

DATE 03/02/2009

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027664

APPLICANT RICK GAYHEART PHONE 386.497.1690
ADDRESS 195 SW ROUNDHOUSE COURT FT. WHITE FL 32038
OWNER B.G. YAGUAL(R. GAYHEART,LESSEE) PHONE 386.497.1690
ADDRESS 195 SW ROUND HOUSE COURT FT. WHITE FL 32038
CONTRACTOR RICK GAYHEART PHONE 386.497.1690
LOCATION OF PROPERTY 47-S TO US 27,TL GO TO C-18,TL 1/2 MILE TO DEPOT WAY
TR, GO TO END, TL @ ROUND HOUSE COURT,LOT 13 @ END ON L.
TYPE DEVELOPMENT METAL GARAGE ESTIMATED COST OF CONSTRUCTION 10000.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING FT, WHITE MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT REAR SIDE
NO. EX.D.U. 1 FLOOD ZONE FW DEVELOPMENT PERMIT NO.

PARCEL ID 34-6S-16-04059-113 SUBDIVISION FT. WHITE STATION
LOT 13 BLOCK PHASE UNIT TOTAL ACRES 0.65

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
FW-EXISTING 08-0590-R RTJ N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: REFER TO ENGINEERS LETTER CONCERNING INSPECTIONS.TOWN OF FT. WHITE
LETTER ON FILE.

Check # or Cash CASH REC'D.

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 50.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 50.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0901-27 Date Received 1/20 By JW Permit # 27664

Zoning Official _____ Date _____ Flood Zone _____ Land Use _____ Zoning _____

FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner 14 Date 2/25/09

Comments *Refer to Engineers Letter concerning inspections*

☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____

☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☒ F W Comp. letter on file

IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____

School _____ = TOTAL _____

Septic Permit No. 08-0590R Fax _____

Name Authorized Person Signing Permit Rick Gayheart Phone 386 497-1690

Address 195 SW Roundhouse Ct FT. White FL 32038

Owners Name Rick Gayheart - Lessee Phone 386 497-1690

911 Address Same as above

Contractors Name Rick Gayheart Phone 386-497-1690

Address 195 SW Roundhouse Ct FT. White FL 32038

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 34-65-16-04059-113 Estimated Cost of Construction 10,000.00

Subdivision Name FT. White Station Lot 13 Block _____ Unit _____ Phase _____

Driving Directions 131 south to CR 18 take right go 3 miles to Depot Rd on Left go to Cabose make Left go to Roundhouse make right third

Number of Existing Dwellings on Property 1

Construction of Probuilt metal Garage Total Acreage 0.65AC Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 11'

Actual Distance of Structure from Property Lines - Front 25 Side 15 Side 15 Rear 15

Number of Stories 1 Heated Floor Area 0 Total Floor Area 36x40 1,440 Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

\$150.00
2.25.09
2.25.09

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment


According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment. even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20____.
Personally known _____ or Produced Identification _____

State of Florida Notary Signature (For the Contractor) SEAL:



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

NOTARIZED DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$75,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved for yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that if I am not physically doing the work or physically supervising free labor from friends or relatives, that I must hire licensed contractors, i.e. electrician, plumber, mechanical (heating & air conditioning), etc. I further understand that the violation of not physically doing the work, and the use of unlicensed contractors at the construction site, will cause the project to be shut down by the inspection staff of the Columbia County Building Department. Additionally, state statutes allows for additional penalties. I also understand that if this violation does occur, that in order for the job to proceed, I will have a licensed contractor come in and obtain a new permit as taking the job over. I understand that if I hire subcontractors under a contract price, that they must be licensed to work in Columbia County, i.e. masonry, drywall, carpentry. Contractors licensed by the Columbia County Contractor Licensing Section or the State of Florida are required to have worker's compensation and liability coverage.

TYPE OF CONSTRUCTION

- ☐ Single Family Dwelling ☐ Two-Family Residence ☐ Farm Outbuilding
☒ Other pro built Garage ☐ Addition, Alteration, Modification or other Improvement

I, Rick Gayheart, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

Owner Builder Signature

Date

1-9-2009

FLORIDA NOTARY

The above signer is personally known to me or produced identification _____

Notary Signature Laurie Hodson Date 1-20-09



PERSONALLY KNOWN FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7). Date 1-20-09 Building Official/Representative [Signature]

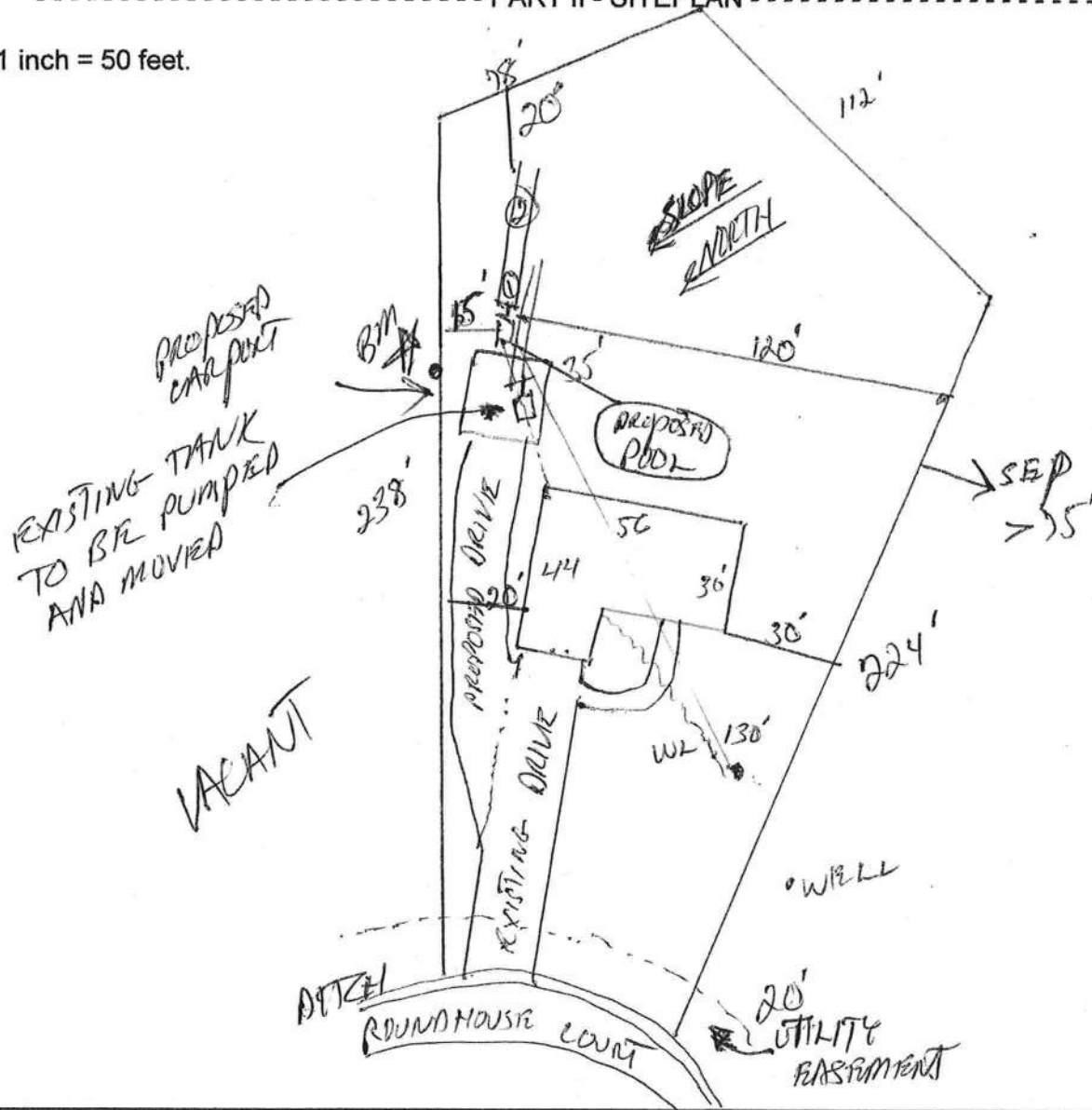
08-590-R

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: Rock D 7-0

MASTER CONTRACTOR

Plan Approved _____

Not Approved _____

Date _____

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Town of Fort White

Post Office Box 129 Fort White, Florida 32038-0129
Town Hall - (386) 497-2321 • Public Works - (386) 497-3345 • Fax (386) 497-4946
Email: townofftwhite@alltel.net • Web site: Townoffortwhitefl.com

CERTIFICATE OF COMPLIANCE & REQUEST FOR ISSUANCE OF BUILDING PERMIT

The undersigned hereby certify the following property is in compliance with the Town of Fort White's Comprehensive Plan and Land Development Regulations for the stated development purposes:

FILE No. **08-004**

OWNER'S NAME: Rick Gayheart

ADDRESS: 195 SW Roundhouse Ct. Ft. White, FL 32038

PROPERTY DESCRIPTION: Lot 13- Fort White Station, Columbia County
w/ parcel number #04059-113

DEVELOPMENT: Probuilt metal building (garage)

You are hereby authorized to issue the appropriate permits

Please fax a copy of the Applicants permit to 386-497-4946

December 5, 2008

DATE


LDR ADMINISTRATOR
Town of Fort White
Janice Revels

District #1
Donald Cook
497-1086

District #2
Henry Maini
497-2992

District #3
Warren Barnes
497-3112

District #4
Demetric Jackson
497-2078

Mayor
Truett George
497-4741

LEASE AGREEMENT WITH OPTION TO PURCHASE REAL ESTATE

This **LEASE AGREEMENT WITH OPTION TO PURCHASE REAL ESTATE** (hereinafter referred to as the Lease/Option) is made this 27th day of August, 2008, by and between the following parties: **RICK GAYHEART** and **SHELLEY GAYHEART**, located at 219 W Roundhouse Court, Fort White, Florida 30238 (hereinafter referred to as the Tenant/Buyer); and **BENINNIDA G. YAGUAL**, located at 195 SW Roundhouse Court, Fort White, Florida 32038 (hereinafter referred to as the Landlord/Seller). In consideration of the mutual promises and covenants hereinafter stipulated, the parties hereby agree as follows:

- (1) **DESCRIPTION:** The Landlord/Seller agrees to lease, and, the Tenant/Buyer agrees to rent the real property and improvements, hereinafter called property; located at: 195 SW Roundhouse Court, Fort White, Florida 32038 as more fully described as follows: A single family residence.
- (2) **TERM:** The term of this Lease/Option shall be for a period of two (2) years commencing on September 1, 2008, and ending on September 1, 2010. The term may be extended only upon mutual written agreement of the parties on terms and conditions acceptable to Landlord/Seller. Possession shall be given to the Tenant/Buyer no later than September 10, 2008.
- (3) **RENT:** Tenant/Buyer agrees to pay to the Landlord/Seller, the sum of \$1,200.00 per month, with the first payment beginning September 1, 2008, as rent for the property, for the term of this Lease/Option. All rental payments shall be due and payable in advance on the 1st day of each and every month beginning September 1, 2008. If Tenant/Buyer is greater than ten (10) days late on rental payments, Tenant/Buyer is in default, and Landlord/Seller may begin eviction proceedings. Parties agree to have the sum of \$1,200.00 automatically transferred from Tenant/Buyer to Landlord/Seller's account at Bank of America. Details to be worked by the parties with bank of America no later than September 7, 2008.

In addition to the sums specified above, Tenant/Buyer will pay \$45,000.00 as a down payment towards the purchase price of the home. Said down payment will be credited towards purchase price at closing. Said deposit will be paid at time of contract execution.

- (4) **OPTION TO PURCHASE:** The Tenant/Buyer, as part of the consideration herein, is hereby granted the exclusive right, option and privilege of purchasing property at any time during the term of this Lease/Option agreement or any extension thereof. The Tenant/Buyer shall notify the Landlord/Seller in writing of the exercise of this option at least twenty (20) days prior to the expiration of the initial term of this Lease/Option or the expiration of any extension thereof, by mail to the last-provided address of Landlord/Seller. Tenant/Buyer shall pay, and Landlord/Seller acknowledges receipt of the sum of \$45,000.00 upon the execution of this agreement, as non-refundable consideration paid by Tenant/Buyer to Landlord/Seller, as consideration for the option to purchase. This shall be a non-refundable payment, but shall be credited against the purchase price in the event the option to purchase is validly exercised by Tenant/Buyer. The rental sums paid each

and every month is non-refundable, and will not be credited toward the purchase price if the option to purchase is exercised by Tenant/Buyer.

(5) **COVENANTS OF TENANT/BUYER:** Commencing with and during the term of this agreement, including extensions, the Tenant/Buyer hereby covenants and agrees as follows:

- (A) That the Tenant/Buyer will pay all utility charges and bills, including, but not limited to, water, sewer, gas, oil, and electric, telephone and garbage removal, which may be assessed or charged against the property. Tenant/Buyer will have all utilities placed in his name so that Landlord/Seller incurs no liability;
- (B) That the Tenant/Buyer will not use the property for any unlawful purpose; and that the Tenant/Buyer will conform to and obey all laws, ordinances, rules, regulations, requirements and orders of all Federal, State, and Local governmental authorities, agencies departments, bureaus, boards or officials, respecting the use of the property;
- (C) That the Tenant/Buyer will surrender and deliver up the property, at the end of the term or any extensions thereof, should the option herein not be exercised, in as good order and condition as the same now exists, reasonable use and natural wear and tear excepted;
- (D) That the Tenant/Buyer will pay for tenants tangible personal property and liability insurance.
- (E) That if Tenant Buyer sells his current home prior to the two (2) year option to purchase, Tenant/Buyer will move forward with purchase and closing of this home at issue within 60 days of sale of Tenant/Buyer's existing home.
- (F) IF Landlord/Seller's existing insurance policy does not cover tenant's liability, Tenant/Landlord will be responsible for providing liability insurance.

(6) **COVENANTS OF LANDLORD/SELLER:** The Landlord/Seller hereby covenants and agrees as follows:

- (A) That the Tenant/Buyer shall peaceably and quietly hold, occupy, use and enjoy the property, without any let, hindrance or molestation by Landlord/Seller or any person associated therewith.
- (B) Landlord/Seller will provide Tenant/Buyer with proof/receipt of mortgage payment within ten (10) days of payment by Tenant/Buyer.
- (C) Landlord/Seller will maintain the existing liability insurance on the property.

(7) **BREACH BY TENANT/BUYER:** If the Tenant/Buyer shall fail to keep and perform any of the covenants, agreements, or provisions of this Lease/Option, or if the Tenant/Buyer shall abandon the property; it shall be lawful for the Landlord/Seller to enter into said property and again have, repossess, and enjoy the same as if this Lease/Option had not been made, and thereupon this Lease/Option and everything herein contained on the part of the Landlord/Seller to be done and performed shall cease, terminate and be utterly void. This shall not relieve Tenant/Buyer of its legal obligation hereunder

(8) **MAINTENANCE AND REPAIR:** The Tenant/Buyer accepts the property "as is" on the date of execution of this Lease/Option purchase. The Tenant/Buyer shall henceforth be responsible for all maintenance and repair upon said property, both interior and exterior. The Tenant/Buyer shall have the right to make such repairs, maintenance and improvements as Tenant/Buyer shall deem necessary, proper or desirable, so long as the same does not diminish or any way decrease the value of the property. The Tenant/Buyer shall be solely liable for payment of said improvements, and shall hold the Landlord/Seller harmless therefrom. Landlord/Seller agrees and hereby permits Tenant/Buyer to make improvements to the property including closing-in the garage, add-on porch, concrete driveway and construct a new garage. Any such construction shall be in accordance with Florida codes, local ordinances and local codes, and shall be completed by a licensed and insured contractor only. Any and all improvements made by Tenant/Buyer will become a part of the property and shall not be removed after construction has begun on said improvement. If option to purchase is not exercised by Tenant/Buyer, Tenant/Buyer will not and shall not be entitled to reimbursement for any improvements.

(9) Tenant/Buyer will not sublease the property or any improvements.

(10) **INDEMNITY AND HOLD HARMLESS:** Tenant/Buyer agrees to indemnify, defend and hold harmless Landlord/Seller from any claim or damage as to person or property including bodily injury to any person upon the leased premises for any condition created or caused by the negligent or wrongful act or omission of tenant, any member of tenant's family, or any other person on the premises with tenant's consent.

(11) **LANDLORD'S ACCESS TO PREMISES:** Landlord/Seller or Landlord/Seller's agents may enter the premises in the following circumstances:

- (A) At any time for the protection or preservation of the premises;
- (B) After reasonable notice to Tenant/Buyer at reasonable times for the purpose of repairing the premises in the event of a repair for which Landlord/Seller is responsible;
- (C) To inspect the premises with Tenant/Buyer's consent, or in case of emergency;
- (D) Nothing in this section shall make Landlord/Seller liable for any claim or damage to Tenant/Buyer or third parties on the premises.

OPTION TO PURCHASE TERMS

- (12) **PRICE AND TERMS:** The Tenant/Buyer agrees to pay for said property the sum of \$190,000.00, less any sums for which the Tenant/Buyer is entitled to claim reimbursement or offset in accordance with Paragraph 4 of this agreement; the net sum to be paid in cash, certified check, or cashiers check at closing.
- (13) **INCLUDED IN THE PURCHASE:** The property shall also include all land, together with all improvements thereon, all appurtenant rights, privileges, easements, buildings, fixtures, heating, electrical, plumbing and air conditioning fixtures and facilities, window shades, storm windows and doors, affixed mirrors, wall to wall carpeting, kitchen appliances, bath-room fixtures, landscaping and shrubbery, garage door openers and operating devices, and all utility storage buildings or sheds, range and refrigerator. The property shall also include the following items:
- (14) **TITLE:** The Landlord/Seller shall convey marketable title to the property with the above described inclusions, by good and sufficient General Warranty Deed in fee simple absolute, on or before closing; said title to be free, clear, and unencumbered except existing mortgages, restrictions and easements of record. Title to be conveyed to the Tenant/Buyer and/or assigns. If Landlord/Seller is unable to transfer clear title to Tenant/Buyer, with respect to actions of her own, she will reimburse Tenant/Buyer for any and all improvements completed.
- (15) **CLOSING:** The deed shall be delivered and the purchase money shall be paid at the lending institution's, or other office, of Landlord/Seller's choice, no later than sixty (60) days after notification to the Landlord/Seller of the Tenant/Buyer's exercise of the option.
- (16) **COSTS AND PRORATIONS:** Tenant/Buyer will pay the following: All real estate taxes and assessments. At closing Tenant/Buyer shall be responsible for payment of all closing costs, including, but not limited to, Owner's title insurance policy, Mortgagee title insurance policy, documentary stamps on Warranty Deed, recording Warranty Deed, all costs associated with third party financing by Tenant/Buyer, if any. Each party shall be responsible for their own respective attorney's fees and one-half (1/2) the settlement agent fees for closing. Each party represents to the other that no real estate broker has been involved in this transaction and no real estate commission is due. Landlord/Seller shall be responsible for clearing any liens or encumbrances against the property.
- (17) **DEFAULT:** In the event of default by either party, the non-defaulting party shall have all remedies available in law or equity against the defaulting party.
- (18) **ASSIGNMENT AND SUBLEASING:** Tenant/Buyer may not assign this agreement or sublease any part of the premises without first obtaining Landlord's prior written approval and consent to the assignment or sublease.
- (19) **RISK OF LOSS:** Landlord/Seller shall not be liable for any loss by reason of damage, theft or otherwise to the contents, belongings and personal effects of the Tenant/Buyer or tenant's family, agents, employees, guests or visitors located in or about the premises, or for damage or injury to tenant or tenant's family, agents, employees, guests or visitors. Nothing contained in this provision

shall relieve either party from responsibility for loss, damage or injury caused by that party's own negligence or willful conduct.

(20) **LIENS:** Tenant/Buyer shall not have the right or authority to encumber the premises or to permit any person to claim or assert any liens for the improvement or repair of the premises made by Tenant/Buyer, if any liens are placed on the property due to the Tenant/Buyers improvements or construction, Tenant/Buyer will hold Landlord/Seller harmless from said lien or claims.

(21) **MISCELLANEOUS:**

(A) Time is of the essence of this agreement;

(B) The sole and exclusive venue for any legal action regarding this agreement shall be Columbia County, Florida, and each party hereby expressly waives the right to trial by jury;

(C) "Radon Gas". Radon is a naturally occurring radioactive gas that when it has accumulated in a building in sufficient quantities, may present health risk to persons who are exposed to it over time. Levels of Radon that exceed Federal and State guidelines have been found in buildings in Florida. Additional information regarding Radon and Radon testing may be obtained from your County Public Health Unit.

(22) Attorney Mark E. Feagle has not acted as legal counsel specifically for one party, but has been employed by the parties to draft this agreement for legal sufficiency.

(23) In the event this agreement is placed in the hands of an attorney for enforcement the prevailing party shall be entitled to recover reasonable court costs and attorney fees.

IN WITNESS WHEREOF: the parties hereto, have set their hands to this Lease/Option Agreement on this 27th day of August, 2008.

WITNESS:

Charlene Liz

Charlene Liz
Witness as to Landlord/Seller

Diane S. Edenfield

DIANE S. EDENFIELD
Witness as to Landlord/Seller

Beninnida G. Yagual
Beninnida G. Yagual - Landlord/Seller

Charlene Liz

Charlene Liz

Witness as to Tenant/Buyer

Diane S. Edenfield

DIANE S. EDENFIELD

Witness as to Tenant/Buyer

Rick Gayheart

Rick Gayheart - Tenant/Buyer

Charlene Liz

Charlene Liz

Witness as to Tenant/Buyer

Diane S. Edenfield

DIANE S. EDENFIELD

Witness as to Tenant/Buyer

Shelley Gayheart

Shelley Gayheart

Town of Fort White

Post Office Box 129 Fort White, Florida 32038-0129
Town Hall - (386) 497-2321 • Public Works - (386) 497-3345 • Fax (386) 497-4946
Email: townofftwhite@alltel.net • Web site: Townoffortwhitefl.com

CERTIFICATE OF COMPLIANCE & REQUEST FOR ISSUANCE OF BUILDING PERMIT

The undersigned hereby certify the following property is in compliance with the Town of Fort White's Comprehensive Plan and Land Development Regulations for the stated development purposes:

FILE No. 08-004

OWNER'S NAME: Rick Gayheart

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PROPERTY DESCRIPTION: Lot 13- Fort White Station, Columbia County
w/ parcel number #04059-113


DEVELOPMENT: Probuilt metal building (garage)

You are hereby authorized to issue the appropriate permits

Please fax a copy of the Applicants permit to 386-497-4946

December 5, 2008

DATE


LDR ADMINISTRATOR
Town of Fort White
Janice Revels

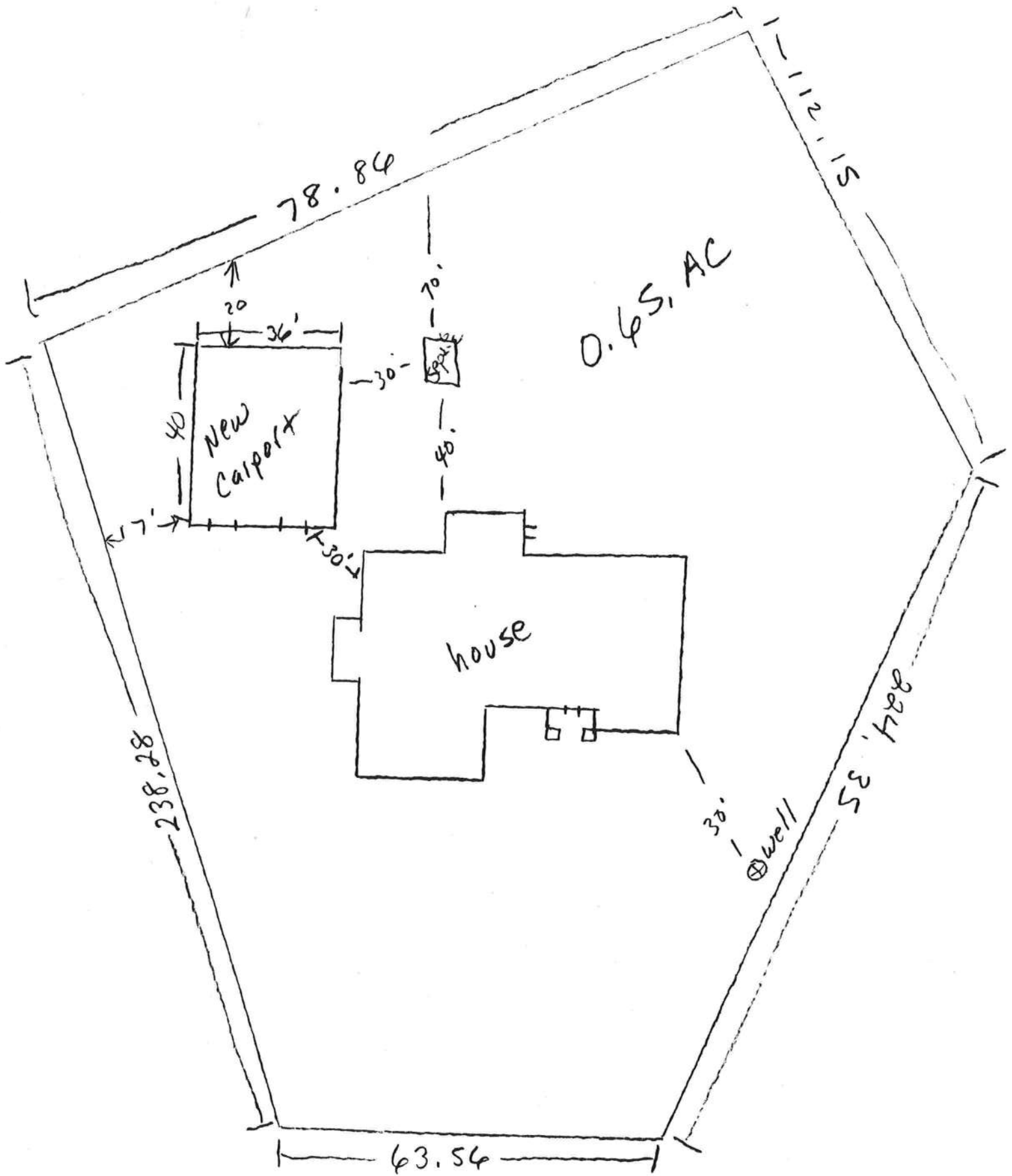
District #1
Donald Cook
497-1086

District #2
Henry Maini
497-2992

District #3
Warren Barnes
497-3112

District #4
Demetric Jackson
497-2078

Mayor
Truett George
497-4741





Engineers • Planners

128 SW Nassau St
Lake City, FL 32025
Phone 386-758-4209
Fax 386-758-4290

2/11/2009

Columbia County Building and Zoning

To Whom it may Concern:

RE: 34-6S-16-04059-113

I have completed an inspection of the foundation for a 24' x 36' metal building. I certify the foundation has been constructed per plans and per FBC 2004 with 2006 supplements. If you have any questions, please call me at (386) 758-4209.

Sincerely,

William Freeman, P.E.

PE# 56001

CA# 8701



**METAL CARPORT INSTALLATION PLANS AND DETAILS
AND
FRAMING AND FASTENER SPECIFICATIONS**

**FOR CONSTRUCTION IN THE
STATE OF FLORIDA**

PREPARED FOR:

**Carolina Carports, Inc.
P.O. Box 1263
Dobson, North Carolina 27017**

PREPARED BY:

Bechtol Engineering and Testing, Inc.
Certificate of Authorization No. 00005492


Thomas Bechtol, P.E.
Florida License No. 38538

TABLE 1 - BOW FRAME AND PANEL FASTENER SPACING SPECIFICATIONS

WIND EXPOSURE CATEGORY	BASIC WIND SPEED 3-SECOND GUST (MPH)	MAXIMUM BOW SPACING (FEET)	MAXIMUM FASTENER SPACING ON-CENTERS ALONG BOWS (INCHES)	
			INTERIOR BOWS	END BOWS
B	100	5.0	8	8
	110	5.0	8	8
	120	5.0	8	8
	130	5.0	8	8
	140	4.0	8	6
	150	3.5	8	6
C	100	5.0	8	8
	110	5.0	8	8
	120	4.5	8	6
	130	4.0	8	6
	140	3.5	8	4
	150	3.0	8	4

NOTES:

1. Specifications applicable to 29 gauge metal panels fastened directly to 12 or 14 gauge steel tube bow frames.
2. Fasteners consist of 1/4"-14 x 1" self drilling screws.
3. Specifications applicable only for mean roof height of 15 feet or less, and roof slope of 14 degrees (3/12 pitch). Spacing requirements for other roof heights and/or slopes may vary.

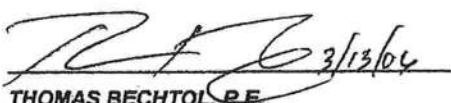
TABLE 2 - END POST AND END WALL PANEL FASTENER SPACING SPECIFICATIONS

WIND EXPOSURE CATEGORY	BASIC WIND SPEED 3-SECOND GUST (MPH)	MAXIMUM END POST SPACING (FEET)	MAXIMUM FASTENER SPACING ON-CENTERS ALONG END POSTS (INCHES)
B OR C	100 TO 150	4.0	8

NOTES:

1. Specifications applicable to 29 gauge metal panels fastened directly to 12 or 14 gauge steel tube end posts.
2. Fasteners consist of 1/4"-14 x 1" self drilling screws.
3. Specifications applicable only for mean roof height of 15 feet or less. Spacing requirements for other roof heights may vary.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.

 3/13/04
THOMAS BECHTOL, P.E.

FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY B / 100 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

THE FOLLOWING CALCULATIONS AND SPECIFICATIONS ARE PREPARED ONLY FOR, AND ARE CERTIFIED ONLY TO CAROLINA CARPORTS, INC. USE OF THESE CALCULATIONS AND SPECIFICATIONS BY OTHERS IS PROHIBITED UNLESS AUTHORIZED BY CAROLINA CARPORTS, INC.

MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: B
BASIC WIND SPEED: 100 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.87
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (33.5)(1.00)(0.87) = 29.1$ PSF
END BOWS: $q = (56.4)(1.00)(0.87) = 49.1$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(29.1) = 7.69'$$

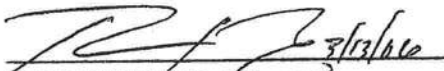
$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (49.1)(3.0) = 1.02' = 12.2"$$

DESIGN: MAXIMUM BOW SPACING = 5.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 8" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY B WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY B / 110 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

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MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: B
BASIC WIND SPEED: 110 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (40.6)(1.00)(0.77) = 31.3$ PSF
END BOWS: $q = (68.3)(1.00)(0.77) = 52.6$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(31.3) = 7.15'$$

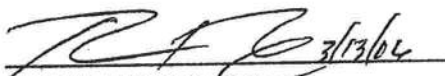
$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (52.6)(3.0) = 0.95' = 11.4"$$

DESIGN: MAXIMUM BOW SPACING = 5.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 8" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY B WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY B / 120 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

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MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: B
BASIC WIND SPEED: 120 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (48.3)(1.00)(0.77) = 37.2$ PSF
END BOWS: $q = (81.2)(1.00)(0.77) = 62.5$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(37.2) = 6.02'$$


$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (62.5)(3.0) = 0.80' = 9.6"$$

DESIGN: MAXIMUM BOW SPACING = 5.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 8" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY B WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY B / 130 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

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MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: B
BASIC WIND SPEED: 130 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (56.7)(1.00)(0.77) = 43.7$ PSF
END BOWS: $q = (95.3)(1.00)(0.77) = 73.4$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(43.7) = 5.12'$$


$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (73.4)(3.0) = 0.68' = 8.17"$$

DESIGN: MAXIMUM BOW SPACING = 5.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 8" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY B WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY B / 140 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

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MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: B
BASIC WIND SPEED: 140 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (65.7)(1.00)(0.77) = 50.6 \text{ PSF}$
END BOWS: $q = (110.6)(1.00)(0.77) = 85.2 \text{ PSF}$

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(50.6) = 4.42'$$

$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (85.2)(3.0) = 0.59' = 7.04"$$

DESIGN: MAXIMUM BOW SPACING = 4.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 6" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY B WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY B / 150 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

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MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: B
BASIC WIND SPEED: 150 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (75.5)(1.00)(0.77) = 58.1$ PSF
END BOWS: $q = (126.9)(1.00)(0.77) = 97.7$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(58.1) = 3.85'$$

$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (.97.7)(3.0) = 0.51' = 6.14"$$

DESIGN: MAXIMUM BOW SPACING = 3.5'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 6" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY B WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY C / 100 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

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MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: C
BASIC WIND SPEED: 100 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.87
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (33.5)(1.21)(0.87) = 35.3$ PSF
END BOWS: $q = (56.4)(1.21)(0.87) = 59.4$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(35.3) = 6.34'$$

$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (59.4)(3.0) = 0.84' = 10.1"$$

DESIGN: MAXIMUM BOW SPACING = 5.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 8" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY C WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY C / 110 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

THE FOLLOWING CALCULATIONS AND SPECIFICATIONS ARE PREPARED ONLY FOR, AND ARE CERTIFIED ONLY TO CAROLINA CARPORTS, INC. USE OF THESE CALCULATIONS AND SPECIFICATIONS BY OTHERS IS PROHIBITED UNLESS AUTHORIZED BY CAROLINA CARPORTS, INC.

MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: C
BASIC WIND SPEED: 110 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (40.6)(1.21)(0.77) = 37.8$ PSF
END BOWS: $q = (68.3)(1.21)(0.77) = 63.6$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(37.8) = 5.92'$$

$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (.63.6)(3.0) = 0.79" = 9.4"$$

DESIGN: MAXIMUM BOW SPACING = 5.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 8" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY C WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY C / 120 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/08/06

THE FOLLOWING CALCULATIONS AND SPECIFICATIONS ARE PREPARED ONLY FOR, AND ARE CERTIFIED ONLY TO CAROLINA CARPORTS, INC. USE OF THESE CALCULATIONS AND SPECIFICATIONS BY OTHERS IS PROHIBITED UNLESS AUTHORIZED BY CAROLINA CARPORTS, INC.

MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: C
BASIC WIND SPEED: 120 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (48.3)(1.21)(0.77) = 45.0$ PSF
END BOWS: $q = (81.2)(1.21)(0.77) = 75.7$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.87)(45.0) = 4.98'$$


$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (75.7)(3.0) = 0.66" = 7.9"$$

DESIGN: MAXIMUM BOW SPACING = 4.5'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 6" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY C WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY C / 140 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

THE FOLLOWING CALCULATIONS AND SPECIFICATIONS ARE PREPARED ONLY FOR, AND ARE CERTIFIED ONLY TO CAROLINA CARPORTS, INC. USE OF THESE CALCULATIONS AND SPECIFICATIONS BY OTHERS IS PROHIBITED UNLESS AUTHORIZED BY CAROLINA CARPORTS, INC.

MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: C
BASIC WIND SPEED: 140 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (65.7)(1.21)(0.77) = 61.2$ PSF
END BOWS: $q = (110.6)(1.21)(0.77) = 103.0$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(61.2) = 3.66'$$

$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (103.0)(3.0) = 0.49' = 5.8"$$

DESIGN: MAXIMUM BOW SPACING = 3.5'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 4" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY C WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY C / 130 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

THE FOLLOWING CALCULATIONS AND SPECIFICATIONS ARE PREPARED ONLY FOR, AND ARE CERTIFIED ONLY TO CAROLINA CARPORTS, INC. USE OF THESE CALCULATIONS AND SPECIFICATIONS BY OTHERS IS PROHIBITED UNLESS AUTHORIZED BY CAROLINA CARPORTS, INC.

MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: C
BASIC WIND SPEED: 130 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (56.7)(1.21)(0.77) = 52.8$ PSF
END BOWS: $q = (95.3)(1.21)(0.77) = 88.8$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(52.8) = 4.24'$$

$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (88.8)(3.0) = 0.56' = 6.8"$$

DESIGN: MAXIMUM BOW SPACING = 4.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 6" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY C WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT ROOF AND SIDE PANEL FASTENER SPECIFICATIONS (EXPOSURE CATEGORY C / 150 MPH BASIC WIND SPEED)

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

THE FOLLOWING CALCULATIONS AND SPECIFICATIONS ARE PREPARED ONLY FOR, AND ARE CERTIFIED ONLY TO CAROLINA CARPORTS, INC. USE OF THESE CALCULATIONS AND SPECIFICATIONS BY OTHERS IS PROHIBITED UNLESS AUTHORIZED BY CAROLINA CARPORTS, INC.

MATERIAL SPECIFICATIONS:

ROOF AND SIDE PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 OR 14 GAUGE STEEL TUBE BOW FRAMES
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA:

EXPOSURE CATEGORY: C
BASIC WIND SPEED: 150 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
ROOF ANGLE: 14 DEGREES
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77
EFFECTIVE END ZONE WIDTH: 3.0'

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE OVERHANG ZONE 2 (PER FIGURE 1609.6(c), 2004 FBC) FOR INTERIOR BOWS
USE OVERHANG ZONE 3 (PER FIGURE 1609.6(c), 2004 FBC) FOR END BOWS
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
INTERIOR BOWS: $q = (75.5)(1.21)(0.77) = 70.3$ PSF
END BOWS: $q = (126.9)(1.21)(0.77) = 118.2$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 OR 14 GAUGE STEEL TUBE BOW FRAME
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH BOW

$$\text{MAXIMUM ALLOWABLE BOW SPACING} = (150) / (.67)(70.3) = 3.18'$$

$$\text{MAXIMUM ALLOWABLE END BOW FASTENER SPACING} = (150) / (118.2)(3.0) = 0.42" = 5.1"$$

DESIGN: MAXIMUM BOW SPACING = 3.0'

MAXIMUM FASTENER SPACING ALONG BOWS = 8" O.C. (INTERIOR BOWS) AND 4" O.C. (END BOWS)

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY C WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS, AND WITH ROOF SLOPE OF 14 DEGREES (3/12 PITCH). REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT, AND/OR ROOF SLOPES MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.



THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

METAL CARPORT END WALL PANEL FASTENER SPECIFICATIONS

PREPARED FOR: CAROLINA CARPORTS, INC., P.O. BOX 1263, DOBSON, NORTH CAROLINA
PREPARED BY: THOMAS BECHTOL, P.E., FLORIDA LICENSE NO. 38538
DATE PREPARED: 02/06/06

THE FOLLOWING CALCULATIONS AND SPECIFICATIONS ARE PREPARED ONLY FOR, AND ARE CERTIFIED ONLY TO CAROLINA CARPORTS, INC. USE OF THESE CALCULATIONS AND SPECIFICATIONS BY OTHERS IS PROHIBITED UNLESS AUTHORIZED BY CAROLINA CARPORTS, INC.

MATERIAL SPECIFICATIONS:

END WALL PANELS: CAROLINA CARPORTS, INC. 29 GA. R-PANELS
FRAMING: 2.5" X 2.5" 12 GAUGE STEEL TUBE END WALL POSTS
PANEL FASTENERS: 1/4"-14 X 1" SELF DRILLING SCREWS

ASSUMED DESIGN CRITERIA (WORST CASE):

EXPOSURE CATEGORY: C
BASIC WIND SPEED: 150 MPH (3-SECOND GUST)
MEAN ROOF HEIGHT: 15 FEET MAXIMUM
EFFECTIVE WIND AREA: 10 S.F.
IMPORTANCE FACTOR: 0.77

COMPONENT AND CLADDING DESIGN WIND PRESSURE:

DESIGN UNIT LOAD (q): USE WALL ZONE 5 (PER FIGURE 1609.6(c), 2004 FBC)
FROM TABLES 1609.6C, TABLE 1609.6D (BUILDING HEIGHT AND EXPOSURE ADJUSTMENT FACTOR), AND 1604.5
(STRUCTURE IMPORTANCE FACTOR), 2004 FBC:
END POSTS: $q = (54.2)(1.21)(0.77) = 50.5$ PSF

PANEL FASTENER DESIGN CALCULATIONS:

DESIGN FASTENER: 1/4" X 1" SELF DRILLING FASTENER INTO 12 GAUGE STEEL TUBE END POST
ALLOWABLE PULL-OUT CAPACITY = 383 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
ALLOWABLE PULL-OVER CAPACITY = 150 POUNDS / SCREW (INCORPORATES MINIMUM SF = 3)
FASTENER DESIGN SHALL BE GOVERNED BY ALLOWABLE PULL-OVER CAPACITY
MANUFACTURER SPECIFIES 1 SCREW @ MAXIMUM 8" O.C. ALONG EACH POST

MAXIMUM ALLOWABLE END POST SPACING = $(150) / (.67)(50.5) = 4.43'$

DESIGN: MAXIMUM END POST SPACING = 4.0'

MAXIMUM FASTENER SPACING ALONG POSTS = 8" O.C.

THE ABOVE CALCULATIONS AND SPECIFICATIONS ARE APPLICABLE TO STRUCTURES CONSTRUCTED IN EXPOSURE CATEGORY B OR C WITH MEAN ROOF HEIGHT OF 15 FEET OR LESS. REQUIREMENTS FOR OTHER EXPOSURE CATEGORIES, AND/OR ROOF HEIGHT MAY VARY.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2004 FLORIDA BUILDING CODE.


THOMAS BECHTOL, P.E.
FLORIDA LICENSE NO. 38538

OVERALL LENGTH VARIES (100' MAX.)
DEPENDS ON NUMBER AND SPACING OF BOWS

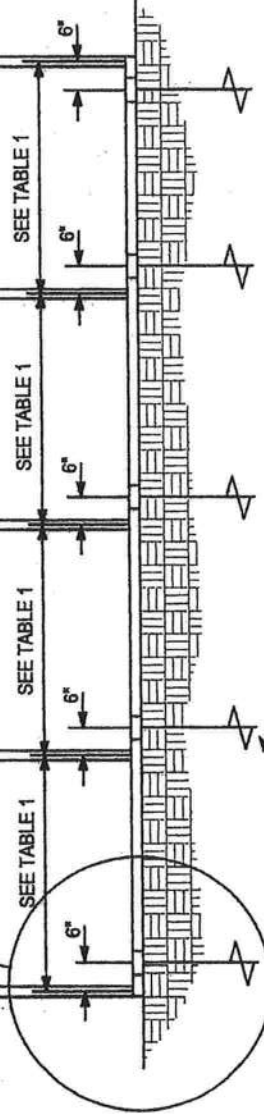
CAROLINA CARPORTS INC.
P.O. BOX 1263
DOBSON, NC 27017
TOLL FREE 1-800-670-4262
LOCAL 336-367-6400
FAX 336-367-6410

28 GAGE R-PANEL ROOFING
(OPTIONAL SIDE PANELS)

6" TYP.

1
2

FIG. DETAIL
SEE, SHT. 3



SIDE ELEVATION
SCALE: NTS

ANCHOR LOCATIONS

NOTES:

1. ALL STEEL TUBING SHALL BE 50 KSI STEEL.
2. LOCATE ANCHORS AT EACH END OF BOW.
3. FASTEN METAL ROOF PANELS TO BOW FRAME WITH 1/4" x 1" SELF DRILLING FASTENERS @ 8" O.C. MAX. (SEE TABLE 1 FOR FASTENER SPACING SPECIFICATIONS)
4. ALL FIELD CONNECTIONS SHALL BE 1/4" x 1" SELF DRILLING SCREWS
5. ALL SHOP CONNECTIONS SHALL BE WELDED.
6. THE PLANS ARE VALID UNTIL THE NEXT REVISION OF THE FLORIDA BUILDING CODE.

BECHTOL ENGINEERING AND TESTING, INC.
Certificate of Authorization No. 00005492
Thomas Bechtol, P.E.
Florida License No. 38538
3/11/04

DRILL 5/8" HOLE THROUGH THE
BASE RAIL AND SECURE TO
ANCHOR EYE WITH 1/2" DIAMETER
THROUGH BOLT.

TS CONT. BASE RAIL

TOP OF SOIL OR
CONCRETE SLAB

TIE DOWN ENGINEERING
40" LONG WITH 5/8" ROD
AND 6" HELIX EYE ANCHOR
PART # 59060

BASE RAIL ANCHORAGE

SCALE: 1 1/2" = 1'-0"

1

6" LONG TS 12 GA NIPPLE W/ 4 SELF-DRILLING
SCREWS, ONE ON NEAR SIDE, ONE ON FAR
SIDE, AND ONE EACH SIDE @ 3" UP FROM
SPLICE JOINT

TS BOW POST

NIPPLE TO
BASE RAIL 3/16"

TS CONTINUOUS BASE RAIL

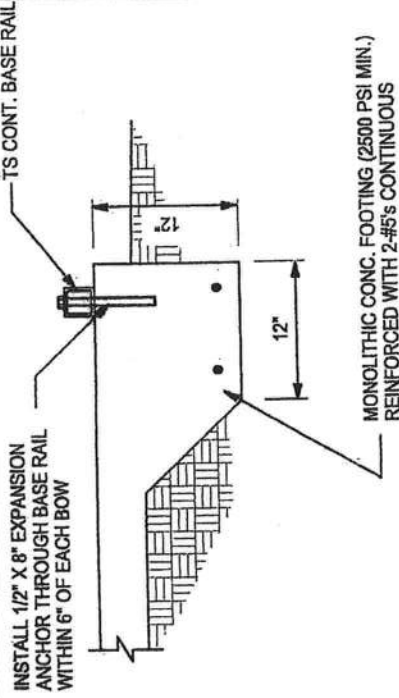
BOW/BASE RAIL CONN. DETAIL

SCALE: 3/4" = 1'-0"

3

NOTE:

14 GA FRAMING IS 2-1/2"x2-1/2" TUBE STEEL.
12 GA FRAMING IS 2-1/4"x2-1/4" TUBE STEEL.
NIPPLES ARE 2-1/4"x2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2"x2" 12 GA T.S. FOR 12 GA FRAMING.



CONCRETE BASE RAIL ANCHORAGE

SCALE: 3/4" = 1'-0" (OPTIONAL)

2

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH
OF 2500 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS
SHALL BE:
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND
PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH
OR WEATHER AND 1 1/2 INCHES ELSEWHERE. REINFORCING BARS EMBEDDED
IN GROUTED CELLS SHALL HAVE A MINIMUM CLEAR DISTANCE OF 1/4 INCH FOR
FINE GROUT OR 1/2 INCH FOR COARSE GROUT BETWEEN REINFORCING BARS
AND ANY FACE OF A CELL. REINFORCING BARS USED IN MASONRY WALLS
SHALL HAVE A MASONRY COVER (INCLUDING GROUT) OF NOT LESS THAN
2 INCHES FOR MASONRY UNITS WITH FACE EXPOSED TO EARTH OR WEATHER
1 1/2 INCHES FOR MASONRY UNITS NOT EXPOSED TO EARTH OR WEATHER

REINFORCING STEEL:

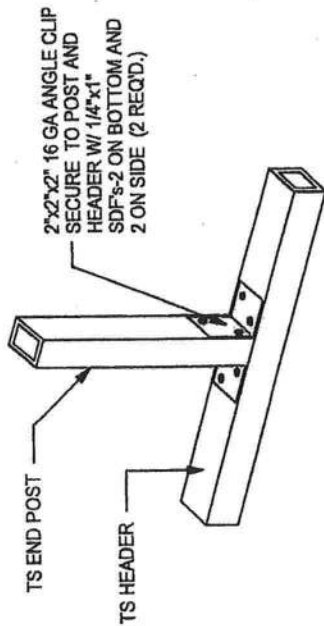
THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40.

GALVANIZATION:
METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT
DIRECTLY EXPOSED TO THE WEATHER SHALL BE GALVANIZED IN ACCORDANCE
WITH ASTM A 153, CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS
AND NAILS EXPOSED DIRECTLY TO THE WEATHER SHALL BE STAINLESS
STEEL OR HOT DIPPED GALVANIZED.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. ALL REINFORCEMENT IS BENT COLD.
 2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS
NOT LESS THAN SIX-BAR DIAMETERS AND
 3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE
FIELD BENT.
- EXCEPTION: WHERE BENDING IS NECESSARY TO ALIGN DOWEL BARS WITH
A VERTICAL CELL, BARS PARTIALLY EMBEDDED IN CONCRETE SHALL BE
PERMITTED TO BE BENT AT A SLOPE OF NOT MORE THAN 1 INCH OF
HORIZONTAL DISPLACEMENT TO 6 INCHES OF VERTICAL BAR LENGTH.

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3/13/04



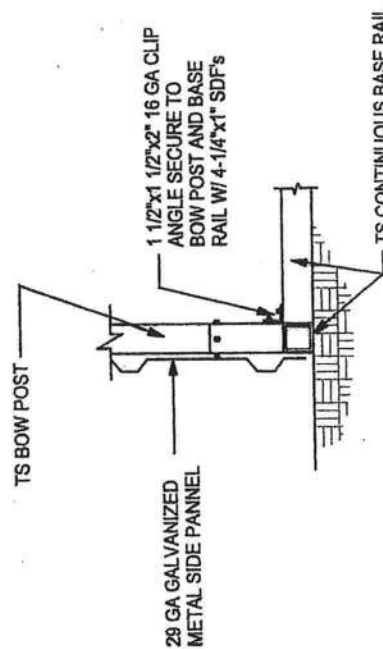
END POST TO HEADER/RAIL CONN.

NTS

1

NOTE:

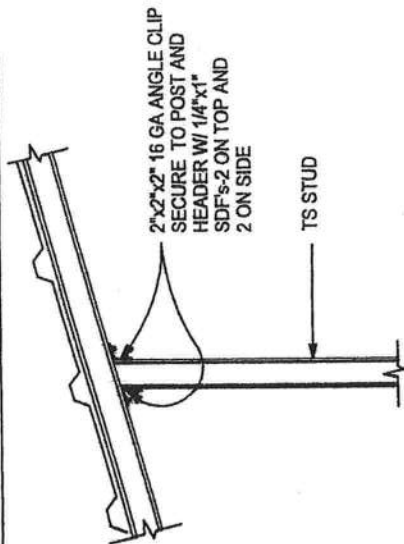
14 GA FRAMING IS 2-1/2"x2-1/2" TUBE STEEL.
12 GA FRAMING IS 2-1/4"x2-1/4" TUBE STEEL.
NIPPLES ARE 2-1/4"x2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2"x2" 12 GA T.S. FOR 12 GA FRAMING.



END BOW/BASE RAIL CONN.

SCALE: 3/4" = 1'-0"

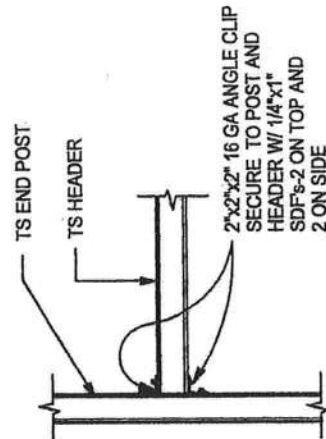
3



END POST/BOW CONN. DETAIL

SCALE: 3/4" = 1'-0"

2

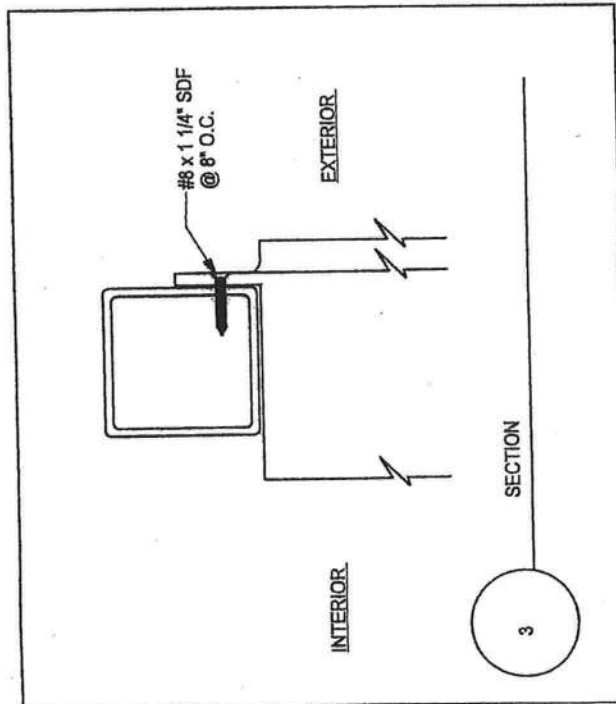
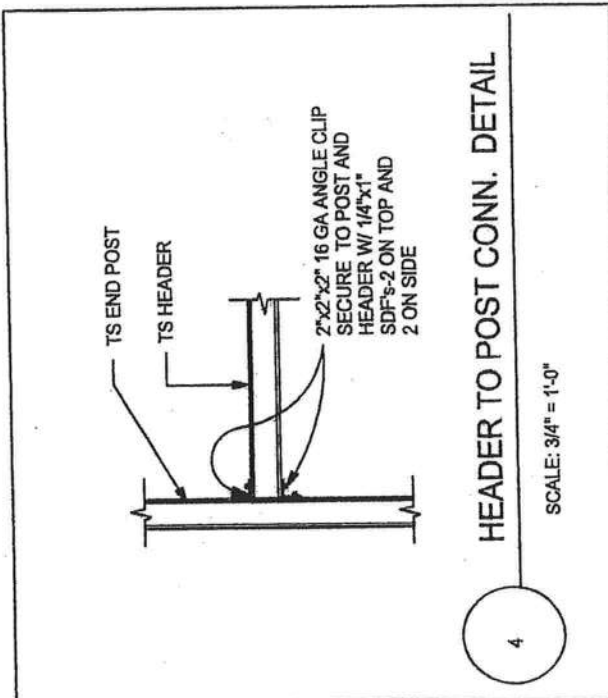
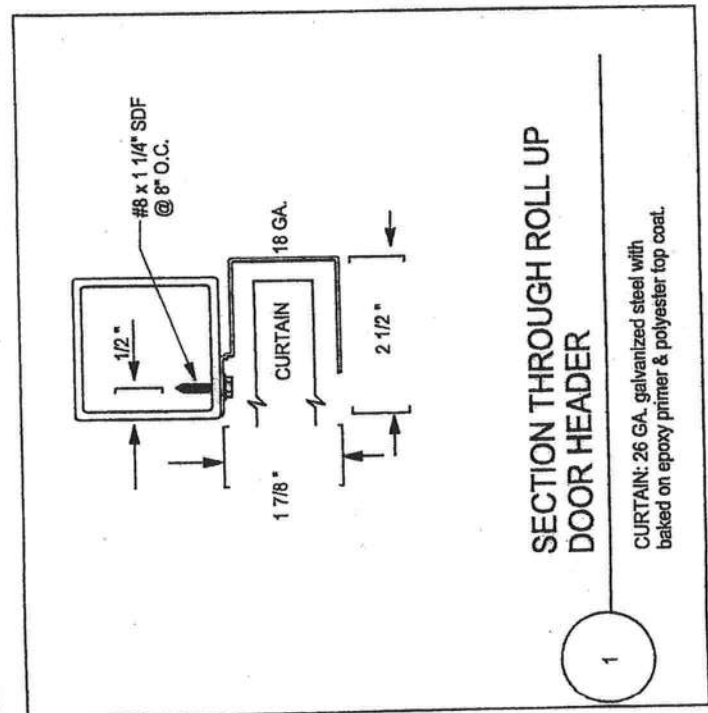
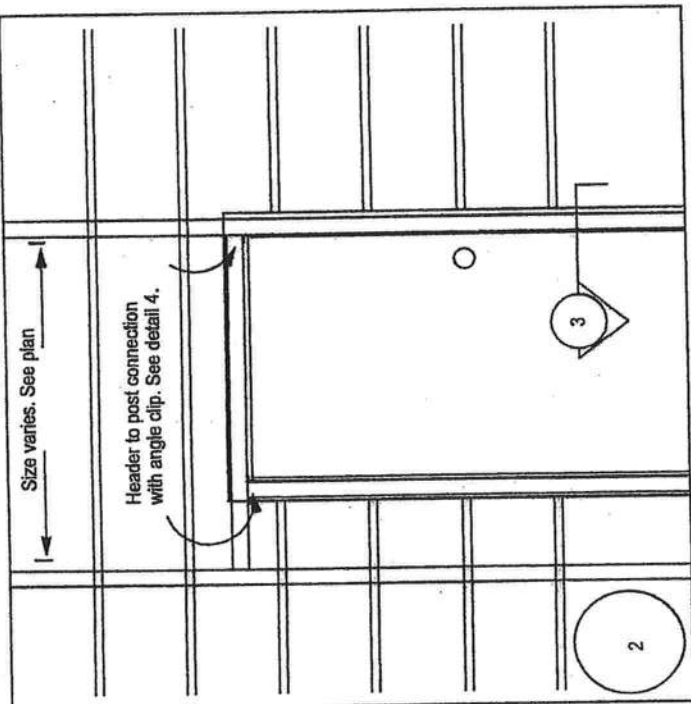


HEADER TO POST CONN. DETAIL

SCALE: 3/4" = 1'-0"

4

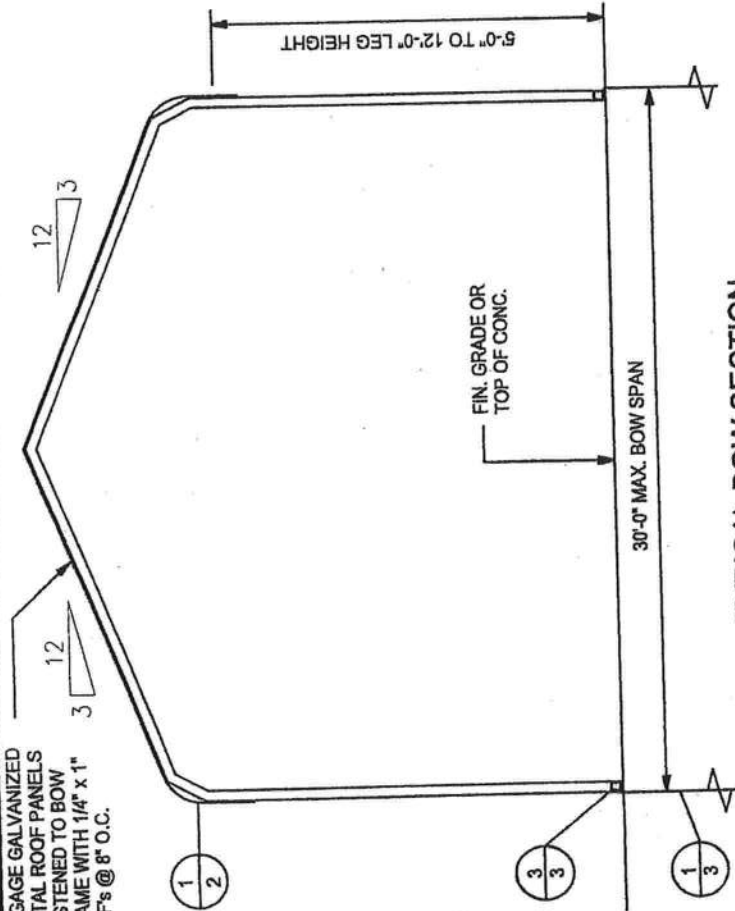
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Florida License No. 38538
3/13/04



NOTE:
 14 GA FRAMING IS 2-1/2"x2-1/2" TUBE STEEL.
 12 GA FRAMING IS 2-1/4"x2-1/4" TUBE STEEL.
 NIPPLES ARE 2-1/4"x2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
 NIPPLES ARE 2"x2" 12 GA T.S. FOR 12 GA FRAMING.

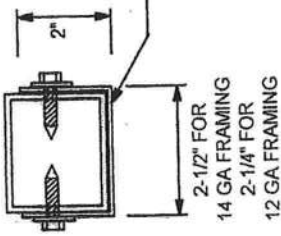
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 Florida License No. 38538
 3/13/14

29 GAGE GALVANIZED
METAL ROOF PANELS
FASTENED TO BOW
FRAME WITH 1/4" x 1"
SDF's @ 8" O.C.



TYPICAL BOW SECTION

SCALE: NTS

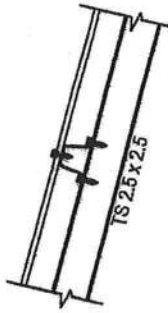


BRACE SECTION

(10' AND 12' POST ONLY)
NTS

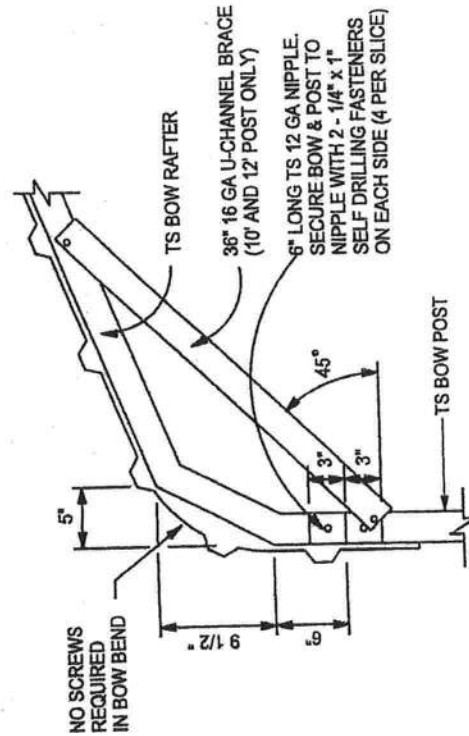
3'-0" 16 GAUGE
U-CHANNEL BRACE
FASTENED TO THE LEG
AND BOW POSITIONED
AT 45 DEGREES
W/ 2 - 1/4" x 1" SELF
DRILLING SCREWS
AT EACH END
(4 PER BRACE)

1 1/2" 18 GAGE FURRING CHANNEL
FASTENED TO EACH BOW WITH
(2) 1/4" x 1" SELF DRILLING FASTENER
SPACED NOT MORE THAN 4'-0" O.C.



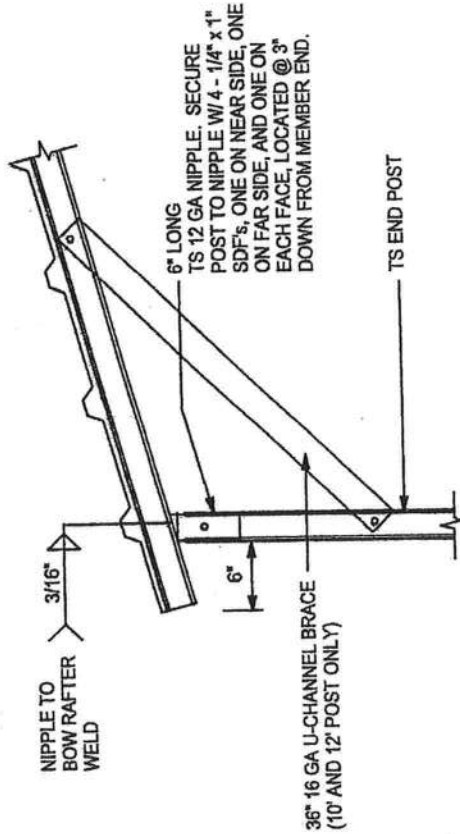
ROOF PANEL ATTACHMENT

(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: 1" = 1'-0"



BOW/POST DETAIL

SCALE: 3/4" = 1'-0"



BOW/POST DETAIL

SCALE: 3/4" = 1'-0"

(BOXED EAVE OPTION)

NOTE:
14 GA FRAMING IS 2-1/2"x2-1/2" TUBE STEEL.
12 GA FRAMING IS 2-1/4"x2-1/4" TUBE STEEL.
NIPPLES ARE 2-1/4"x2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2"x2" 12 GA T.S. FOR 12 GA FRAMING.

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The diagram illustrates the required clear span for a beam. Key features include:

- Dimensions:** A horizontal dimension line indicates a "CLEAR SPAN AS REQUIRED 12'-0\" MAX.". Vertical dimension lines at both ends show a height of "6\" from the bottom reinforcement to the top of the concrete slab.
- Callouts:** Four circular callouts are present:
 - Callout 1 points to the top longitudinal bars of the beam.
 - Callout 2 points to the vertical stirrups or ties connecting the top and bottom bars.
 - Callout 3 points to the bottom longitudinal bars of the beam.
 - Callout 7 points to the cross-hatched area representing the concrete slab.

**-TIE DOWN ENGINEERING
48" LONG WITH 5/8" ROD AND 6" HELIX
EYE ANCHOR PART # 59065**

2
SCALE: $3/4" = 1'-0"$

14 GA FRAMING IS 2-1/2"x2-1/2" TUBE STEEL.
12 GA FRAMING IS 2-1/4"x2-1/4" TUBE STEEL.
NIPPLES ARE 2-1/4"x2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2"x2" 12 GA T.S. FOR 12 GA FRAMING.

BOW/PO
SCALE: 3/4" = 1'-0"

3
SCALE: $3/4" = 1'-0"$

6" LONG TS 12 GA NIPPLE W/ 4 SELF-DRILLING SCREWS, ONE ON NEAR SIDE, ONE ON FAR SIDE AND ONE ON EACH SIDE @ 3" UP FROM SPLICE JOINT

TS BOW POST

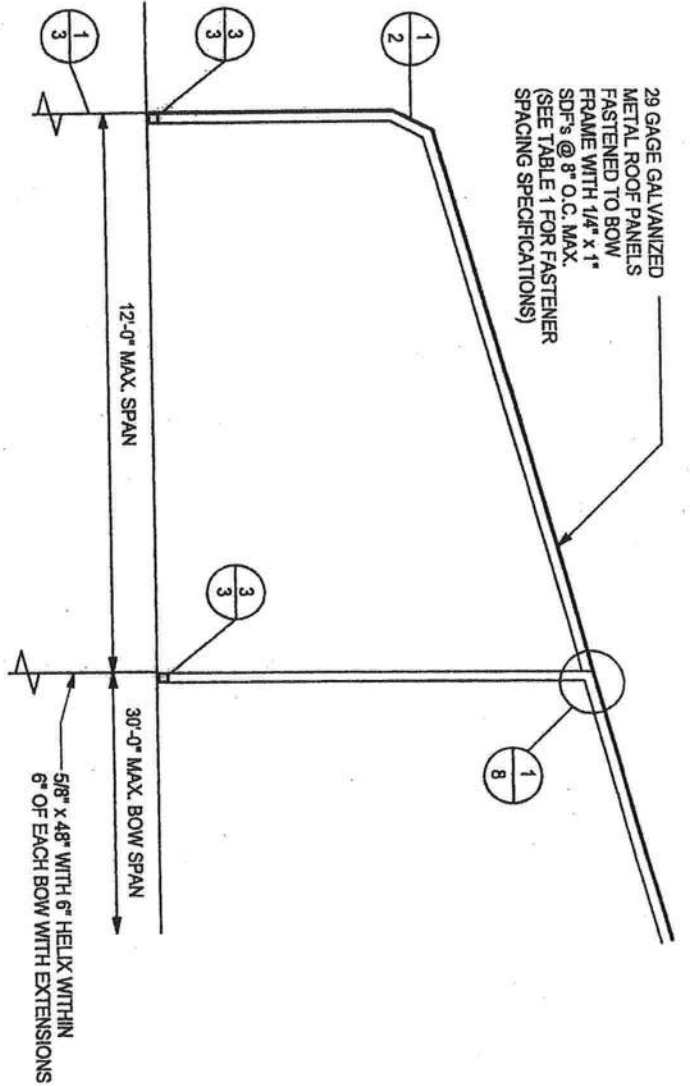
TS CONTINUOUS BASE RAIL

3/16"

NIPPLE TO BASE RAIL

The diagram shows a cross-section of a TS Continuous Base Rail assembly. A horizontal base rail is shown with a vertical TS Bow Post passing through its center. A 6-inch long TS 12 GA nipple is inserted into the base rail, secured by four self-drilling screws: one on the near side, one on the far side, and one on each side at a 3-inch distance from the splice joint. A 3/16-inch dimension is indicated for the gap between the base rail and the nipple. A label 'NIPPLE TO BASE RAIL' points to the connection area.

29 GAGE GALVANIZED
METAL ROOF PANELS
FASTENED TO BOW
FRAME WITH $\frac{1}{4}" \times 1"$
SDFs @ 8" O.C. MAX.
(SEE TABLE 1 FOR FASTENER
SPACING SPECIFICATIONS)

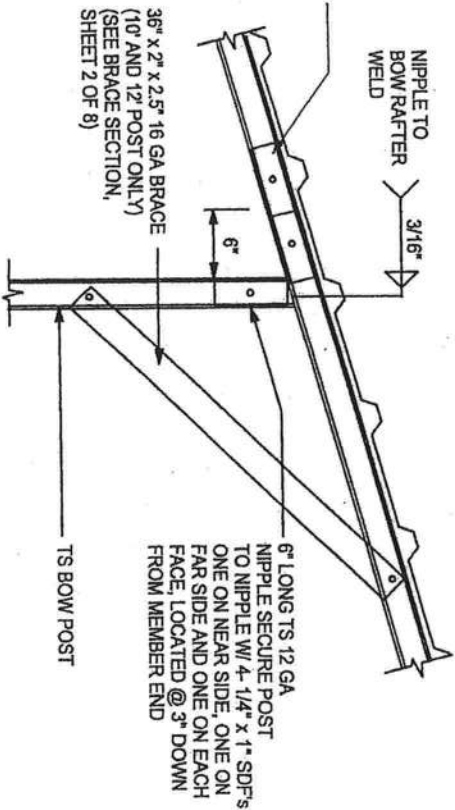


TYPICAL SIDE EXTENTION SECTION

SCALE: NTS

NOTE:
14 GA FRAMING IS 2-1/2"x2-1/2" TUBE STEEL.
12 GA FRAMING IS 2-1/4"x2-1/4" TUBE STEEL.
NIPPLES ARE 2-1/4"x2-1/4" 12 GA T.S. FOR 14 GA FRAMING.
NIPPLES ARE 2"x2" 12 GA T.S. FOR 12 GA FRAMING.

12" LONG TS 12 GA
NIPPLE SECURE POST
TO NIPPLE W/ 4- 1/4" x 1" SDFs
ONE ON NEAR SIDE, ONE ON
FAR SIDE AND ONE ON EACH
FACE, LOCATED @ 3" DOWN
FROM MEMBER END



BOW/POST DETAIL

SCALE: 3/4" = 1'-0"

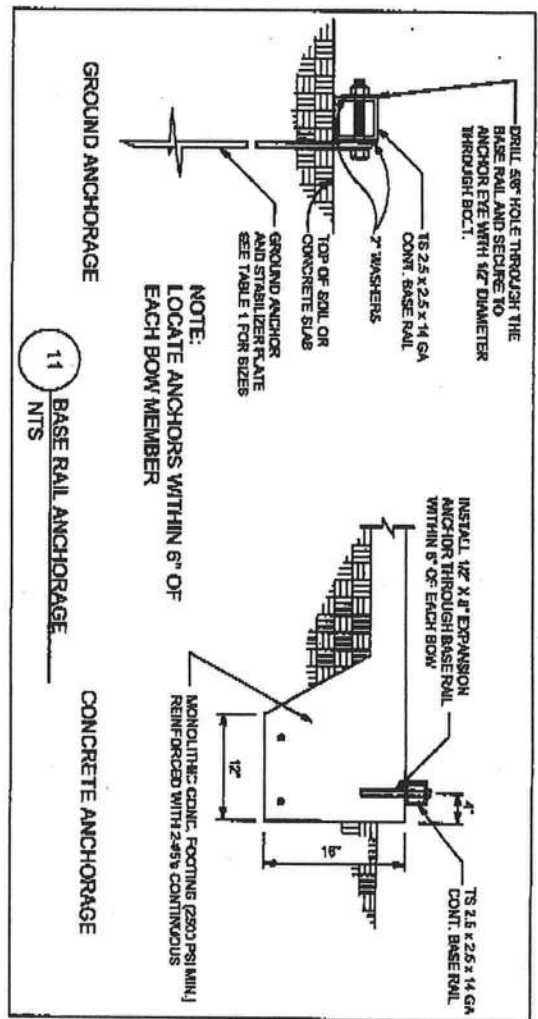
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Thomas Bechtol 3/13/06
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BECHTOL ENGINEERING
AND TESTING, Inc.

CONSULTING GEOTECHNICAL, ENVIRONMENTAL, AND MATERIALS TESTING ENGINEERS
Certificate of Authorization No. 00005492

CAROLINA CARPORTS
SHEET 8 OF 8



GROUND ANCHORAGE

11 BASE RAIL ANCHORAGE
NTS

CONCRETE ANCHORAGE

CONCRETE: CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE:

3 INCHES FOR FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER AND 1 1/2 INCHES ELSEWHERE. REINFORCING BARS EMBEDDED IN GROUTED CELLS SHALL HAVE A MINIMUM CLEAR DISTANCE OF 1/4 INCH FOR FINE GROUT OR 1/2 INCH FOR COARSE GROUT BETWEEN REINFORCING BARS AND ANY FACE OF A CELL. REINFORCING BARS USED IN MASONRY WALLS SHALL HAVE A MASONRY COVER (INCLUDING GROUT) OF NOT LESS THAN 2 INCHES FOR MASONRY UNITS WITH FACE EXPOSED TO EARTH OR WEATHER 1 1/2 INCHES FOR MASONRY UNITS NOT EXPOSED TO EARTH OR WEATHER.

REINFORCING STEEL: THE REINFORCING STEEL SHALL BE MINIMUM GRADE #6.

GALVANIZATION: METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT DIRECTLY EXPOSED TO THE WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 153 CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS AND NAILS EXPOSED DIRECTLY TO THE WEATHER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. ALL REINFORCEMENT IS BENT COLD.
 2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BEND, IS NOT LESS THAN SIX BAR DIAMETERS AND
 3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.
- EXCEPTION: WHERE BENDING IS NECESSARY TO ALIGN DOWN BARS WITH A VERTICAL CELL, BARS PARTIALLY EMBEDDED IN CONCRETE SHALL BE PERMITTED TO BE BENT AT A SLOPE OF NOT MORE THAN 1 INCH OF

TABLE 1 - GROUND ANCHOR SUMMARY

LOCATION	ANCHOR
8" FROM EACH BOW	EYE ANCHOR - 40" LONG WITH 5/8" ROD AND 6" HELIX AND 12" STABILIZER PLATE
6" FROM OPENING	EYE ANCHOR - 48" LONG WITH 5/8" ROD AND 6" HELIX AND 12" STABILIZER PLATE

SCALE: 1/4" = 1'-0"

DRAWN BY: W.H.F.

APPROVED: W.H.F.

CAROLINA CARPORTS INC.
P.O. BOX 1263
DOBSON, NC 27017
TOLL FREE 1-800-870-4262
LOCAL 336-387-6400
FAX 336-367-6410

Freeman
Design Group

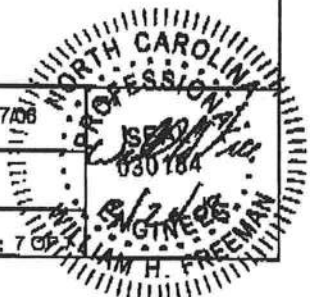


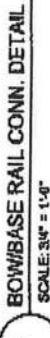
181 NW MADISON STREET
SUITE #102
LAKE CITY, FL 32055
CERTIFICATE OF AUTHORIZATION # 0000001

DATE: 3/17/06

REVISED:

DRAWING: 7 OF 8



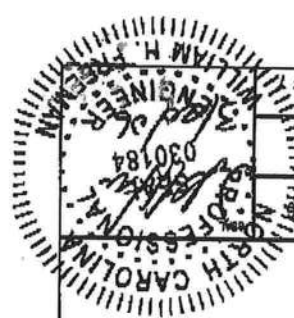


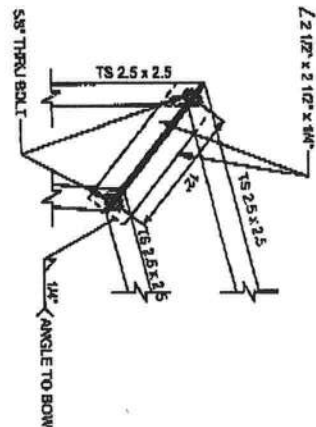
SCALE: 1/4" = 1'-0"



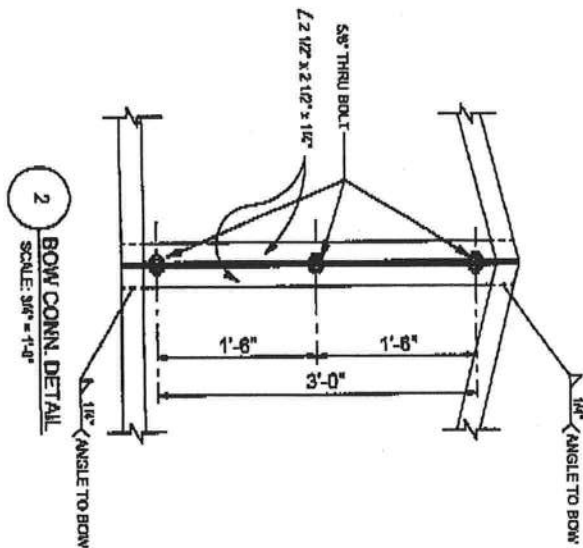
Freeman Design Group

DATE: 3/17/00
REVISED:
DRAWING: 6 OF 11

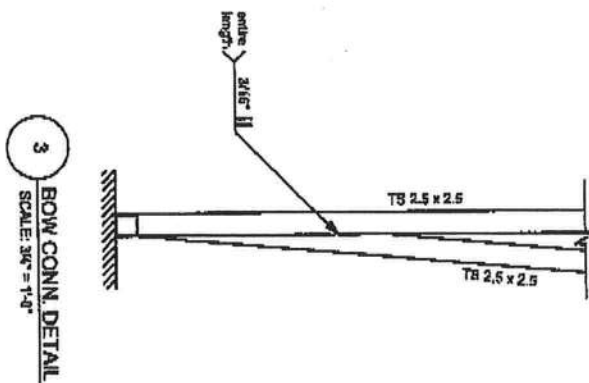




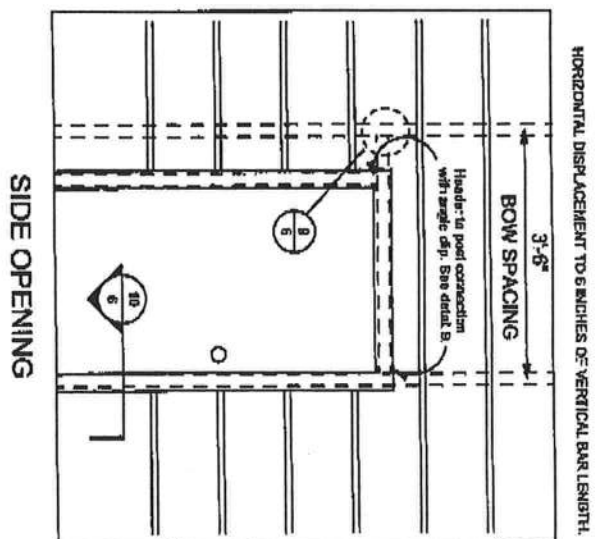
1 BOW CONN. DETAIL
SCALE: 3/4" = 1'-0"



2 BOW CONN. DETAIL
SCALE: 3/4" = 1'-0"



3 BOW CONN. DETAIL
SCALE: 3/4" = 1'-0"



HORIZONTAL DISPLACEMENT TO 6 INCHES OF VERTICAL BAR LENGTH.

SCALE: 1/4" = 1'-0"

DRAWN BY: W.H.F.

APPROVED: W.H.F.

CAROLINA CARPORTS INC.
P.O. BOX 1263
DOBSON, NC 27017
TOLL FREE 1-800-670-4262
LOCAL 336-367-8400
FAX 336-367-8410

Freeman
Design Group



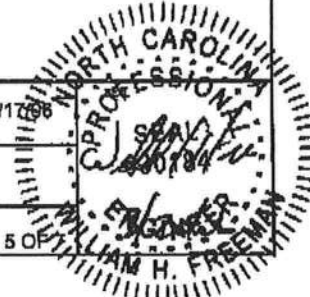
161 NW MADISON STREET
SUITE #102
LAKE CITY, FL 32055

CERTIFICATE OF AUTHORIZATION # 00000001

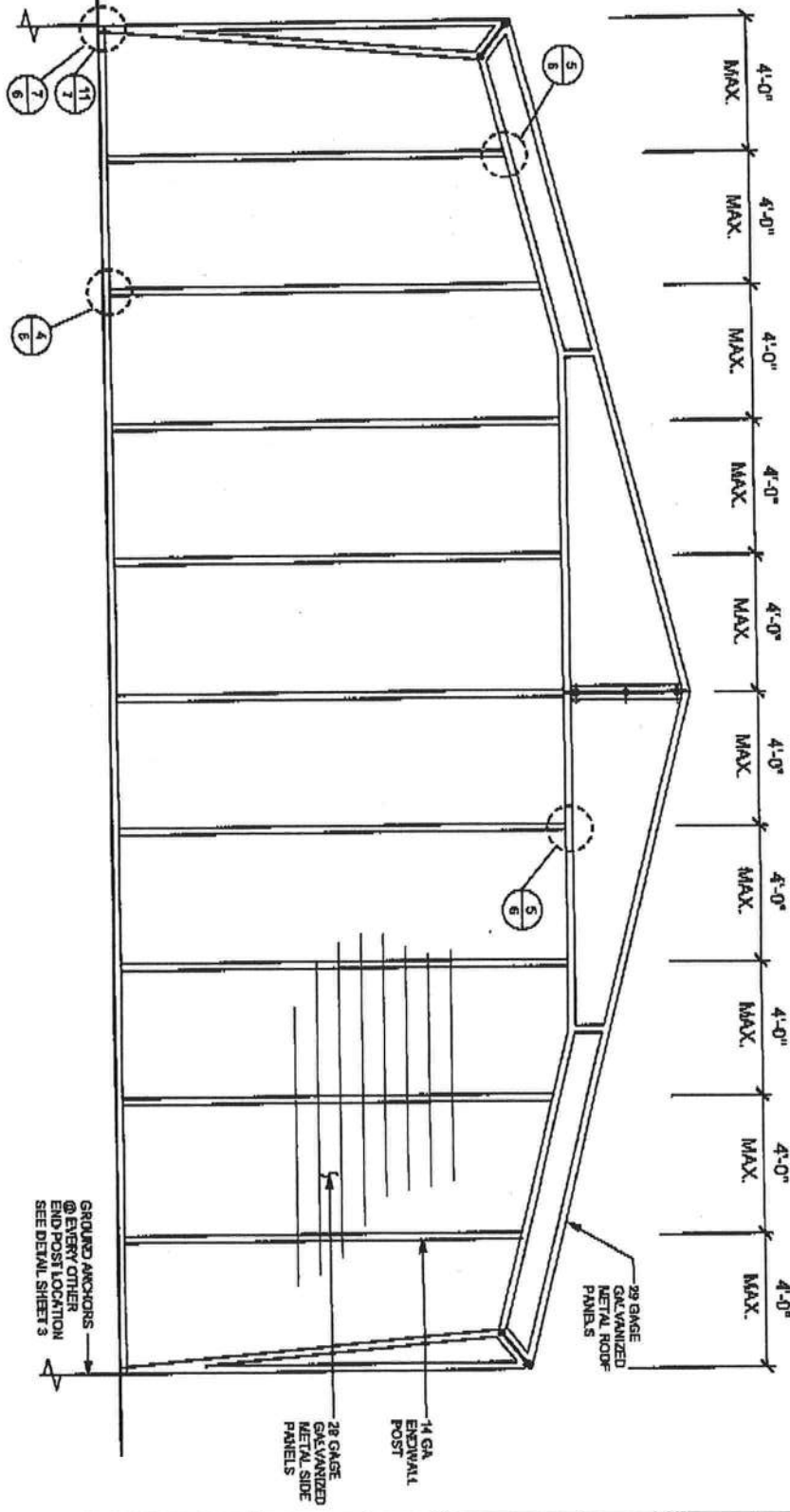
DATE: 3/1/98

REVISED:

DRAWING: 5 OF 5



REAR WALL SECTION
SCALE: NTS



SCALE: 1/4" = 1'-0"

DRAWN BY: W.H.F.

APPROVED: W.H.F.

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P.O. BOX 1263
DOBSON, NC 27017
TOLL FREE 1-800-670-4262
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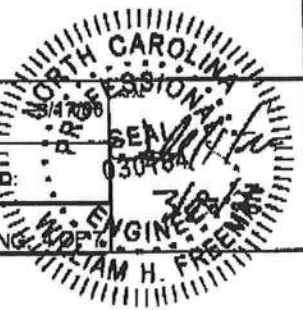


161 NW MADISON STREET
SUITE #102
LAKE CITY, FL. 32055
CERTIFICATE OF AUTHORIZATION # 0000000

DATE:

REVISED:

DRAWING:



STATE OF NORTH CAROLINA

Angie Johnson
Secretary of Motor Vehicles

DRIVER LICENSE 8922308



MICHAEL RAY JOHNSON
276 CALICO LN
ARARAT NC 27007-8427

class: C, endor: None reg: 1
issued: 01-10-2007 expires: 01-22-2015
sex: M ht: 5-07 eyes: BRO hair: BRO race: W

birthdate
07-22-1977

Michael Johnson

*7/4/08
This
GENTLEMAN
Did the construction*



STATE OF FLORIDA

AC# ~~20007513~~

DEPARTMENT OF BUSINESS AND
PROFESSIONAL REGULATION

CBC1254822 • 10/11/06 060209526

CERTIFIED BUILDING CONTRACTOR
JOHNSON, MICHAEL RAY
CAROLINA CARPENTRY INCORPORATED

IS CERTIFIED under the provisions of FL 489 FS,
expiration date: AUG 31, 2008 L06101105125

Business License for the City of Quincy

Number: 442

License issued to: Carolina Carports, Inc

Operating at: 2465 Colquitt Highway in Quincy, Florida 32351

Mailing address: 2465 Colquitt Highway

Colquitt, GA 39837

Doing Business As: Carolina Carports, Inc

The above is hereby Licensed to engage in or manage the business, profession, or occupation of:
Carport Manufacturing/Installation Having received the sum of: \$25.00

2008

Issued on: 03-Oct-07

Authorized Signature



Issued by the City Clerk for the City of Quincy. Valid for 2007-2008 fiscal year only. This license will expire on September 30, 2008
This license is valid for business in the City of Quincy only. The issue of this license does not constitute permission for the use of any property, public or private

www.mtquincy.com

ACORD CERTIFICATE OF LIABILITY INSURANCE		OF ID BH CAROL-1	DATE (MM/DD/YYYY) 11/07/07
PRODUCER SE&T Insurance, Inc. PO Box 1284 Mount Airy NC 27030 Phone: 336-789-9071 Fax: 336-789-0774 INSURED Carolina Carports, Inc. PO Box 1263 Dobson NC 27017		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW	
		INSURERS AFFORDING COVERAGE INSURER A: The Hartford INSURER B: INSURER C: INSURER D: INSURER E:	NAIC #

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSURER	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GENL. AGGREGATE LIMIT APPLIES PER: POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/>	22UUNT98194	10/01/07	10/01/08	EACH OCCURRENCE DAMAGE TO RENTED PREMISES (En occurrence) \$ 1000000 MED EXP (Any one person) \$ 10000 PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMPROP AGG \$ 2000000 Emp Ben. 1000000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS SCHEDULED AUTOS HIRED AUTOS NON-OWNED AUTOS	22UENT98274	10/01/07	10/01/08	COMBINED SINGLE LIMIT (En accident) \$ 1000000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA AGG \$ AGG \$
	GARAGE LIABILITY ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN AUTO ONLY: EA AGG \$ AGG \$
	EXCESS/UMBRELLA LIABILITY OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE \$ RETENTION \$				EACH OCCURRENCE \$ AGGREGATE \$ \$ \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER	22WBTK6675	10/01/07	10/01/08	WORKERS COMPENSATION LIMITS EACH ACCIDENT \$ 1000000 E L DISEASE - EA EMPLOYEE \$ 1000000 E L DISEASE - POLICY LIMIT \$ 1000000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER

CAROL-14

Carolina Carports, Inc.
 PO Box 1263
 Dobson NC 27017

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Tina Hagwood

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