

DATE 02/19/2007

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000025541

APPLICANT LEE SAPP PHONE 754.5882
ADDRESS 524 NW CARR COURT LAKE CITY FL 32055
OWNER MICHAEL & CAMILLE PRATER PHONE
ADDRESS 516 NW FIDDLERS WAY LANE LAKE CITY FL 32055
CONTRACTOR LEVY SAPP PHONE 386.754.5882
LOCATION OF PROPERTY 41-N TO FIDDLERS LN,TL GO APPROX. 1 MILE ON L.

TYPE DEVELOPMENT WOOD/LOG CABIN ESTIMATED COST OF CONSTRUCTION 144650.00
HEATED FLOOR AREA 2893.00 TOTAL AREA 3559.00 HEIGHT 22.60 STORIES 1
FOUNDATION CONC WALLS LOG/FRAMED ROOF PITCH 10'12 FLOOR CONC
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 27-2S-16-01770-151 SUBDIVISION COUNTRY LANE ESTATES
LOT 32 BLOCK A PHASE UNIT 0 TOTAL ACRES 4.35

CGC046560
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 06-01101N BLK JTH Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident
COMMENTS: 1ST. FLOOR TO BE @ 134.10'.MINIMUM FINISH FLOOR CONFIRMATION
LETTER REQUIRED. NOC ON FILE. LETTER RECEIVED
CONFIRMATION LETTER RECEIVED Check # or Cash 3974

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation 02/22/2007 RJ Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing 05/01/2007 HD date/app. by
Framing 02/15/2008 HD Insulation date/app. by
Rough-in plumbing above slab and below wood floor 02/15/2008 HD Electrical rough-in 02/15/2008 HD date/app. by
Heat & Air Duct 02/15/2008 HD Peri. beam (Lintel) 03/08/2007 RJ Pool date/app. by
Permanent power 08/29/2008 HD C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 725.00 CERTIFICATION FEE \$ 17.80 SURCHARGE FEE \$ 17.80
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ 0.00
FLOOD DEVELOPMENT FEE \$ 0.00 FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 835.60
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

DATE 02/19/2007

Columbia County Building Permit

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This Permit Expires One Year From the Date of Issue

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PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

CK#3974

For Office Use Only Application # 0612-46 Date Received 12/14/06 By GT Permit # 25541
 Application Approved by - Zoning Official BLK Date 05-02-07 Plans Examiner OKJTH Date 2-15-07
 Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3 Region cell
 Comments SITE PLAN ON PLANS 1st Floor to be at 134.1 minimum Finish Floor Confirmation
See CAL-TECH letter for EVALUATION HEIGHT EH, NOC, CEED 623-2409

Applicants Name Lee SAPP
L & L CONSTRUCTION, LLC Phone 754-5882
 Address 524 NW CARR CT. LAKE CITY, FL 32055
 Owners Name MICHAEL & CAMILLE PRATER Phone _____
 911 Address 516 NW FIDDLERS LN LAKE CITY, FL 32055
 Contractors Name LEVY SAPP Phone 754-5882
 Address 524 NW CARR CT. LAKE CITY, FL 32055
 Fee Simple Owner Name & Address MICHAEL & CAMILLE PRATER 13251 SW 224TH ST GOULDS, FL 33170
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address JOHN WELLER 5200 N KENDALL DR. MIAMI, FL 33156
 Mortgage Lenders Name & Address N/A

Property ID Number 27-25-16-01770-151 Estimated Cost of Construction \$185,000.00
 Subdivision Name COUNTRY LANE ESTATES Lot 32 Block 9 Unit _____ Phase _____
 Driving Directions NORTH ON 41 - WEST ON FIDDLERS LN - APPROX
1 MILE ON LEFT

Type of Construction WOOD (LOG HOME) Number of Existing Dwellings on Property 0
 Total Acreage 4.35 Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 132' Side 109' Side 141'-8" Rear 474'
 Total Building Height 22'-6" Number of Stories 2 Heated Floor Area 2893 Roof Pitch 10:12
TOTAL 3559

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

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LEVY SAPP
 Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
 COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
 this 14th day of December 2006.
 Personally known ✓ or Produced Identification _____

Levy Sapp
 Contractor Signature
 Contractors License Number 26-C046560
 Competency Card Number _____

NOTARY STAMP/SEAL



DANIELLE L. MESSER
 MY COMMISSION # DD 233085
 EXPIRES: July 16, 2007
 Bonded Thru Budget Notary Services

Danielle L. Messer

ATTN: Building Dept.

Feb. 2008

My name is Michael Prater.

I am the owner of the Log Home being built at
516 N.W. Fiddlers LN, Lake City Fla. 32055.

I am in need of extending my building permit.

Due to health issues of my contractor Mr. Lee Sapp

who has had a stroke, the building has taken longer to
complete. John McIntosh of McIntosh Construction Services

is building the home working with Mr. Sapp. My Permit
No. is 000025541. I can be reached at 305-796-1492

and John McIntosh can be reached at 386-365-8027

Thank you very much for your help

Michael Prater

Michael Prater

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May 2008

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Notice of Treatment

Applicator: **Florida Pest Control & Chemical Co. (www.flapest.com)**

Address: 13454 Ave

City: FLC Phone: 7521703 ~~2041~~

Site Location: Subdivision N/A # 25541

Lot # N/A Block# Permit #

Address 514 NW Fiddlers Way

Product used	Active Ingredient	% Concentration
--------------	-------------------	-----------------

<input type="checkbox"/> Premise	Imidacloprid	0.1%
----------------------------------	--------------	------

<input checked="" type="checkbox"/> Termidor	Fipronil	0.12%
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<input type="checkbox"/> Bora-Care	Disodium Octaborate Tetrahydrate	23.0%
------------------------------------	----------------------------------	-------

Type treatment:

☒ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

Dwelling

228

100 gals

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line JDR.

6/21/07
Date

0830
Time

James D. Parker
Print Technician's Name

Remarks: NOTICE OF TREATMENT Left in Permit Box
NO Electric Panel installed

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05



WILLIAM N. KITCHEN

PROFESSIONAL SURVEYOR AND MAPPER
152 N. MARION AVENUE
LAKE CITY, FLORIDA 32055
PHONE (386) 755-7786 FAX (386) 755-5506
E-MAIL BSSK@BELLSOUTH.NET



DATE : 8/28/2008

To Whom It May Concern:

RE: LEVY SAPP, FINISH FLOOR ELEVATION

SUBJECT **Parcel:** 27-2S-16-01770-151 PERMIT NO. 25541
516 NW FIDDLERS WAY LANE, LAKE CITY, 32055

IS NOT IN A FLOOD ZONE ACCORDING TO FEMA FLOOD INSURANCE RATE
MAP NO. 120070 0125 B DATED JANUARY 6, 1988.

AND THE TOP OF FINISH FLOOR IS AT AN ELEVATION OF 134.31 FEET.

PERMIT STATES, 1st FLOOR TO BE AT 134.10 FEET MINIMUM .

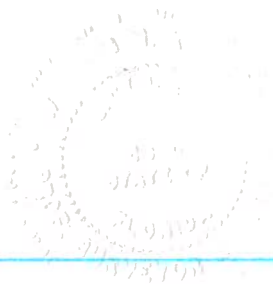
AND THE FINISH FLOOR IS 12 INCHES OR MORE ABOVE HIGHEST ADJACENT
GRADE.

THANK YOU,

WILLIAM N. KITCHEN PSM # 5490

William N. Kitchen

9-2-2008





Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

LABORATORIES

P.O. Box 1625 • Lake City, FL 32056-1625
6919 Distribution Avenue S., Unit #5 • Jacksonville, FL 32257

Tel. (386) 755-3633 • Fax (386) 752-5456
Tel. (904) 262-4046 • Fax (904) 262-4047

December 12, 2006

L & L Construction
524 N. W. Carr Court
Lake City, Florida 32055

Attention: Lee Sapp

Reference: Proposed Prater Residence
516 N. W. Fiddlers Lane
Lake City, Florida
Tax Parcel No.: 27-2S-16-01770-151
Lot 32, Block A, Country Lane Estates Subdivision
Columbia County, Florida

Dear Mr. Sapp,

Cal-Tech Testing, Inc. has completed an investigation and evaluation of the site for the Prater residence to be constructed at the referenced location in Columbia County, Florida. The purposes of our work were to evaluate the potential for flooding of a new home to be located at the site and to provide recommendations for selecting a finished floor elevation.

Based upon the U.S.G.S. quadrangle map of the area and elevations determined on site, the centerline of Fiddlers Lane adjacent the site has an elevation of approximately 137.1 feet. The ground surface at the center of the home site has an elevation of approximately 131.1 feet. Thus the ground surface at the center of the home site is approximately 6.0 feet lower than the centerline of the adjacent roadway.

Columbia County regulations require the finished floor elevation of a new residence be at least 12 inches above the elevation of the adjacent roadway unless it can be shown that such an elevation is not required to substantially reduce the likelihood of flooding.

Based upon the FEMA flood map of the area, the home site is positioned in Zone "X" implying an area determined to be outside the 500-year flood plane. However, the home site is also positioned between two areas identified by the flood map as Zone "A" flood areas. These Zone "A" flood areas are areas that are believed to be inundated by a 100-year flood but for which no base flood elevation has been determined. Based upon the flood area delineated by the flood map and the U.S.G.S. quadrangle map, the

FILE COPY

flood elevation indicated by the flood map. Given the general lack of accuracy in not only FEMA flood maps but the U.S.G.S. quadrangle maps, a separation of 1 to 2 feet between the ground surface elevation and the estimated flood elevation is believed to be too little. As such, we recommend the home site be raised to provide additional separation. Specifically, we recommend the home site be elevated such that the finished floor elevation is a minimum of 3 feet above the existing ground surface elevation at the center of the home site. This will provide an estimated 4 to 5 feet of separation between the finished floor elevation and the estimated flood elevation for the immediate area. In other words the finished floor elevation should be no more than 3.0 feet below the elevation of the centerline of the roadway adjacent the site.

Note specifically that providing the recommended finished floor elevation is no guarantee that flooding of the site will not occur for all possible conditions. Providing the recommend finished floor elevation should however significantly reduce the likelihood of significant flooding of the home.

We recommend the finished floor elevation of the home be no more than 3.0 feet below the elevation of the centerline of Fiddlers Lane adjacent the site. This corresponds to an elevation of 134.1 feet based upon a roadway centerline elevation of 137.1 feet. Raising the finished floor elevation to 1.0 foot above the adjacent roadway should not be required.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be of further assistance.

Respectfully submitted,
Cal-Tech Testing, Inc.



Linda Creamer
President / CEO



John C. Dorman, Jr., Ph.D., P.E.
Geotechnical Engineer

52612
12/12/08

FILE COPY

PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			FL 4242-1
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			FL. 6029.7
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding <i>Hardie</i>			FL. 889-122
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			Shingles Hip SS
D. ROOFING PRODUCTS			728.4, 728.5, 728
1. Asphalt Shingles	<i>E.I.K.</i>	<i>Shingles</i>	
2. Underlayments			30RF → FL. 1814.3
3. Roofing Fasteners			15RF → FL. 1814.1
4. Non-structural Metal Rf	<i>Wheeling Corrugations Co.</i>	<i>metal roof</i>	FL. 5190
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

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3. EIFS			
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5. Curtain walls			
6. Wall louver			
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D. ROOFING PRODUCTS			728.4, 728.5, 728
1. Asphalt Shingles	ELK	Shingles	
2. Underlayments			30RF FL 1814.3
3. Roofing Fasteners			15RF FL 1814.1
4. Non-structural Metal Rf	Wheeling Corrugations Co.	Roofing Panels	FL 5190
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

DE
DANSCO ENGINEERING, LLC

P.O. Box 3400
Apollo Beach, FL 33572

Telephone (813) 645-0166
Facsimile (813) 645-9698
E-Mail: trusses@danscoengineering.com
CA 25948

P.O. BOX 1049
Summerville, SC 29484

Telephone (843) 875-4912
Facsimile (843) 871-0603

C00646

The truss drawing(s) listed below have been prepared by 84 Components under my direct supervision based on the parameters provided by the truss designers.

Job: 11506
Builder: JOHN MCINTOSH
Project: DANIEL BOONE LOG HOMES
Location: 514 NW FIDDLERS LANE, LAKE CITY, FL

02 Truss Designs

DE Job #84AP-270015

Trusses: t1, t1a



Date: January 18, 2007

Samuel A. Greenberg, P.E.
FL Reg. No. 34245

The seal on these drawings indicate acceptance of professional engineering responsibility solely for the truss components shown. FBC-2004 Sec. 1609, ASCE 7-02. The suitability and use of this component for any particular building is the responsibility of the building designer, per ANSI/TPI-2002 Sec. 2.

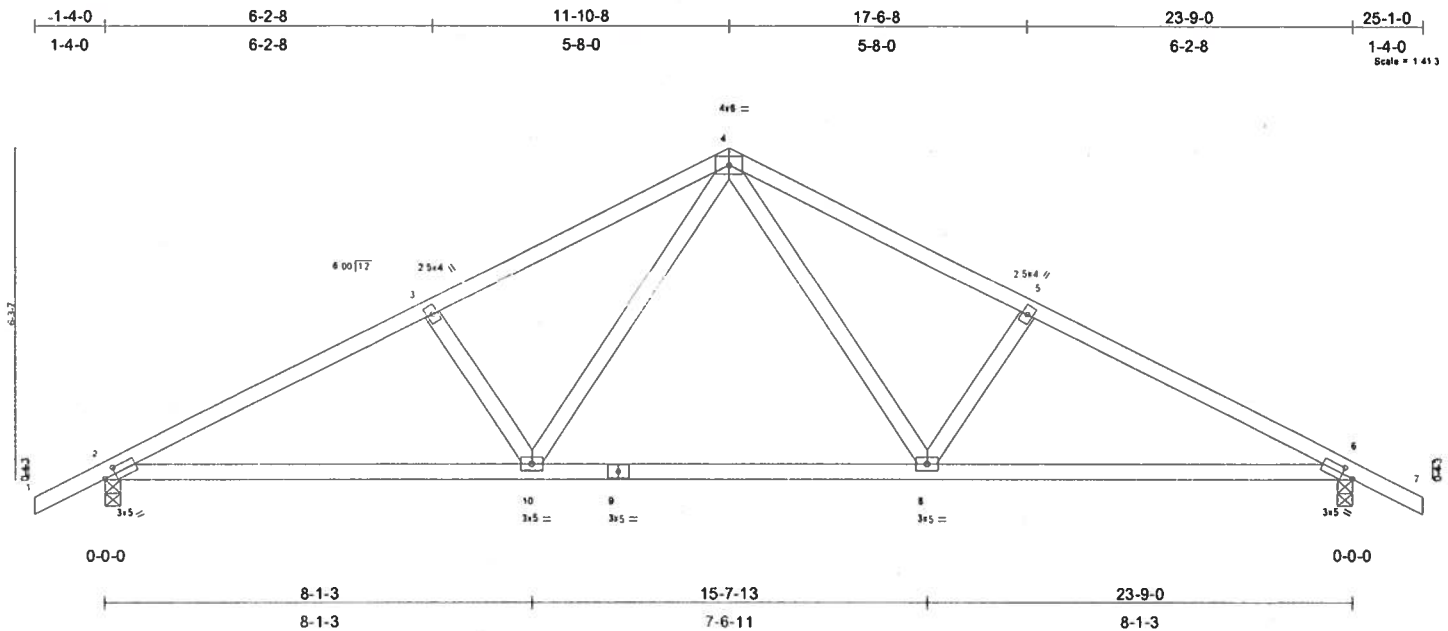


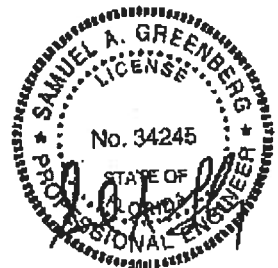
Plate Offsets (X,Y): [2 0-2-10 0-1-8], [6 0-2-10 0-1-8]										
LOADING (psf)		SPACING 2-0-0		CSI		DEFL		PLATES		GRIP
TCLL	20.0	Plates Increase	1.25	TC	0.30	in (loc)	l/defl	L/d	MT20	244/190
TCDL	7.0	Lumber Increase	1.25	BC	0.44	Vert(LL)	-0.09 2-10	>999	360	
BCLL	0.0	Rep Stress Incr	YES	WB	0.21	Vert(TL)	-0.26 2-10	>999	240	
BCDL	10.0	Code FBC2004/TPI2002		(Matrix)		Horz(TL)	0.05 6	n/a	n/a	
									Weight: 110 lb	

BRACING	
TOP CHORD	Structural wood sheathing directly applied or 4-10-7 oc purlins.
BOT CHORD	Rigid ceiling directly applied or 8-5-11 oc bracing.

FORCES (lb) - Maximum Compression/Maximum Tension
TOP CHORD 1-2=0/31, 2-3=-1498/803, 3-4=-1323/792, 4-5=-1323/792, 5-6=-1498/803, 6-7=0/31
BOT CHORD 2-10=-548/1272, 9-10=-237/860, 8-9=-237/860, 6-8=-548/1272
WEBS 3-10=-287/345, 4-10=-237/485, 4-8=-237/485, 5-8=-287/345

- 1) This truss has been checked for uniform roof live load only, except as noted.
- 2) Wind: ASCE 7-02, 120mph (3-second gust); h=30ft; TCDF=4.2psf; BCDF=6.0psf; Category II; Exp B; enclosed; MWFRS: gable end zone and C-C Exterior(2) zone; cantilever left and right exposed : Lumber DOL=1.60 plate gnp DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- 3) This truss requires plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection.
- 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 396 lb uplift at joint 2 and 396 lb uplift at joint 6.

LOAD CASE(S) Standard



Samuel A. Greenberg, P.E.
DANSCO Engineering, LLC
P.O. Box 3409
Apollo Beach, FL 33572
CA 25948

Date: 1/9/07

Warning!—Verify design parameters and read notes before use.

This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer – not truss designer or truss engineer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to ensure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult *AISI TFP-1 National Design Standard for Metal Plate Connected Wood Truss Construction* and *BCSI-1-03 Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses* from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53719.

Job	Truss	Truss Type	Qty	Ply	LOUIS MARTINO
11506	T1A	ROOF TRUSS	1	1	Job Reference (optional)
84 COMPONENTS, APOPKA, FL					
6.300 s Apr 19 2006 MiTek Industries, Inc. Mon Jan 08 14:32:49 2007 Page 1					

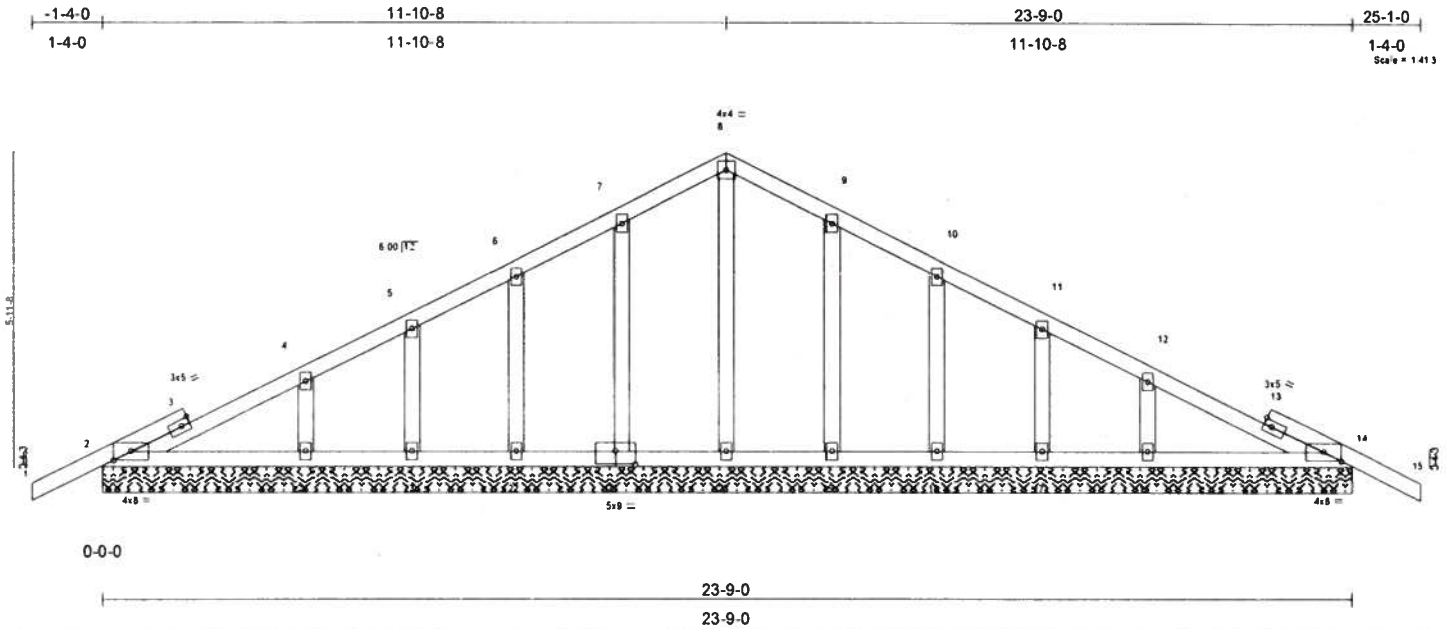


Plate Offsets (X,Y): [2-0-4-0-0-2-1], [14-0-4-0-0-2-1], [21-0-4-8-0-3-0]

LOADING (psf)	SPACING	CSI	DEFL	in (loc)	I/defl	L/d	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.14	Vert(LL)	0.00	15	n/r	MT20	244/190
TCDL 7.0	Plates Increase 1.25	BC 0.08	Vert(TL)	0.01	15	n/r		
BCLL 0.0	Lumber Increase 1.25	WB 0.07	Horz(TL)	0.01	14	n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)						
	Code FBC2004/TPI2002						Weight: 125 lb	

LUMBER
 TOP CHORD 2 X 4 SYP No.2
 BOT CHORD 2 X 4 SYP No.2
 OTHERS 2 X 4 SYP No.3

BRACING
 TOP CHORD Structural wood sheathing directly applied or 10-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.

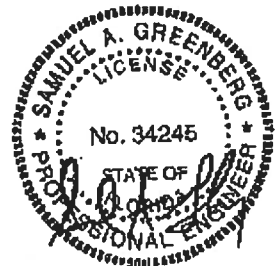
REACTIONS (lb/size) 2=196/23-9-0, 14=197/23-9-0, 20=173/23-9-0, 21=149/23-9-0, 22=156/23-9-0, 23=106/23-9-0, 24=258/23-9-0, 19=146/23-9-0, 18=158/23-9-0, 17=105/23-9-0, 16=258/23-9-0
 Max Horz 2=90(load case 5)
 Max Uplift 2=-136(load case 6), 14=-148(load case 7), 21=-49(load case 6), 22=-62(load case 7), 23=-63(load case 6), 24=-132(load case 6), 19=-48(load case 6), 18=-59(load case 6), 17=-62(load case 7), 16=-136(load case 7)

FORCES (lb) - Maximum Compression/Maximum Tension
 TOP CHORD 1-2=0/31, 2-3=-99/35, 3-4=-90/77, 4-5=-43/67, 5-6=-10/94, 6-7=0/165, 7-8=0/231, 8-9=0/231, 9-10=0/169, 10-11=0/98, 11-12=-7/41, 12-13=-58/74, 13-14=-70/23, 14-15=0/31
 BOT CHORD 2-24=-27/169, 23-24=-27/169, 22-23=-27/169, 21-22=-27/169, 20-21=-24/166, 19-20=-24/166, 18-19=-24/166, 17-18=-24/166, 16-17=-24/166, 14-16=-24/166
 WEBS 8-20=-130/0, 7-21=-110/124, 6-22=-114/143, 5-23=-82/116, 4-24=-180/184, 9-19=-108/122, 10-18=-114/143, 11-17=-82/116, 12-16=-180/184

NOTES

- 1) This truss has been checked for uniform roof live load only, except as noted.
- 2) Wind: ASCE 7-02: 120mph (3-second gust); h=30ft; TCCL=4.2psf; BCDL=6.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Exterior(2) zone; cantilever left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified.
- 3) All plates are 2.5x4 MT20 unless otherwise indicated.
- 4) This truss requires plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection.
- 5) Gable requires continuous bottom chord bearing.
- 6) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 136 lb uplift at joint 2, 148 lb uplift at joint 14, 49 lb uplift at joint 21, 62 lb uplift at joint 22, 63 lb uplift at joint 23, 132 lb uplift at joint 24, 48 lb uplift at joint 19, 59 lb uplift at joint 18, 62 lb uplift at joint 17 and 136 lb uplift at joint 16.

LOAD CASE(S) Standard



Samuel A. Greenberg, P.E.
 DANSCO Engineering, LLC
 P.O. Box 3403
 Apollo Beach, FL 33572
 CA 25948

Date: 1/9/07

Warning!—Verify design parameters and read notes before use.

This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer – not truss designer or truss engineer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to ensure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult ANSI/TPI-1 National Design Standard for Metal Plate Connected Wood Truss Construction and BCSI-1-03 Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53719.

25541



From: The Columbia County Building & Zoning Department
Plan Review
135 NE Hernando Av.
P.O. Box 1529
Lake City Florida 32056-1529

Reference to a building permit application Number: **0612-46**

Applicant Lee Sapp Contractor Owner Michael Lee & Camille Prater, Property ID 27-2S-16-01770-151

On the date of December 15, 2006 application 0612- 46 and plans for construction of single family dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

Please include application number 0612-46 and when making reference to this application.

This is a plan review for compliance with the Florida Residential Code 2004 only and doesn't make any consideration toward the land use and zoning requirements.

Over

- 1. Received 2/12/07** Please provide a copy of a signed released site plan from the Columbia County Environmental Health Department which confirms approval of the waste water disposal system.
- 2. Received 2/12/07** Please submit a recorded (with the Columbia County Clerk Office) the attached notice of commencement before any inspections can be preformed by the Columbia County Building Department.
- 3. Received 2/12/07** Please provide a document which show Michael Lee & Camille Prater title holders of lot 32 block 7 Country Lane Estates Columbia County Property Appraiser ID 27-2S-16-01770-151.
- 4.** Please submit the required forms to show compliance with the FBC-2004 chapter 13 energy efficiency Sections 13-101.2.1 New construction: new residential construction shall comply with this code by using the following compliance methods: Subchapter 13-6, Residential buildings compliance methods. Single-family residential buildings and Multiple-family buildings of three stories or less shall comply with this chapter of the code. This subchapter contains three compliance methods:
 - Method A: Whole Building Performance Method
 - Method B: Component Prescriptive Method
 - Method C: Limited Applications Prescriptive Method
- 5. Received 2/12/07** The plans a submitted will require Mr. John Albert Weller Architect to attests that the structural plans comply with the Florida Residential Building Code 2004 Wind Load Engineering Summary,

calculations and any details required: Plans or specifications must state compliance with FBC Section 1609.

The following information must be shown as per section 1603.1.4 FBC

- a. Basic wind speed (MPH)
- b. Wind importance factor (I) and building category
- c. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
- d. The applicable internal pressure coefficient
- e. Components and Cladding. The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional

Thank You:

Joe Haltiwanger
Plan Examiner
Columbia County Building
Department

Columbia County Property Appraiser

DB Last Updated: 11/20/2006

Parcel: 27-2S-16-01770-151

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	PRATER MICHAEL LEE & CAMILLE		
Site Address			
Mailing Address	& MARY ANN MARTINO (JTWRS) 13251 SW 224TH ST GOULDS, FL 33170		
Use Desc. (code)	VACANT (000000)		
Neighborhood	27216.02	Tax District	3
UD Codes	MKTA03	Market Area	03
Total Land Area	0.500 ACRES		
Description	COMM AT S R/W OF FIDDLERS WAY & NE COR OF LOT 32, RUN SOUTH 206.36 FT FOR POB, CONT SOUTH 118.96 FT, W 186.07 FT, NORTH 118.93 FT, E 183.51 FT TO POB PART OF LOT 32, BLK A COUNTRY LANE ESTATES		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$7,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$7,000.00

Just Value	\$7,000.00
Class Value	\$0.00
Assessed Value	\$7,000.00
Exempt Value	\$0.00
Total Taxable Value	\$7,000.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
6/22/2006	1087/2360	WD	V	U	06	\$100.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
			NONE			

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
						NONE

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	.500 AC	1.00/1.00/1.00/1.00	\$14,000.00	\$7,000.00

Columbia County Property Appraiser

DB Last Updated: 11/20/2006

1 of 1

FILE COPY

This Instrument Prepared by & return to:
Name: MICHAEL LEE PRATER
Address: 13251 SW 224TH ST
GOULDS, FL 33170

Inst:2006015209 Date:06/23/2006 Time:14:42
Doc Stamp-Deed : 0.70
DC, P. Dewitt Cason, Columbia County B:1087 P:2360

Parcel I.D. #:

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 22nd day of June, A.D. 2006, by

MICHAEL LEE PRATER and CAMILLE PRATER, HIS WIFE, hereinafter called the grantors, to
MICHAEL LEE PRATER and CAMILLE PRATER, HIS WIFE, and MARY ANN MARTINO, JOINT TENANTS
WITH RIGHTS OF SURVIVORSHIP whose post office address is
13251 SW 224TH ST, GOULDS, FL 33170, hereinafter called the grantees:

(Wherever used herein the terms "grantors" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantors, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, do hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in Columbia County, State of FLORIDA, viz:

PARCEL A

PART OF LOT 32 BLOCK "A" "COUNTRY LANE ESTATES" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 5, PAGE 77 AND 77A AND 77B OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

COMMENCE AT A CONCRETE MONUMENT LS 1079, ON THE SOUTH RIGHT-A-WAY LINE OF FIDDLERS WAY, MARKING THE NE CORNER OF SAID LOT 32; THENCE S.01°13'59"E., ALONG THE EAST LINE OF SAID LOT 32, A DISTANCE OF 206.36 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.01°13'59"E., ALONG SAID EAST LINE, 118.96 FEET; THENCE WEST, 186.07 FEET; THENCE NORTH 118.93 FEET; THENCE EAST 183.51 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH A 60 FOOT WIDE EASEMENT FOR INGRESS AND EGRESS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT A CONCRETE MONUMENT LS 1079, ON THE SOUTH RIGHT-A-WAY LINE OF FIDDLERS WAY AND BEING THE NE CORNER OF LOT 32 BLOCK "A" "COUNTY LANE ESTATES" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 5, PAGE 77 AND 77A AND 77B OF THE PUBLIC RECORD OF COLUMBIA COUNTY, FLORIDA, THENCE S.01°13'59"E., ALONG THE EAST LINE OF SAID LOT 32, A DISTANCE OF 206.36 FEET; THENCE WEST, A DISTANCE OF 60.00 FEET; THENCE N.01°13'59"W., A DISTANCE OF 205.06 FEET TO THE SOUTH RIGHT-A-WAY LINE OF FIDDLERS WAY; THENCE N.88°45'39"E., 60.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PROPERTY IS NOT THE HOMESTEAD OF THE GRANTORS.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantors hereby covenant with said grantees that they are lawfully seized of said land in fee simple; that they have good right and lawful authority to sell and convey said land, and hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantors have signed and sealed these presents, the day and year first above written.

FILE COPY

Signed, sealed and delivered in the presence of:

Kathy R. Lord

Witness Signature

Kathy R. Lord

Printed Name

Louis Martino

Witness Signature

Louis Martino

Printed Name

Michael Lee Prater L.S.

MICHAEL LEE PRATER

Address:

13251 SW 224 ST,
GOULDS, FL 33170

Camille Prater L.S.

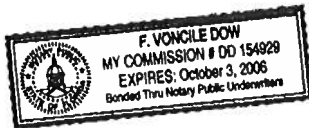
CAMILLE PRATER

Address:

13251 SW 224 ST,
GOULDS, FL 33170

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 22nd day of June, 2006, by MICHAEL LEE PRATER and CAMILLE PRATER, who are known to me or who have produced Id B/L as identification.



F. Voncile Dow

Notary Public

My commission expires 10/3/06

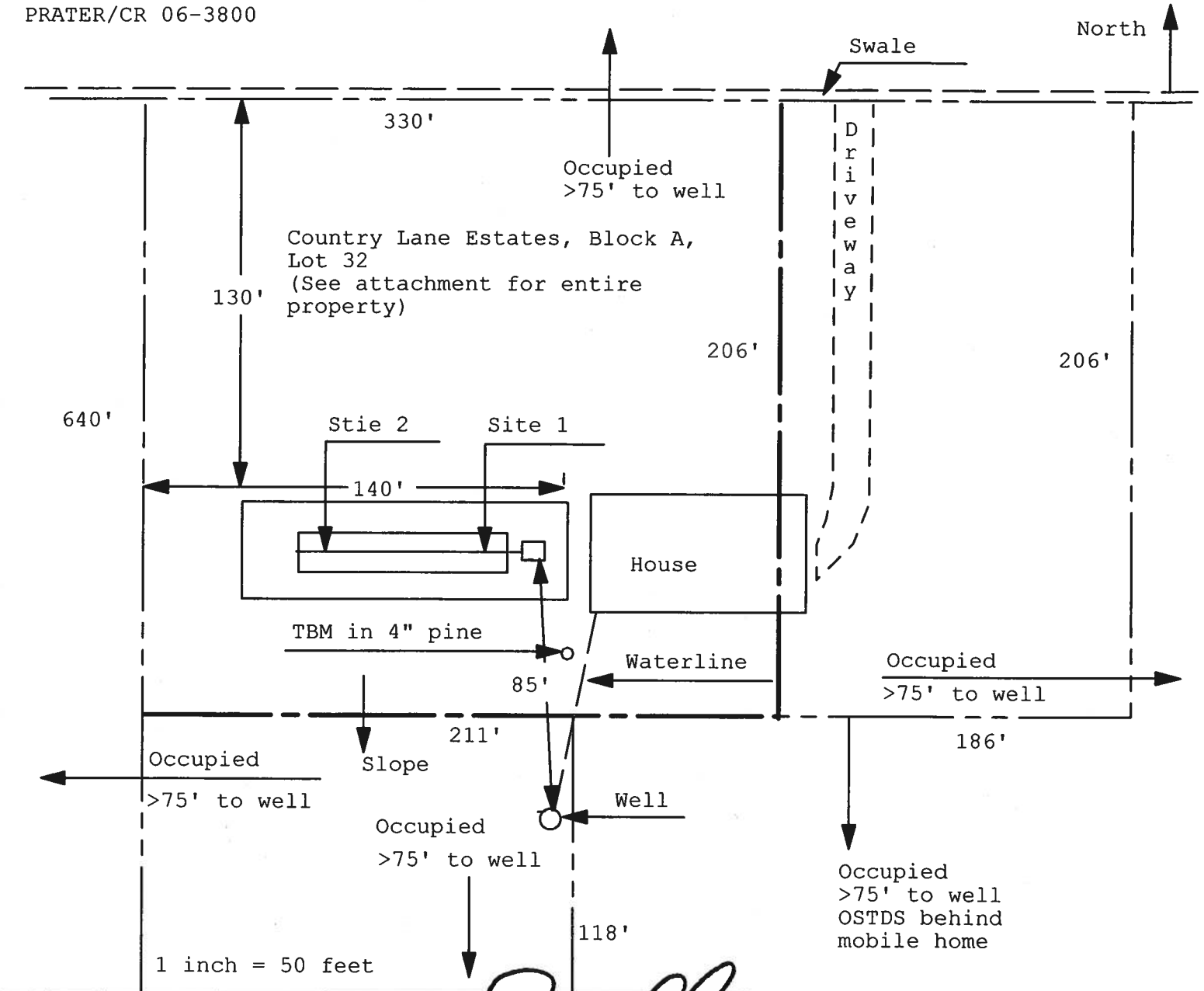
Inst:2006015209 Date:06/23/2006 Time:14:42
Doc Stamp-Deed : 0.70
DC,P.DeWitt Cason,Columbia County B:1087 P:2361

FILE COPY

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 06-01101N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

PRATER/CR 06-3800



Site Plan Submitted By Paul Lopez Date 12/7/06
Plan Approved X Not Approved Date

By Silvia Headdy ESII 1-4-07 CPHU

Notes: Columbia CHD

FILE COPY

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA*****THIS DOCUMENT MUST BE RECORDED AT THE COUNTY
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.*****

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number R01770-132

1. Description of property: (legal description of the property and street address or 911 address)

514 N.W. Fiddlers Lane LAKE CITY FL 3205516-2S-27 0200/0200 4.51 acres LOT 32 Block A COUNTRY LANE
ESTATES S/D ORB 824-1071 CT 1047-1016 WD 1050-2433
WD 1080-1459, 1460

2. General description of improvement:
- Building Log Home on Property

3. Owner Name & Address Michael and Camille Prater 13251 S.W.
224 St. Coulds FL 33170 Interest in Property OWNERS

4. Name & Address of Fee Simple Owner (if other than owner):
- N/A

5. Contractor Name
- John McIntosh

Phone Number

386 365 8027 cellAddress 170 N.W. Concord Ct. Lake City FL 32055386 755 2968 Hm

6. Surety Holders Name

Address

Amount of Bond

Inst: 2007004124 Date: 02/21/2007 Time: 08:48

S. J. DC, P. DeWitt Cason, Columbia County B: 1111 P: 864

7. Lender Name
- N/A

Address

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7: Florida Statutes:

Name Louis Martino

Phone Number

386-623-5117 cellAddress P.O. Box 75 White Springs FL 32096386-397-2619

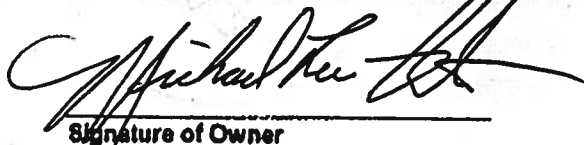
9. In addition to himself/herself the owner designates
- Louis Martino
- of
-
- SAME Address above
- to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee 386-397-2619 Hm 386-623-5117 cell

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording,
-
- (Unless a different date is specified) _____

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.



Signature of Owner

Sworn to (or affirmed) and subscribed before
day of 1/11, 2007

NOTARY STAMP/SEAL


Rocio Sanchez
MY COMMISSION # DD241886 EXPIRES
August 17, 2007
BONDED THRU TROY FAIN INSURANCE, INC.
Signature of Notary

FILE COPY

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number **27-2S-16-01770-151**

Building permit No. **000025541**

Use Classification **WOOD/LOG CABIN**

Fire: **0.00**

Permit Holder **LEVY SAPP**

Waste: **0.00**

Owner of Building **MICHAEL & CAMILLE PRATER**

Total: **0.00**

Location: **516 NW FIDDLERS WAY, LAKE CITY, FL 32055**

Date: **12/03/2010**

Harry Dickson

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

