_\_SIGNATURE: Rocky D Ford DATE: 1/26/2016

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number \_\_\_\_\_

----- PART II - SITEPLAN -----

Scale: 1 inch = 40 feet.

SEE ATTACHED

Notes: \_\_\_\_\_

Site Plan submitted by: \_\_\_\_\_

MASTER CONTRACTOR

Plan Approved \_\_\_\_\_

Not Approved \_\_\_\_\_

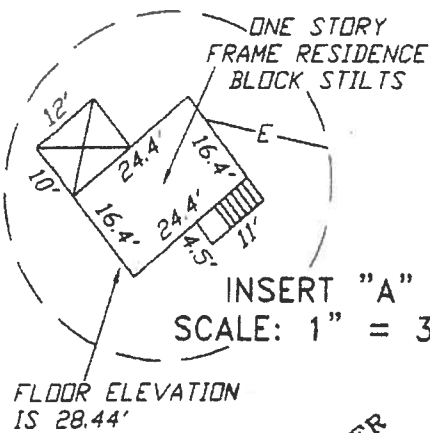
Date 8/16/16

By \_\_\_\_\_

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**





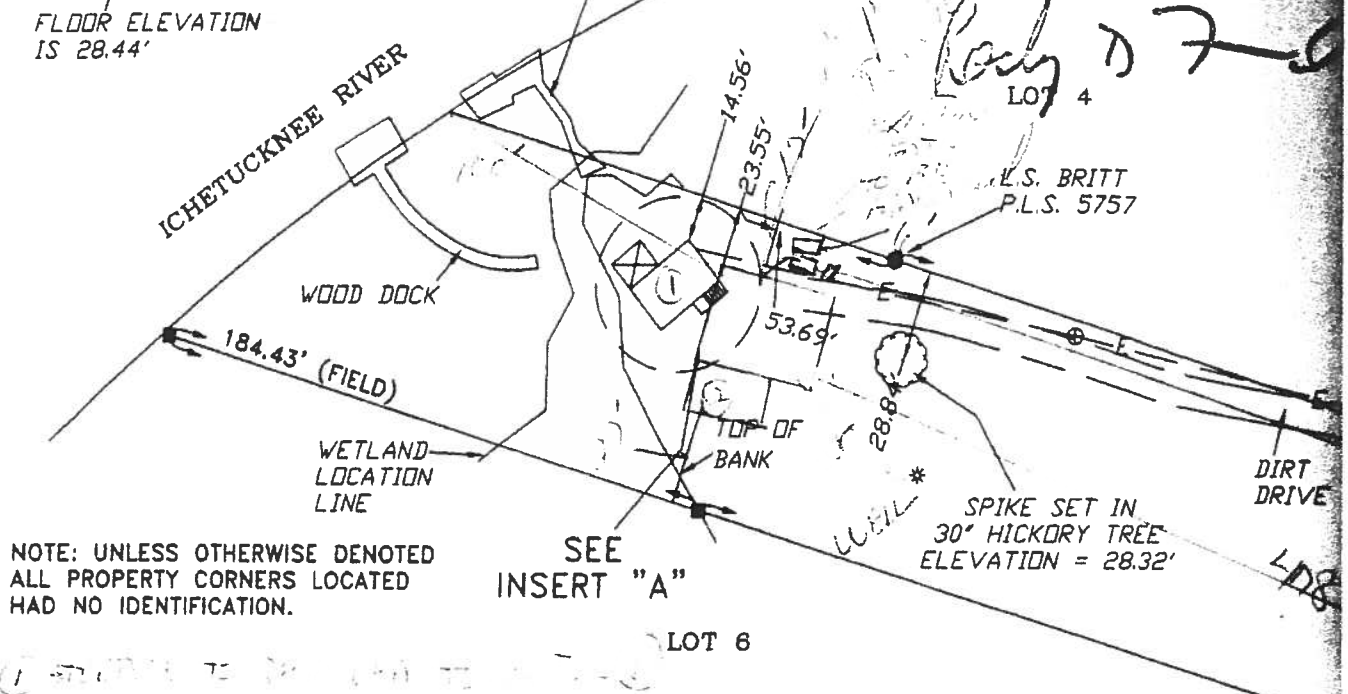
## DESCRIPTION:

LOT 5 OF "THREE RIVERS ESTATES SECTION NO. 1" AS PER  
PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 53 OF THE  
PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.  
TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS  
AND EGRESS:

(SEE SHEET # 2 FOR DESCRIPTION AND DETAILS)

WOOD DOCK  
APPARENT USE  
(DECK ELEVATION  
IS 20.98')

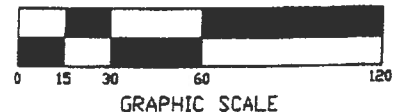
AUG 01 2016



## SYMBOL LEGEND:

■ 4"x4" CONCRETE MONUMENT FOUND	⊕ CENTERLINE
□ 4"x4" CONCRETE MONUMENT SET	--E-- ELECTRIC LINES
● IRON PIPE FOUND	--X-- WIRE FENCE
○ IRON PIN AND CAP SET	--O-- CHAIN LINK FENCE
* "X" CUT IN PAVEMENT	--□-- WOODEN FENCE
+ CALCULATED PROPERTY CORNER	--- SECTION LINE
⊙ NAIL & DISK	(PLAT) AS PER A PLAT OF RECORD
⊕ POWER POLE	(DEED) AS PER A DEED OF RECORD
▲ WATER METER	(CALC.) AS PER CALCULATIONS
⊙ UTILITY BOX	(FIELD) AS PER FIELD MEASUREMENTS
* WELL	P.R.M. PERMANENT REFERENCE MARKER
⊕ SANITARY MANHOLE	P.C.P. PERMANENT CONTROL POINT
+ SIGN POST	

SCALE: 1" = 60'



CERTIFIED TO:

DAVID &amp; BRYAN MORGAN

SURVEYOR'S CERTIFIC

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY  
TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD  
IN CHAPTER 65B-07, F.A.C. (F.S. 65B-07) AND I AM A LICENSED SURVEYOR.

10/29/15  
FIELD SURVEY DATE

11/05/15  
DRAWING DATE

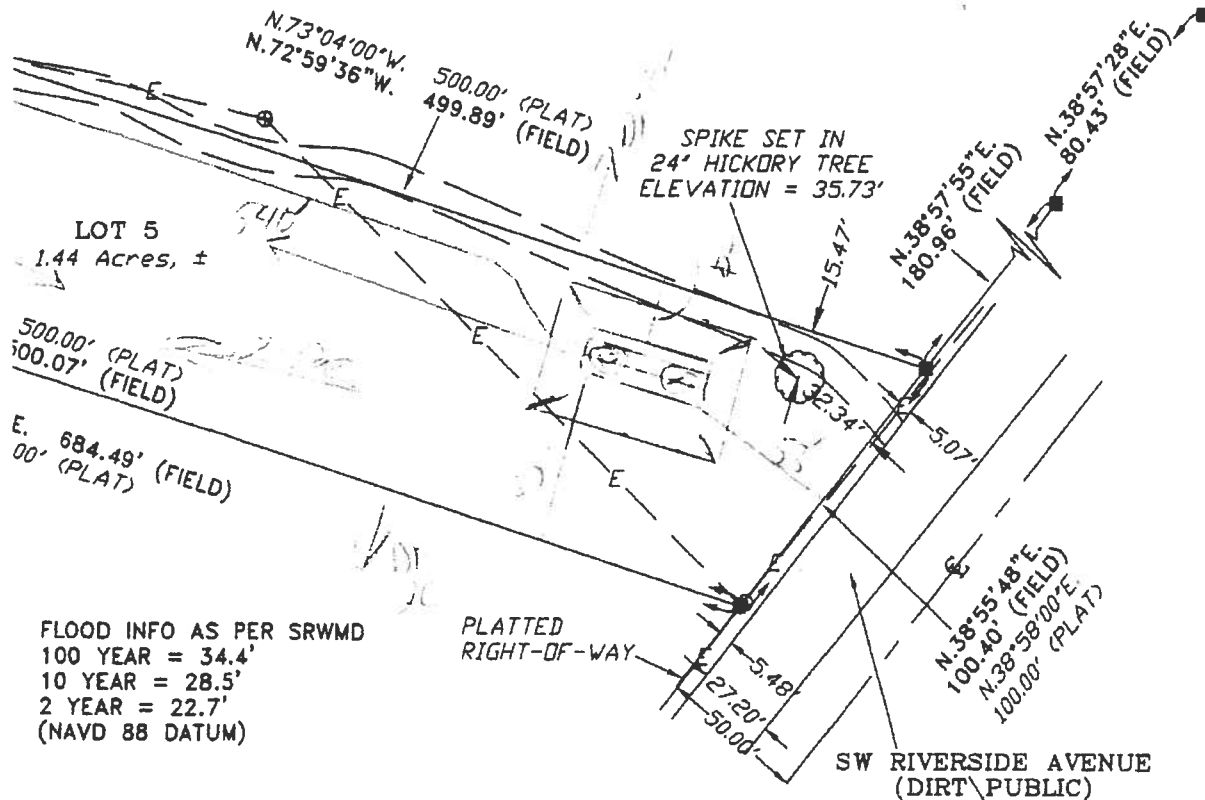
NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL R.A.S.  
MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATION

FIELD BOOK: SEE PAGE(S): FILE

BOUNDARY SURVEY IN SECTION 26, TOWNSHIP 6 SOUTH,  
RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
2. BEARINGS ARE BASED ON SAID PLAT OF RECORD.
3. THIS PARCEL IS IN ZONE 'AE' AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 34.4 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NO. 12023C0458C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE. (BASED ON NAVD 88 DATUM)
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.
10. ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM.



POSSIBLE CHARGE AND MEETS THE MINIMUM  
PROFESSIONAL SURVEYORS AND MAPPERS  
TO EXERCISE IN FLORIDA TO LICENSED SURVEYORS.

L. SCOTT BRITT, P.S.M.  
CERTIFICATION # 5757  
REAL OF A FLORIDA LICENSED SURVEYOR AND  
PURPOSES ONLY AND IS NOT VALID.



# BRITT SURVEYING & MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 8016

2086 SW MAIN BLVD, SUITE 112, LAKE CITY, FLORIDA 32025

(386)752-7163 FAX (386)752-5573

www.brittsurvey.com

WORK ORDER # L-23730

## ONE FOOT RISE CALCULATIONS



OWNER: David & Bryn Morgan

DESCRIPTION: Lot 5, Three Rivers Estates Section no. 1, Columbia County, Florida

BASE FLOOD ELEVATION: 34.4'

COMMUNITY PANEL NUMBER: 12023C0458C dated 02/04/2009

PROJECT: 28' x 46' HOME, 28' x 46' CONCRETE PAD AT GRADE.  
24' x 16' EXISTING HOME/10' x 12' EXISTING PORCH

FLOOD AREA (isolated) AT BASE FLOOD ELEVATION= 140 ACRES

FILL OF FLOODPLAIN: N/A

LOWEST AVERAGE GROUND ELEVATION AT BUILDING = 24.5'

This project will be located in the staging area of the Ichetucknee River and not the floodway.  
No step backwater calculations are required. The calculations are based on the amount of  
floodplain volume removed if the foundation is enclosed.

$$\% \text{ FLOODPLAIN AREA REMOVED} = \frac{1,792 \text{ s.f.} / 43,560 \text{ s.f.}}{140 \text{ acres}} = 0.0294\%$$

$$\text{FLOODPLAIN LEVEL INCREASE} = \frac{1,792 \text{ s.f.} \times 1.0 \text{ feet}}{140 \text{ ac.} \times 43,560 \text{ s.f.}} = 0.0003 \text{ foot}$$

*Curtis E. Keen 7/26/16*

Curtis E. Keen, PE #23836

EB #3761

Date: 07/26/16



## ONE FOOT RISE CERTIFICATION



OWNER: David & Bryn Morgan

DESCRIPTION: Lot 5, Three Rivers Estates Section no. 1, Columbia  
County, Florida

BASE FLOOD ELEVATION: 34.4'

COMMUNITY PANEL NUMBER: 12023C0458C dated 02/04/2009

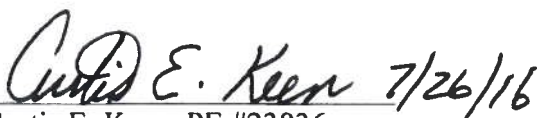
PROJECT: 28' x 46' HOME, 28'x46' CONCRETE PAD AT GRADE  
24' x 16' EXISTING HOME/10'x12' EXISTING PORCH

FLOOD AREA (isolated) AT BASE FLOOD ELEVATION= 140 ACRES

FILL OF FLOODPLAIN: N/A

LOWEST AVERAGE GROUND ELEVATION AT BUILDING = 24.5'

I hereby certify that the placement of the 28'x46' raised home on columns, 28'x 46' concrete pad at grade, 24'x 16' home/10'x12' proch will increase the Suwannee River floodplain less than one foot at the project location. The average ground elevation at the home is 24.5'. The lowest horizontal member of the home will be required to be set at 12 inches above the 100 year flood minimum.

  
Curtis E. Keen, PE #23836  
EB #3761

Date: 07/26/16

Copy: David Morgan



# NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

00-00-00-00533-000

Clerk's Office Stamp

Inst: 201612009778 Date: 06/13/2016 Time: 2:34PM  
Page 1 of 1 B: 1316 P: 1912, P. DeWitt Cason, Clerk of Court  
Columbia, County, By: BD  
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 5 unit 1 Three Rivers Estates  
a) Street (job) Address: 218 S.W. Riverside Ave Ft White FL 32038
2. General description of improvements: Rebuild Existing Cabin, Build new House
3. Owner Information or Lessee information if the Lessee contracted for the improvements:  
a) Name and address: David Morgan 218 S.W. Riverside Ave Ft White FL 32038  
b) Name and address of fee simple titleholder (if other than owner):  
c) Interest in property: Owner
4. Contractor Information  
a) Name and address: Mike Todd Construction 129 N.E. Colburn Ave Lake City FL 32055  
b) Telephone No.: 386-755-4387
5. Surety Information (if applicable, a copy of the payment bond is attached):  
a) Name and address:  
b) Amount of Bond:  
c) Telephone No.:
6. Lender  
a) Name and address:  
b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:  
a) Name and address: Mike Todd Construction 129 N.E. Colburn Ave Lake City FL 32055  
b) Telephone No.: 386-755-4387
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name: Mike Todd OF Mike Todd Construction Inc.  
b) Telephone No.: 386-755-4387
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. [Signature]  
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

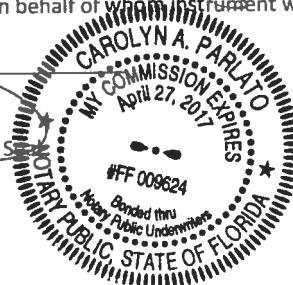
Contractor Mike Todd  
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 13 day of June, 2016, by:  
Mike Todd as Agent for David Morgan  
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known ☒ OR Produced Identification ☐ Type

Notary Signature

Notary Stamp or Seal



**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER 1604-37 CONTRACTOR Mike Todd PHONE 386-755-4387

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

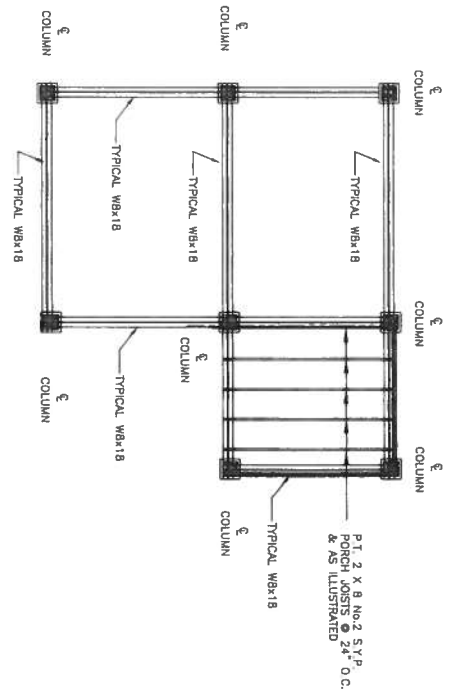
*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

<b>ELECTRICAL</b> <i>KIC 309</i>	Print Name <u>Math Burns Electric</u> Signature <u>Sec Attached</u> License #: <u>EC13006531</u> Phone #: <u>386-935-0444</u>
<b>MECHANICAL/A/C</b> <i>13</i>	Print Name <u>D.L. Williams Htg &amp; Cooling</u> Signature <u>D.L. Williams</u> License #: <u>CAC1816913</u> Phone #: <u>386-754-1987</u>
<b>PLUMBING/GAS</b> <i>298</i>	Print Name <u>Hometown Plumbing</u> Signature <u>D. R.</u> License #: <u>CFC1728890</u> Phone #: <u>386-754-6140</u>
<b>ROOFING</b>	Print Name <u>Mike Todd</u> Signature <u>[Signature]</u> License #: _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____
<b>FIRE SYSTEM/SPRINKLER</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	000222	Harold Houston Construction	[Signature]
CONCRETE FINISHER	000310	Parrish Enterprises	[Signature]
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
<i>PAINTING</i>	<i>1040</i>	<i>John Davis Painting</i>	<i>[Signature]</i>
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
<i>FLOOR COVERING</i>	<i>000710</i>	<i>Brown Van- Carpet One</i>	<i>[Signature]</i>
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

175tx #



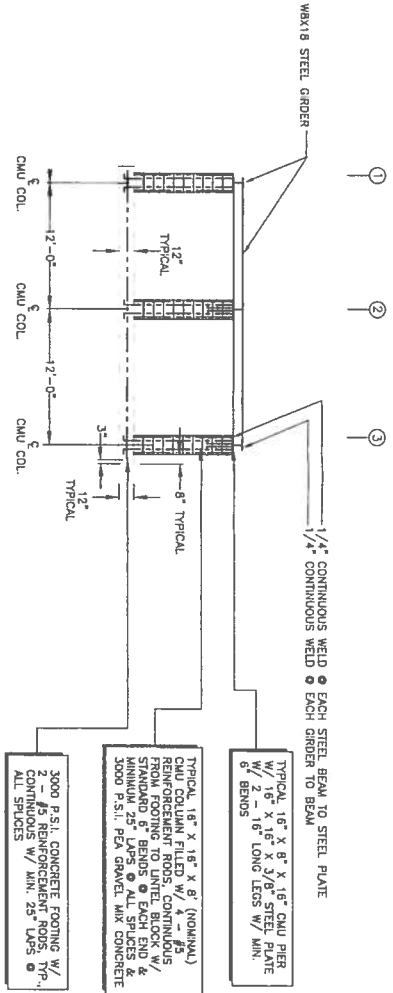
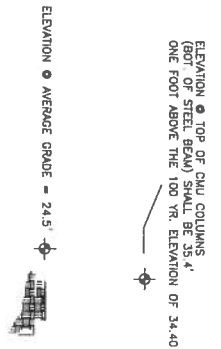
CERTIFICATION:  
THIS FOUNDATION PLAN FOR THE EXISTING MORGAN BUILDING  
WILL COMPLY WITH SECTION 1600 OF THE 2014 FLORIDA  
BUILDING CODE FOR A 120 MPH WIND LOAD, 3 SECOND O/CST,  
EXPOSURE B, WITH THE INTERNAL PRESSURE OF + 0.18 AND  
- 0.18 IN ACCORDANCE WITH THE REQUIREMENTS OF THE FDOT  
FOOTINGS, COLUMNS AND CONNECTIONS HOLE IS NOT

*Curtis E. Keen* 8/26/16

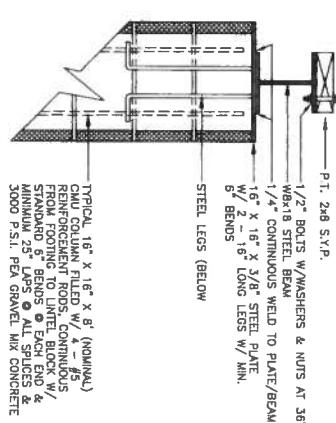
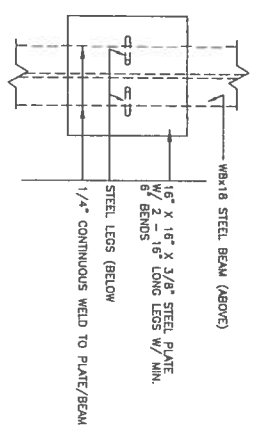
CURTIS E. KEEN, PE #23536



SCALE NOTE:  
ELEVATIONS: 1/8" = 1'-0"  
DETAILS/SECTIONS: N.T.S.



NOTE:  
THE PRESCRIPTIVE REQUIREMENTS DETAILED ON THESE PLANS ARE SPECIFIC TO THE FOUNDATION SYSTEM SHOWN. ANY DEVIATION FROM THESE REQUIREMENTS INDICATED IN THESE PLANS FOR ALTERNATE CONDITIONS OR SITES WILL NOT PROVIDE COMPLIANCE W/ APPLICABLE SECTION OF THE FLORIDA BUILDING CODE.



- REINFORCING STEEL SHALL BE 15 UNLESS OTHERWISE NOTED AND OBTAINED IN ACCORDANCE W/ ASTM A 615, A 616, A 617, OR A 706. ALL REINFORCING IN CMU'S IS TO EXCEED A MINIMUM OF 6" INTO ALL FOOTINGS W/ A MINIMUM BEND OF 6"
- FOOTINGS SHALL BE LEVEL OR STEPPED AS INDICATED ON THE PLAN VIEWS & DETAILED ELSEWHERE THIS SHEET
- 2000 P.S.I. SOIL BEARING PRESSURE SHALL BE OBTAINED UNDER ALL FOOTINGS & SLOES.
- GENERAL
- 1 Concrete construction shall meet the requirements of the American Concrete Institute Building Code requirements for Reinforced Concrete ACI 318, and Manual of Concrete Practice, Part 1, ACI 302 and ACI 308, except as noted.
- 2 All concrete shall be placed in accordance with ACI 318.
- 3 Aggregate for concrete shall meet the requirements of ASTM C 33.
- 4 Water for concrete shall be potable drinking water.
- 5 Optional: concrete for concrete shall be of 3 specimens for each 50 cubic yards of concrete tested on a split cylinder test, or 7 days and the average shall be 28 days. Testing will be paid for by owner.
- 6 Concrete shall have strength and characteristics as indicated elsewhere these plans.
- 7 Reinforcing steel shall meet the requirements of ASTM A615 or 60 unless otherwise noted.
- 8 Concrete shall be placed in a manner to prevent segregation.
- 9 Concrete shall be placed in a manner to prevent segregation.
- 10 Concrete shall be placed in a manner to prevent segregation.
- 11 Areas to receive concrete shall be clear of any debris and shall have reinforcing steel properly positioned prior to placing concrete placement.
- 12 Anchor Bolts shall meet the requirements of ASTM A 307.
- 13 All steel shall be galvanized steel, in such a manner that their full embedded length shall be covered with concrete.
- 14 Lap splices shall be 40 bar diameter or as shown on the drawings.
- 15 CMU and AGI specifications, placement of reinforcement of steel shall conform to current code and AGI specifications.
- 16 Reinforcing steel shall be free of loose rust, mill scale and coatings that would reduce bond.
- 17 Reinforcing bars shall not be reduced in section, lapped or bent other than indicated.
- 18 Support reinforcing steel on chairs.

PROJECT No. 10000-11.28.0.DWG  
SHEET No. 51.2B.0  
DATE 06/26/16

DESIGNED FOUNDATION SYSTEM ELEVATION VIEW  
REFERENCE SECTIONS & DETAILS  
MISC. NOTES, REFERENCES & INSTRUCTIONS

2016 KEEN ENGINEERING & SURVEYING, INC.

Curtis E. Keen, PE #23835  
Certification of Authorization #3761  
DATE 51.2B.0

MORGAN RESIDENCE  
COLUMBIA COUNTY, FLORIDA

KEEN ENGINEERING  
& SURVEYING, INC.  
2983 OR 417  
LIVE OAK, FLORIDA 32060  
386-262-4781  
ENG. LLC, EB 3761





# Noling Pest Control

Cory Noling, Owner  
Phone (386)454-3888  
(386) 935-2007  
P.O. Box 949

High Springs, Florida 32655-0949

## GRAPH AND SPECIFICATIONS

BUYER'S NAME David Morgan SELLER'S NAME White DATE 10-16-16

INSPECTION ADDRESS 220 SW River Side Ave CITY Alachua STATE FLA ZIP 32038

BUSINESS PHONE \_\_\_\_\_ HOME PHONE \_\_\_\_\_ INSPECTED BY: \_\_\_\_\_

Scale Used: \_\_\_\_\_ Well: ☐ Yes ☐ No How close to house? \_\_\_\_\_ ft. Additions? ☐ Yes ☐ No Access? \_\_\_\_\_

Additional specifications and comments: Graph not to scale

Remise Pro 180 gallons

Lineal Footage: \_\_\_\_\_ Square Footage: 1800 sq ft Contract Price: \_\_\_\_\_

Type Foundation: ☐ Floating Slab ☐ Supported Slab ☐ Monolithic Slab ☐ Crawl ☐ Basement Type Construction: ☐ CBS ☐ Woodframe ☐ Brick

Type Infestation Key	Location Key			General Conditions	
	F - Front R - Right L - Left RE - Rear C - Center				
T - Subterranean Termite Activity	Infested Area	Type	Location	Stucco below grade?	Yes <input type="checkbox"/> No <input type="checkbox"/>
D - Drywood Termite Activity	<input type="checkbox"/> Sills / Joists			Are Termites swarming?	Yes <input type="checkbox"/> No <input type="checkbox"/>
ST - Suspected Termite Activity	<input type="checkbox"/> Sub Floor			Wood supports on ground?	Yes <input type="checkbox"/> No <input type="checkbox"/>
P - Powder Post Beetles	<input type="checkbox"/> Finished Floor			Proper clearance for treating?	Yes <input type="checkbox"/> No <input type="checkbox"/>
W - Wood Borers	<input type="checkbox"/> Walls, Studs, Plates			Make A3access opening?	Yes <input type="checkbox"/> No <input type="checkbox"/>
M - Moisture Condition	<input type="checkbox"/> Interior Trim			Electricity available?	Yes <input type="checkbox"/> No <input type="checkbox"/>
F - Wood Decaying Fungi	<input type="checkbox"/> Paneled Wall			Bath trap opening?	Yes <input type="checkbox"/> No <input type="checkbox"/>
X - Damage Present	<input type="checkbox"/> Door/Window Frame			Shrubbery Light <input type="checkbox"/> Heavy <input type="checkbox"/>	
... - Vertical Drill Location	<input type="checkbox"/> Furniture/Cabinets			Type Floor Covering: _____	
	<input type="checkbox"/> Attic			Other: _____	
	<input type="checkbox"/> Roof				

VISIBLE DAMAGE WHICH EXISTS AT THE TIME OF THE INSPECTION IS DESIGNATED BY AN "X"

